

2-32 Junction Street, Forest Lodge, NSW - Water Management Plan

Prepared for Corio Projects

June 2025
Project Number S24129
Version D



OPPORTUNITIES
THROUGH
EXCELLENCE

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Contents

1. Executive Summary	1
1.1 Relevant Documentation	1
2. Introduction	2
2.1 Purpose of Report	2
2.2 Referenced Standards and Documentation	3
2.3 Development Controls	3
3. Existing Scenario	4
3.1 Existing Scenario	4
3.2 Existing Drainage	5
3.3 Existing Land & Flooding	6
4. Proposed Development	7
4.1 Design Proposal	7
5. Design Criteria	8
5.1 Stormwater Policies and Objectives	8
5.2 Proposed Drainage Design	8
5.3 Water Sensitive Urban Design	9
6. Analysis Results	11
6.1 On-Site Detention	11
6.2 Water Sensitive Urban Design Implementation	11
7. Conclusion	13
Appendices	
Appendix A - Architectural Drawings by WMK Architecture	15
Appendix B - Site Survey	16
Appendix C - Civil Plans	17
Appendix D - Stormwater Maintenance Schedule	18

Document Control				
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A	23/05/2025	S.Mahfouz	S.Hazlewood	S.Hazlewood
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C	26/06/2025	S.Mahfouz	S.Hazlewood	S.Hazlewood
D	01/07/2025	S.Mahfouz	S.Hazlewood	S.Hazlewood

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1. Executive Summary

BG&E Pty Ltd (BG&E) has been engaged by Corio Projects Pty Ltd to prepare a Water Management Plan for the proposed Forest Lodge Integrated Seniors Living Development at 2-32 Junction Street, Forest Lodge, NSW 2037 (Site). The report has been prepared to be lodged for a State Significant Development Approval (SSDA) SSD 7549 3483.

This report will outline the methodology adopted and the associated results of:

- Requirement of an on-site detention tank; and
- Water sensitive urban design.
- SEARs conditions 13 and 14

The on-site detention must have a minimum volume of 77 m³ and a maximum discharge rate of 176L/s as specified by Sydney Water. Water Sensitive Urban Design (WSUD) targets can be achieved by using twenty-seven (27) StormFilters and two (2) OceanGuard OG200 pit inserts.

As part of the civil package prepared by BG&E, erosion and sediment controls must be installed before construction and maintained throughout the construction stages per the BlueBook. These measures ensure there is no impact on the ecological values adjacent to the site. To further ensure the park is not impacted during construction.

1.1 Relevant Documentation

The following documentation has been used as a reference in the preparation of this report and the stormwater concept plans:

- Architectural Drawings by WMK Architects, Issue 1, dated June 2025
- Detailed Survey by Land Partners Pty Ltd dated January 2015
- City of Sydney Council's Development Control Plan 2012.

2. Introduction

This report accompanies a detailed State Significant Development Application that seeks approval for the proposed Integrated Seniors Living development at 2-32 Junction Street, Forest Lodge. The development proposes a combination of independent living units, associated community facilities, and small aged care facility across six levels along with a loading dock along the lower floor level. A detailed project description is provided in section 4.1.

2.1 Purpose of Report

BG&E have been engaged by Corio Projects Pty Ltd to design the stormwater management system and prepare a stormwater report to inform and support the State Significant Development Application (SSDA) for 2-32 Junction Street, Forest Lodge.

This report will outline the methodology adopted and associated results of:

- Requirement of an on-site detention tank; and
- Water sensitive urban design.
- SEARs conditions 13 and 14

Table 1: Compliance with SEARS

Item	SEARS Requirement	Relevant Section of Report
13. Ground and Water Conditions	Provide a Surface and Groundwater Impact Assessment that assesses potential impacts on:	
	Surface water resources (quality and quantity) including related infrastructure, hydrology, dependent ecosystems, drainage lines, downstream assets and watercourses.	Refer to Sections 5 & 6 for information.
	Groundwater resources in accordance with the <i>Groundwater Guidelines</i> .	Refer to the Geotechnical Engineer for information.
14. Water Management	Provide an integrated Water Management Plan for the development that:	
	Is prepared in consultation with the local council and any other relevant drainage or water authority.	Refer to Sections 5 & 6 for council DCP requirements that have been adopted for the stormwater design
	Outlines the water-related servicing infrastructure required by the development (informed by the anticipated annual and ultimate increase in servicing demand) and evaluates opportunities to reduce water demand (such as recycled water provision).	None of this type of work is proposed at this time.
	Details the proposed drainage design (stormwater and wastewater) for the site including any on-site treatment, reuse and detention facilities, water quality management measures, and nominated discharge points.	Refer to Appendix C for Stormwater Drawings. Refer to Sections 5 & 6 for all requirements for the site's stormwater quality and quantity management.
	Demonstrates compliance with the local council or other drainage or water authority requirements and avoids adverse downstream impacts.	Refer to Section 6 for the results of the stormwater



		quality and quantity management.
	Where water and drainage infrastructure works are required that would be handed over to the local council, or other drainage or water authority, provide full hydraulic details and detailed plans and specification of proposed works that have been prepared in consultation with, and comply with the relevant standards, the local council or other drainage or water authority.	None of this type of work is proposed at this time.

2.2 Referenced Standards and Documentation

The following documents have been used as part of this report:

- City of Sydney Council’s DCP 2012.
- City of Sydney Council’s Stormwater Drainage Manual
- Sydney Water’s On-Site Detention Policy
- Sydney Water’s On-Site Detention Guide

2.3 Development Controls

The development has used the City of Sydney Council’s DCP, and Sydney Water OSD requirements as a guidance and reference for the stormwater management design. The objectives of stormwater management in Section 5 of the DCP are as follows:

- Minimise the impacts of development upon the water cycle and achieve more sustainable forms of urban development.
- Assist in the management of stormwater via On-Site Detention to prevent any increase in downstream peak flows resulting from new developments.

3. Existing Scenario

3.1 Existing Scenario

The subject site is located at 2-32 Junction Street, Forest Lodge within the City of Sydney Council's local government area (LGA). The proposed site covers a total area of approximately 4,830m². The site comprises of a three (3) storey Federation Warehouse used for commercial office purposes fronting Junction Street with a contemporary addition to the rear. The Subject Site is situated in a predominantly residential area with a mix of low to medium-density housing that transitions in height from 5-6 storeys to the west to 1-2 storeys to the east, complemented by commercial and light industrial uses. Surrounding land uses in the immediate vicinity include:

- North- The Subject Site is bordered by a battle axe-shaped property on Kimber Lane, a single-level terrace house at 34 Junction Street, and a workshop at 1 Kimber Lane. Further north, the area features additional single-level terraces and a 2-storey office/warehouse on Pyrmont Bridge Road;
- South- Directly south of the Subject Site is a residential complex at 2A Short Street, comprising 2-storey terrace houses with access from Short Street and Sparkes Lane;
- East – The eastern boundary of the Subject Site is Junction Street, which features approximately 12x1 to 2-storey residential terrace houses on the opposite side of the road;
- West – To the west, the Subject Site is adjacent to Larkin Street Reserve, a 7-storey residential building at 1-3 Larkin Street, a 5-6 storey residential building at 5-13 Larkin Street, and a light industrial building at 12-14 Larkin Street, located to the southwest.

The subject Site and surrounding context are illustrated in Figure 1. The identified portion of land that is subject of this development is described as the parcels pertaining outlined in table 2.

Table 2: Subject Site Identification

Street Address	Legal Description
2-11 Junction Street, Forest Lodge	Lot A DP 439209
	Lot B DP 439209
	Lot C DP 439209
	Lot 1 DP 1092420
12 Junction Street, Forest Lodge	Lot 1 DP 1035720
18-32 Junction Street, Forest Lodge	Lot 1 DP 613650
	Lot 1 DP 584394
	Lot B DP 87371



Figure 1: Site Aerial Image (Nearmap, 20.01.2025)

3.2 Existing Drainage

The survey conducted by Land Partners Pty Ltd on January 21, 2015, indicates the presence of a grated pit located along the western boundary of the site as shown in Figure 2. The survey illustrate that the site contains two drainage pits and two grated drains which will be removed as part of the proposed drainage for the development.

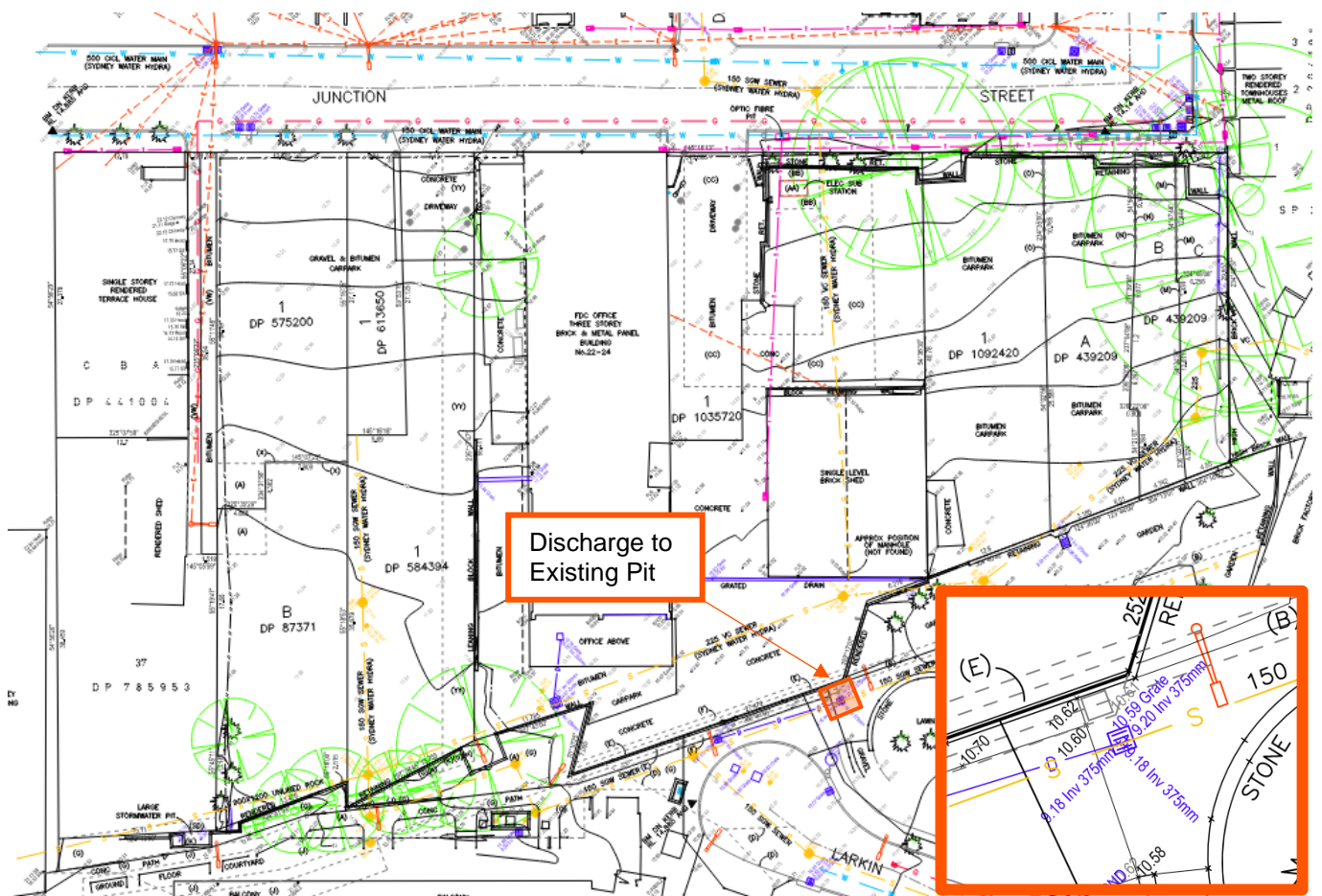


Figure 2: Extract from Survey by Land Partners Pty Ltd – (21.01.2015)

3.3 Existing Land & Flooding

The site contains a building approximately in the middle region of the site including a shed. The remainder of the site is covered by carparking places. There is a single driveway providing access to the site along Junction St in conjunction with an existing footpath traversing along the frontage of the site.

As per City of Sydney Council's flood study on the Johnstons Creek floodplain catchment, the site is indicated to be affected by flooding up to and including Probable Maximum Flood (PMF) events. This information was obtained from the City of Sydney Council's floodplain management plans. For more detail, refer to BG&E Flood Report S24129-RPT-WA-0001 for the site.

4. Proposed Development

4.1 Design Proposal

The proposed involves the construction and operation of a Seniors Housing at 2-32 Junction Street, Forest Lodge, comprising:

- Earthworks involving cut and fill;
- Augmentation of existing services and infrastructure such as water, power, and sewer.
- Construction of car parking comprising 79 car parking spaces on Lower Ground Floor and Ground Floor;
- Construction of a 6-storey building containing a Residential Aged Care Facility (RACF) and Independent Living Units (ILUs), including:
 - 71 Independent Living Units, including 4 one-bedroom units, 43 two-bedroom units and 24 three-bedroom units, split across Levels G-5;
 - Residential Care Units comprising 12 beds, located on Level 1;
 - Staff administration areas;
 - Amenities including cinema, hair salon, café, courtyard, and multipurpose space;
- Construction of publicly accessible open space located at the rear of the building and expanding on the existing Larkin Street Reserve;
- Construction of a paved accessway along the north boundary of the site;
- Construction of a dedicated pedestrian laneway along the south boundary of the site; and
- Provision of associated landscaping.

Access to the development will be provided via a driveway situated along the northeastern region of the site along Junction St. This driveway will provide access into the ground level carpark, and the lower ground level carpark. Refer to Figure 3 for the proposed ground floor plan by WMK Architects Pty Ltd.



Figure 3: Proposed Ground Floor Plan (WMK Architects)

5. Design Criteria

5.1 Stormwater Policies and Objectives

An integrated stormwater management and water sensitive urban design concept has been prepared for the development. The strategy has been developed to meet the following objectives and comply with:

- City of Sydney Council's DCP 2012
- City of Sydney Council's Stormwater Drainage Manual
- Sydney Water's On-Site Detention Policy
- Sydney Water's On-Site Detention Guide

On-Site Detention (OSD) is required for the proposed development, as outlined by the City of Sydney Council's DCP (2012). The development must comply with Permissible Site Discharge (PSD) and Site Storage Requirements (SSR) as specified by Sydney Water. To meet these requirements, the proposed OSD tank must be able to:

- Limit the total discharge from the site.
- Minimise discharge bypassing the site's OSD tank.
- Implement Water Sensitive Urban Design (WSUD) products to control and enhance the quality of the water discharging from the site.

5.2 Proposed Drainage Design

On-Site Detention (OSD) is required for the proposed development as outlined by Sydney Water email shown in Figure 4. The development is required to comply with PSD and SSR as per Sydney Water requirements. Figure 4 below indicates that an OSD tank is required by Sydney Water. The required OSD volume for the site is 77m³ along with a PSD of 176 L/s.

The site has been designed in accordance with Section 3.7.2 of the City of Sydney DCP (2012) by incorporating an OSD to control stormwater flows according to Sydney Water criteria, alongside a rainwater tank that meets BASIX requirements. Stormwater is proposed to be discharged to the existing drainage pit located adjacent to the western boundary. An internal weir is proposed within the OSD tank to safely manage overflow. Refer to Appendix B for stormwater plans.

Shahid,

On Site Detention

The On Site Detention requirements for the 4,890 square meters site at 22-32 Junction St, Forest Lodge, are as follows:

- On Site Detention 77 cubic meters
- Permissible Site Discharge 176 L/s

The approval for the On Site Detention would only be given as part of the Section 73 application for this development. The On Site Detention is to be designed according to the above values and submitted to Sydney Water for approval with the Section 73 application. The following details are to be included in your submission for On Site Detention approval:

- Location of the On Site Detention in relation to the development
- Location of the On Site Detention in relation to overall stormwater network of the property
- Plan and Elevation of the On Site Detention tank with all dimensions
- Orifice plate calculation

Building Adjacent to Sydney Water's stormwater channel

Please note that there is a major Sydney Water's stormwater channel located along the south-western boundary of your development site. Any development adjacent to Sydney Water's assets is required to meet minimum clearance requirements as per the current Specialist Engineering Assessment Procedure which is available on our website.

Best Regards

Planning and Technical
Water and Environment Services
Sydney Water, Level 13, 1 Smith Street, Parramatta NSW 2150



Figure 4: Sydney Water OSD Requirements

5.3 Water Sensitive Urban Design

The main objectives for the stormwater quality are indicated in Section 3.7.3 in the City of Sydney Council's DCP (2012). The technical requirements as nominated in the DCP are as presented below:

- Reduce the baseline annual pollutant load for litter and vegetation larger than 5mm by 90%
- Reduce the baseline annual pollutant load for total suspended solids by 85%
- Reduce the baseline annual pollutant load for total phosphorous by 65%
- Reduce the baseline annual pollutant load for total nitrogen by 45%

Methods to achieve the above treatment targets can include the use of proprietary products, rainwater reuse, raingardens, detention basins or treatment further downstream within the external stormwater network. The proposed development catchments are shown plan in Table 3.

Table 3: Summary of Catchment Plan Areas

Catchment Areas	m^2
Roof	1,520
Landscape	1,855
Impervious Area	1,455
Total	4,830

5.3.1 Rainwater Tank

A 120kL rainwater tank is proposed for BASIX and stormwater quality purposes. Rainwater tanks serve to settle sediments and remove reused stormwater from the water cycle. This assists with reducing pollutants and the mean annual runoff volume.

6. Analysis Results

6.1 On-Site Detention

The proposed development includes the design of an on-site detention tank situated in the northeastern corner of the site on the lower ground floor level. The OSD tank has been designed based on the permissible site discharge and site storage requirement values which have been provided by Sydney Water.

The proposed development includes an OSD tank located within the driveway near the ramp to the lower ground carpark. As per Sydney Water’s requirements, the tank must have a volume of 77 m³ and a PSD rate of 176 L/s. To meet these requirements, the proposed design provides a volume of 83.3 m³ and a PSD rate of 174.7 L/s. Refer to Appendix B for civil plans.

6.2 Water Sensitive Urban Design Implementation

The water quality modelling software MUSIC v6.3 was used to analyse the performance of the treatment train. Figure 5 below shows the MUSIC node and link diagram used to describe the proposed treatment train. The model has been built to assess the adequacy of the proposed stormwater treatment measure and ensure that stormwater quality meets the objectives prior to stormwater runoff leaving the site.

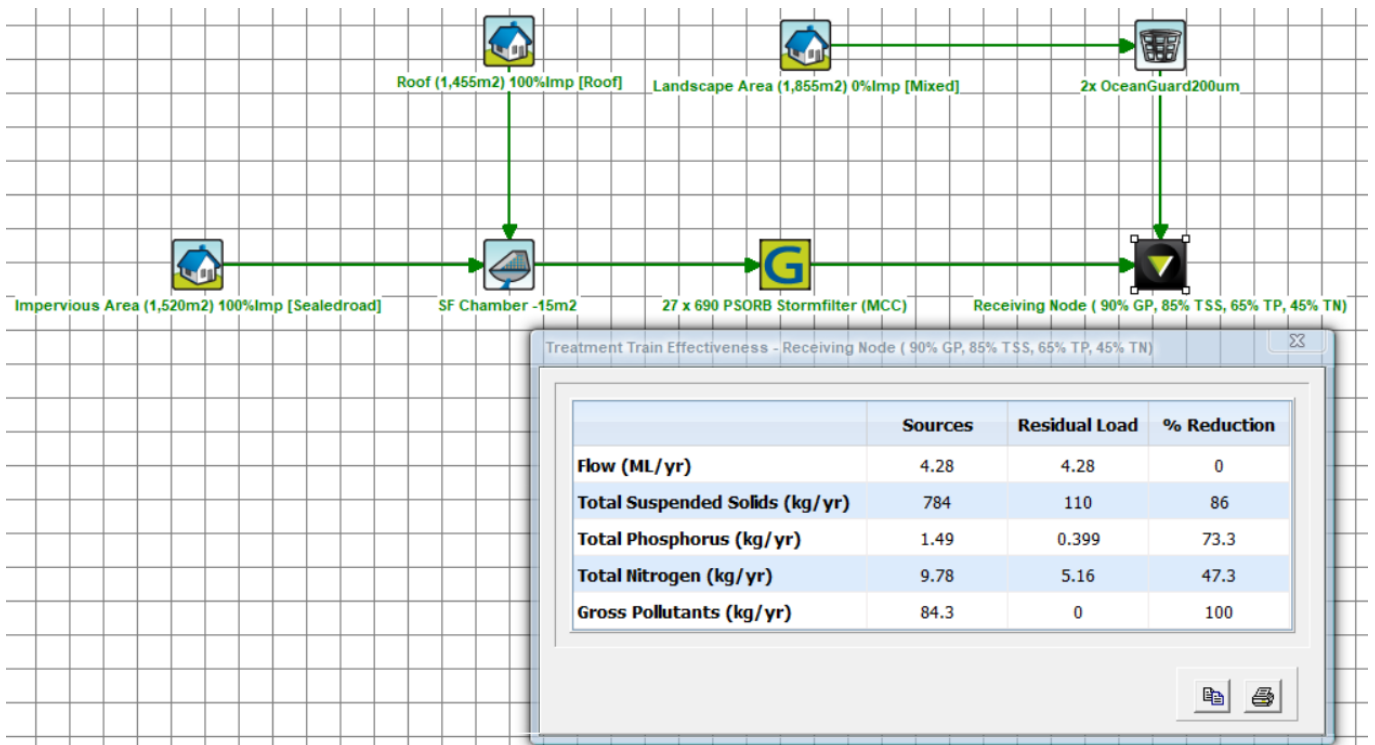


Figure 5: MUSIC Model and Results

The results of the analysis showed the treatment train can achieve the water quality targets set out in Council’s DCP (2012) Section 3.7.3 Stormwater Quality. Table 3 displays the effectiveness of the both the primary and secondary treatments applied. To meet the requirements set out by council, the following treatment devices were implemented:

- 27x 690 PSorb StormFilters within a 15m² chamber
- 2x OceanGuards

All products utilised for the design of this treatment train are from Ocean Protect or equivalent product. The water quality model created using MUSIC software provides an indication of the pollutant removal rates expected when a treatment train of water quality measures is applied to the proposed layout of the development.

Table 4: MUSIC Model Results

Pollutant	Prior Treatment (kg/yr.)	Post Treatment (kg/yr.)	Percentage Reduction Achieved (%)	Water Quality Objective (%)
Gross Pollutants (GP)	84.3	0	100	90
Total Suspended Solids (TSS)	784	110	86	85
Total Phosphorus (TP)	1.49	0.399	73.3	65
Total Nitrogen (TN)	9.78	5.16	47.3	45



7. Conclusion

BG&E Pty Ltd (BG&E) has been engaged by Corio Projects Pty Ltd to prepare a Water Management Plan for the proposed Integrated Seniors Living development at 2-32 Junction Street, Forest Lodge, NSW 2037. This report outlined the methodology adopted and associated results of:

- Requirement of an on-site detention tank; and
- Water sensitive urban design.

As outline in the report, the following items have been identified:

- A detention tank is required for this proposed development as required by Council's DCP and Sydney Water's requirements.
- The site is not affected by flooding during up to and including PMF events. Refer to BG&E Flood Report SE24129-RPT-WA-0001 for details.
- A detention tank is required for this proposed development as required by Sydney Water.
- The site requires an OSD tank with a volume of 77m³ and PSD rate of 176 L/s.
- Water Sensitive Urban Design is required as part of the development of the site. This has been achieved using proprietary products.
- The site requires 27 x 690 PSorb (MCC) StormFilters and 2 x OceanGuards from Ocean Protect, or equivalent products installed as per manufacturer's instructions. This will need to be finalised and rationalised during detailed design based on final area calculations.

Appendices



Appendix A - Architectural Drawings by WMK Architecture



23110 2-32 JUNCTION STREET, FOREST LODGE

SENIOR'S LIVING DEVELOPMENT

2-32 JUNCTION STREET, FOREST LODGE 2037

CLIENT:

CORIO PROJECTS

ISSUED FOR:

DEVELOPMENT APPLICATION

DRAWING LIST

SHEET NUMBER	SHEET NAME
DA000	COVER PAGE
DA001	SITE & COMPLIANCE INFORMATION
DA002	UNIT SCHEDULES
DA003	BASIX COMMITMENT NOTES
DA004	RENDER - JUNCTION STREET
DA005	SURVEY PLAN - LANDPARTNERS
DA006	EXISTING SITE & DEMOLITION PLAN
DA007	EXISTING - DEMOLITION PLANS
DA010	SITE PLAN
DA011	SITE PLAN - DCP SET BACKS
DA012	SITE PLAN - LEP HEIGHT
DA100	LOADING BAY LOWER FLOOR PLAN
DA101	LOWER GROUND FLOOR
DA102	GROUND FLOOR
DA103	LEVEL 01
DA104	LEVEL 02
DA105	LEVEL 03
DA106	LEVEL 04
DA107	LEVEL 05
DA108	ROOF PLAN
DA150	TYPICAL APARTMENT PLANS
DA200	ELEVATION - EAST (ALONG JUNCTION ST)
DA200.1	ELEVATION - EAST
DA201	ELEVATION - WEST
DA202	ELEVATION - NORTH
DA203	ELEVATION - SOUTH
DA204	ELEVATION - INTERNAL WEST
DA204.1	ELEVATION - INTERNAL WEST
DA205	ELEVATION - INTERNAL EAST
DA206	STREETSCAPE ELEVATION - JUNCTION ST
DA300	SECTION 01
DA301	SECTION 02 - LOADING DOCK
DA302	SECTION 03 - HERITAGE BUILDING
DA303	SECTION 04
DA304	SECTION 05 - DRIVEWAY
DA400	GFA AREA PLANS
DA401	COMMUNAL AREA, DEEP SOIL & LANDSCAPE CALCULATIONS
DA402	SUN EYE VIEWS - SHEET 01
DA403	SUN EYE VIEWS - SHEET 02
DA404	SOLAR ACCESS COMPLIANCE
DA405	CROSS VENTILATION
DA406	STORAGE PLAN DIAGRAM
DA407	STORAGE PLAN & SCHEDULE
DA500	SHADOW DIAGRAM - JUNE 21ST - 9-10AM
DA501	SHADOW DIAGRAM - JUNE 21ST - 11-1PM
DA502	SHADOW DIAGRAM - JUNE 21ST - 2PM-3PM
DA503	ELEVATIONAL SHADOW
DA504	ELEVATIONAL SHADOW
DA600	MATERIALS & FINISHES



ARTIST IMPRESSION - EASTERN ELEVATION ALONG JUNCTION ST



Dimensioned drawings to take precedence over scaling. Contractor to verify all dimensions on site before construction. All inconsistencies to be reported to the Architect immediately. This drawing and its contents remain the copyright of WMK Architecture Pty Ltd © Nominated Architect Greg Barnett (NSW ARB. 6092)

Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
1	Development Application	19.06.2025	CORIO PROJECTS	Seniors Living Development 2-32 Junction Street, Forest Lodge NSW	COVER PAGE	DA000	1
						Scale N/A	Drawing Size A3
						Project No. 23110	Drawn By JT
					DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION	CAD Reference	
						19/06/2025 4:16:52 PM	

PROJECT INFORMATION	
JOB REFERENCE	23110
LOCALITY/SUBURB	Forest Lodge
STREET ADDRESS	2-32 Junction Street, Forest Lodge NSW
LOT & DP	Lot A,B,C DP 439209, Lot 1 DP 1092420, Lot 1 DP 1035720, Lot 1 DP 613650, Lot 1 DP 584394, Lot B DP 87371, Lot 1 DP 575200
LAND ZONING	MU1 – Mixed Use
SITE INFORMATION	
SITE AREA (m2)	4824m ²
MAX. FSR <i>(As per City of Sydney LEP – Part 6 Division 5 Section 6.40)</i>	1.56:1
GFA MAXIMUM (m2) <i>(As per City of Sydney LEP – Part 6 Division 5 Section 6.40)</i>	7525m ²
MAX. FSR with Seniors ILU & RAC Bonus (25%) <i>[As per SEPP Housing 2021 Part 5 Division 3 Clause 87.2 (iii)]</i>	1.95
MAX. GFA with Bonuses <i>[As per SEPP Housing 2021 Part 5 Division 3 Clause 87.2 (iii)]</i>	7525m ² + 1882 m ² (additional 25% GFA bonus) = 9407m ²
PROPOSED GFA	9407m ² (Including 776m ² Residential Age Care GFA = 10% GFA bonus) (Including 1106m ² additional Independent Living Units GFA = 15% GFA bonus)

INDEPENDENT LIVING UNIT YIELD INFORMATION	
TOTAL NUMBER OF UNITS	71
TOTAL 1 BED UNITS	4
TOTAL 2 BED UNITS	43
TOTAL 3 BED UNITS	24

CAR PARKING REQUIREMENTS				
Independent Living Units Car Parking Requirements:				
		Parking Rate:	Quantum	No. of Spaces required
As per SEPP Housing 2021 [Part 5 Division 7 Clause 108.2.(K)]	1 BED	0.5 per bedroom (0.5 per 1 Bed)	4 x Apartments	2
	2 BED	0.5 per bedroom (1.0 per 2 Bed)	43 x Apartments	43
	3 BED	0.5 per bedroom (1.5 per 3 Bed)	24 x Apartments	36
	Visitor	See note below	71 units	81
TOTAL REQUIRED ILU CAR SPACES - 81				
TOTAL PROPOSED ILU CAR SPACES - 75				

Residential Age Care Car Parking Requirements:				
		Parking Rate:	Quantum	No. of Spaces required
As per SEPP Housing 2021 [Part 5 Division 7 Clause 107.2(G)]	Residential Care Facility	Min. 1 parking space per 15 beds	12 Beds	1
		Min. 1 parking space every 2 employees on duty at same time.	Approx. 4 staff	2
		Min. 1 x ambulance parking		1
TOTAL REQUIRED RAC CAR SPACES – 3 + 1 Ambulance Space				
TOTAL PROPOSED RAC CAR SPACES – 3 + 1 Ambulance Space				

Level	2.4m Wide Car Spaces	3.2m Wide Car Spaces	Accessible Car Spaces	Ambulance Space	Total Car Spaces
Lower Ground Floor	25	38	0	0	63 car spaces
Ground Floor	15 <i>(incl. accessible spaces)</i>	0	13	1	15 car spaces (including 13 accessible car space) + 1 Ambulance
Total	40	38 <i>(50% of total ILU car parking spaces)</i>	13 <i>(12 x ILU Accessible 1 x RAC Accessible)</i>	1	<ul style="list-style-type: none"> 78 car spaces (including 13 accessible car spaces) 1 ambulance

BICYCLE SPACES				
		DCP Bike Parking Rate	Quantum	No. of Spaces required
	Residents	1/unit	71 units	71
	Visitors	1/10 units	71 Units	7
TOTAL MIN. REQUIRED BICYCLE SPACES - 78				
TOTAL PROPOSED BICYCLE SPACE – 18 BICYCLE SPACES + 71 Bicycle storage within apartment basement storage area				
MOTORCYCLE SPACES				
PROPOSED: 5 X Motorcycle spaces				

RETIREMENT LIFESTYLE LIVING AND LIFETIME CARE RESIDENTIAL

	GFA COMM (m ²)	GFA RACF (m ²)	GFA RESI (m ²)	1 BED	2 BED	3 BED	TOTAL	SOLAR 2H	SOLAR 15min	SOLAR 0H	CROSS VENT
Roof											
Level 05			289	1	2		3	3	0	0	2
Level 04			1160		4	6	10	10	0	0	7
Level 03			2022	1	11	7	19	14	4	1	12
Level 02			2083	1	12	6	19	13	1	5	12
Level 01		779	1357	1	7	4	12	9	1	2	8
Ground floor	799		875		7		8	4	0	4	2
Loading Dock Level			43								
	799	779	7829	4	43	24	71	53	6	12	43
Provided	9407			6%	61%	34%		74.6%	8.5%	16.9%	60.6%
Allowable GFA	9407	Target		5%	60%	35%		70%	85%	15%	60%

COMPLIANCE TABLE			
CONTROL	REQUIRED	PROPOSED	COMPLIANCE
Maximum FSR + ILU & RAC Bonuses	1.95	1.95	YES
Maximum Building Height (City of Sydney LEP 2012 & SEPP Housing 2021)	Maximum Building Height RL as per COS LEP = RL 29.5 & RL 35.5	Proposed maximum building height RL = RL 33.2 (at lower buildings (B,C & D)) & RL. 36.3 at Building A	YES
Deep Soil [SEPP Housing 2021 Part 5 – Division 7.108(2)(f)]	Maximum Building Height RL with addition 3.8 height bonus as per SEPP Housing 2021 = RL 33.3 & RL. 39.3	Deep Soil zone on at least 15% of the site area, where each deep soil zone has min. dimension of 3m.	YES
Communal Open Space [SEPP Housing 2021 Part 5 – Division 7.107(2)(d)]	RAC Communal Internal & Open Space requirement = 10m ² for every bed = 10 x 12 beds = 120m ² ADG - 25% of total site area = 1206m ²	Total Proposed RAC internal & external Communal Open Space = 176m ² Total Proposed Communal Open Space = 764 m ²	Refer to Town Planning Report
Landscape Area [SEPP Housing 2021 - Part 5 – Division 7.108(2)(d) & 107(2)(e)]	RAC Landscape Area Requirement = at least 15m ² of landscaped area for every bed = 15 x 12 beds = 180m ² ILU Landscape Area Requirement = 30% of the site area = 1447.2m ²	Proposed total Landscaped Area = 1748m ²	YES
Solar Access to open space (City of Sydney DCP 6.3.12.4)	Ensure solar access to Larkin Street Reserve Complies with Section 3.1.4 of this DCP a)50% of the total area is to receive sunlight for 4 hours from 9am to 3pm on 21 June; b)protection from direct sun is to be available on 21 December for a minimum of 20% of the area used for passive recreation and c) protection from strong winds is to be provided where practicable.	The proposal allows 50% of the total area of Larkin St Reserve to receive sunlight for approximately 4 hours from 9am to 3pm on 21 June.	YES
Solar Access: (SEPP Housing 2021 & ADG Requirement)	SEPP Housing 2021: At least 70% of the dwelling receive at least 2 hours of direct solar access between 9am and 3pm at mid-winter in living rooms and private open spaces ADG: Min 70% of dwellings to receive min. 2hrs of sunlight to living rooms and private open spaces between 9am and 3pm in mid-winter.	74.6% of units receive a min. 2hrs of sunlight to living rooms and private open spaces between 9am and 3pm mid-winter.	YES
Natural Cross Ventilation (ADG Requirement)	Min 60% of dwellings are naturally cross ventilated for first 9 storeys. Max. cross-over/cross-through apartment 18m.	60.6% of units are naturally cross ventilated	YES
Minimum Internal Area (ADG Requirement)	Studio 35 m ² 1 bedroom 50m ² 2 bedroom 70m ² 3 bedroom 90 m ² (Minimum additional 5 m ² for every additional bathroom within unit)	All units comply with the minimum unit areas	YES
Minimum Private Open Space Area (SEPP Housing 2021 & ADG Requirement)	SEPP Housing 2021: (h) for a dwelling in a single storey building or a dwelling located, wholly or in part, on the ground floor of a multi storey building i) at least 15m ² of private open space per dwelling and ii) at least 1 private open space with minimum dimensions i) For a dwelling not located on the ground floor a balcony with minimum dimensions of 2m and i) an area of at least 10m ² , or ii) for each dwelling containing 1 bedroom, an area of at least 6m ²	All units comply with the minimum private open space areas	YES
Liveable Housing (ADG – 4Q-1)	20% of total apartments to incorporate Livable Housing Guidelines silver level Total ILU Units – 71 Required min. livable units = 14	At least 14 ILU Units incorporates Livable Housing Guidelines silver level	YES

PROPOSED DEEP SOIL CALCULATION	
LEVEL	AREA
GROUND	885 m ²
GROUND	282 m ²
GROUND	48 m ²
TOTAL DEEP SOIL AREA	1215 m²

INDEPENDENT LIVING UNITS - PROPOSED COMMUNAL AREA CALCULATION	
LEVEL	AREA
GROUND	360 m ²
LEVEL 01	327 m ²
LEVEL 05	77 m ²
TOTAL ILU COMMUNAL AREA	764 m²



WMK Architecture
The Atrium, Ground
9 Castlereagh St
Sydney NSW 2000
Telephone 02 9299 0401
wmkarchitecture.com
ABN 25 082 956 929

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Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
1	Development Application	19.06.2025	CORIO PROJECTS	Seniors Living Development 2-32 Junction Street, Forest Lodge NSW	SITE & COMPLIANCE INFORMATION	DA001	1
						Scale	Drawing Size
						Project No.	Drawn By
						23110	JT
						CAD Reference	
						19/06/2025 4:16:53 PM	

DEVELOPMENT APPLICATION ONLY
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INDEPENDENT LIVING UNITS SCHEDULE

LEVEL	UNIT NO.	UNIT TYPE	INTERNAL AREA	CROSS VENT.	SOLAR COMPLIANCE
GROUND	D.001	2 BED	89 m ²	No	PARTIAL SUN - BALCONY ONLY
GROUND	D.002	3 BED	106 m ²	Yes	PARTIAL SUN - BALCONY ONLY
GROUND	D.003	2 BED	99 m ²	Yes	2H SOLAR
GROUND	D.004	2 BED	91 m ²	No	2H SOLAR
GROUND	D.005	2 BED	91 m ²	No	2H SOLAR
GROUND	D.006	2 BED	91 m ²	No	2H SOLAR
GROUND	D.007	2 BED	99 m ²	No	NO SOLAR
GROUND	D.008	2 BED	90 m ²	No	PARTIAL SUN - BALCONY ONLY
LEVEL 01	B.101	1 BED	50 m ²	No	NO SOLAR
LEVEL 01	B.102	2 BED	88 m ²	No	2H SOLAR
LEVEL 01	B.103	2 BED	81 m ²	Yes	2H SOLAR
LEVEL 01	B.104	2 BED	80 m ²	Yes	2H SOLAR
LEVEL 01	C.101	3 BED	154 m ²	Yes	2H SOLAR
LEVEL 01	C.102	3 BED	151 m ²	Yes	2H SOLAR
LEVEL 01	D.101	3 BED	112 m ²	Yes	PARTIAL SUN
LEVEL 01	D.102	2 BED	103 m ²	Yes	2H SOLAR
LEVEL 01	D.103	2 BED	90 m ²	Yes	2H SOLAR
LEVEL 01	D.104	2 BED	87 m ²	Yes	2H SOLAR
LEVEL 01	D.105	2 BED	94 m ²	No	2H SOLAR
LEVEL 01	D.106	3 BED	103 m ²	No	NO SOLAR
LEVEL 02	A.201	2 BED	76 m ²	No	PARTIAL SUN - BALCONY ONLY
LEVEL 02	A.202	2 BED	80 m ²	Yes	PARTIAL SUN - BALCONY ONLY
LEVEL 02	A.203	2 BED	90 m ²	Yes	2H SOLAR
LEVEL 02	A.204	2 BED	85 m ²	No	2H SOLAR
LEVEL 02	A.205	3 BED	114 m ²	Yes	2H SOLAR
LEVEL 02	A.206	3 BED	115 m ²	Yes	2H SOLAR
LEVEL 02	A.207	2 BED	84 m ²	No	PARTIAL SUN - BALCONY ONLY
LEVEL 02	B.201	1 BED	50 m ²	No	NO SOLAR
LEVEL 02	B.202	2 BED	89 m ²	No	2H SOLAR
LEVEL 02	B.203	2 BED	81 m ²	Yes	2H SOLAR
LEVEL 02	B.204	2 BED	80 m ²	Yes	2H SOLAR
LEVEL 02	D.201	3 BED	112 m ²	Yes	PARTIAL SUN
LEVEL 02	D.202	2 BED	103 m ²	Yes	2H SOLAR
LEVEL 02	D.203	2 BED	90 m ²	Yes	2H SOLAR
LEVEL 02	D.204	2 BED	87 m ²	Yes	2H SOLAR
LEVEL 02	D.205	2 BED	94 m ²	No	2H SOLAR
LEVEL 02	D.206	3 BED	103 m ²	No	NO SOLAR
HERITAGE - LEVEL 2	C.201	3 BED	154 m ²	Yes	2H SOLAR
HERITAGE - LEVEL 2	C.202	3 BED	151 m ²	Yes	2H SOLAR
LEVEL 03	A.301	2 BED	76 m ²	No	PARTIAL SUN
LEVEL 03	A.302	2 BED	81 m ²	Yes	2H SOLAR
LEVEL 03	A.303	2 BED	90 m ²	Yes	2H SOLAR
LEVEL 03	A.304	2 BED	85 m ²	No	2H SOLAR
LEVEL 03	A.305	3 BED	114 m ²	Yes	2H SOLAR
LEVEL 03	A.306	3 BED	114 m ²	Yes	2H SOLAR
LEVEL 03	A.307	2 BED	84 m ²	No	PARTIAL SUN
LEVEL 03	B.301	1 BED	50 m ²	No	NO SOLAR
LEVEL 03	B.302	2 BED	89 m ²	No	2H SOLAR
LEVEL 03	B.303	2 BED	81 m ²	Yes	2H SOLAR
LEVEL 03	B.304	2 BED	80 m ²	Yes	2H SOLAR

INDEPENDENT LIVING UNITS SCHEDULE

LEVEL	UNIT NO.	UNIT TYPE	INTERNAL AREA	CROSS VENT.	SOLAR COMPLIANCE
LEVEL 03	D.301	3 BED	112 m ²	Yes	PARTIAL SUN
LEVEL 03	D.302	2 BED	103 m ²	Yes	2H SOLAR
LEVEL 03	D.303	2 BED	90 m ²	Yes	2H SOLAR
LEVEL 03	D.304	3 BED	102 m ²	Yes	2H SOLAR
LEVEL 03	D.305	2 BED	94 m ²	No	2H SOLAR
LEVEL 03	D.306	3 BED	103 m ²	No	PARTIAL SUN
HERITAGE - LEVEL 3	C.301	127 m ²	111 m ²	Yes	2H SOLAR
HERITAGE - LEVEL 3	C.302	124 m ²	112 m ²	Yes	2H SOLAR
LEVEL 04	A.401	3 BED	121 m ²	Yes	2H SOLAR
LEVEL 04	A.402	2 BED	88 m ²	No	2H SOLAR
LEVEL 04	A.403	2 BED	97 m ²	Yes	2H SOLAR
LEVEL 04	A.404	3 BED	121 m ²	Yes	2H SOLAR
LEVEL 04	B.401	3 BED	113 m ²	Yes	2H SOLAR
LEVEL 04	B.402	3 BED	104 m ²	Yes	2H SOLAR
LEVEL 04	D.401	3 BED	109 m ²	Yes	2H SOLAR
LEVEL 04	D.402	2 BED	79 m ²	No	2H SOLAR
LEVEL 04	D.403	2 BED	79 m ²	No	2H SOLAR
LEVEL 04	D.404	3 BED	123 m ²	Yes	2H SOLAR
LEVEL 05	A.501	1 BED	54 m ²	Yes	2H SOLAR
LEVEL 05	A.502	2 BED	88 m ²	No	2H SOLAR
LEVEL 05	A.503	2 BED	106 m ²	Yes	2H SOLAR

Grand total: 71



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Issue	Description	Date
1	Development Application	19.06.2025

Client
CORIO PROJECTS

Project
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Title
UNIT SCHEDULES

Drawing No.	Issue
DA002	1
Scale	Drawing Size
	A3
Project No.	Drawn By
23110	JT

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CAD Reference
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3 BASIX Energy

3.1 Energy

The following minimum standards will be required to comply with the BASIX targets for the project.

Table 4: BASIX Energy Requirements

Design Element	Compliance Criteria
Domestic hot water systems	Centralised electric heat pump (air sourced) with a 3.0< COP <=3.5 and minimum R1.0 insulation to internal and external pipework
Sauna x 2	Heating System: Electric Infrared system controlled by BMS
Heated Swimming Pool	Heating System: Electric Heat Pump controlled by timer
Cooking	Induction cooktop & electric oven
Mechanical heating and cooling	Reverse cycle air-conditioning (1-Phase ducted) for each dwelling Minimum EER ratings – Cooling/Heating 3.5-4.0 and 3.0-3.5 respectively.
Apartment ventilation	Bathroom: individual fan, ducted to façade or roof – Manual on/off Laundry: individual fan, open to façade or roof – Manual on/off Kitchen range hood: Individual fan, open to façade or roof– Manual on/off
Apartment artificial lighting	LED throughout with dedicated fittings
Appliances in Apartments (minimum Energy Star rating)	Dishwashers: 4.5 Energy Star Clothes: 2 Energy Star
Building Management System (BMS)	Yes
Vertical transport	All Lifts: gearless traction with VVVF motor and regenerative (>= 1001 kg but <= 1500kg)
On-site generation (peak)	55kW

4 BASIX Thermal Comfort

4.1 Thermal Comfort

The following minimum standards are required to comply with the BASIX Thermal Comfort requirements for the project.

Table 5: BASIX Thermal Comfort Requirements

Design Element	Compliance Criteria
Glazed Doors / Windows	The following glazed elements are used throughout the development: <u>Fixed and Sliding Windows/Doors</u> Total System U-Value = 4.10 (equal to or less than) Total System SHGC = 0.52 (+/- 5%) <u>Awning and Casement Windows/Doors</u> Total System U-Value = 4.10 (equal to or less than) Total System SHGC = 0.47 (+/- 5%) The following glazed elements are used throughout for apartment units A.302 A.404 A.501 C.302 D.301 <u>Fixed and Sliding Windows/Doors</u> Total System U-Value = 3.10 (equal to or less than) Total System SHGC = 0.49 (+/- 5%) <u>Awning and Casement Windows/Doors</u> Total System U-Value = 3.10 (equal to or less than) Total System SHGC = 0.39 (+/- 5%) <u>Operable Skylight</u> Total System U-Value = 4.22 (equal to or less than) Total System SHGC = 0.72 (+/- 5%) Operability – max available while meeting window safety device requirements defined in the BCA. Note – all glazing systems are whole of system, including glazing and frame systems.
External Solid Walls	Added R2.5 bulk insulation for all apartment external walls. Minimum nominal 20mm unventilated non-reflective airgap. No thermal break considered for the metal stud frame for thermal bridging controls. Refer to Appendix C insulation markups for locations of insulation and additional details. Medium or light colour
Walls to Internal Corridors or Non-Conditioned Zones:	Added R1.5 bulk insulation for all internal walls between apartment unit and non-conditioned enclosed internal zones. Minimum R0.2 thermal break to all metal stud frame for wall/ceiling thermal bridging control should consider.
Exposed Roofs/Balconies (Over conditioned spaces)	Refer to Appendix C insulation markups for locations of insulation and additional details. Added R4.0 soffit slab insulation to apartments concrete slab roofs. Refer to Appendix C insulation markups for locations of insulation and additional details. Medium or light colour.
Suspended Floor Slabs (Enclosed floor levels between conditioned and internal non-conditioned spaces and open to outside)	Added R2.5 soffit slab insulation to underside of suspended concrete slabs. Refer to Appendix C insulation markups for locations of insulation and additional details.
Insulation Penetrations	As a lighting plan/RCP is not yet available, downlights have been modelled at a scale of 1 downlight/5m2. Exhaust fans have been modelled as 1 per bathroom, 1 per laundry if available and 1 per kitchen. Ceiling fans with 1200mm diameter have been modelled in following units Bedrooms: All units Bedroom & Living room A.404 A.502 B.102 B.103 B.202 B.203 B.302 C.301 C.302 D.102 D.105 D.202 D.205 D.306 D.402 D.404 D.401
Floors Covering	Carpet in Bedrooms Timber in Living/Dining Rooms. Tile in Kitchen/Bathrooms.

5 BASIX Water

5.1 Water

The following minimum standards are required to comply with the BASIX Water Targets for the project.

Table 6: BASIX Water Requirements

Design Element	Compliance Criteria
Fixtures	Showers: Minimum 4 Star (>4.5 but <= 6 L/min) WELS Rated Toilets: Minimum 4 Star WELS Rated Bathroom Taps: Minimum 6 Star WELS Rated Kitchen Sink Taps: Minimum 6 Star WELS Rated
Fixtures within common areas	Showerheads: 4 Star (>4.5 but <= 6 L/min) Toilets: Minimum 4 Star WELS Rated All Taps: Minimum 6 Star WELS Rated
Fittings/Appliances within units	Clothes Washer: Minimum 5 Star WELS Rated Dishwasher: Minimum 6 Star WELS Rated
Fittings/Appliances within common areas	Clothes Washer: no common laundry facility
Fire Sprinkler Water Test	Fire sprinkler systems are assigned to basement levels and each building individually. All Fire sprinkler systems test water contained in a closed system so that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed.
Hot Water Recirculation or diversion system	Not hot water recirculation or diversion system
Alternative Water	Rainwater Tank - Minimum 120,000L Rainwater tank to harvest roof area of not less than 1,900m2 and impervious area (paving, balcony etc) of not less than 500 m2 to serve development landscape irrigation, toilet flush and laundry of all apartments
Landscape	Common lawn area: 1,000 m ² Common garden area of indigenous or low water use species: 500m ²
Indoor Swimming Pool	90 kL indoor swimming pool is located within the development

REFER TO BASIX COMPLIANCE REPORT PREPARED BY E-LAB CONSULTING



WMK Architecture
The Atrium, Ground
9 Castlereagh St
Sydney NSW 2000
Telephone 02 9299 0401
wmkarchitecture.com
ABN 25 082 956 929

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Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
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						Scale N/A	Drawing Size A3
						Project No. 23110	Drawn By JT
						CAD Reference	
						DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION	
						19/06/2025 4:16:55 PM	

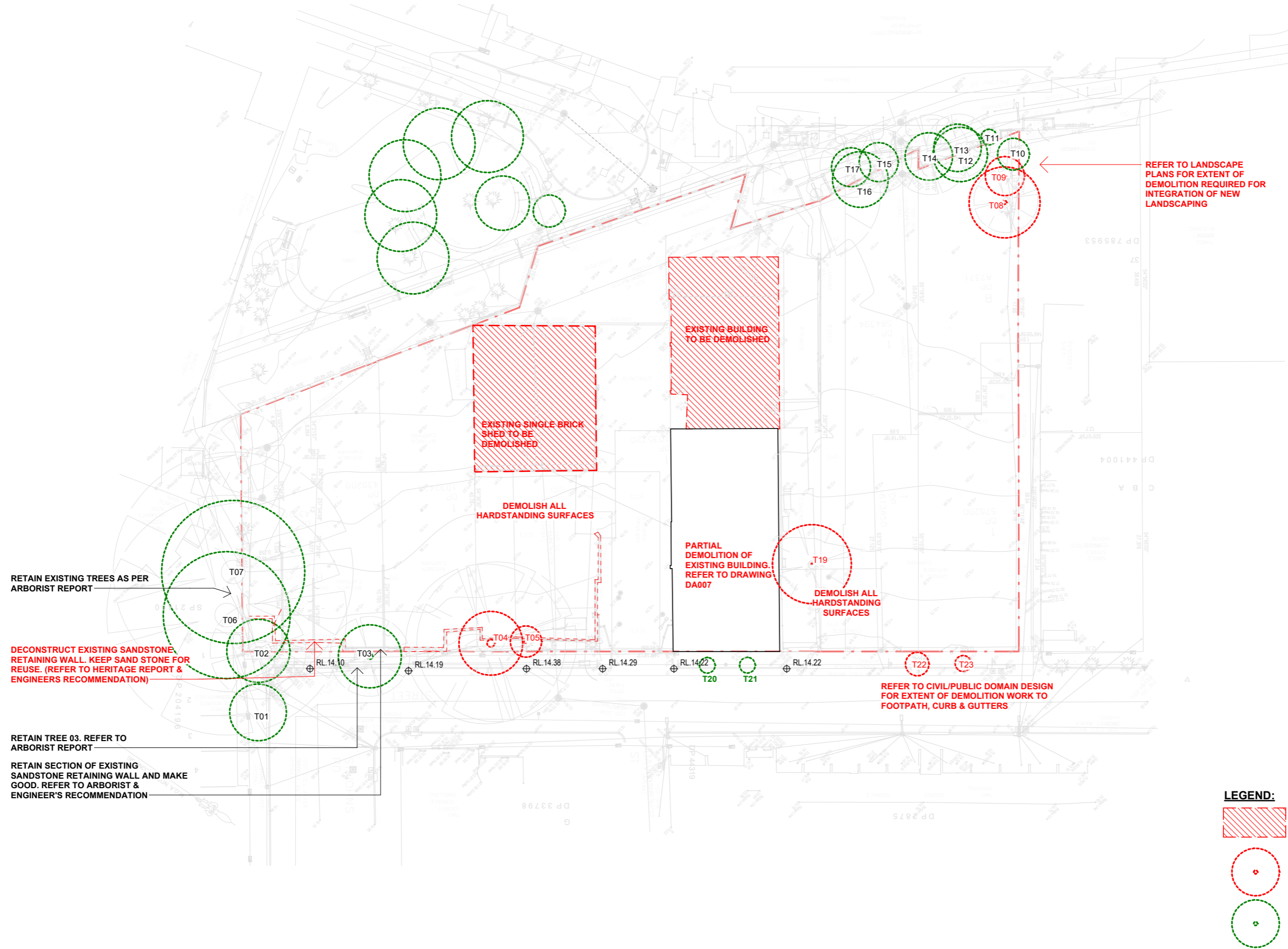


ARTIST IMPRESSION - EASTERN ELEVATION ALONG JUNCTION ST

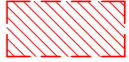




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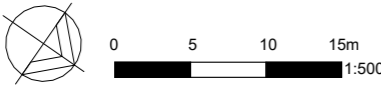
Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
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						Scale N/A	Drawing Size A3
						Project No. 23110	Drawn By JT
					DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION	CAD Reference	
						19/06/2025 4:16:55 PM	



LEGEND:

-  BUILDINGS AND STRUCTURES TO BE DEMOLISHED
-  DENOTES EXISTING TREES TO BE REMOVED
-  DENOTES EXISTING TREES TO BE RETAINED

WMK
 WMK Architecture
 The Atrium, Ground
 9 Castlereagh St
 Sydney NSW 2000
 Telephone 02 9299 0401
 wmkarchitecture.com
 ABN 25 082 956 929



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Issue	Description	Date
1	Development Application	19.06.2025

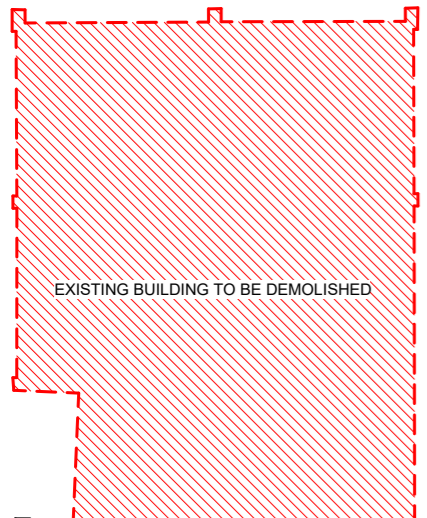
Client
CORIO PROJECTS

Project
 Seniors Living Development
 2-32 Junction Street, Forest Lodge NSW

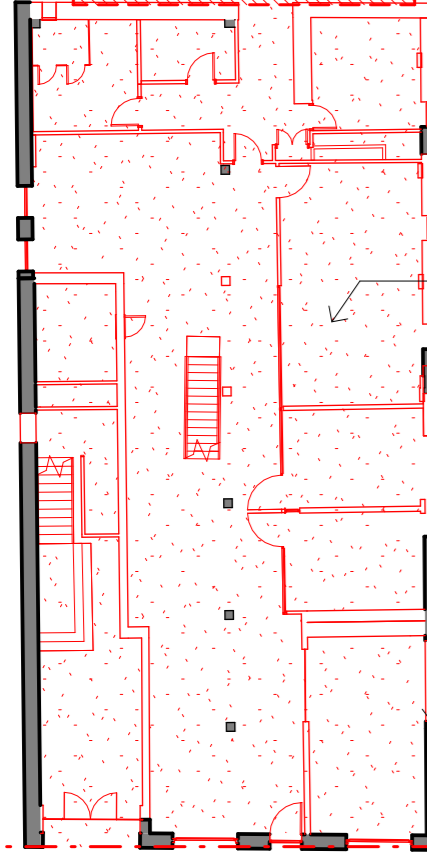
Title
EXISTING SITE & DEMOLITION PLAN

Drawing No. DA006	Issue 1
Scale 1 : 500	Drawing Size A3
Project No. 23110	Drawn By JT
CAD Reference	
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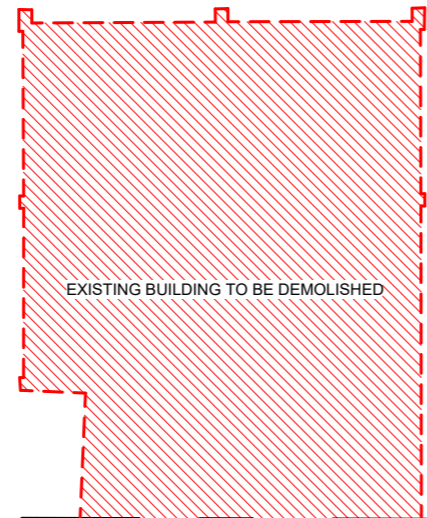


EXISTING BUILDING TO BE DEMOLISHED

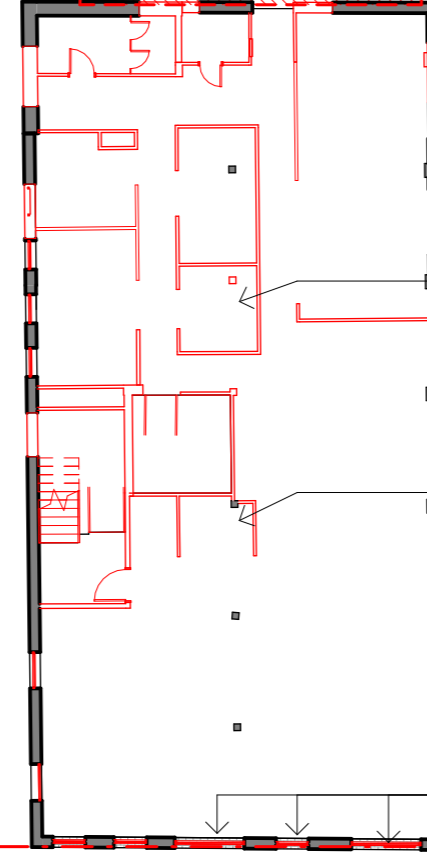


EXISTING FLOOR TO BE DEMOLISHED

EXISTING BRICKWORK TO BE DEMOLISHED FOR PROPOSED OPENINGS



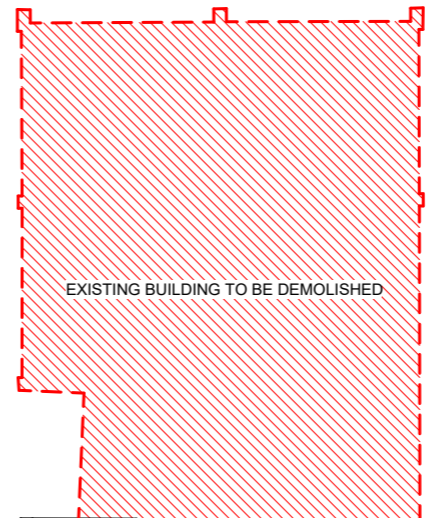
EXISTING BUILDING TO BE DEMOLISHED



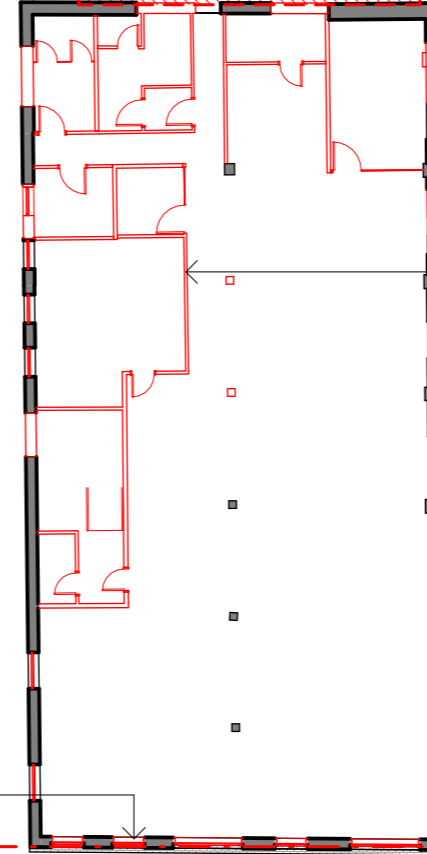
EXISTING 2X TIMBER COLUMNS TO BE DEMOLISHED

EXISTING TIMBER COLUMNS TO RETAIN AND MAKE GOOD

EXISTING WINDOWS TO BE REMOVED, EXISTING OPENING TO REMAIN AND BE MADE GOOD









EXISTING BUILDING TO BE DEMOLISHED



EXISTING ROOF TO BE DEMOLISHED

LEGEND:

-  EXISTING STRUCTURE TO BE DEMOLISHED
-  EXISTING STRUCTURE TO RETAIN AND MAKE GOOD
-  EXISTING ROOF TO BE DEMOLISHED
-  EXISTING FLOOR TO BE DEMOLISHED
-  EXISTING COLUMNS TO BE DEMOLISHED
-  EXISTING COLUMNS TO RETAIN AND MAKE GOOD

1 EXISTING GROUND - DEMO SCALE 1 : 250

2 EXISTING LEVEL 1 - DEMO SCALE 1 : 250

3 EXISTING LEVEL 2 - DEMO SCALE 1 : 250

4 EXISTING ROOF - DEMO SCALE 1 : 250



WMK Architecture
The Atrium, Ground
9 Castlereagh St
Sydney NSW 2000
wmkarchitecture.com
ABN 25 082 956 929

0 2.5 5 7.5m
1:250

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Issue	Description	Date
1	Development Application	19.06.2025

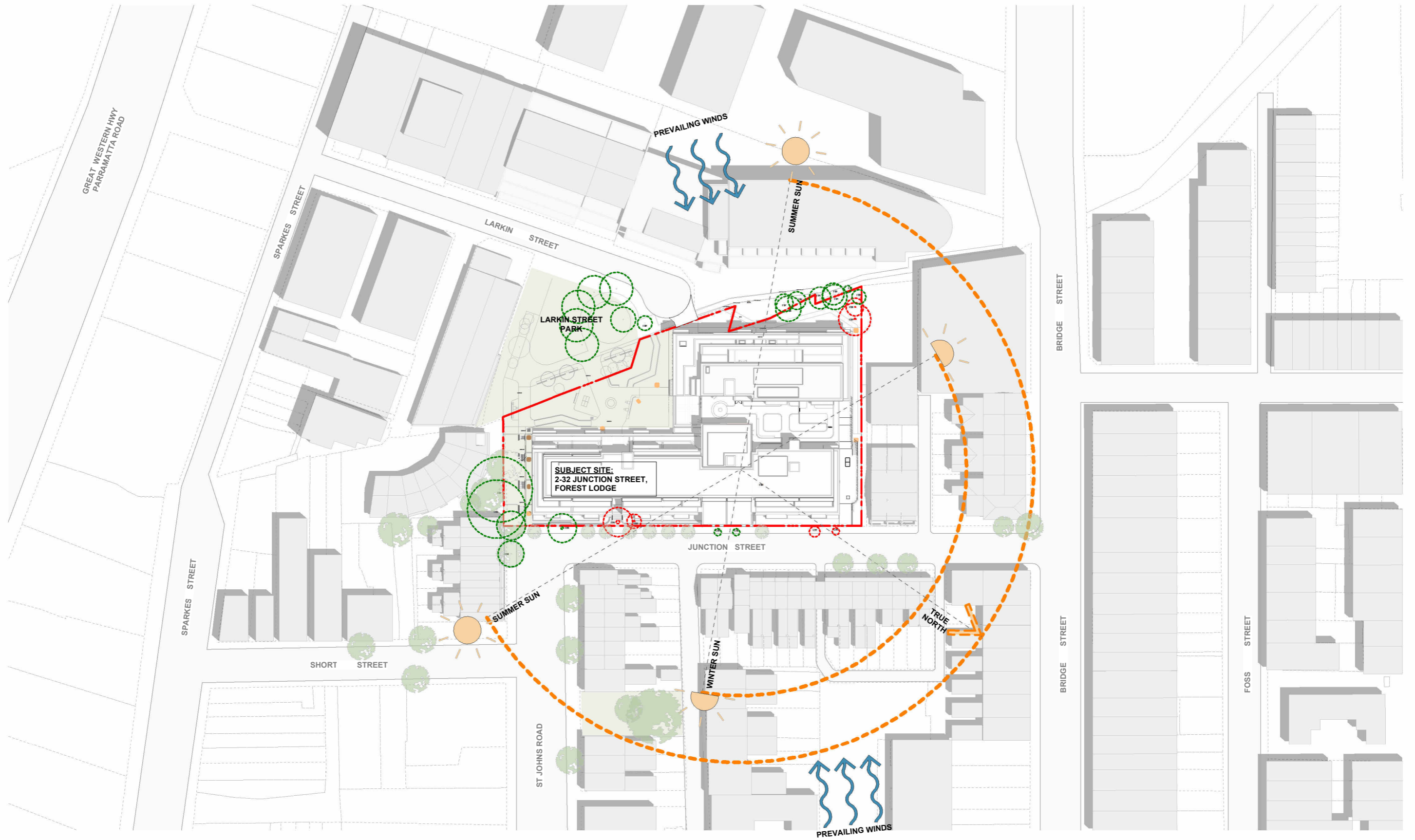
Client
CORIO PROJECTS

Project
Seniors Living Development
2-32 Junction Street, Forest Lodge NSW

Title
EXISTING - DEMOLITION PLANS

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Drawing No. DA007	Issue 1
Scale 1 : 250	Drawing Size A3
Project No. 23110	Drawn By RS
CAD Reference 19/06/2025 4:17:00 PM	



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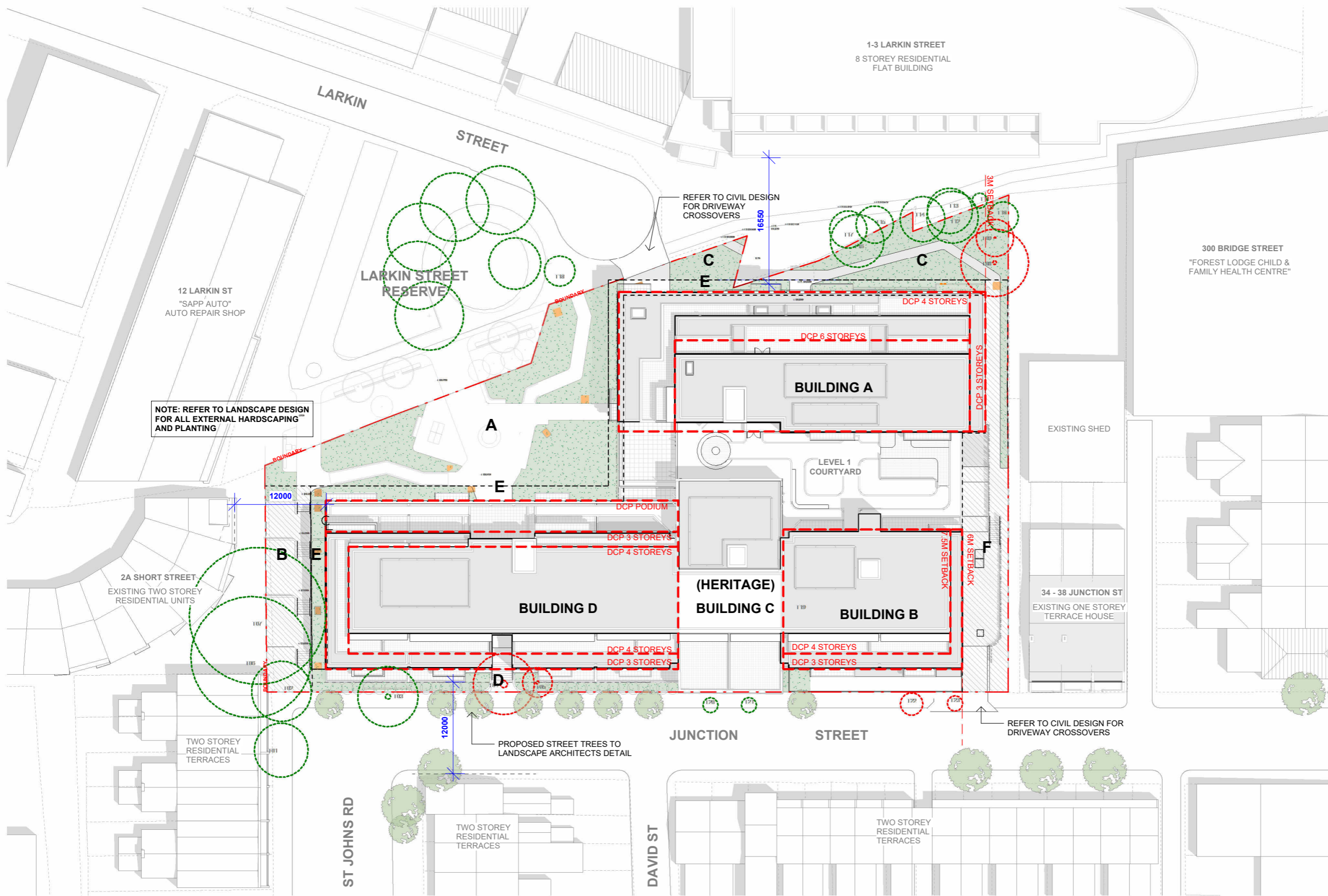
Issue	Description	Date
1	Development Application	19.06.2025

Client	CORIO PROJECTS
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Project	Seniors Living Development 2-32 Junction Street, Forest Lodge NSW
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Title	SITE PLAN
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Drawing No.	DA010	Issue	1
Scale	1 : 1000	Drawing Size	A3
Project No.	23110	Drawn By	JT
CAD Reference	19/06/2025 4:17:07 PM		



NOTE: REFER TO LANDSCAPE DESIGN FOR ALL EXTERNAL HARDSCAPING AND PLANTING

GRAPHICAL LEGEND:

- A** Dedication - Park (At Grade With Larkin Street Reserve)
- B** Dedication - Lane (Even Grade from St Johns Road to Larkin Street Reserve)
- C** Easement for Public Access - Larkin Street Extension
- D** Primary Setback 3m - Clear to Sky
- E** Above Ground Parking Screen Planting 2m - Clear to Sky
- F** Paved Driveway & Pedestrian Access - Cert to Sky, includes landscaped screening



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Issue	Description	Date
1	Development Application	19.06.2025

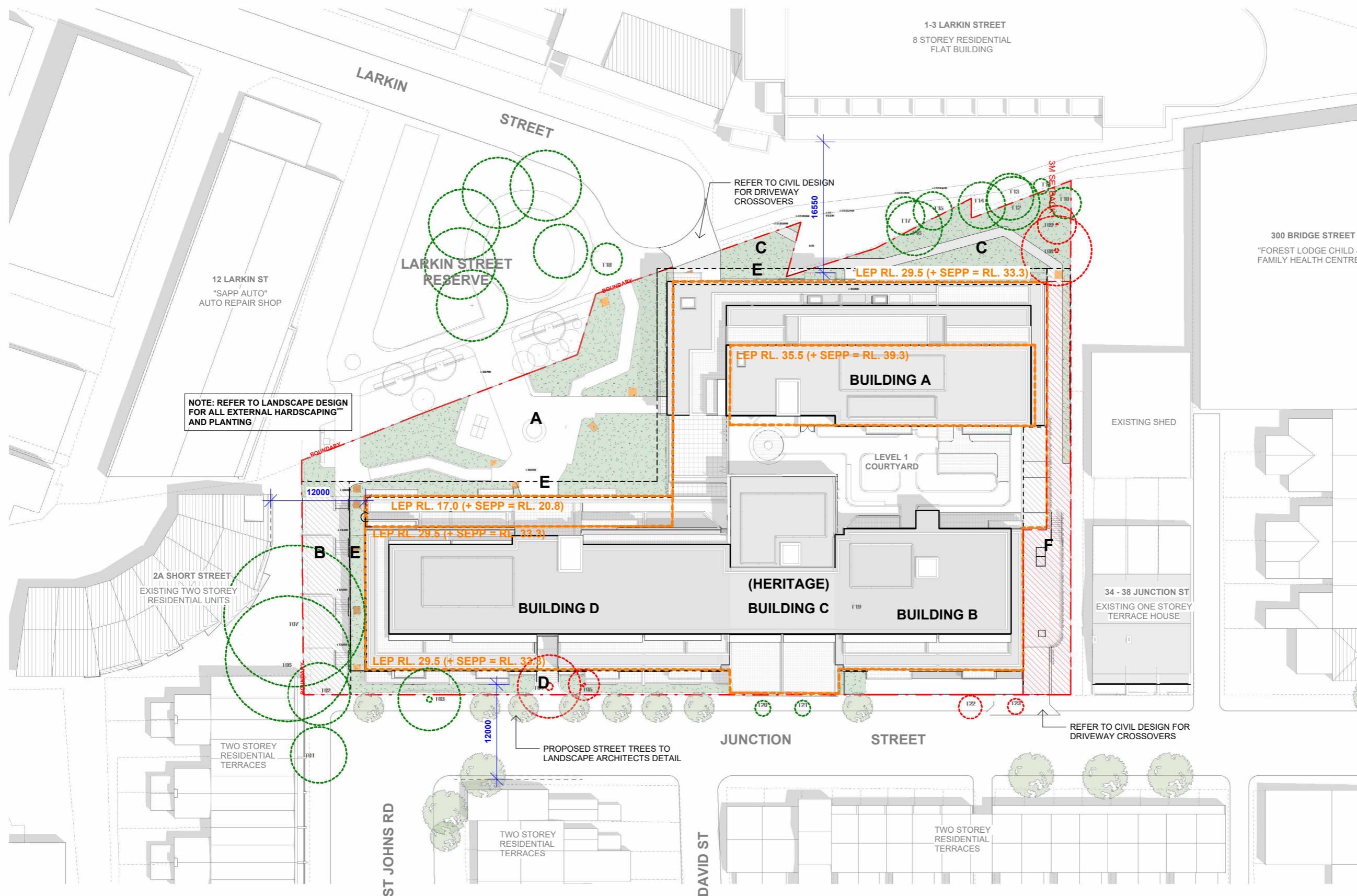
Client
CORIO PROJECTS

Project
Seniors Living Development
2-32 Junction Street, Forest Lodge NSW

Title
SITE PLAN - DCP SET BACKS

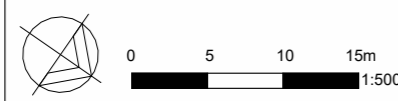
**DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION**

Drawing No. DA011	Issue 1
Scale 1 : 500	Drawing Size A3
Project No. 23110	Drawn By JT
CAD Reference	
19/06/2025 4:17:43 PM	



GRAPHICAL LEGEND:

- A** Dedication - Park (At Grade With Larkin Street Reserve)
- B** Dedication - Lane (Even Grade from St Johns Road to Larkin Street Reserve)
- C** Easement for Public Access - Larkin Street Extension
- D** Primary Setback 3m - Clear to Sky
- E** Above Ground Parking Screen Planting 2m - Clear to Sky
- F** Paved Driveway & Pedestrian Access - Cert to Sky, includes landscaped screening



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Issue	Description	Date
1	Development Application	19.06.2025

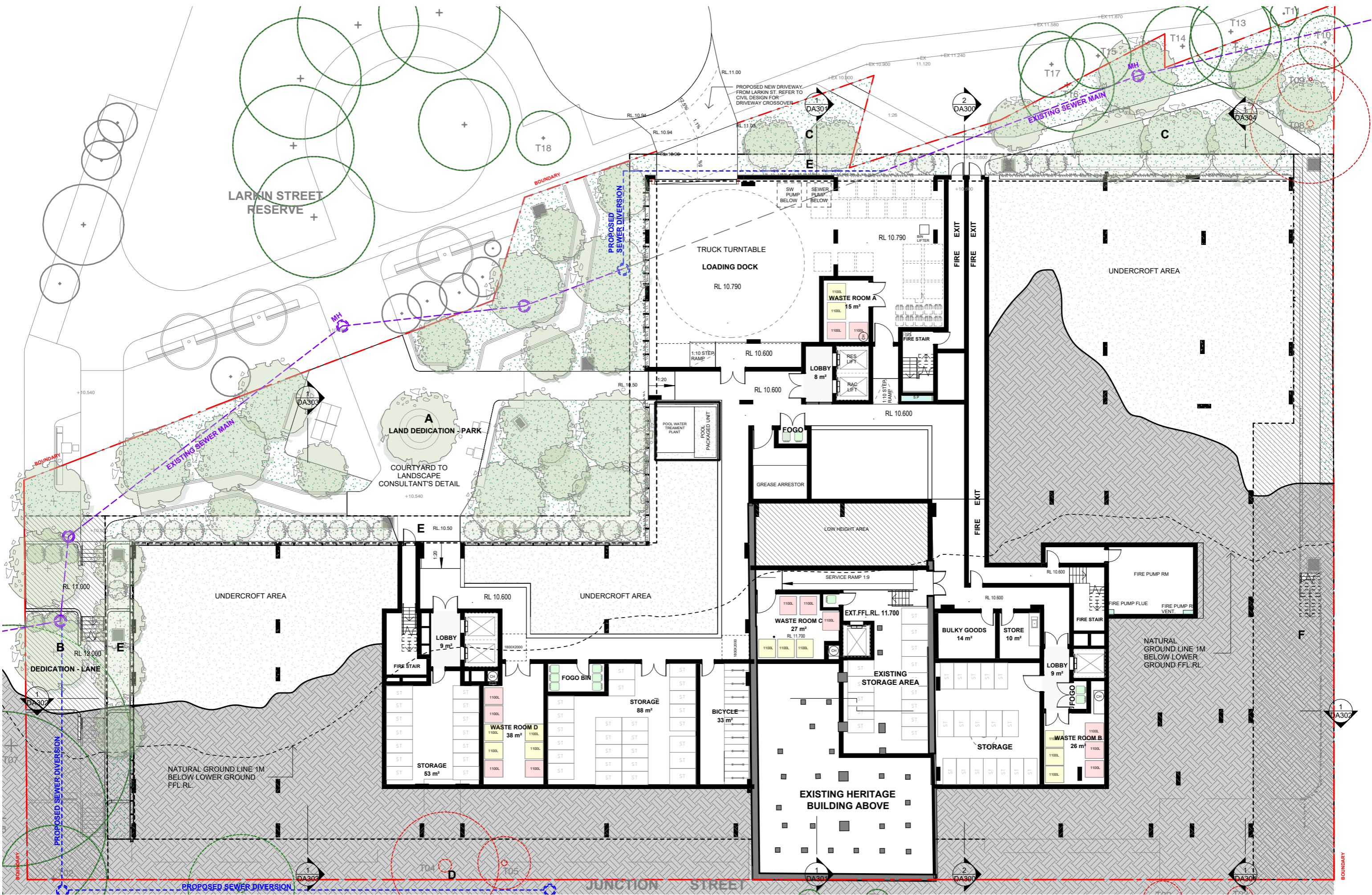
Client
CORIO PROJECTS

Project
 Seniors Living Development
 2-32 Junction Street, Forest Lodge NSW

Title
 SITE PLAN - LEP HEIGHT

Drawing No. DA012	Issue 1
Scale 1 : 500	Drawing Size A3
Project No. 23110	Drawn By JT
CAD Reference	
19/06/2025 4:18:12 PM	

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WMK Architecture
 The Atrium, Ground
 9 Castlereagh St
 Sydney NSW 2000
 Telephone 02 9299 0401
 wmkarchitecture.com
 ABN 25 082 956 929

0 2.5 5 7.5m
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Issue	Description	Date
1	Development Application	19.06.2025

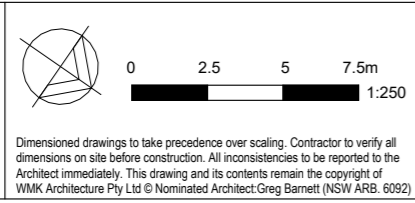
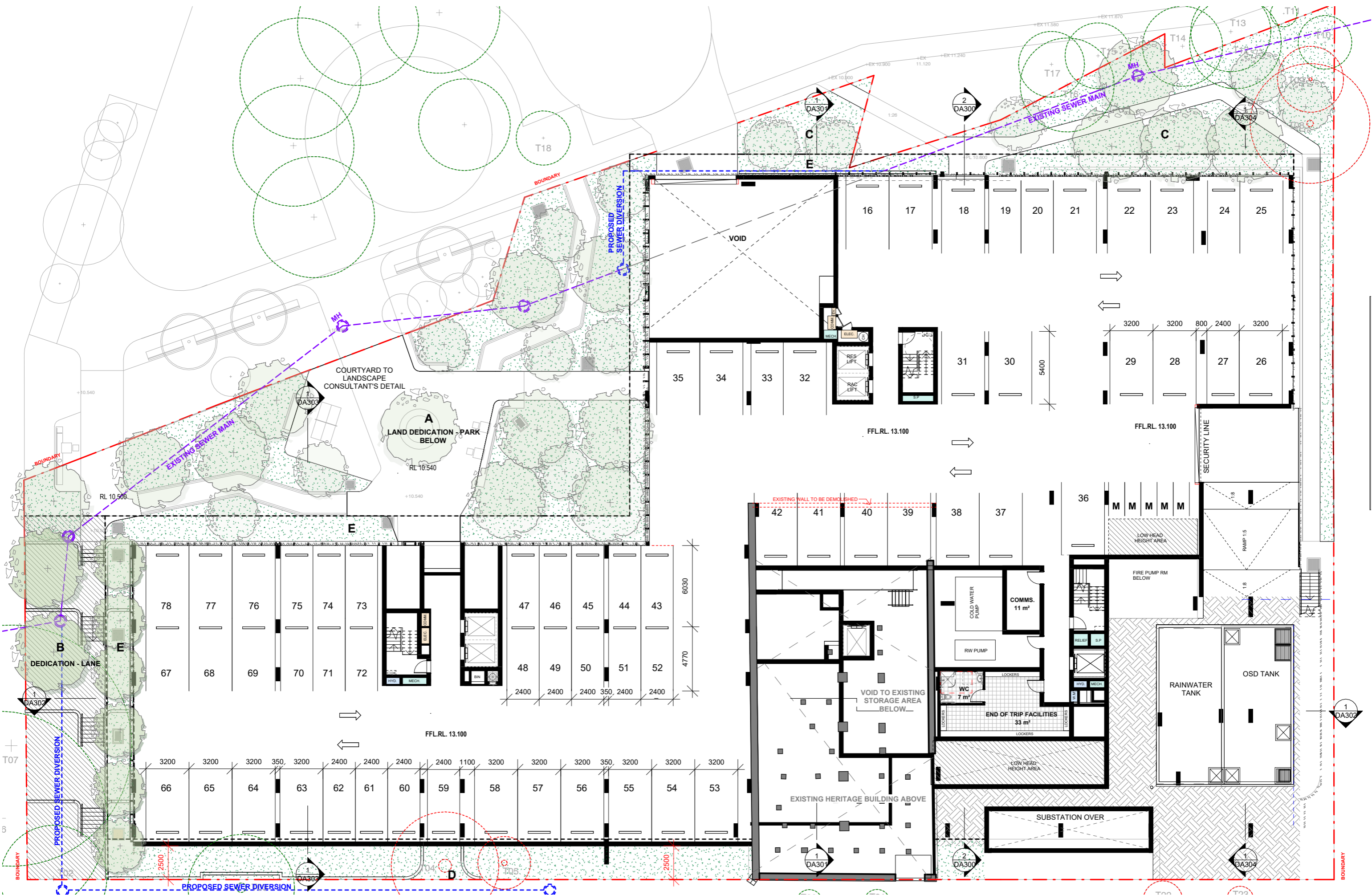
Client
CORIO PROJECTS

Project
 Seniors Living Development
 2-32 Junction Street, Forest Lodge NSW

Title
LOADING BAY LOWER FLOOR PLAN

Drawing No. DA100	Issue 1
Scale 1 : 250	Drawing Size A3
Project No. 23110	Drawn By JT
CAD Reference	
19/06/2025 4:18:15 PM	

**DEVELOPMENT APPLICATION ONLY
 NOT FOR CONSTRUCTION**



Issue	Description	Date
1	Development Application	19.06.2025

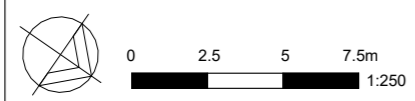
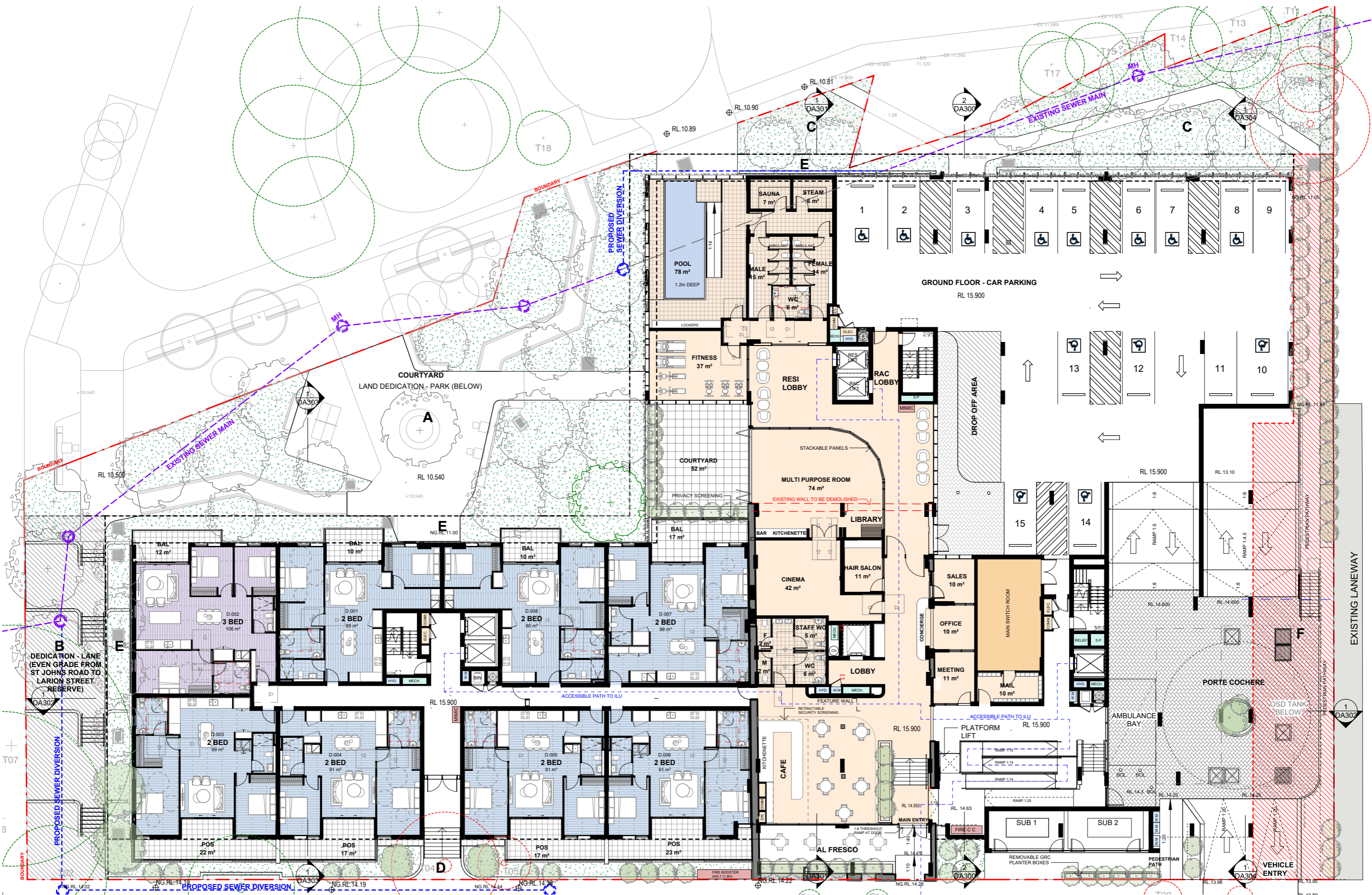
Client
CORIO PROJECTS

Project
 Seniors Living Development
 2-32 Junction Street, Forest Lodge NSW

Title
LOWER GROUND FLOOR

**DEVELOPMENT APPLICATION ONLY
 NOT FOR CONSTRUCTION**

Drawing No. DA101	Issue 1
Scale 1 : 250	Drawing Size A3
Project No. 23110	Drawn By JT
CAD Reference	
19/06/2025 4:18:17 PM	



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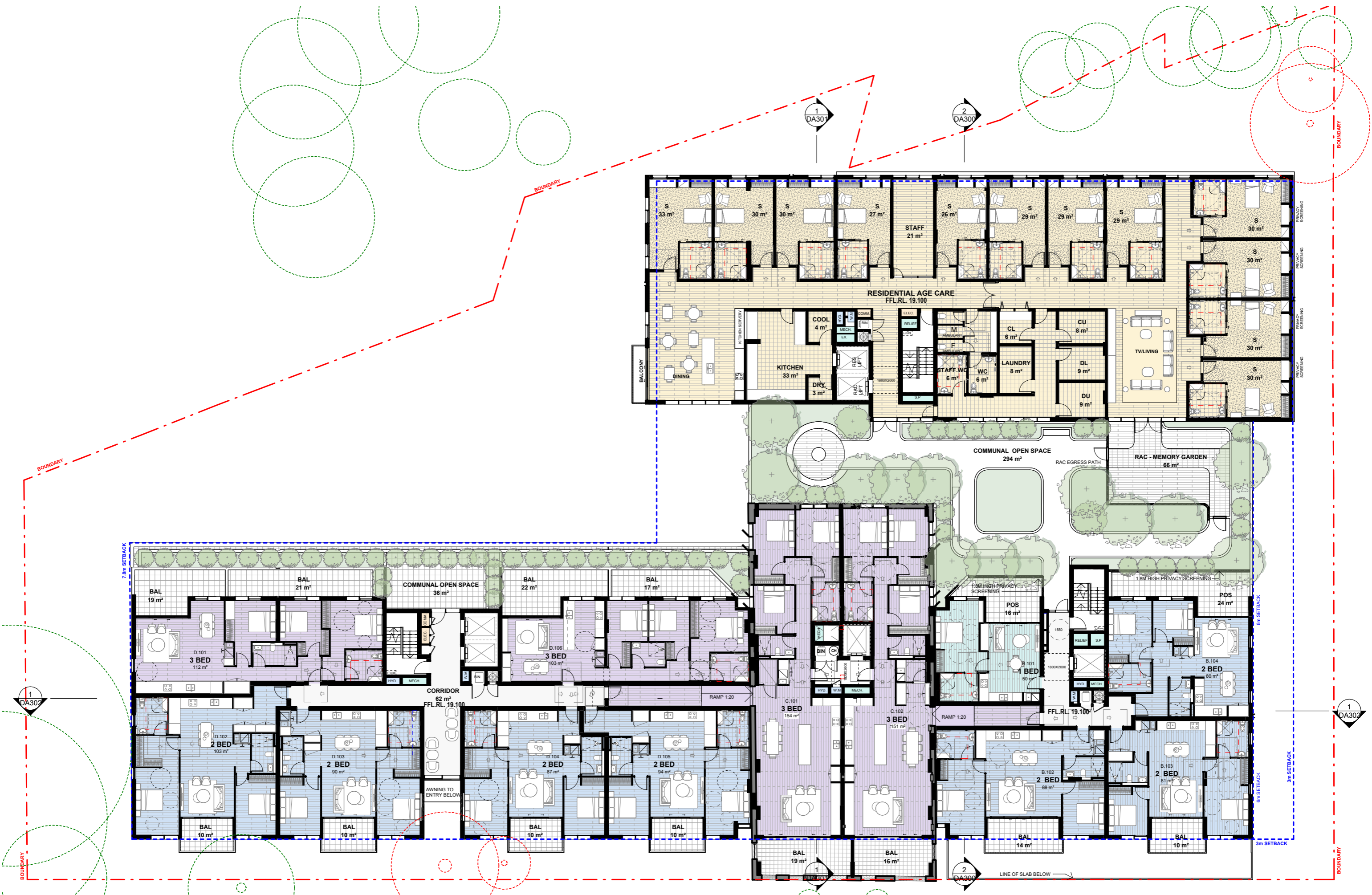
Issue	Description	Date	Client
1	Development Application	19.06.2025	CORIO PROJECTS

Project	Title
Seniors Living Development 2-32 Junction Street, Forest Lodge NSW	GROUND FLOOR

Drawing No.	Scale	Project No.
DA102	1 : 250	23110

Issue	Drawing Size	Drawn By
1	A3	JT

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 19/06/2025 4:18:22 PM



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Issue	Description	Date
1	Development Application	19.06.2025

Client
CORIO PROJECTS

Project
 Seniors Living Development
 2-32 Junction Street, Forest Lodge NSW

Title
LEVEL 01

Drawing No. DA103	Issue 1
Scale 1 : 250	Drawing Size A3
Project No. 23110	Drawn By JT
CAD Reference	
19/06/2025 4:18:28 PM	

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Issue	Description	Date
1	Development Application	19.06.2025

Client
CORIO PROJECTS

Project
 Seniors Living Development
 2-32 Junction Street, Forest Lodge NSW

Title
LEVEL 02

Drawing No. DA104	Issue 1
Scale 1 : 250	Drawing Size A3
Project No. 23110	Drawn By JT
DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION	
CAD Reference 19/06/2025 4:18:32 PM	



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Issue	Description	Date
1	Development Application	19.06.2025

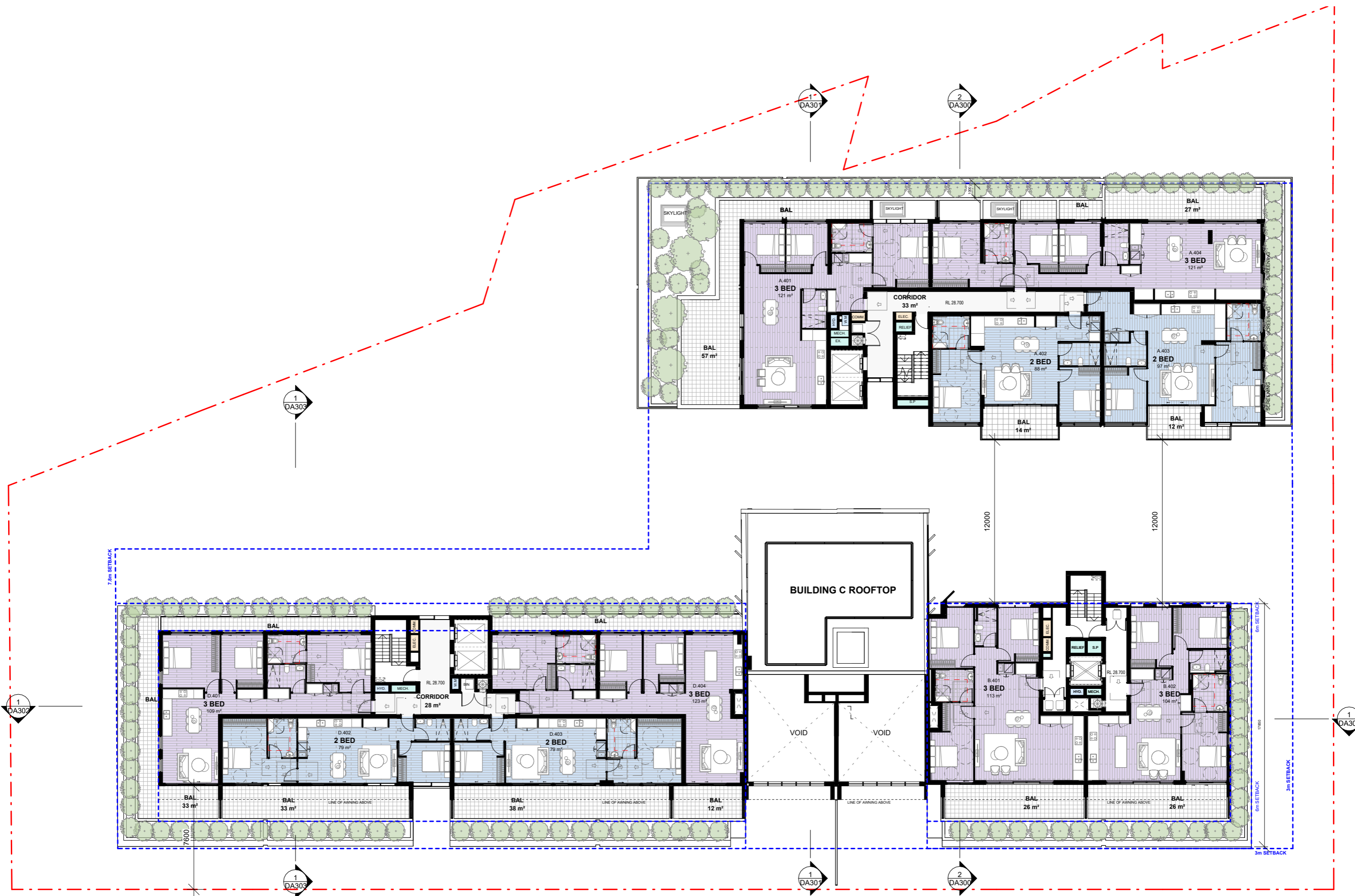
Client
CORIO PROJECTS

Project
 Seniors Living Development
 2-32 Junction Street, Forest Lodge NSW

Title
LEVEL 03

Drawing No. DA105	Issue 1
Scale 1 : 250	Drawing Size A3
Project No. 23110	Drawn By JT
CAD Reference	
19/06/2025 4:18:36 PM	

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Issue	Description	Date
1	Development Application	19.06.2025

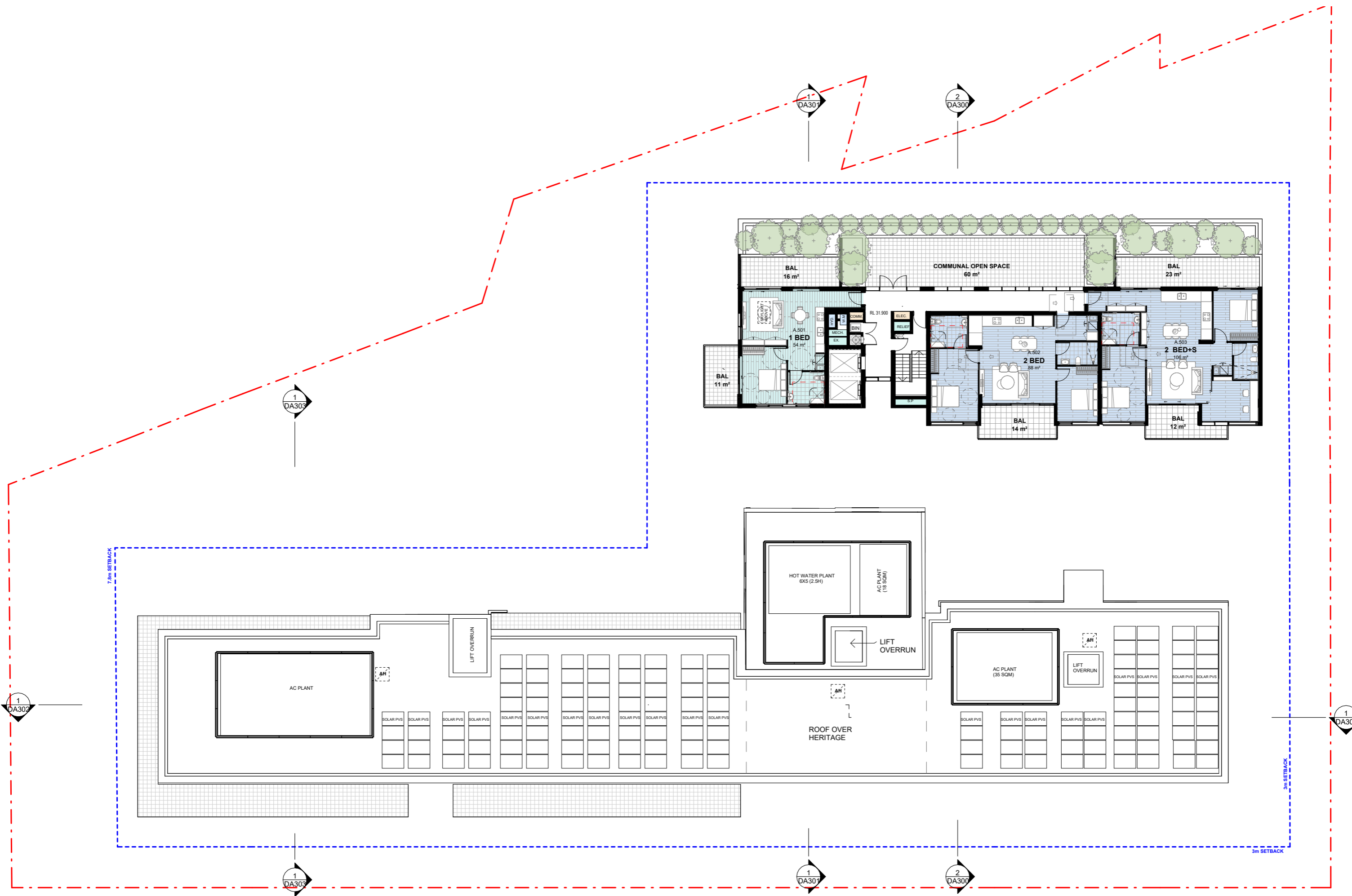
Client
CORIO PROJECTS

Project
 Seniors Living Development
 2-32 Junction Street, Forest Lodge NSW

Title
LEVEL 04

Drawing No. DA106	Issue 1
Scale 1 : 250	Drawing Size A3
Project No. 23110	Drawn By JT
CAD Reference	
19/06/2025 4:18:40 PM	

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Issue	Description	Date
1	Development Application	19.06.2025

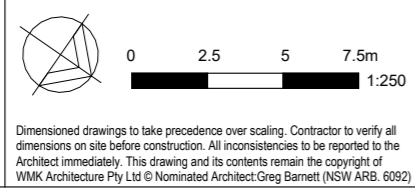
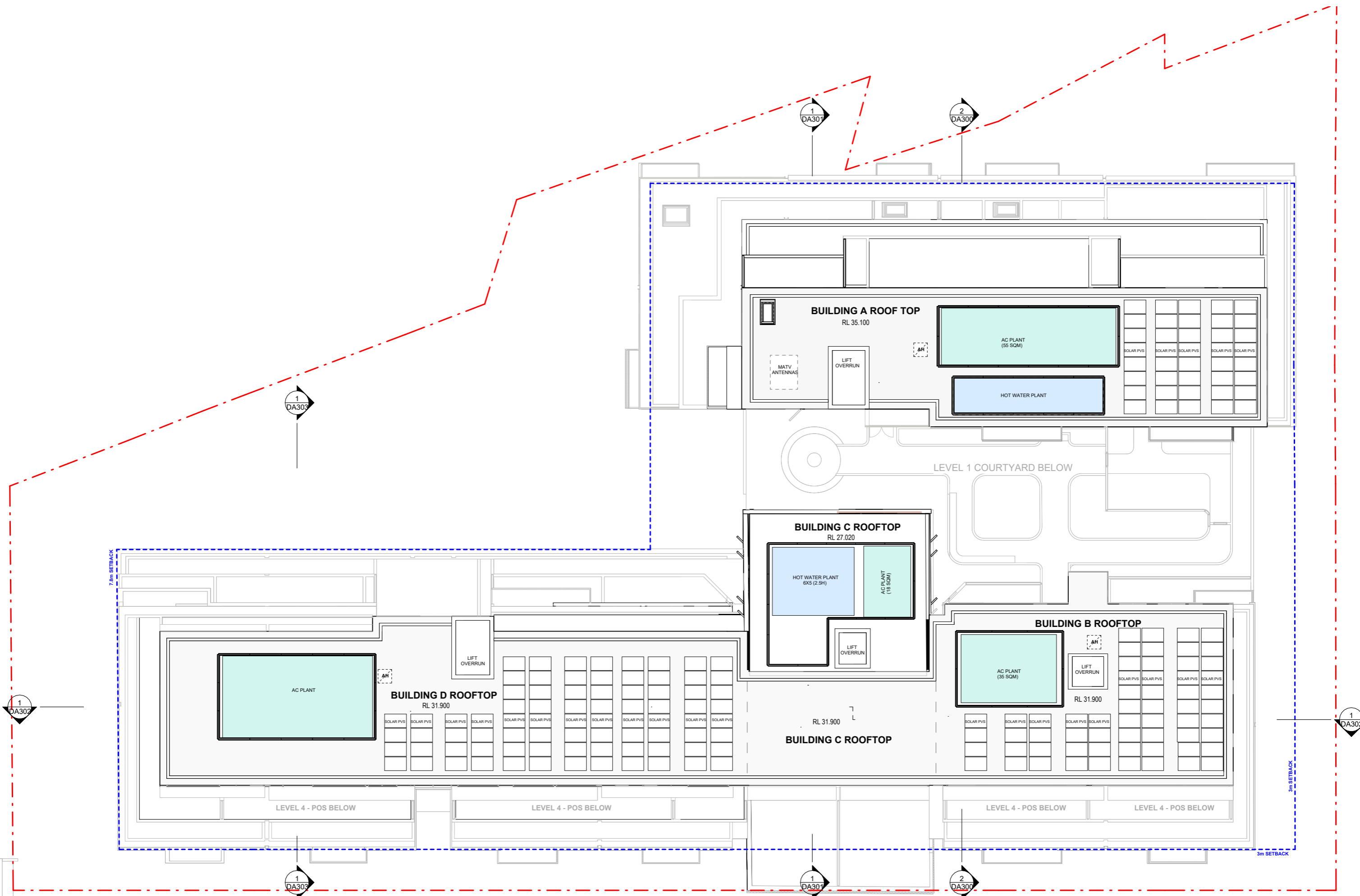
Client
CORIO PROJECTS

Project
Seniors Living Development
2-32 Junction Street, Forest Lodge NSW

Title
LEVEL 05

Drawing No. DA107	Issue 1
Scale 1 : 250	Drawing Size A3
Project No. 23110	Drawn By JT
CAD Reference	
19/06/2025 4:18:42 PM	

**DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION**



Issue	Description	Date
1	Development Application	19.06.2025

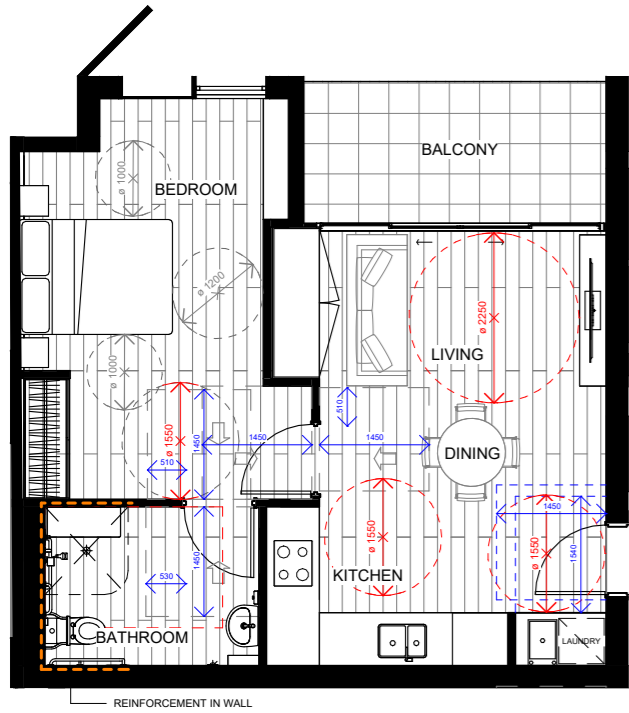
Client
CORIO PROJECTS

Project
 Seniors Living Development
 2-32 Junction Street, Forest Lodge NSW

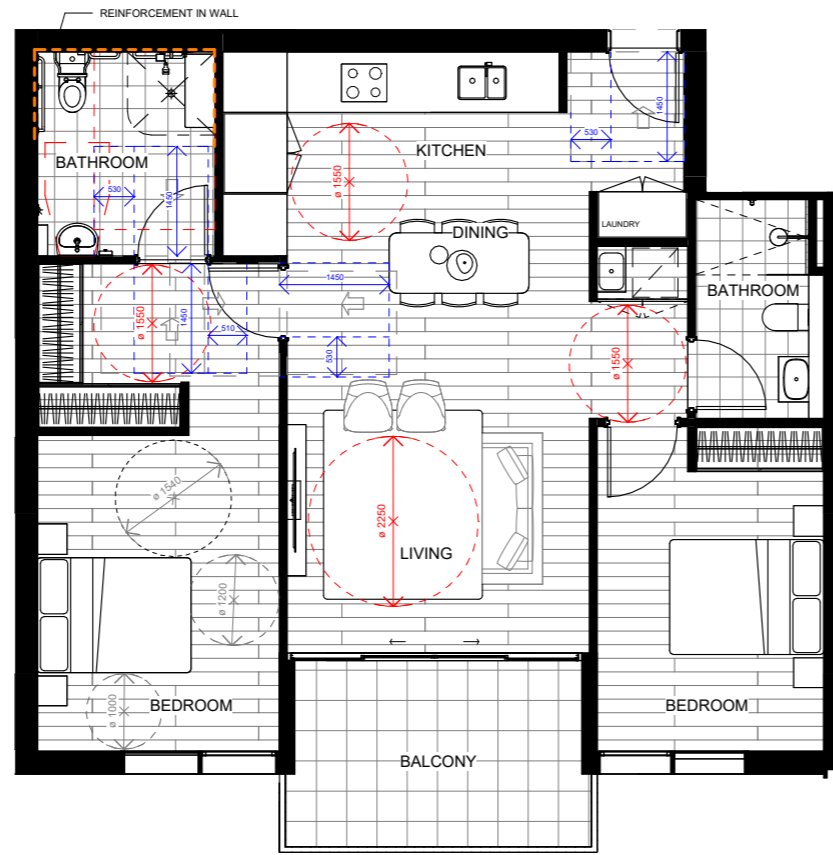
Title
ROOF PLAN

**DEVELOPMENT APPLICATION ONLY
 NOT FOR CONSTRUCTION**

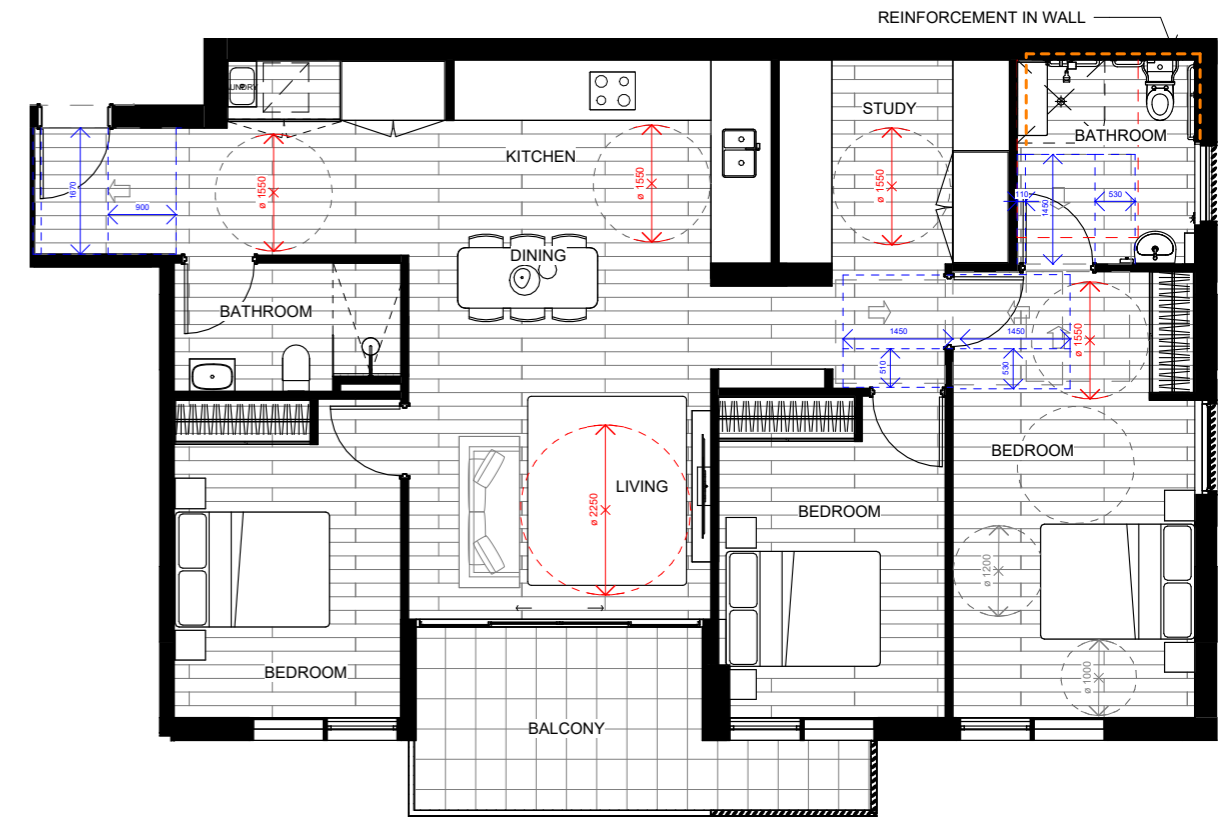
Drawing No. DA108	Issue 1
Scale 1 : 250	Drawing Size A3
Project No. 23110	Drawn By JT
CAD Reference 19/06/2025 4:18:49 PM	



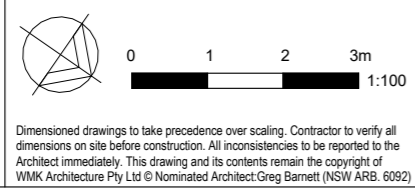
1 TYPICAL APARTMENT TYPE 1 BED
SCALE 1 : 100



2 TYPICAL APARTMENT TYPE 2 BED
SCALE 1 : 100



3 TYPICAL APARTMENT TYPE 3 BED
SCALE 1 : 100



Issue	Description	Date	Client
1	Development Application	19.06.2025	CORIO PROJECTS

Project
 Seniors Living Development
 2-32 Junction Street, Forest Lodge NSW

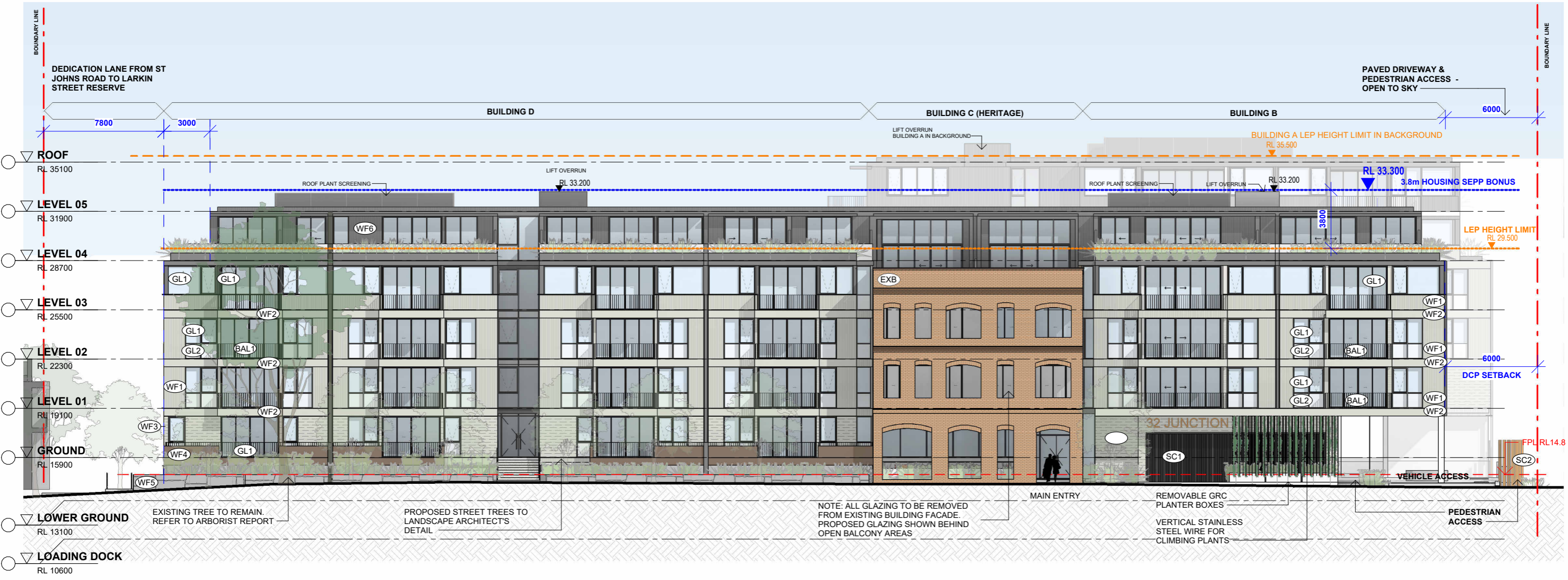
Title
 TYPICAL APARTMENT PLANS

Drawing No.
 DA150
 Scale
 1 : 100
 Project No.
 23110

Issue
 1
 Drawing Size
 A3
 Drawn By
 RS

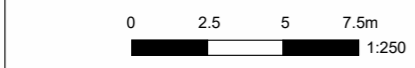
DEVELOPMENT APPLICATION ONLY
 NOT FOR CONSTRUCTION

CAD Reference
 19/06/2025 4:18:50 PM



EAST ELEVATION (ALONG JUNCTION ST)

SCALE 1 : 250



Dimensioned drawings to take precedence over scaling. Contractor to verify all dimensions on site before construction. All inconsistencies to be reported to the Architect immediately. This drawing and its contents remain the copyright of WMK Architecture Pty Ltd © Nominated Architect Greg Barnett (NSW ARB. 6092)

Issue	Description	Date
1	Development Application	19.06.2025

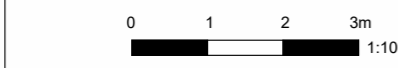
Client
 CORIO PROJECTS

Project
 Seniors Living Development
 2-32 Junction Street, Forest Lodge NSW

Title
 ELEVATION - EAST (ALONG JUNCTION ST)

Drawing No. DA200	Issue 1
Scale 1 : 250	Drawing Size A3
Project No. 23110	Drawn By JT
CAD Reference 19/06/2025 4:19:08 PM	

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Issue	Description	Date
1	Development Application	19.06.2025

Client
CORIO PROJECTS

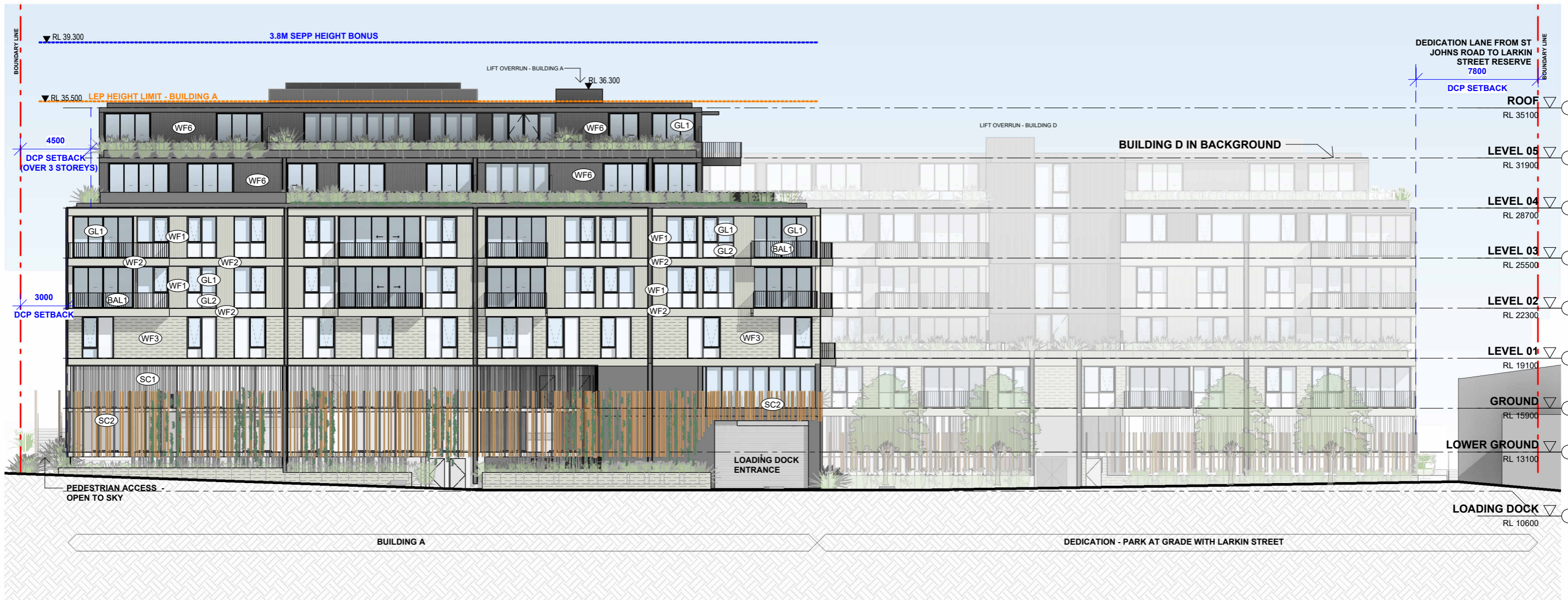
Project
 Seniors Living Development
 2-32 Junction Street, Forest Lodge NSW

Title
ELEVATION - EAST

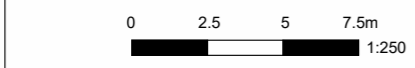
Drawing No. DA200.1	Issue 1
Scale 1 : 100	Drawing Size A3
Project No. 23110	Drawn By JT

**DEVELOPMENT APPLICATION ONLY
 NOT FOR CONSTRUCTION**

CAD Reference
 19/06/2025 4:19:14 PM



1 WEST ELEVATION
SCALE 1 : 250



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Issue	Description	Date
1	Development Application	19.06.2025

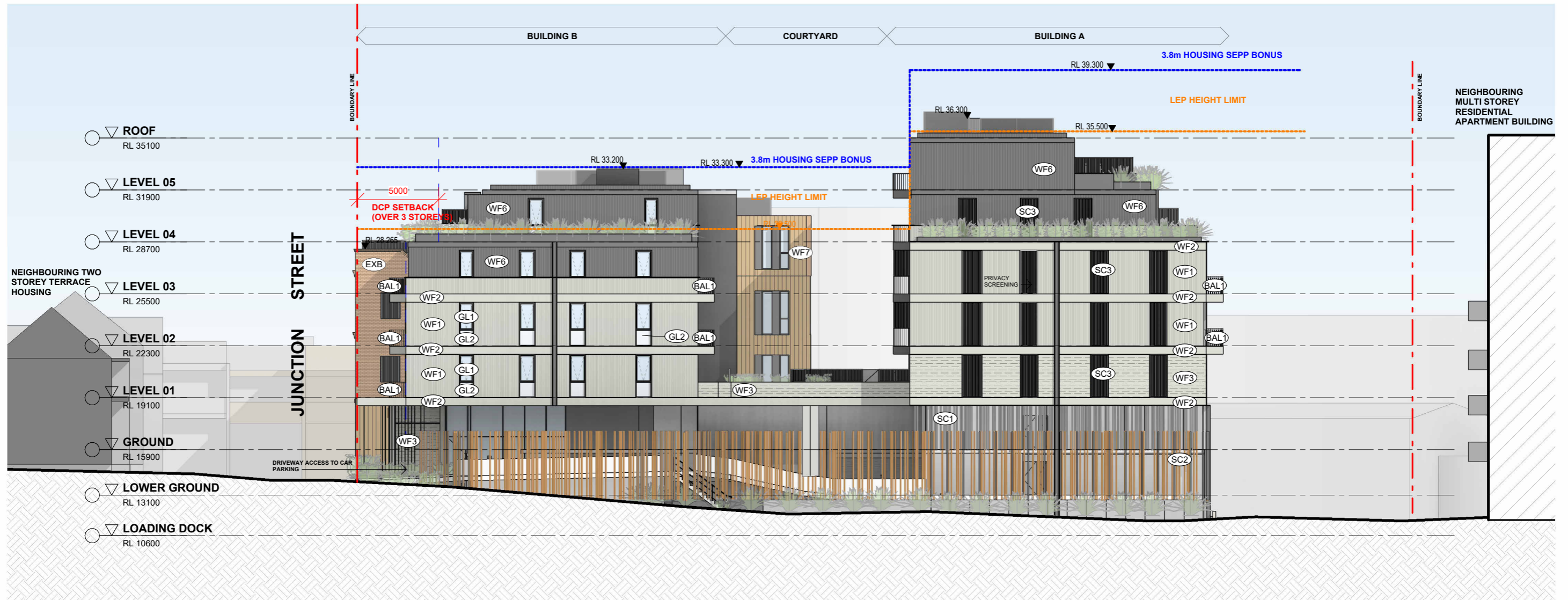
Client
CORIO PROJECTS

Project
Seniors Living Development
2-32 Junction Street, Forest Lodge NSW

Title
ELEVATION - WEST

Drawing No. DA201	Issue 1
Scale 1 : 250	Drawing Size A3
Project No. 23110	Drawn By JT
CAD Reference 19/06/2025 4:19:32 PM	

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1 NORTH ELEVATION
SCALE 1 : 250



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Issue	Description	Date
1	Development Application	19.06.2025

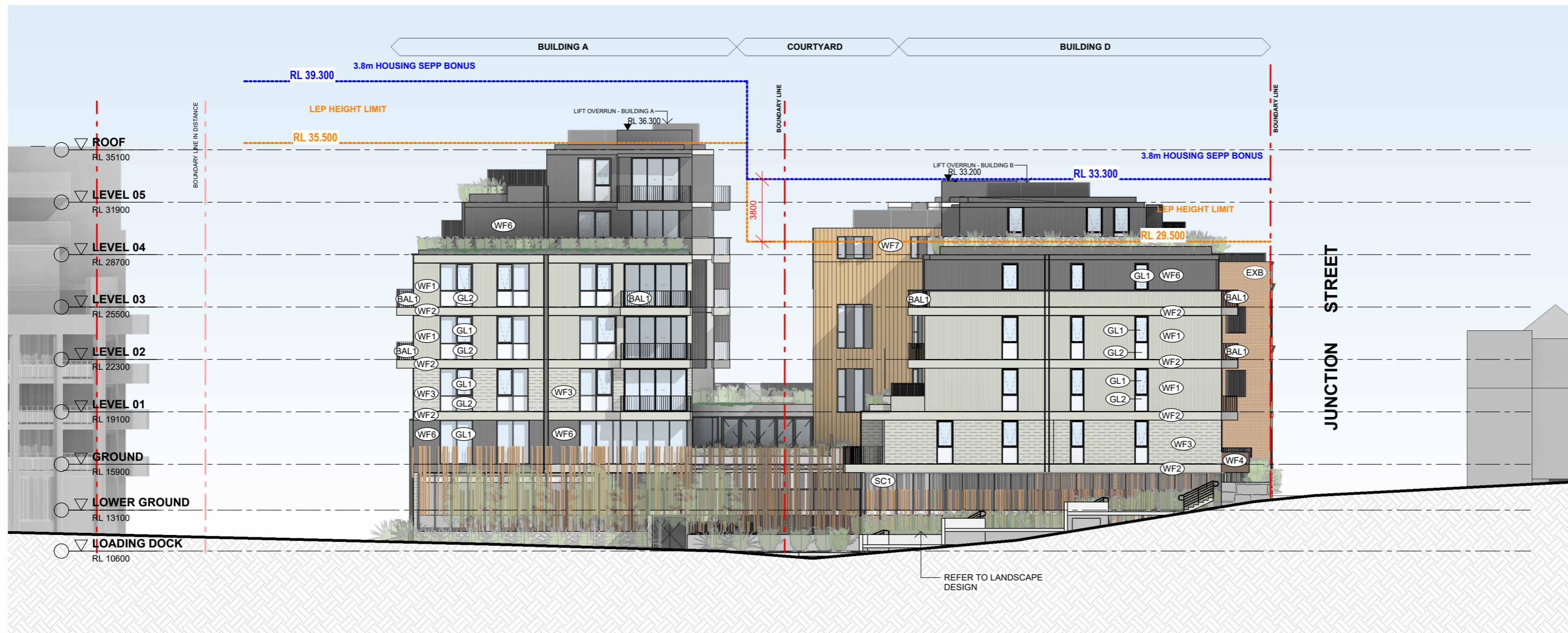
Client
CORIO PROJECTS

Project
Seniors Living Development
2-32 Junction Street, Forest Lodge NSW

Title
ELEVATION - NORTH

**DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION**

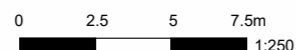
Drawing No. DA202	Issue 1
Scale 1 : 250	Drawing Size A3
Project No. 23110	Drawn By JT
CAD Reference	
19/06/2025 4:19:49 PM	



1

SOUTH ELEVATION

SCALE 1 : 250



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Issue	Description	Date
1	Development Application	19.06.2025

Client
CORIO PROJECTS

Project
Seniors Living Development
2-32 Junction Street, Forest Lodge NSW

Title
ELEVATION - SOUTH

Drawing No.
DA203
Scale
1 : 250
Project No.
23110

Issue
1
Drawing Size
A3
Drawn By
JT

**DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION**

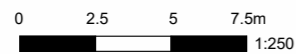
CAD Reference
19/06/2025 4:20:08 PM



**INTERNAL COURTYARD WEST
ELEVATION**

1

SCALE 1 : 250



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Issue	Description	Date
1	Development Application	19.06.2025

Client
CORIO PROJECTS

Project
Seniors Living Development
2-32 Junction Street, Forest Lodge NSW

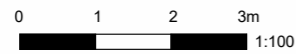
Title
ELEVATION - INTERNAL WEST

Drawing No.
DA204
Scale
1 : 250
Project No.
23110

Issue
1
Drawing Size
A3
Drawn By
JT

**DEVELOPMENT APPLICATION ONLY
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CAD Reference
19/06/2025 4:20:23 PM



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Issue	Description	Date
1	Development Application	19.06.2025

Client
CORIO PROJECTS

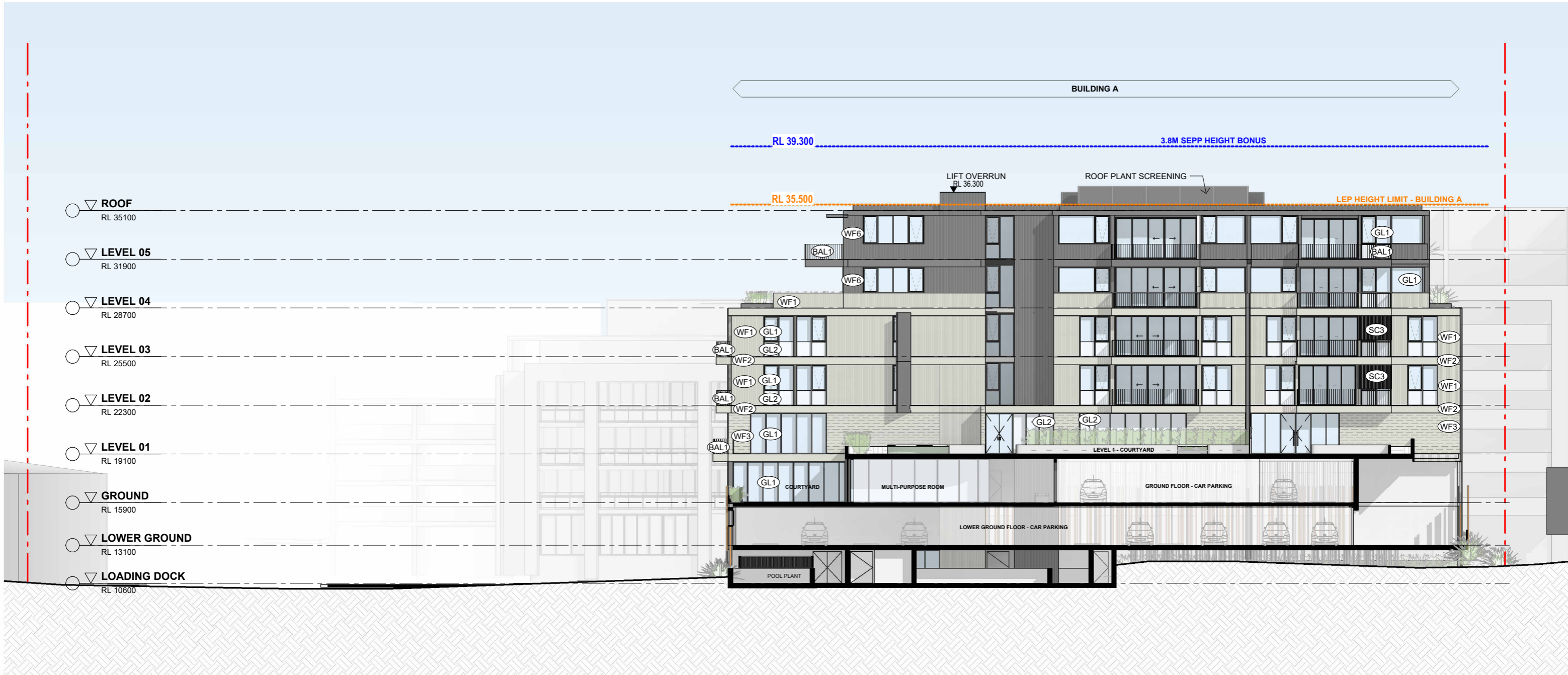
Project
 Seniors Living Development
 2-32 Junction Street, Forest Lodge NSW

Title
ELEVATION - INTERNAL WEST

**DEVELOPMENT APPLICATION ONLY
 NOT FOR CONSTRUCTION**

Drawing No.
 DA204.1
 Scale
 1 : 100
 Project No.
 23110
 CAD Reference
 19/06/2025 4:20:44 PM

Issue
 1
 Drawing Size
 A3
 Drawn By
 JT



**INTERNAL COURTYARD EAST
ELEVATION**

SCALE 1 : 250

1



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Issue	Description	Date
1	Development Application	19.06.2025

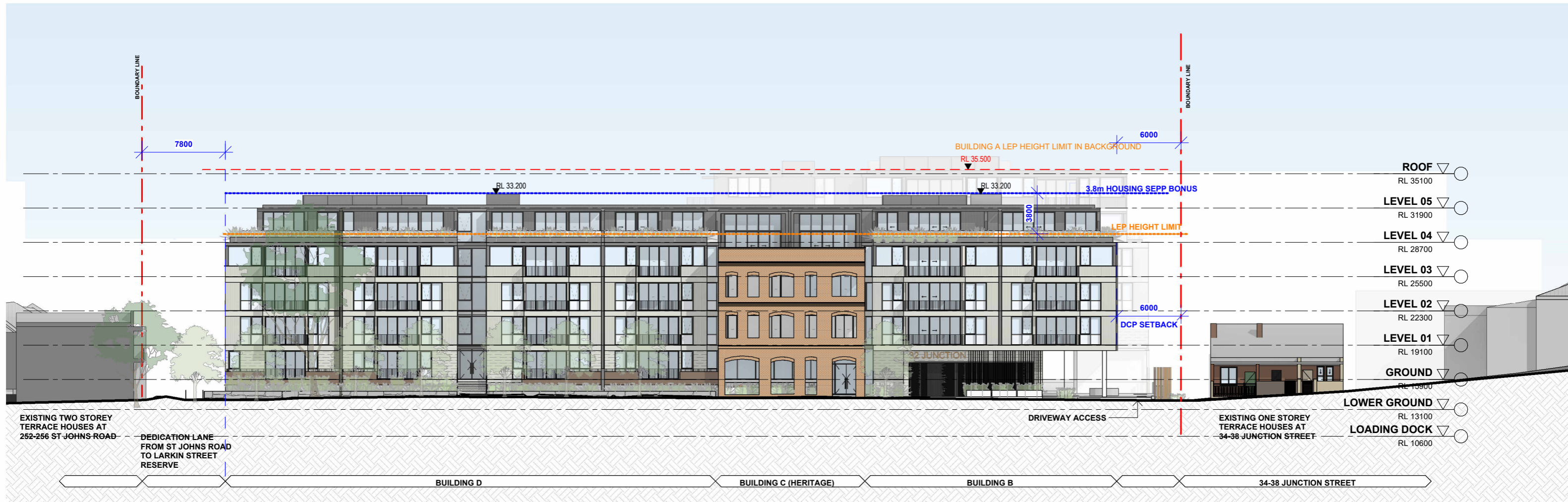
Client
CORIO PROJECTS

Project
Seniors Living Development
2-32 Junction Street, Forest Lodge NSW

Title
ELEVATION - INTERNAL EAST

**DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION**

Drawing No. DA205	Issue 1
Scale 1 : 250	Drawing Size A3
Project No. 23110	Drawn By JT
CAD Reference	
19/06/2025 4:21:14 PM	



STREETScape ELEVATION - JUNCTION STREET

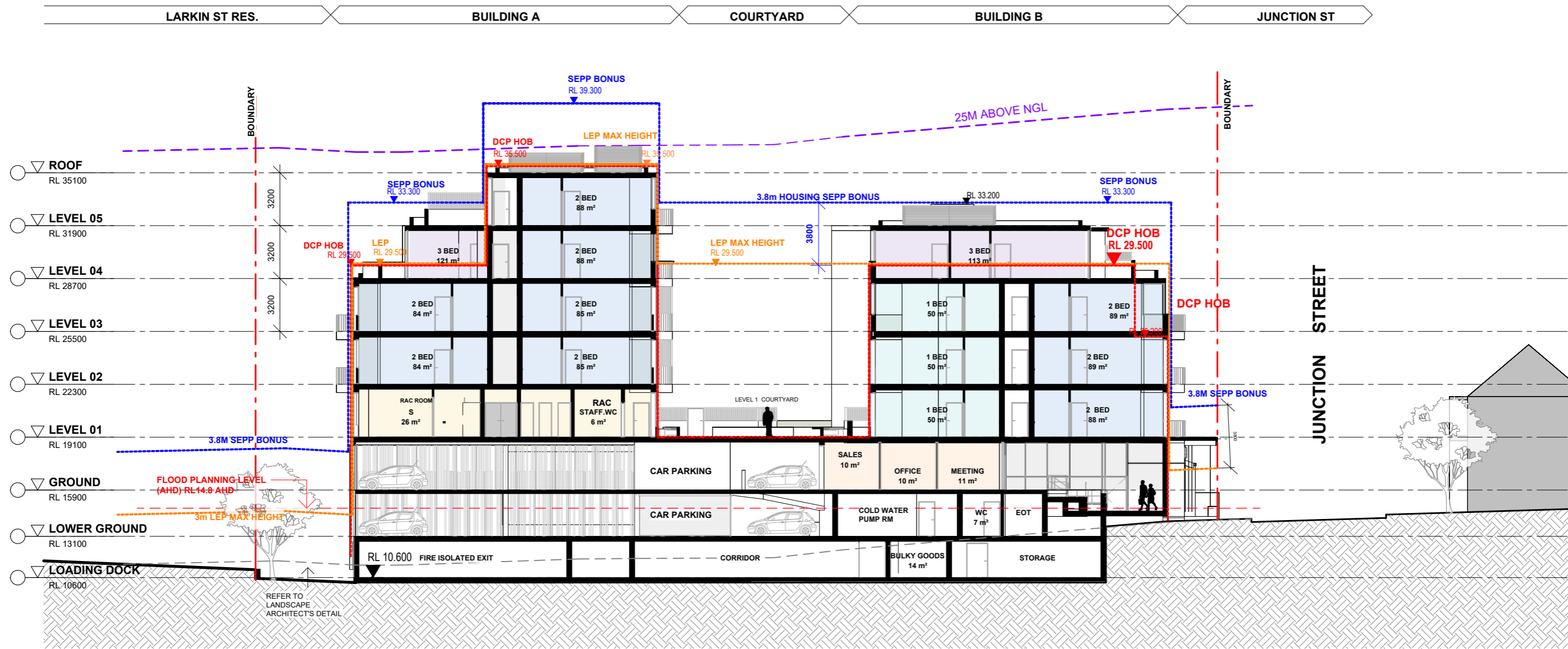
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SCALE 1 : 350



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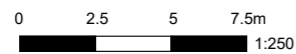
Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
1	Development Application	19.06.2025	CORIO PROJECTS	Seniors Living Development 2-32 Junction Street, Forest Lodge NSW	STREETScape ELEVATION - JUNCTION ST	DA206	1
						Scale 1 : 350	Drawing Size A3
						Project No. 23110	Drawn By JT
					DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION	CAD Reference	
						19/06/2025 4:22:13 PM	



2

SECTION 01

SCALE 1 : 250



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Issue	Description	Date
1	Development Application	19.06.2025

Client
CORIO PROJECTS

Project
Seniors Living Development
2-32 Junction Street, Forest Lodge NSW

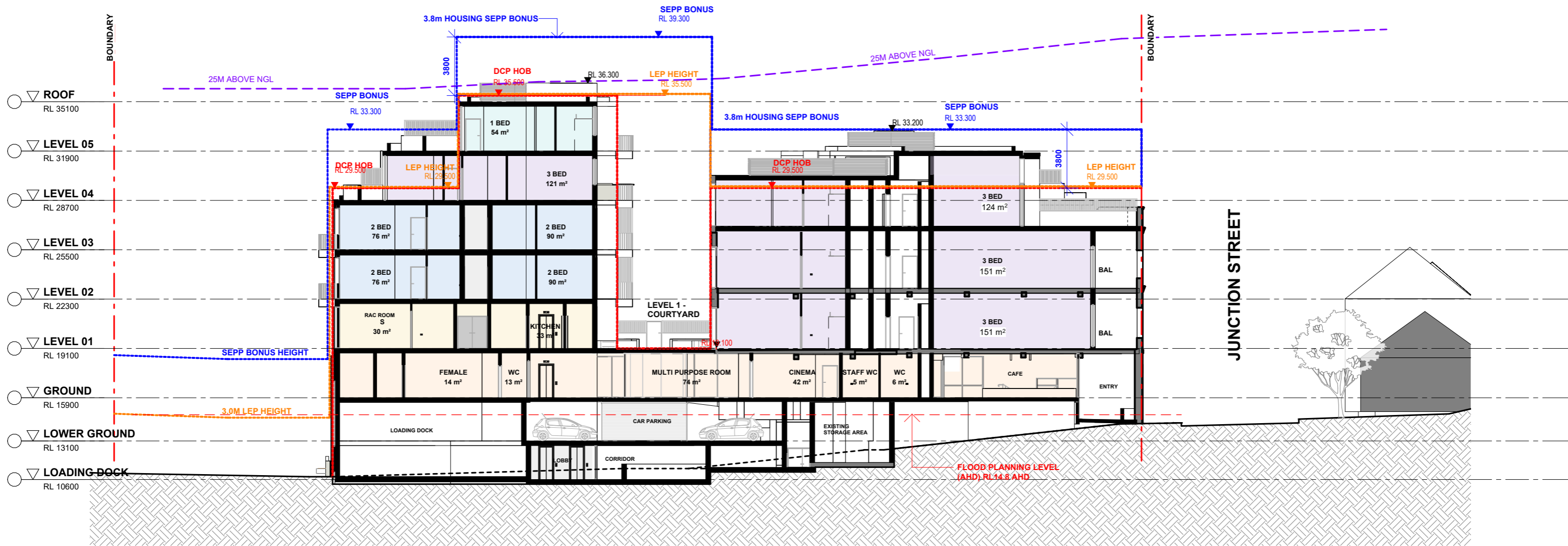
Title
SECTION 01

Drawing No.
DA300
Scale
1 : 250
Project No.
23110

Issue
1
Drawing Size
A3
Drawn By
JT

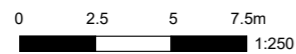
DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

CAD Reference
19/06/2025 4:22:22 PM



SECTION 02 - LOADING DOCK

SCALE 1 : 250



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Issue	Description	Date
1	Development Application	19.06.2025

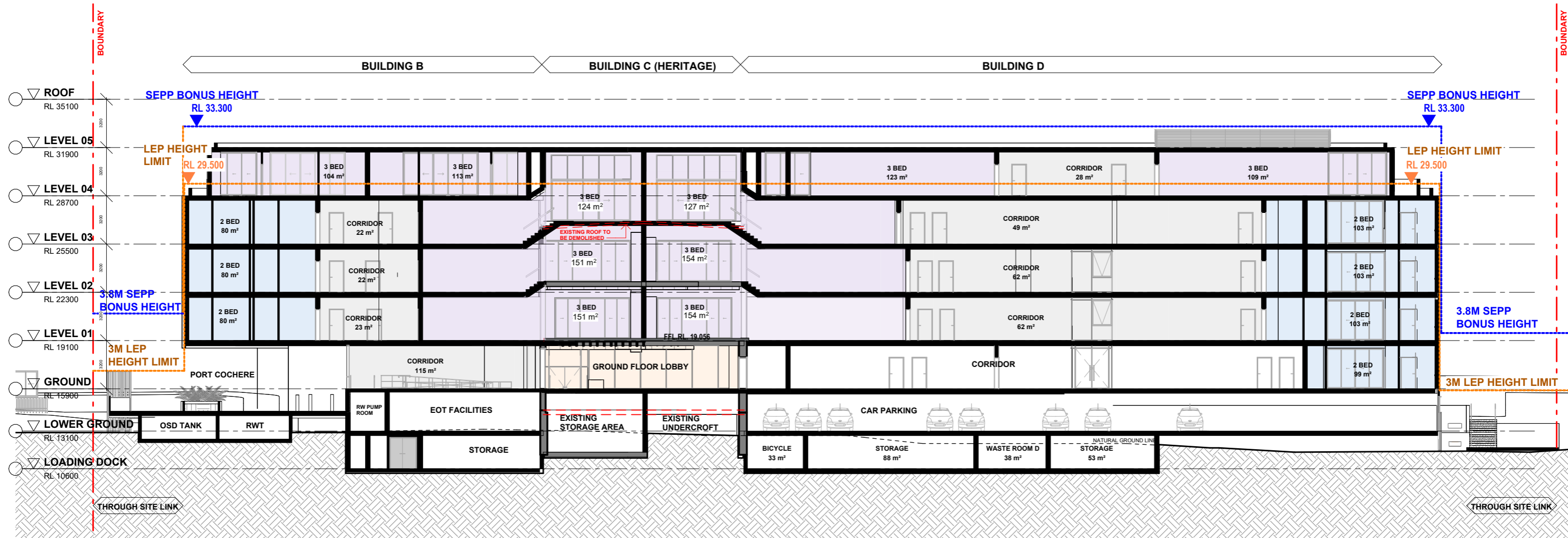
Client	CORIO PROJECTS
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Project	Seniors Living Development 2-32 Junction Street, Forest Lodge NSW
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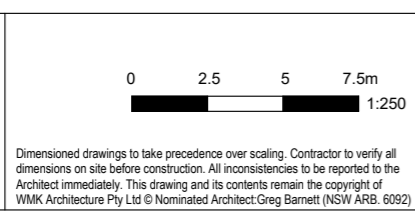
Title	SECTION 02 - LOADING DOCK
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Drawing No.	DA301	Issue	1
Scale	1 : 250	Drawing Size	A3
Project No.	23110	Drawn By	JT
CAD Reference			
	19/06/2025 4:22:27 PM		

DEVELOPMENT APPLICATION ONLY
 NOT FOR CONSTRUCTION



1 SECTION 03
SCALE 1 : 250



Issue	Description	Date
1	Development Application	19.06.2025

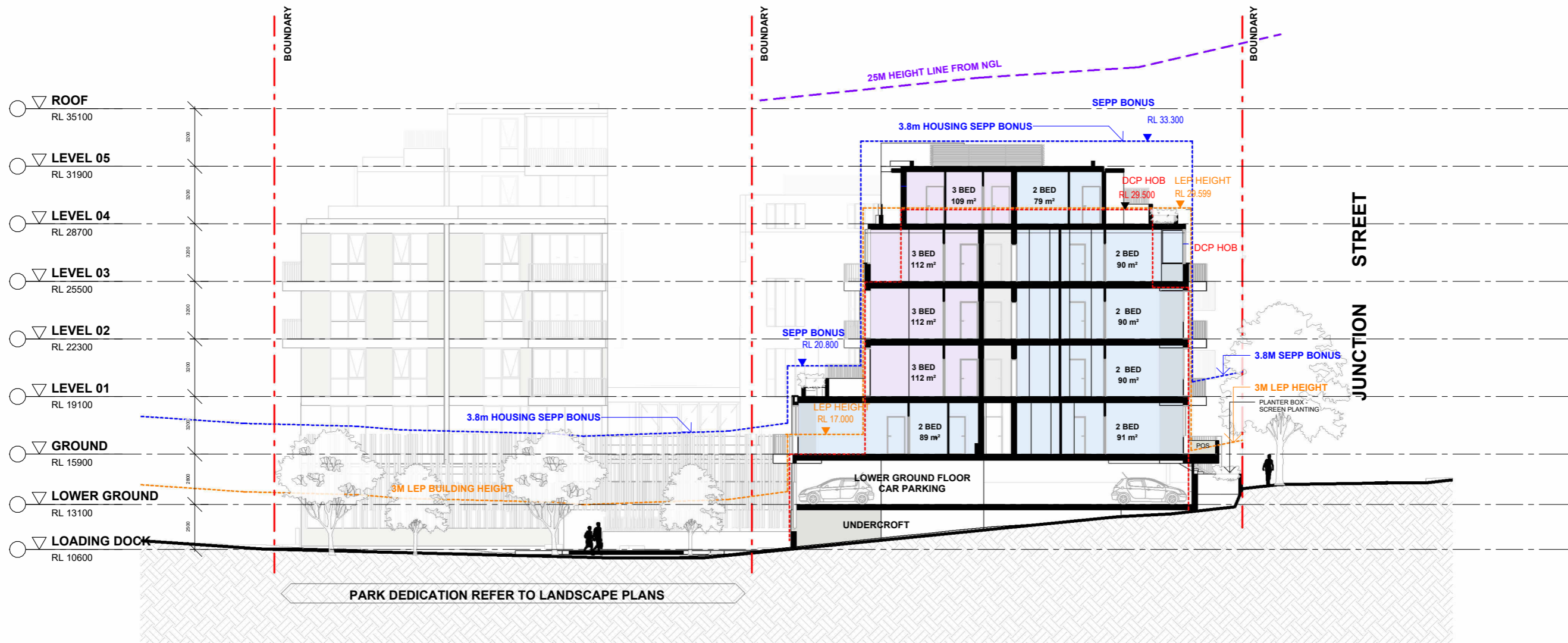
Client
CORIO PROJECTS

Project
Seniors Living Development
2-32 Junction Street, Forest Lodge NSW

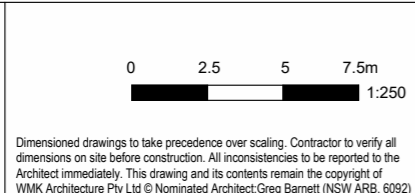
Title
SECTION 03 - HERITAGE BUILDING

Drawing No. DA302	Issue 1
Scale 1 : 250	Drawing Size A3
Project No. 23110	Drawn By JT
CAD Reference 19/06/2025 4:22:31 PM	

DEVELOPMENT APPLICATION ONLY
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1 SECTION 04
SCALE 1 : 250



Issue	Description	Date
1	Development Application	19.06.2025

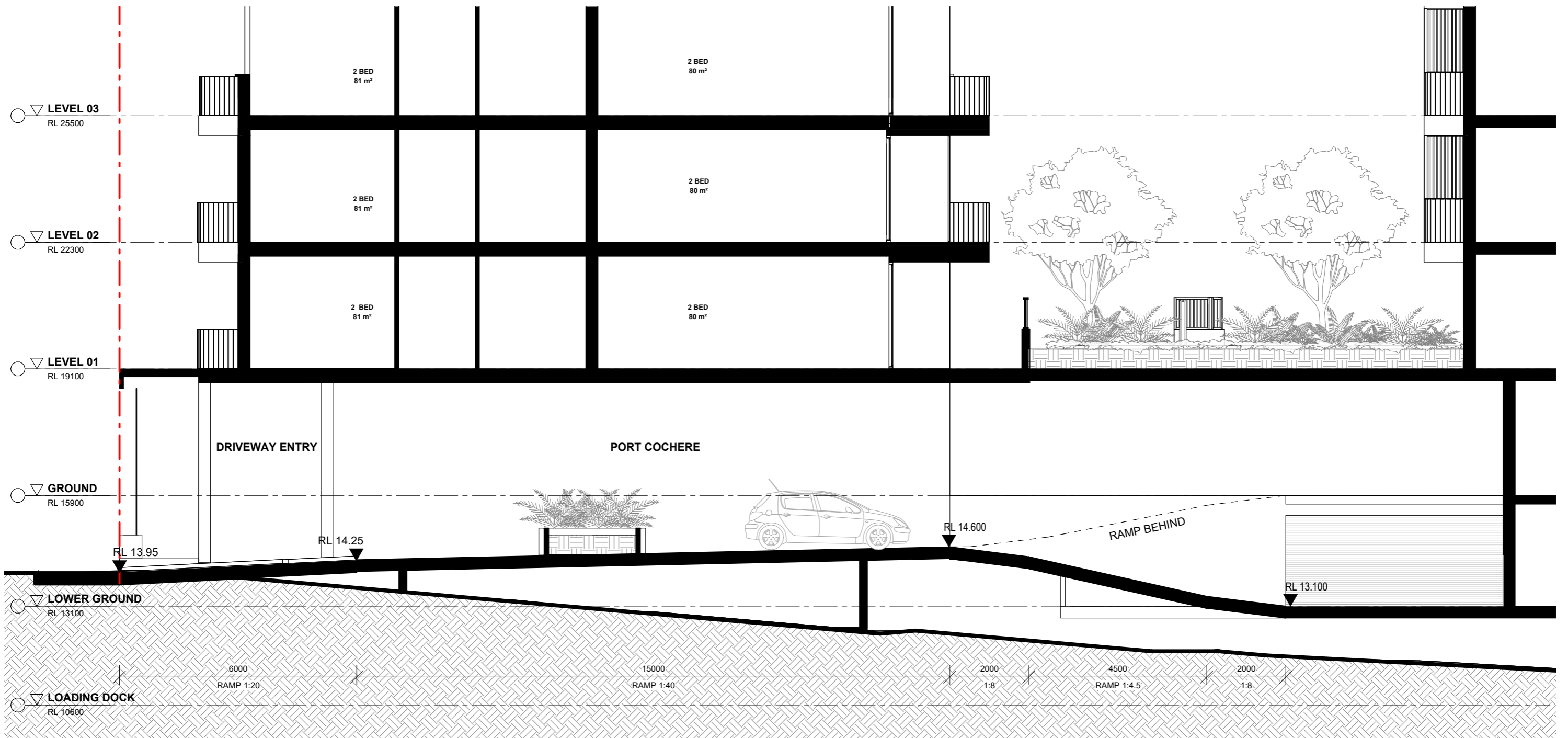
Client
CORIO PROJECTS

Project
Seniors Living Development
2-32 Junction Street, Forest Lodge NSW

Title
SECTION 04

DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

Drawing No. DA303	Issue 1
Scale 1 : 250	Drawing Size A3
Project No. 23110	Drawn By JT
CAD Reference 19/06/2025 4:22:35 PM	



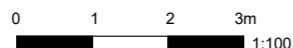
1

SECTION 05 - DRIVEWAY

SCALE 1:100



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Issue	Description	Date
1	Development Application	19.06.2025

Client
CORIO PROJECTS

Project
Seniors Living Development
2-32 Junction Street, Forest Lodge NSW

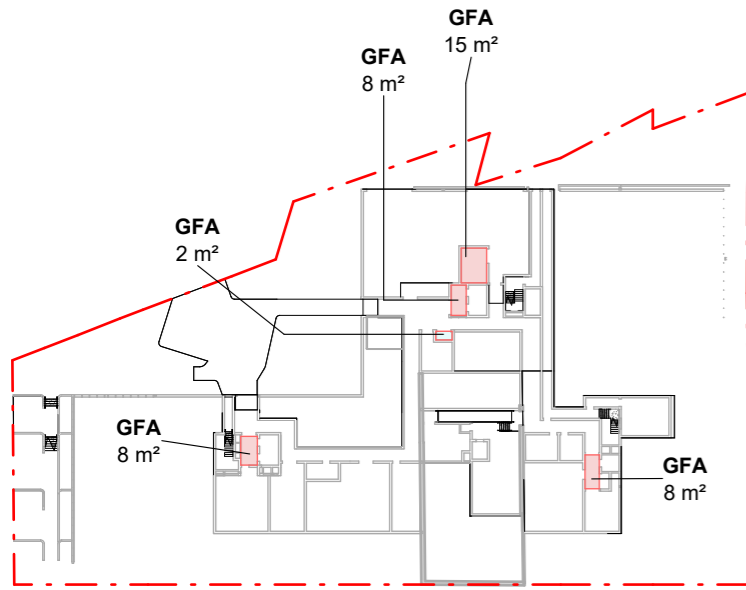
Title
SECTION 05 - DRIVEWAY

Drawing No.
DA304
Scale
1:100
Project No.
23110

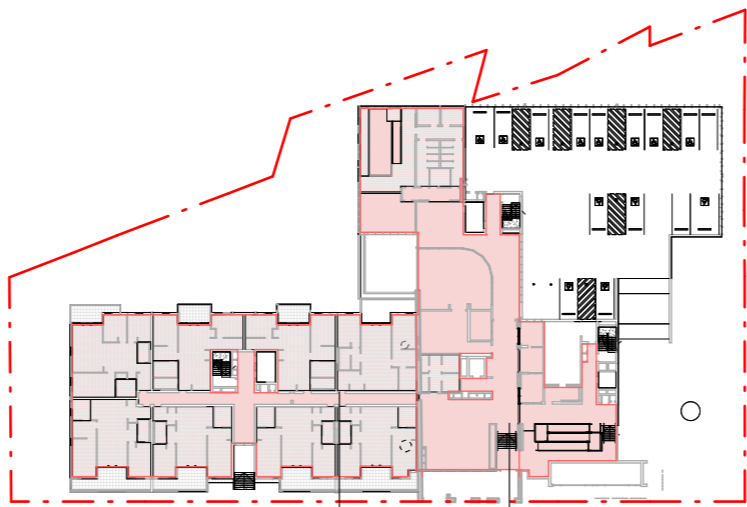
Issue
1
Drawing Size
A3
Drawn By
JT

DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

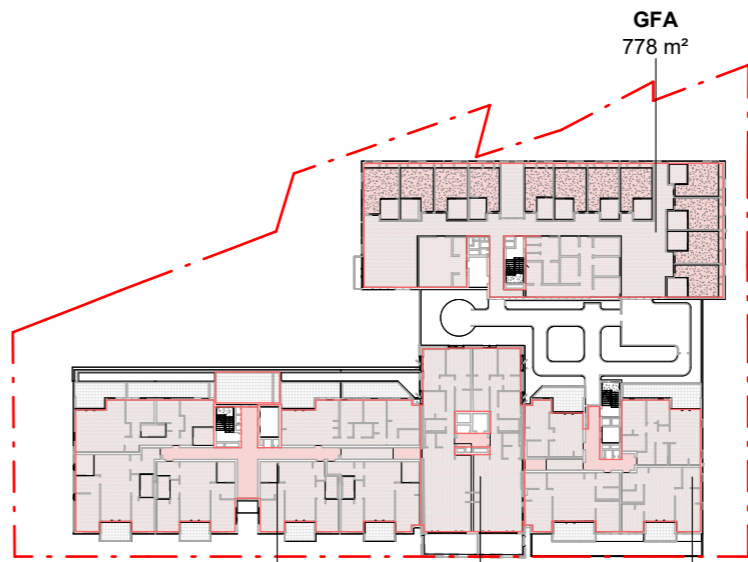
CAD Reference
19/06/2025 4:22:37 PM



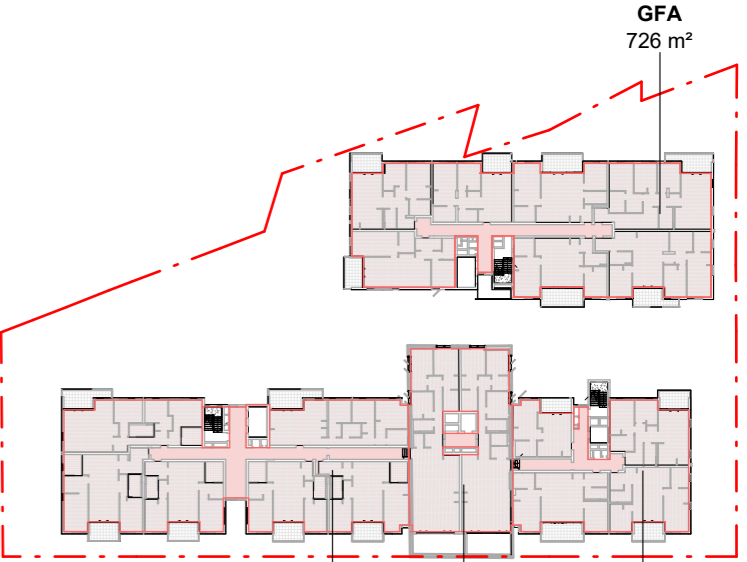
GFA LOADING DOCK LEVEL



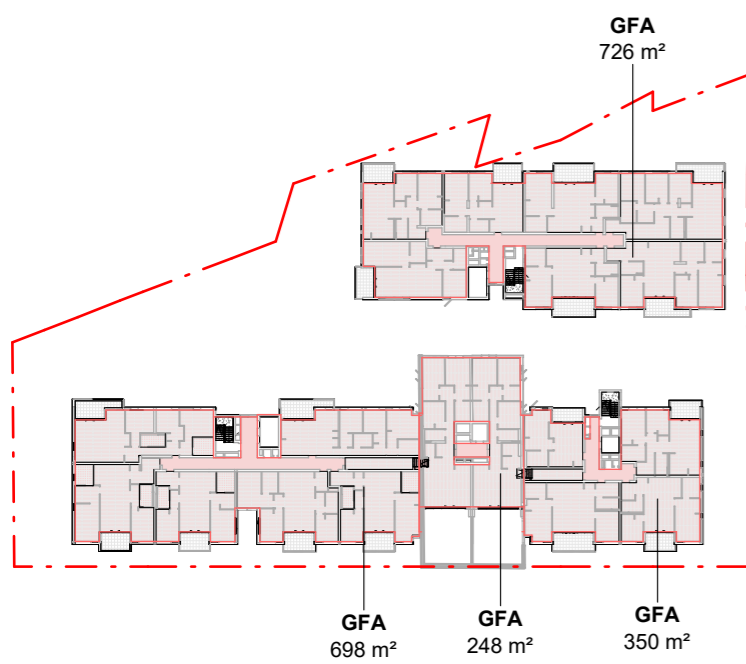
GFA GROUND



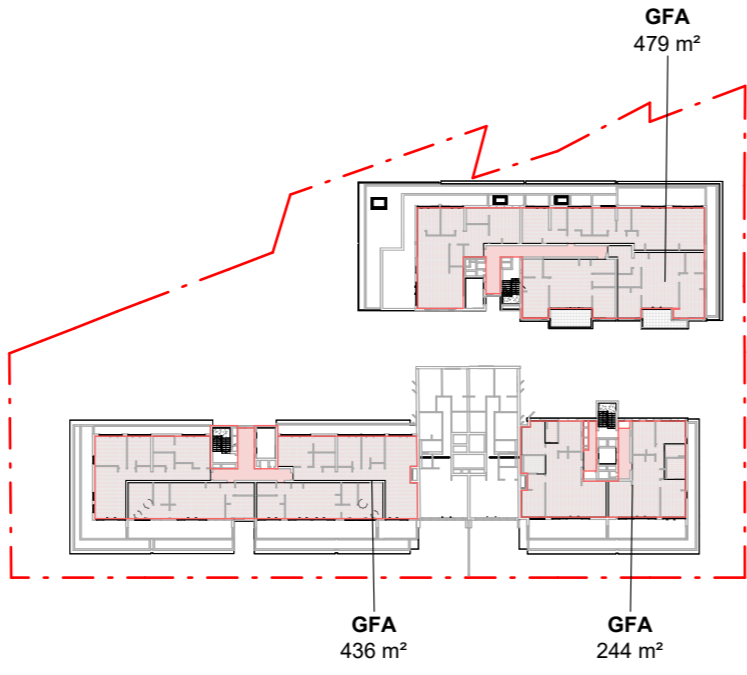
GFA LEVEL 01



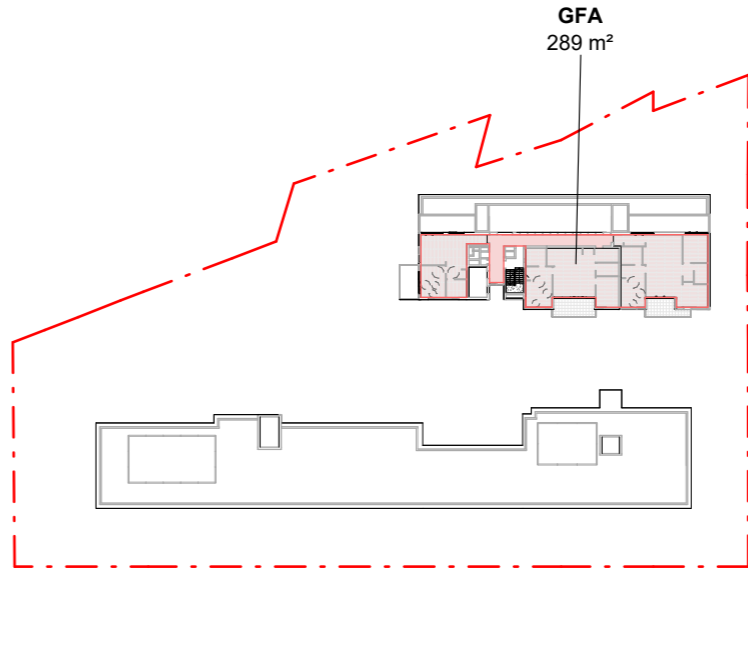
GFA LEVEL 02



GFA LEVEL 03



GFA LEVEL 04



GFA LEVEL 05

GFA CALCULATION	
LOADING DOCK	43 m ²
GROUND	1674 m ²
LEVEL 01	2136 m ²
LEVEL 02	2083 m ²
LEVEL 03	2022 m ²
LEVEL 04	1160 m ²
LEVEL 05	289 m ²
TOTAL GFA	9407 m²

ALL AREAS ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE
FINAL AREAS ARE TO BE CONFIRMED BY A LICENSED SURVEYOR



Dimensioned drawings to take precedence over scaling. Contractor to verify all dimensions on site before construction. All inconsistencies to be reported to the Architect immediately. This drawing and its contents remain the copyright of WMK Architecture Pty Ltd © Nominated Architect Greg Barnett (NSW ARB. 6092)

Issue	Description	Date
1	Development Application	19.06.2025

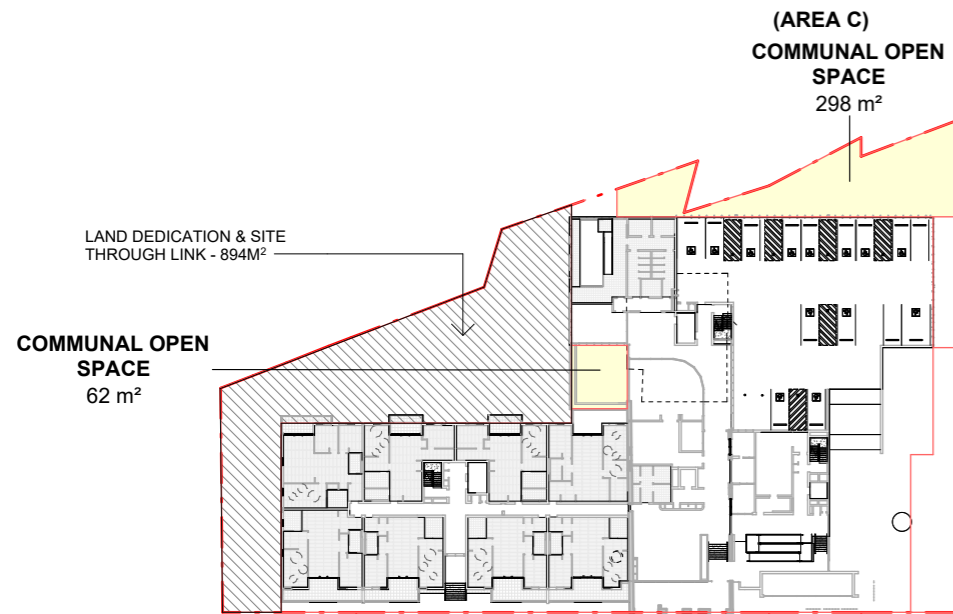
Client
CORIO PROJECTS

Project
Seniors Living Development
2-32 Junction Street, Forest Lodge NSW

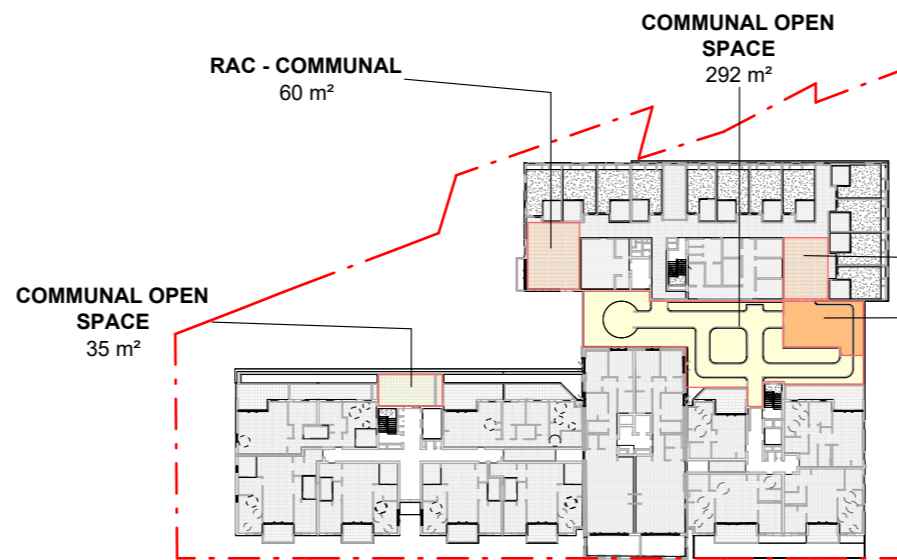
Title
GFA AREA PLANS

Drawing No. DA400	Issue 1
Scale 1 : 1000	Drawing Size A3
Project No. 23110	Drawn By JT
CAD Reference	
19/06/2025 4:22:43 PM	

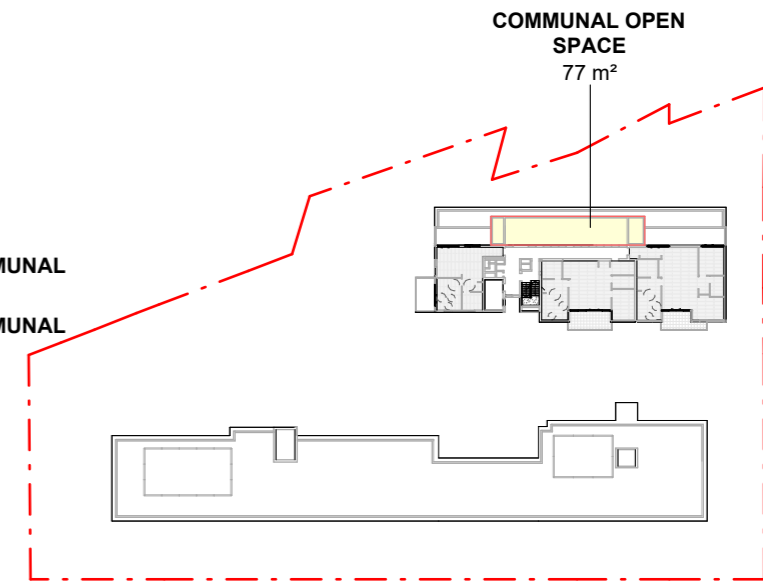
**DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION**



1 COMMUNAL OPEN SPACE - GROUND
SCALE 1: 1000



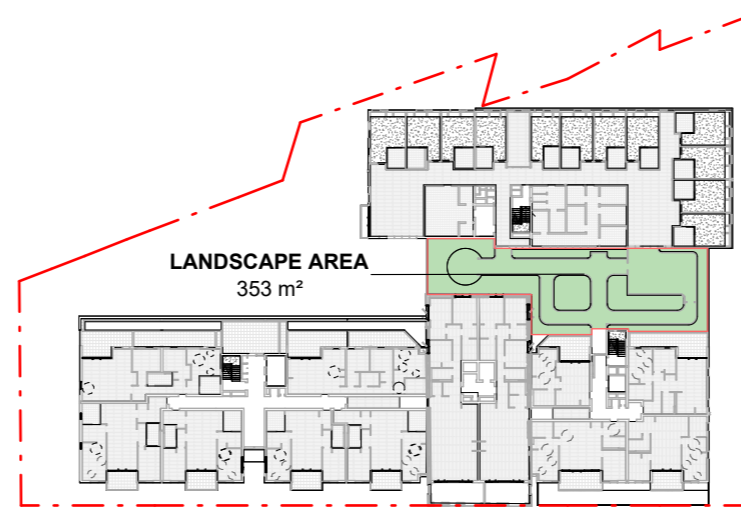
2 COMMUNAL SPACE - LEVEL 01
SCALE 1: 1000



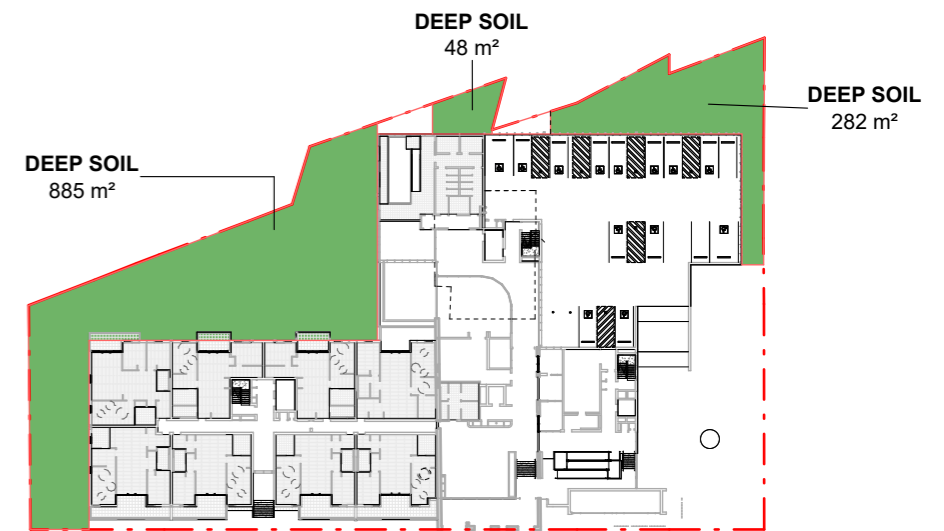
3 COMMUNAL OPEN SPACE - LEVEL 05
SCALE 1: 1000



4 LANDSCAPE AREA - GROUND
SCALE 1: 1000



5 LANDSCAPE AREA - LEVEL 01
SCALE 1: 1000



6 DEEP SOIL AREA
SCALE 1: 1000

REQUIRED ILU COMMUNAL AREA:

Site Area = 4824m²
Minimum Communal Open Area Required = 1206m²
(25% OF SITE AREA AS PER ADG)

INDEPENDENT LIVING UNITS - PROPOSED COMMUNAL AREA CALCULATION

LEVEL	AREA
GROUND	360 m ²
LEVEL 01	327 m ²
LEVEL 05	77 m ²
TOTAL ILU COMMUNAL AREA	764 m²

NOTE: TOTAL COMMUNAL AREA + LAND DEDICATION & SITE THROUGH LINK = 764 + 894M² = 1,658 M²

REQUIRED RAC COMMUNAL AREA:

As per SEPP Housing 2021:
RAC Communal Internal & Open Space = 10m² for every bed
Minimum Required RAC Communal Area = 10m² x 12beds - 120m²

RESIDENTIAL AGE CARE - PROPOSED COMMUNAL AREA CALCULATION

LEVEL	AREA
LEVEL 01	176 m ²
TOTAL RAC COMMUNAL AREA	176 m²

REQUIRED LANDSCAPING AREA:

RAC Landscaping Area Requirement:
15m² of landscaped area for every bed
= 15 x 12 beds = 180m²

ILU Landscaping Area Requirement:
30% of the site area = 1447.2m²

PROPOSED LANDSCAPE AREA CALCULATION

LEVEL	AREA
GROUND	1375 m ²
GROUND	11 m ²
GROUND	5 m ²
GROUND	5 m ²
LEVEL 01	353 m ²
TOTAL LANDSCAPING AREA	1748 m²

REQUIRED DEEP SOIL CALCULATION:

As per [SEPP Housing 2021 Part 5 – Division 7.108(2)(f)]

Deep Soil zone on at least 15% of the site area, where each deep soil zone has min. dimension of 3m.

Min. Deep Soil Area = 723.6m²

PROPOSED DEEP SOIL CALCULATION

LEVEL	AREA
GROUND	885 m ²
GROUND	282 m ²
GROUND	48 m ²
TOTAL DEEP SOIL AREA	1215 m²



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Issue	Description	Date
1	Development Application	19.06.2025

Client
CORIO PROJECTS

Project
Seniors Living Development
2-32 Junction Street, Forest Lodge NSW

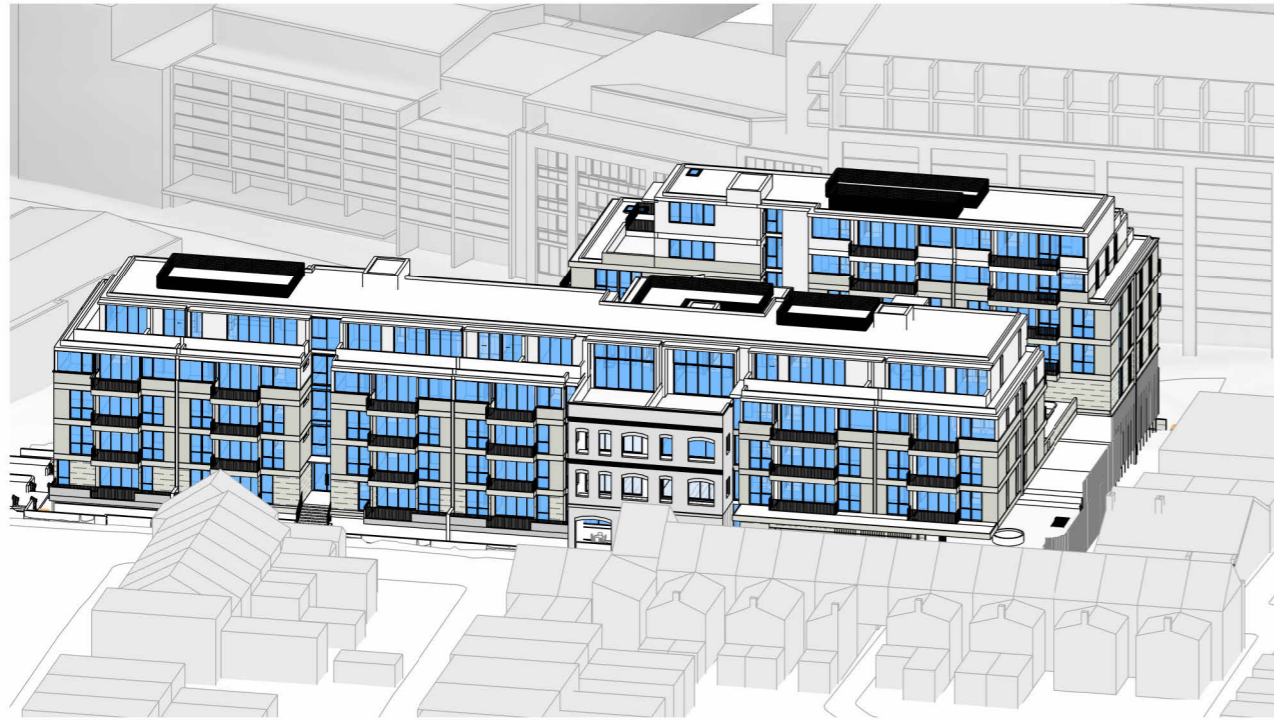
Title
COMMUNAL AREA, DEEP SOIL & LANDSCAPE CALCULATIONS

Drawing No.
DA401
Scale
1: 1000
Project No.
23110
CAD Reference

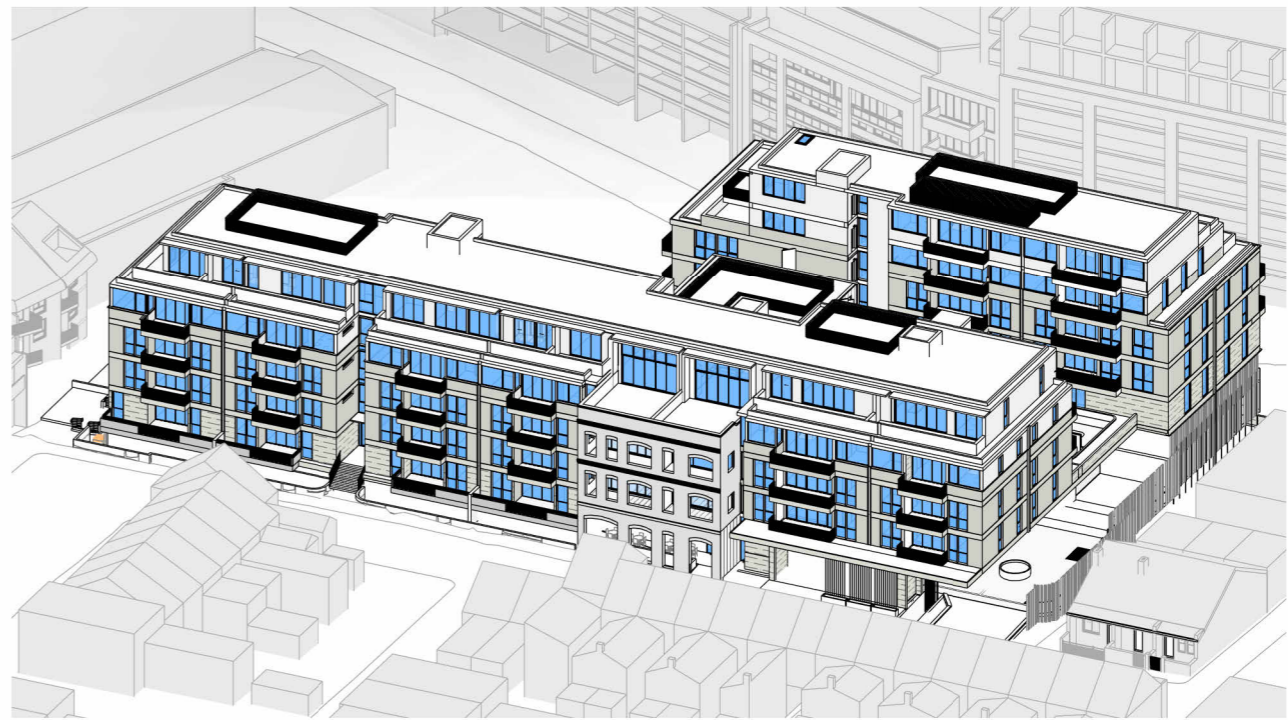
Issue
1
Drawing Size
A3
Drawn By
JT

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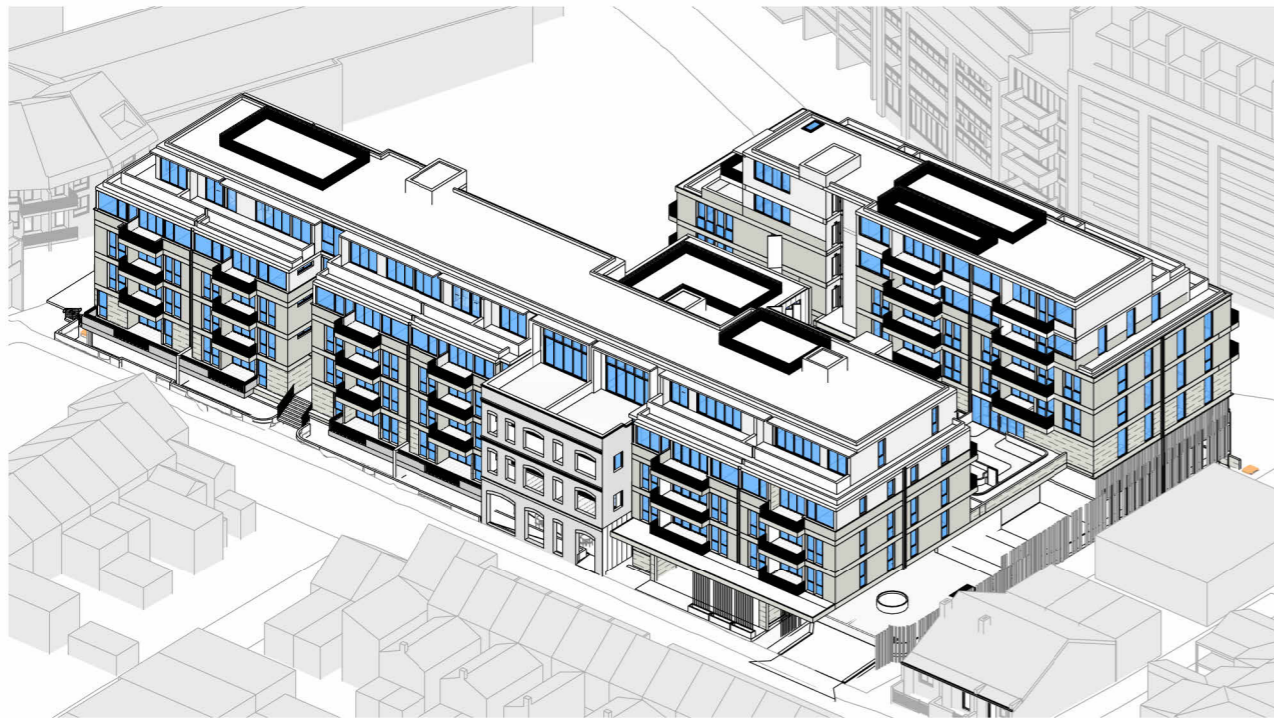
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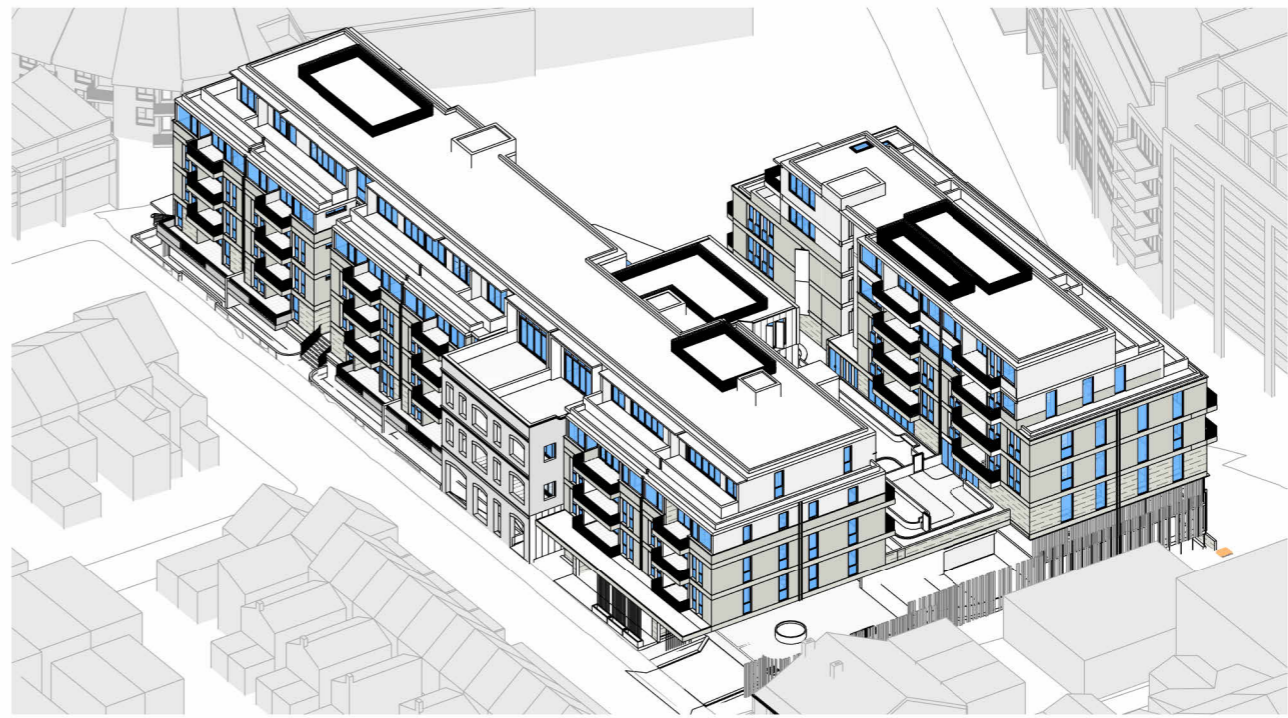
1 SOLAR ACCESS - 21/06/2024-9.00



2 SOLAR ACCESS - 21/06/2024-10.00



3 SOLAR ACCESS - 21/06/2024-11.00



4 SOLAR ACCESS - 21/06/2024-12.00



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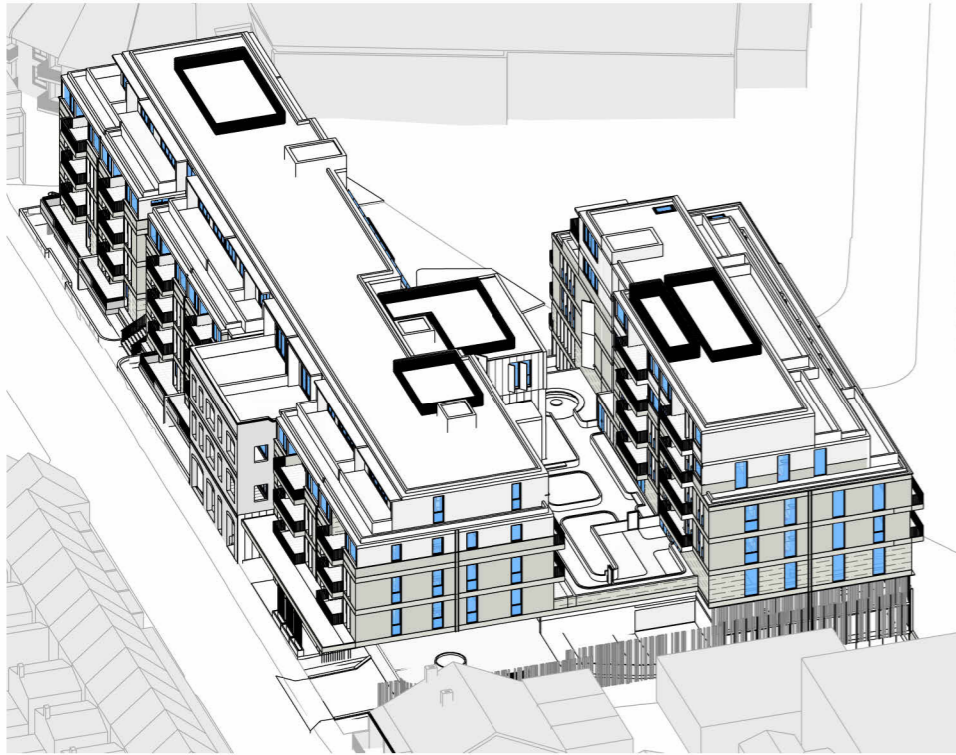
Issue	Description	Date	Client
1	Development Application	19.06.2025	CORIO PROJECTS

Project
Seniors Living Development 2-32 Junction Street, Forest Lodge NSW

Title
SUN EYE VIEWS - SHEET 01

Drawing No. DA402	Issue 1
Scale N/A	Drawing Size A3
Project No. 23110	Drawn By JT
CAD Reference	
19/06/2025 4:24:34 PM	

DEVELOPMENT APPLICATION ONLY
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1 SOLAR ACCESS - 21/06/2024-13.00



2 SOLAR ACCESS - 21/06/2024-14.00



3 SOLAR ACCESS - 21/06/2024-14.30



4 SOLAR ACCESS - 21/06/2024-14.45



5 SOLAR ACCESS - 21/06/2024-15.00



WMK Architecture
The Atrium, Ground
9 Castlereagh St
Sydney NSW 2000
Telephone 02 9299 0401
wmkarchitecture.com
ABN 25 082 956 929

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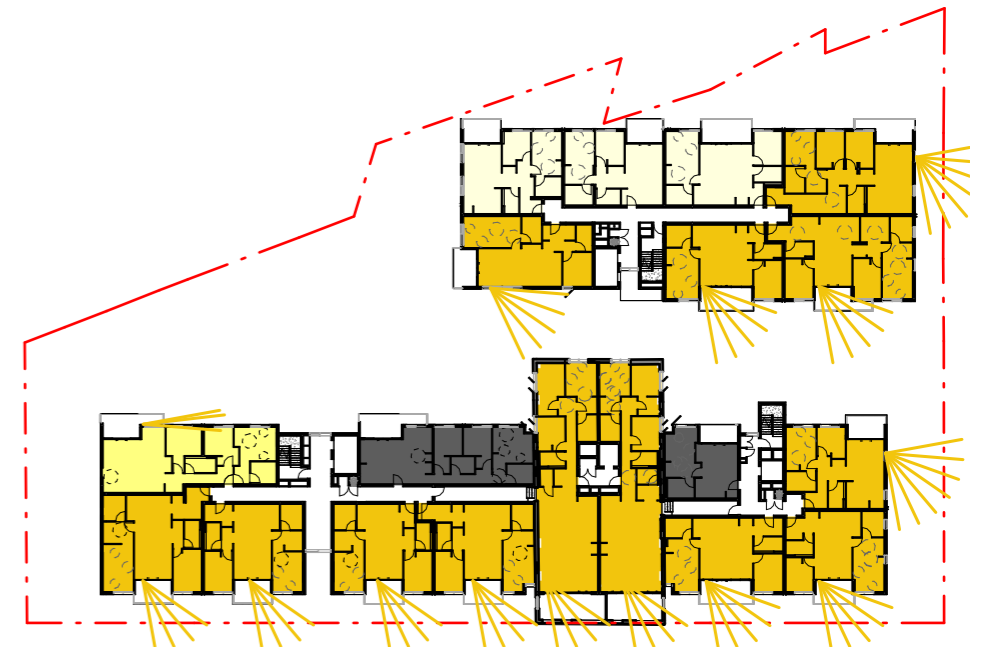
Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
1	Development Application	19.06.2025	CORIO PROJECTS	Seniors Living Development 2-32 Junction Street, Forest Lodge NSW	SUN EYE VIEWS - SHEET 02	DA403	1
						Scale N/A	Drawing Size A3
						Project No. 23110	Drawn By JT
					DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION	CAD Reference	
						19/06/2025 4:27:35 PM	



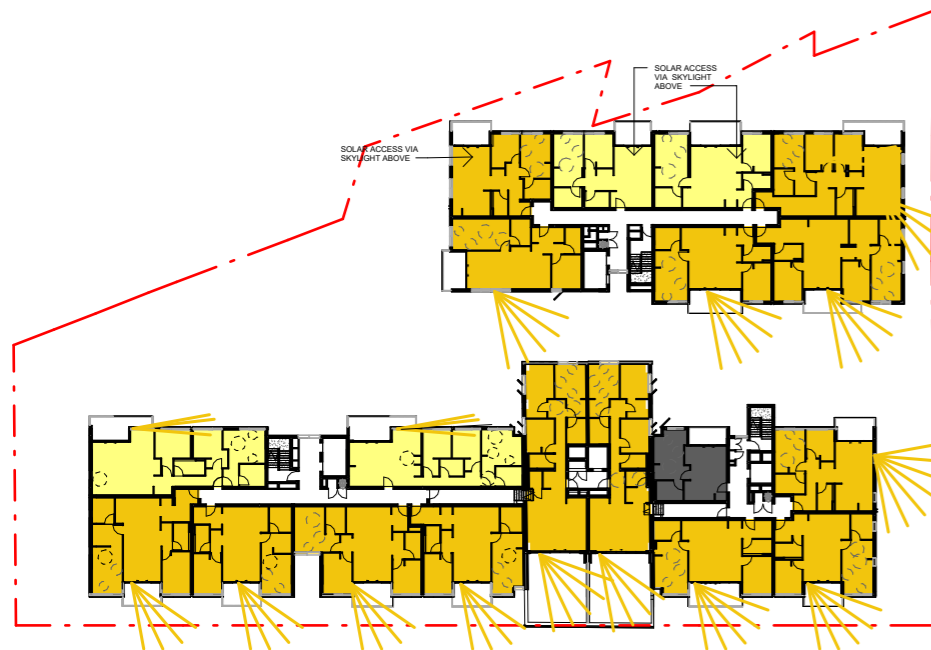
1 SOLAR ACCESS - GROUND



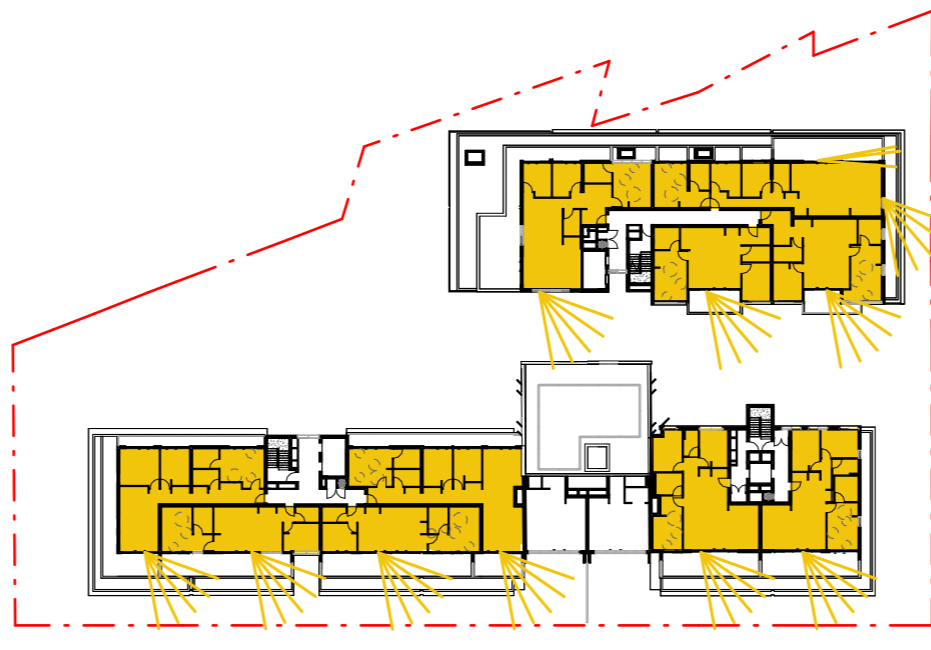
2 SOLAR ACCESS - LEVEL 1



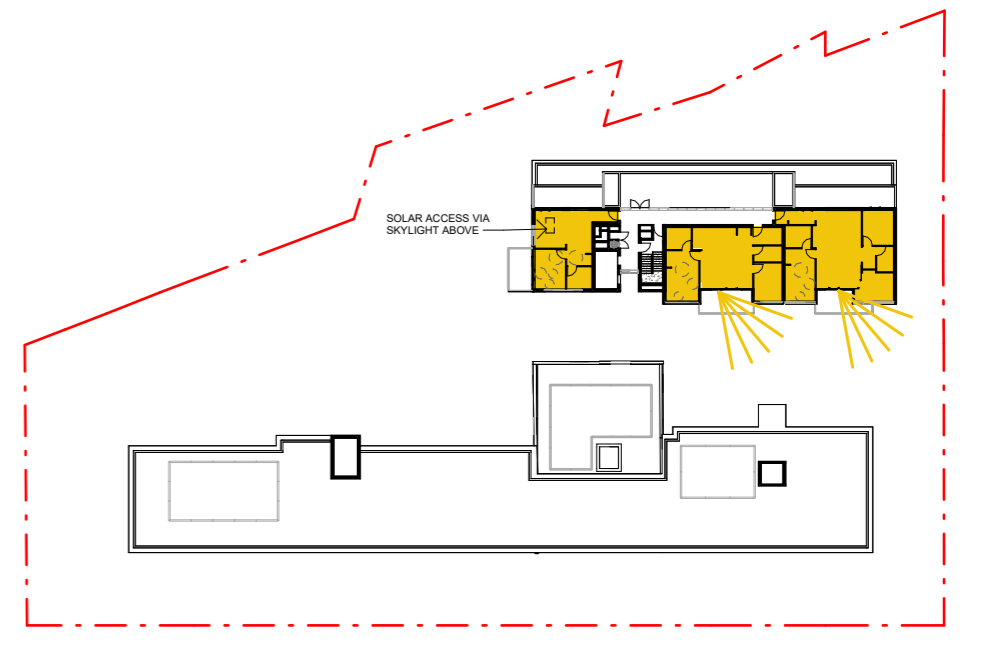
3 SOLAR ACCESS - LEVEL 2



4 SOLAR ACCESS - LEVEL 3



5 SOLAR ACCESS - LEVEL 4



6 SOLAR ACCESS - LEVEL 5

LEGEND

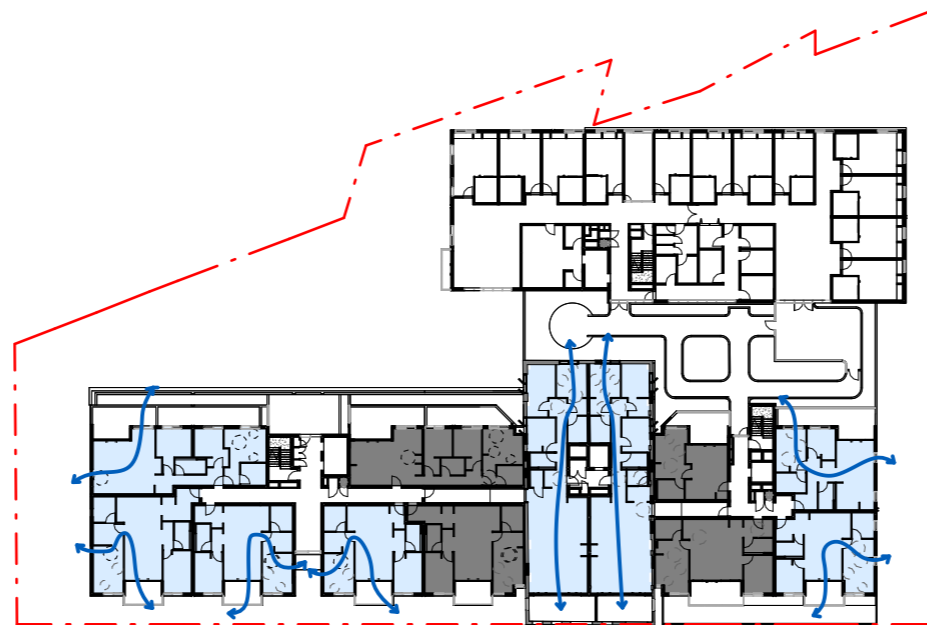
- MINIMUM 2 HOURS OF SOLAR ACCESS COMPLIANCE (LIVING + BALCONY)
- PARTIAL SOLAR ACCESS (LIVING ROOM + BALCONY)
- PARTIAL SOLAR ACCESS (BALCONY ONLY)
- NO SOLAR ACCESS

Solar Access Compliance Schedule		
2H Solar	Unit Count	
2H SOLAR (LIVING + BALCONY)	53	74.6 %
NO SOLAR (LIVING + BALCONY)	6	8.4 %
PARTIAL SUN (LIVING + BALCONY)	6	8.5 %
PARTIAL SUN - BALCONY ONLY	6	8.5 %
Grand total	71	





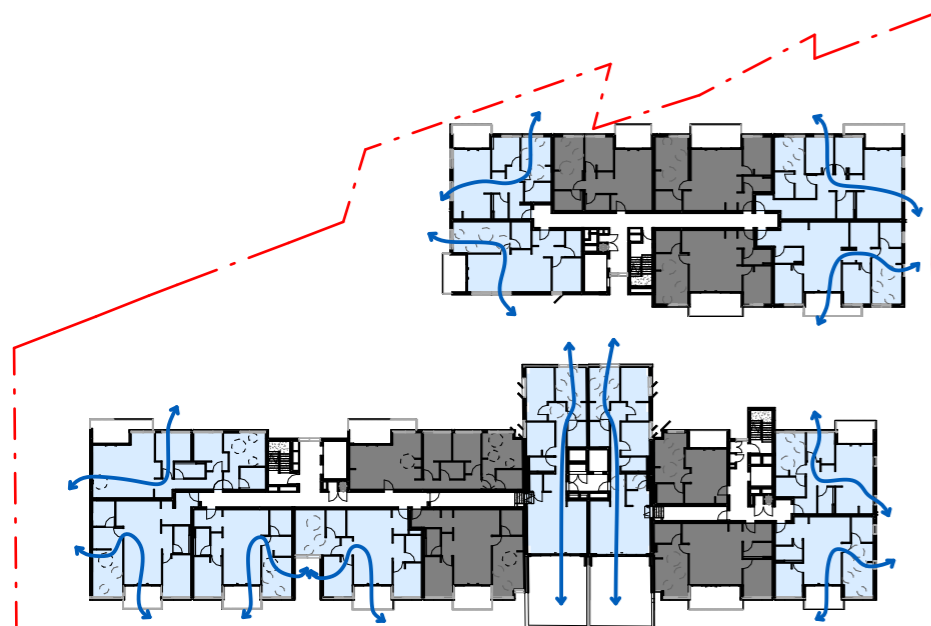
1 CROSS VENT - GROUND



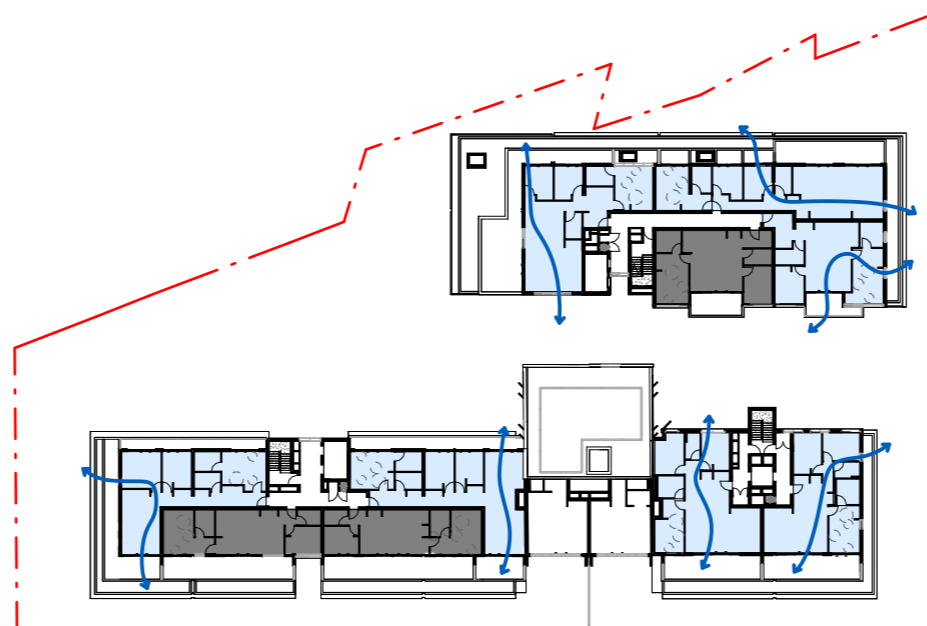
2 CROSS VENT - LEVEL 1



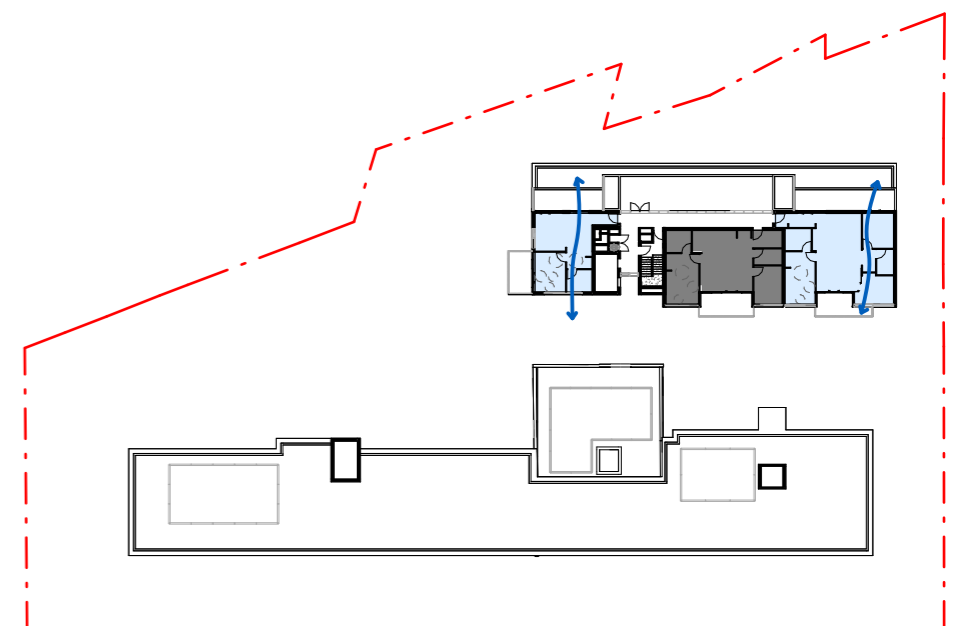
3 CROSS VENT - LEVEL 2



4 CROSS VENT - LEVEL 3



5 CROSS VENT - LEVEL 4



6 CROSS VENT - LEVEL 5

LEGEND

- APARTMENT WHICH RECEIVE CROSS VENTILATION
- APARTMENT WHICH RECEIVE NO CROSS VENTILATION

Cross Ventilation Compliance Schedule

Cross-ventilation Compliance	Count	%
No	28	39.4 %
Yes	43	60.6 %

Grand total: 71



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Issue	Description	Date
1	Development Application	19.06.2025

Client
CORIO PROJECTS

Project
Seniors Living Development
2-32 Junction Street, Forest Lodge NSW

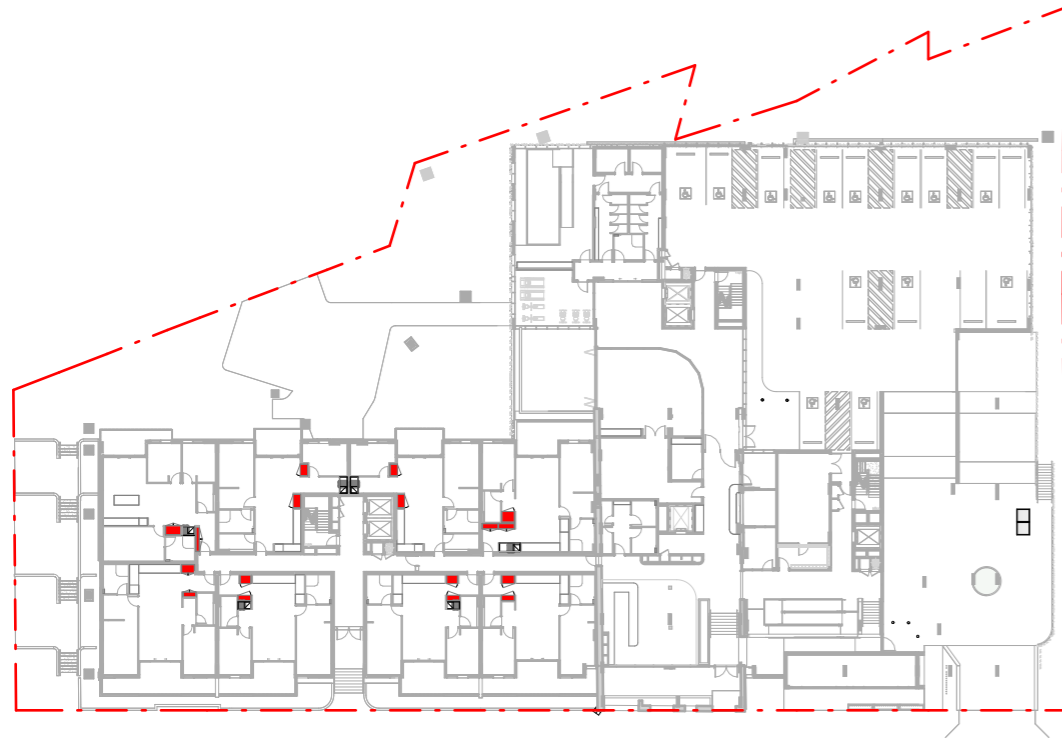
Title
CROSS VENTILATION

Drawing No.
DA405
Scale
1 : 800
Project No.
23110

Issue
1
Drawing Size
A3
Drawn By
JT

DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

CAD Reference
19/06/2025 4:28:12 PM



1 STORAGE PLAN - GROUND FLOOR



2 STORAGE PLAN - LEVEL 1



3 STORAGE PLAN - LEVEL 2



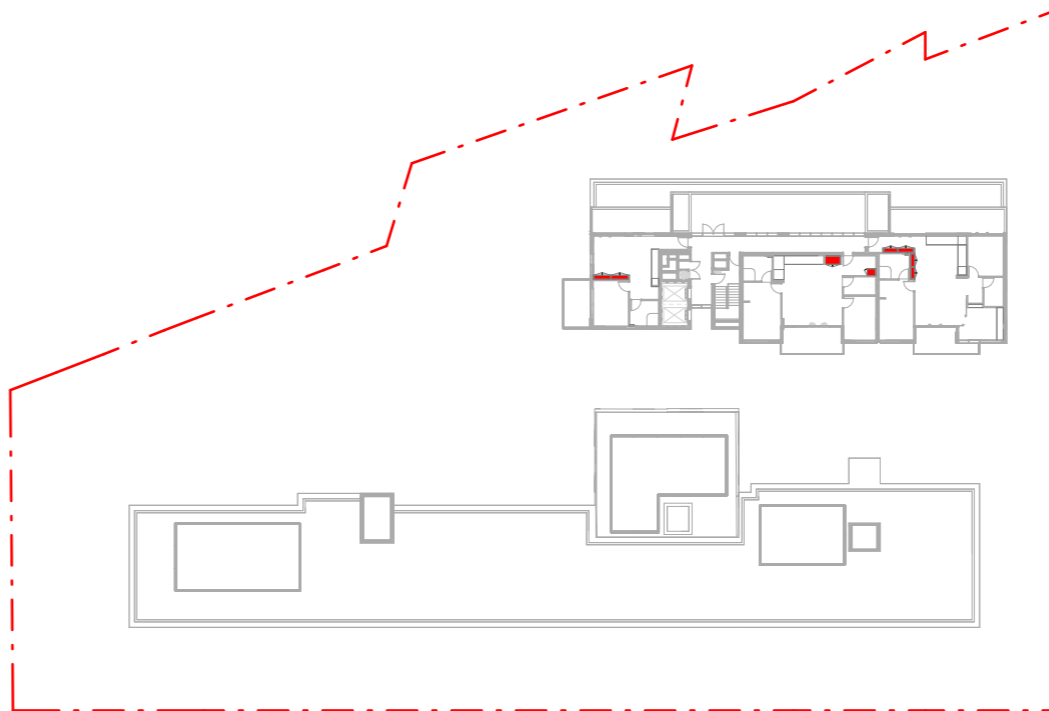
4 STORAGE PLAN - LEVEL 3

STORAGE SCHEDULE					
LEVEL	UNIT NO.	UNIT TYPE	INTERNAL STORAGE (Min. Provided)	BASEMENT STORAGE	TOTAL STORAGE
GROUND	D.001	2 BED	4.0 m ³	4.0 m ³	8 m ³
GROUND	D.002	3 BED	5.0 m ³	5.0 m ³	10 m ³
GROUND	D.003	2 BED	4.0 m ³	4.0 m ³	8 m ³
GROUND	D.004	2 BED	4.0 m ³	4.0 m ³	8 m ³
GROUND	D.005	2 BED	4.0 m ³	4.0 m ³	8 m ³
GROUND	D.006	2 BED	4.0 m ³	4.0 m ³	8 m ³
GROUND	D.007	2 BED	4.0 m ³	4.0 m ³	8 m ³
GROUND	D.008	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 01	C.101	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 01	C.102	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 01	B.101	1 BED	3.0 m ³	3.0 m ³	6 m ³
LEVEL 01	B.102	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 01	B.103	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 01	B.104	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 01	D.101	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 01	D.102	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 01	D.103	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 01	D.104	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 01	D.105	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 01	D.106	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 02	A.201	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	A.202	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	A.203	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	A.204	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	A.205	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 02	A.206	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 02	A.207	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	B.201	1 BED	3.0 m ³	3.0 m ³	6 m ³
LEVEL 02	B.202	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	B.203	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	B.204	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	D.201	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 02	D.202	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	D.203	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	D.204	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	D.205	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	D.206	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 02	C.201	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 02	C.202	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 03	A.301	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 03	A.302	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 03	A.303	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 03	A.304	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 03	A.305	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 03	A.306	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 03	A.307	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 03	B.301	1 BED	3.0 m ³	3.0 m ³	6 m ³
LEVEL 03	B.302	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 03	B.303	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 03	B.304	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 03	D.301	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 03	D.302	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 03	D.303	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 03	D.304	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 03	D.305	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 03	D.306	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 03	C.301	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 03	C.302	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 04	A.401	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 04	A.402	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 04	A.403	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 04	A.404	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 04	B.401	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 04	B.402	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 04	D.401	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 04	D.402	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 04	D.403	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 04	D.404	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 05	A.501	1 BED	3.0 m ³	3.0 m ³	6 m ³
LEVEL 05	A.502	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 05	A.503	2 BED+S	4.0 m ³	4.0 m ³	8 m ³





1 STORAGE PLAN - LEVEL 4



2 STORAGE PLAN - LEVEL 5



3 STORAGE PLAN - LOADING DOCK

STORAGE SCHEDULE					
LEVEL	UNIT NO.	UNIT TYPE	INTERNAL STORAGE (Min. Provided)	BASEMENT STORAGE	TOTAL STORAGE
GROUND	D.001	2 BED	4.0 m ³	4.0 m ³	8 m ³
GROUND	D.002	3 BED	5.0 m ³	5.0 m ³	10 m ³
GROUND	D.003	2 BED	4.0 m ³	4.0 m ³	8 m ³
GROUND	D.004	2 BED	4.0 m ³	4.0 m ³	8 m ³
GROUND	D.005	2 BED	4.0 m ³	4.0 m ³	8 m ³
GROUND	D.006	2 BED	4.0 m ³	4.0 m ³	8 m ³
GROUND	D.007	2 BED	4.0 m ³	4.0 m ³	8 m ³
GROUND	D.008	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 01	C.101	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 01	C.102	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 01	B.101	1 BED	3.0 m ³	3.0 m ³	6 m ³
LEVEL 01	B.102	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 01	B.103	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 01	B.104	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 01	D.101	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 01	D.102	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 01	D.103	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 01	D.104	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 01	D.105	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 01	D.106	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 02	A.201	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	A.202	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	A.203	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	A.204	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	A.205	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 02	A.206	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 02	A.207	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	B.201	1 BED	3.0 m ³	3.0 m ³	6 m ³
LEVEL 02	B.202	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	B.203	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	B.204	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	D.201	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 02	D.202	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	D.203	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	D.204	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	D.205	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 02	D.206	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 02	C.201	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 02	C.202	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 03	A.301	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 03	A.302	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 03	A.303	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 03	A.304	2 BED	4.0 m ³	4.0 m ³	8 m ³
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LEVEL 03	A.306	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 03	A.307	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 03	B.301	1 BED	3.0 m ³	3.0 m ³	6 m ³
LEVEL 03	B.302	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 03	B.303	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 03	B.304	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 03	D.301	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 03	D.302	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 03	D.303	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 03	D.304	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 03	D.305	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 03	D.306	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 03	C.301	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 03	C.302	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 04	A.401	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 04	A.402	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 04	A.403	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 04	A.404	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 04	B.401	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 04	B.402	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 04	D.401	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 04	D.402	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 04	D.403	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 04	D.404	3 BED	5.0 m ³	5.0 m ³	10 m ³
LEVEL 05	A.501	1 BED	3.0 m ³	3.0 m ³	6 m ³
LEVEL 05	A.502	2 BED	4.0 m ³	4.0 m ³	8 m ³
LEVEL 05	A.503	2 BED+S	4.0 m ³	4.0 m ³	8 m ³



Dimensioned drawings to take precedence over scaling. Contractor to verify all dimensions on site before construction. All inconsistencies to be reported to the Architect immediately. This drawing and its contents remain the copyright of WMK Architecture Pty Ltd © Nominated Architect Greg Barnett (NSW ARB. 6092)

Issue	Description	Date
1	Development Application	19.06.2025

Client
CORIO PROJECTS

Project
Seniors Living Development
2-32 Junction Street, Forest Lodge NSW

Title
STORAGE PLAN & SCHEDULE

DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

Drawing No.
DA407

Scale
1 : 700

Project No.
23110

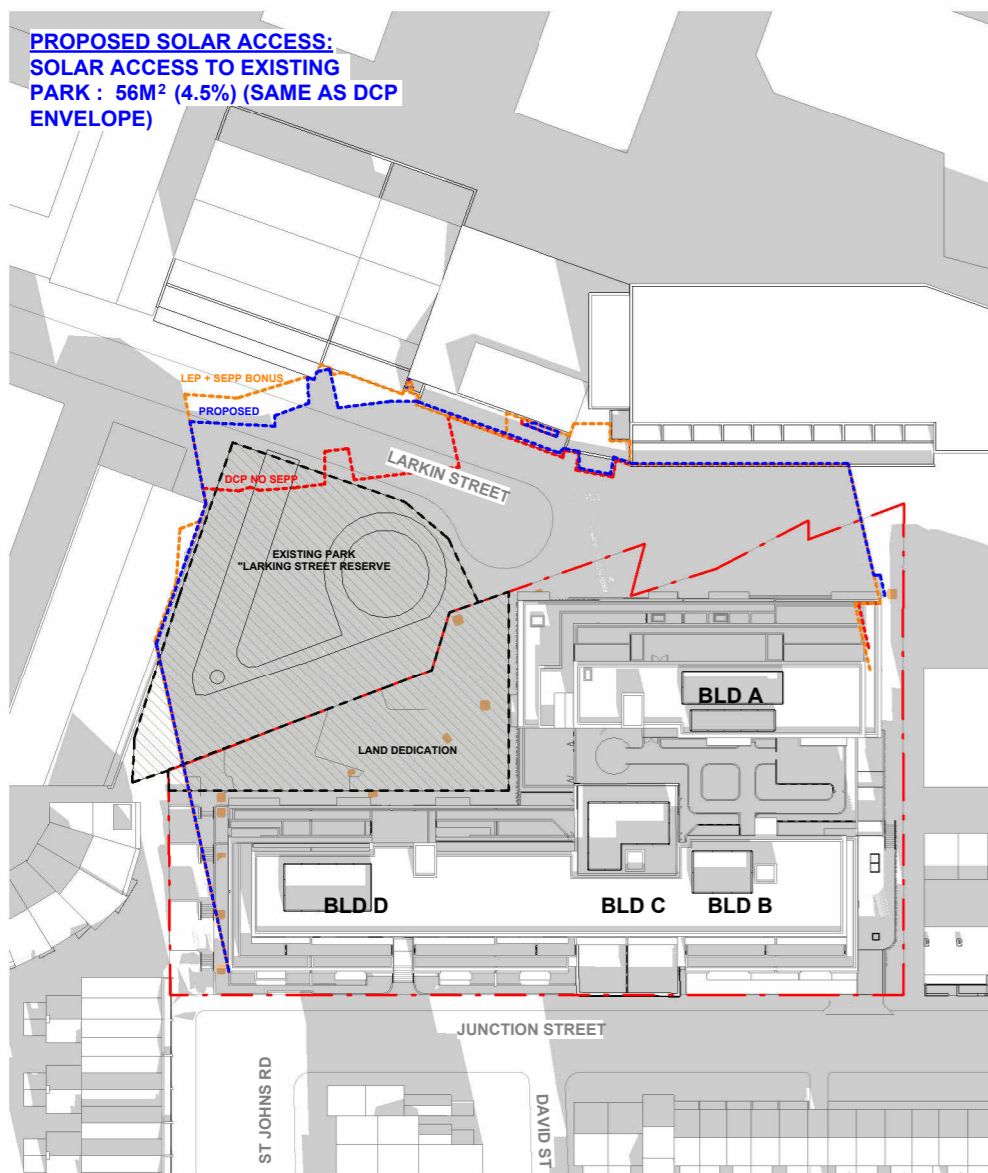
CAD Reference
19/06/2025 4:28:44 PM

Issue
1

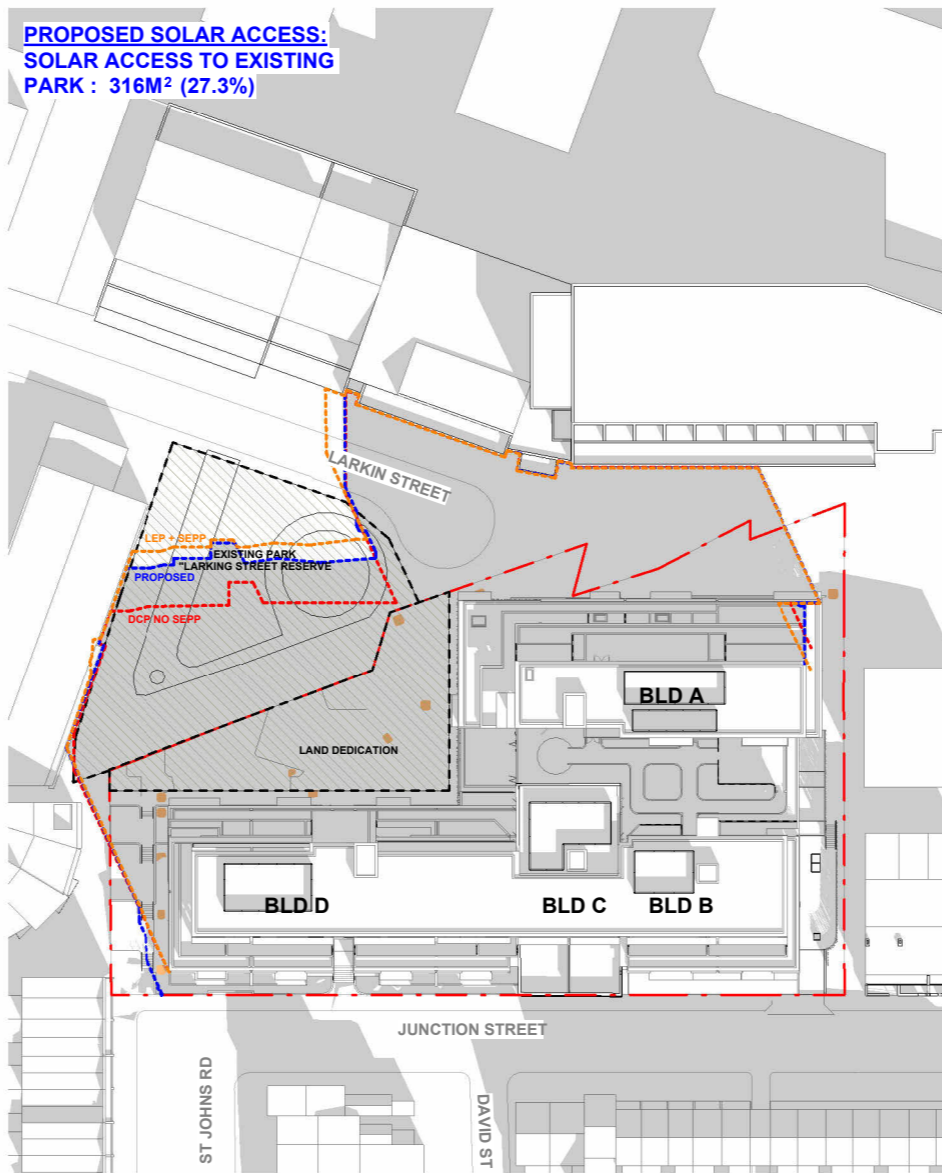
Drawing Size
A3

Drawn By
JT

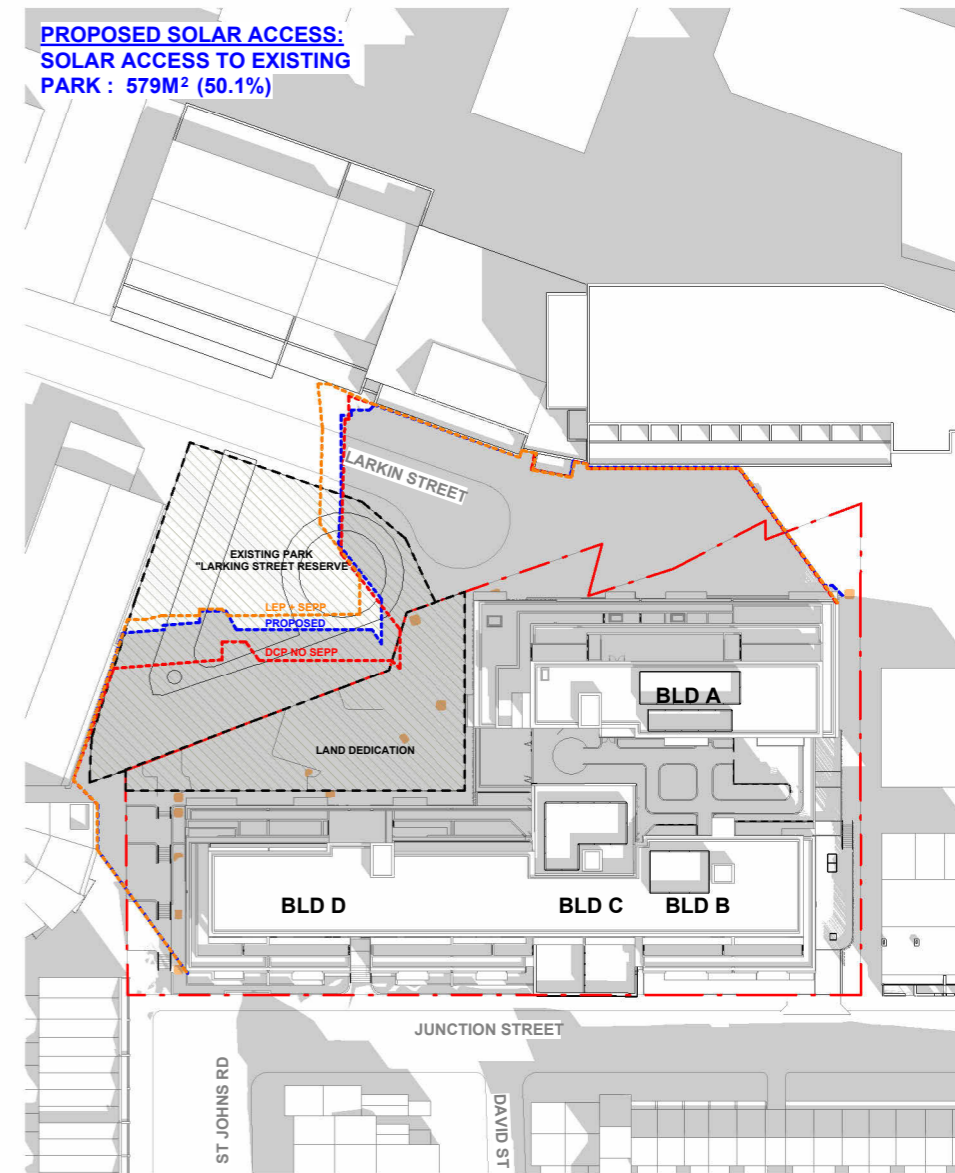
PROPOSED SOLAR ACCESS:
SOLAR ACCESS TO EXISTING
PARK : 56M² (4.5%) (SAME AS DCP
ENVELOPE)



PROPOSED SOLAR ACCESS:
SOLAR ACCESS TO EXISTING
PARK : 316M² (27.3%)



PROPOSED SOLAR ACCESS:
SOLAR ACCESS TO EXISTING
PARK : 579M² (50.1%)



1 **SHADOW - JUNE 21ST -9AM**

SCALE 1 : 1000

2 **SHADOW - JUNE 21ST -10AM**

SCALE 1 : 1000

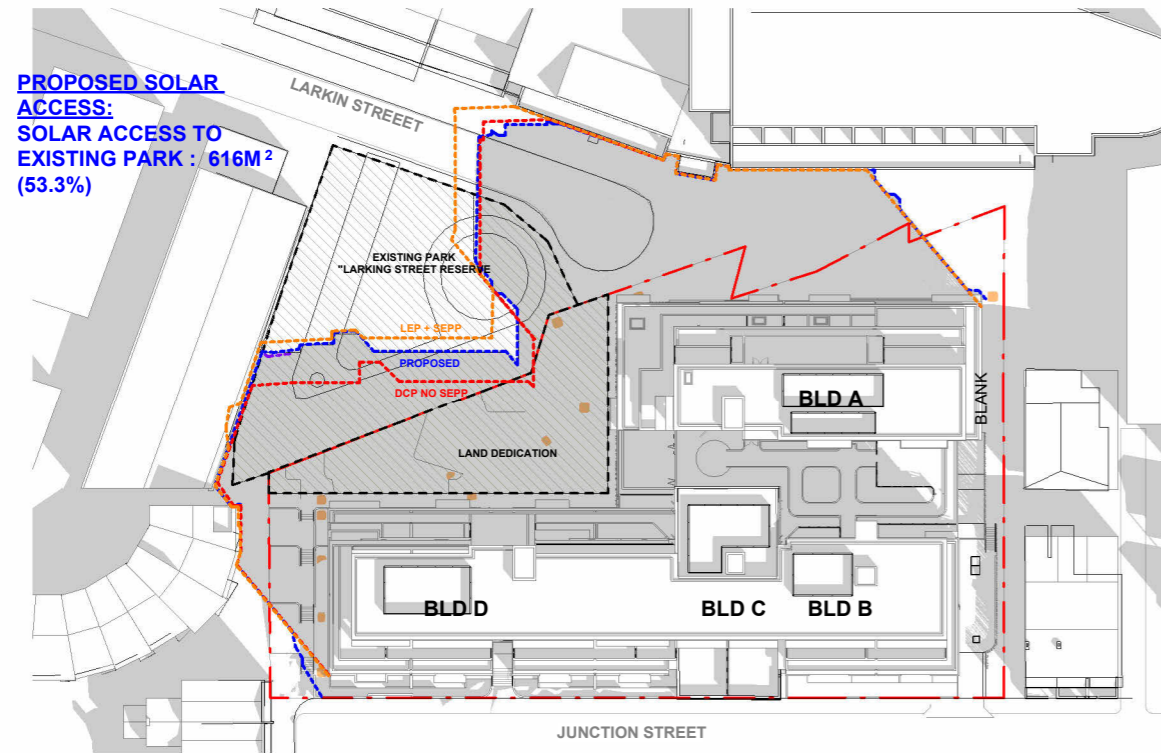
3 **SHADOW - JUNE 21ST -10.45 AM**

SCALE 1 : 1000

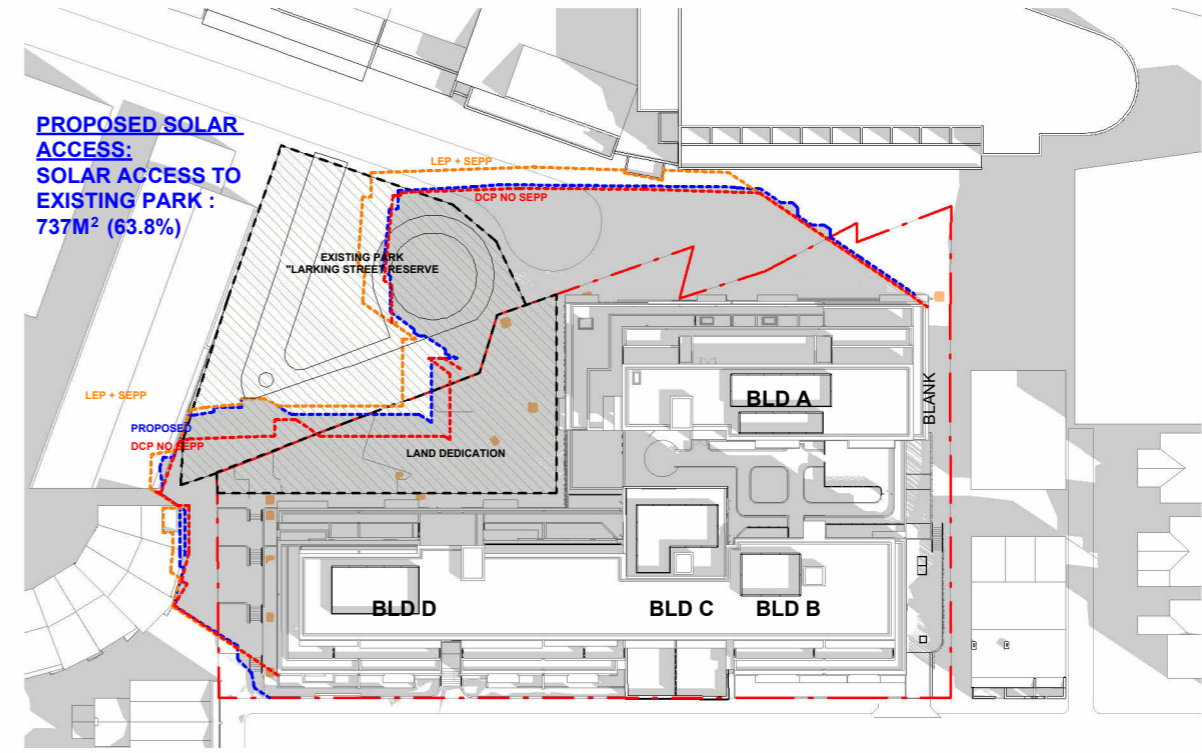


Dimensioned drawings to take precedence over scaling. Contractor to verify all dimensions on site before construction. All inconsistencies to be reported to the Architect immediately. This drawing and its contents remain the copyright of WMK Architecture Pty Ltd © Nominated Architect Greg Barnett (NSW ARB. 6092)

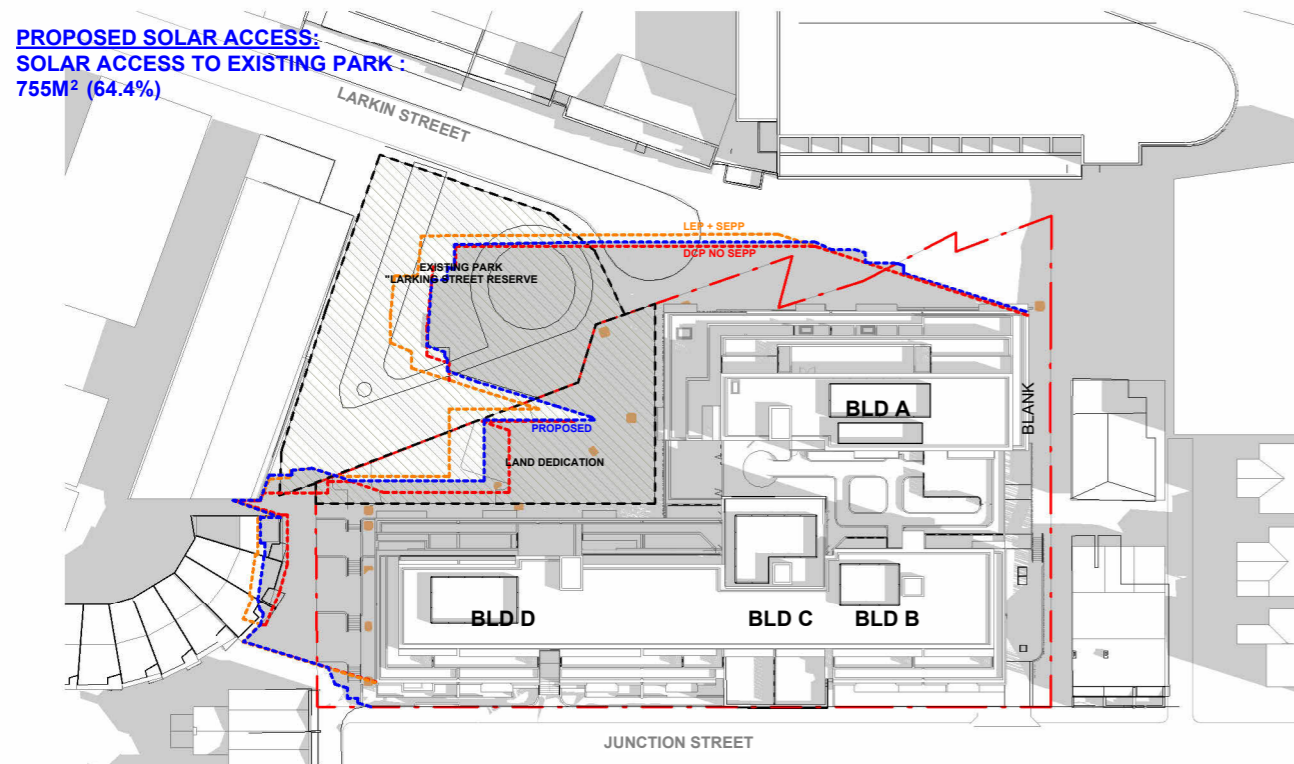
Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
1	Development Application	19.06.2025	CORIO PROJECTS	Seniors Living Development 2-32 Junction Street, Forest Lodge NSW	SHADOW DIAGRAM - JUNE 21ST - 9-10AM	DA500	1
						Scale 1 : 1000	Drawing Size A3
						Project No. 23110	Drawn By JT
					DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION	CAD Reference	
						19/06/2025 4:29:57 PM	



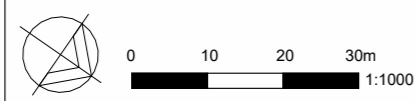
1 SHADOW - JUNE 21ST -11AM
SCALE 1 : 1000



2 SHADOW - JUNE 21ST -12PM
SCALE 1 : 1000



3 SHADOW - JUNE 21ST -1PM
SCALE 1 : 1000



Dimensioned drawings to take precedence over scaling. Contractor to verify all dimensions on site before construction. All inconsistencies to be reported to the Architect immediately. This drawing and its contents remain the copyright of WMK Architecture Pty Ltd © Nominated Architect Greg Barnett (NSW ARB. 6092)

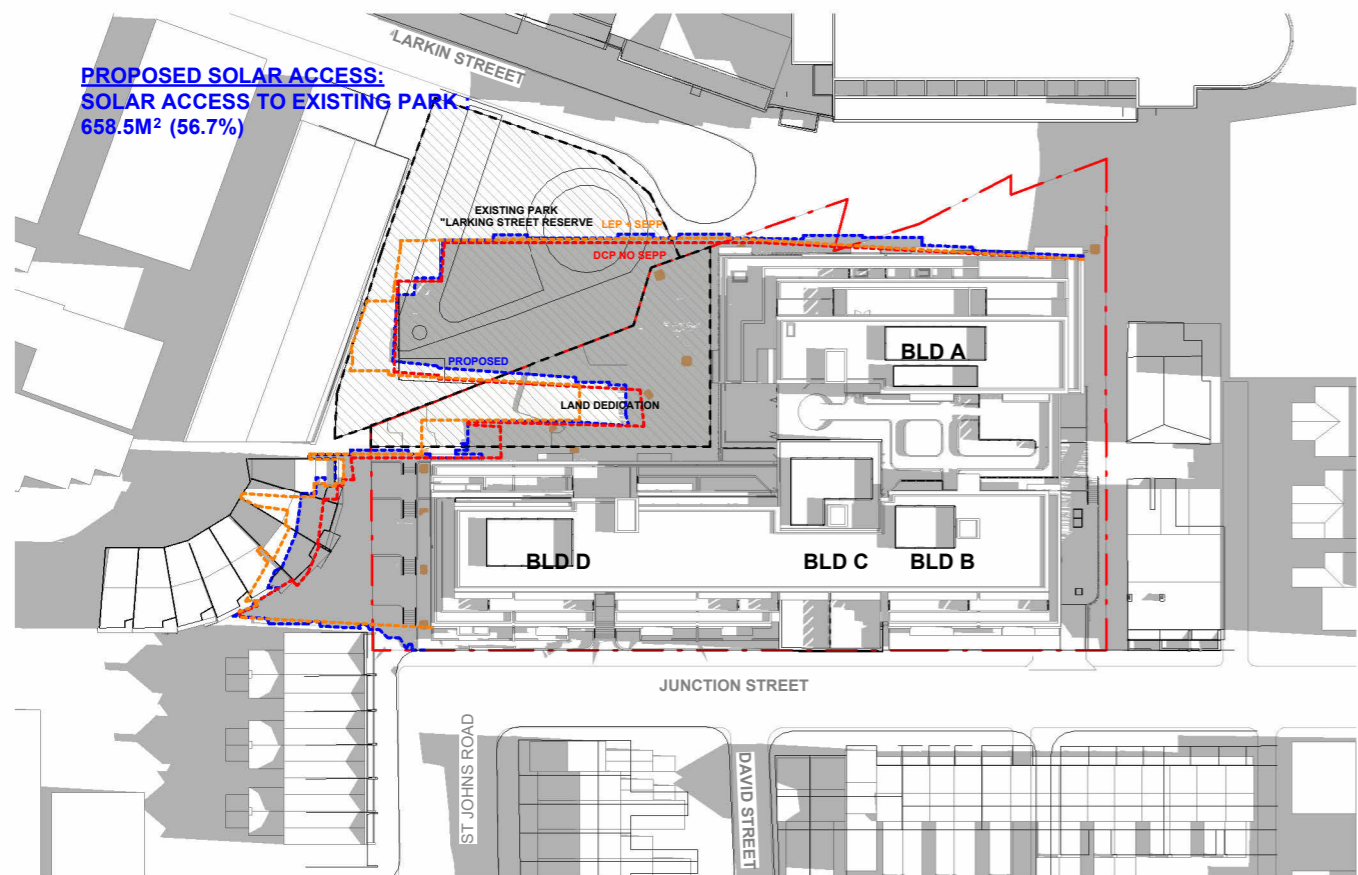
Issue	Description	Date
1	Development Application	19.06.2025

Client	CORIO PROJECTS
Project	Seniors Living Development 2-32 Junction Street, Forest Lodge NSW

Title	SHADOW DIAGRAM - JUNE 21ST - 11-1PM
Drawing No.	DA501
Scale	1 : 1000
Project No.	23110
CAD Reference	19/06/2025 4:30:24 PM

DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

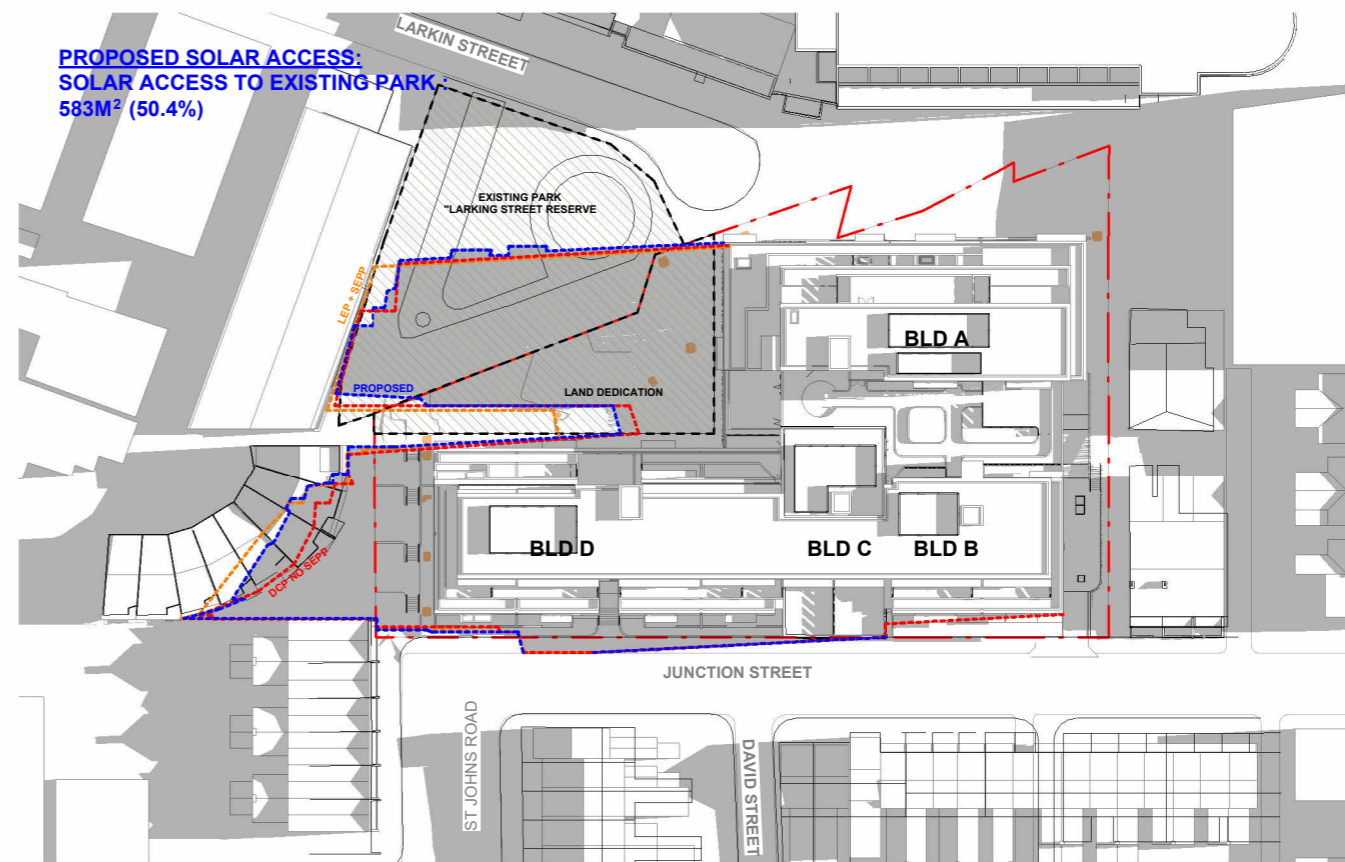
Issue	1
Drawing Size	A3
Drawn By	JT



PROPOSED SOLAR ACCESS:
SOLAR ACCESS TO EXISTING PARK:
658.5M² (56.7%)

1 **SHADOW - JUNE 21ST -2PM**

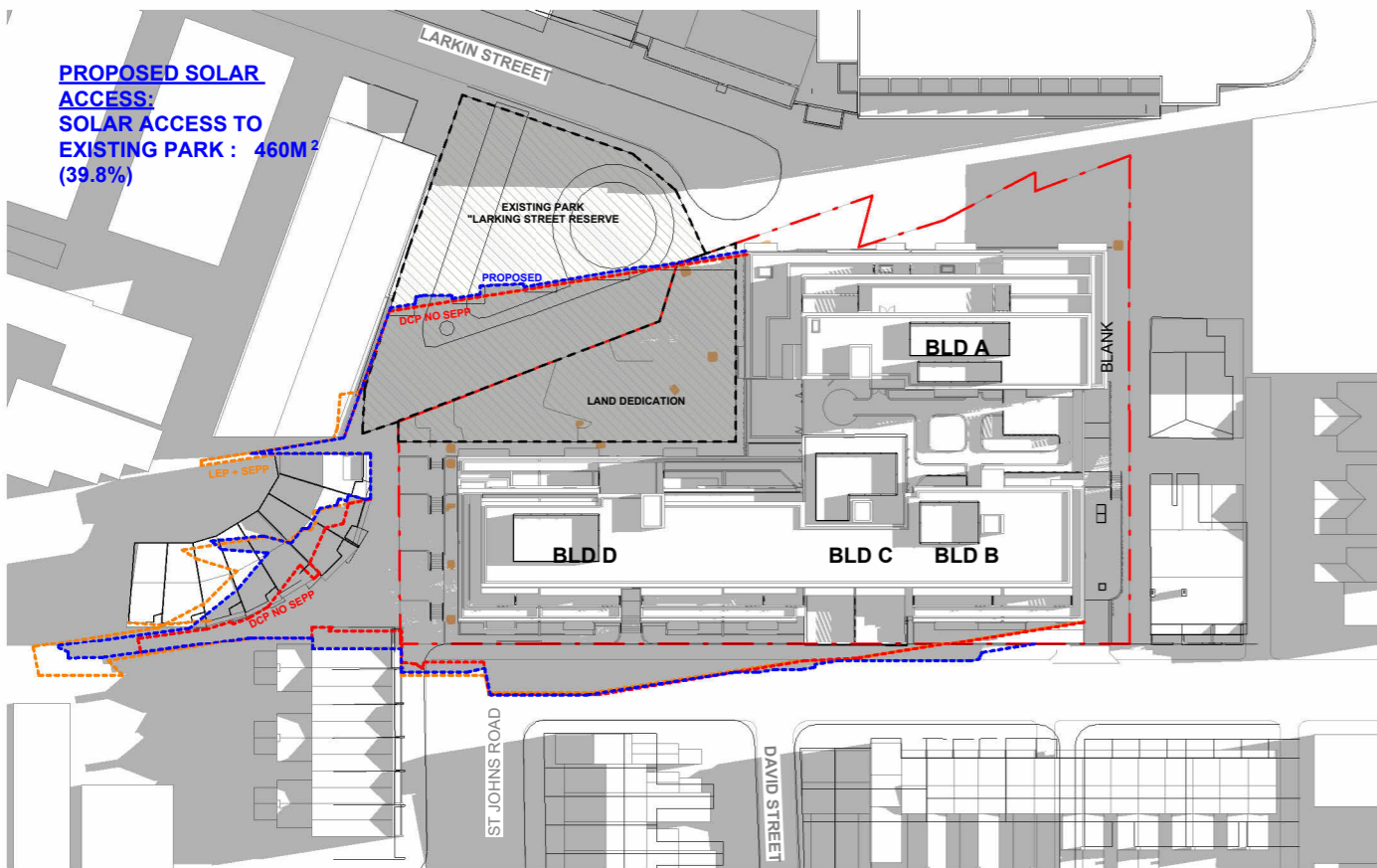
SCALE 1 : 1000



PROPOSED SOLAR ACCESS:
SOLAR ACCESS TO EXISTING PARK:
583M² (50.4%)

2 **SHADOW - JUNE 21ST - 2.30pm**

SCALE 1 : 1000



PROPOSED SOLAR ACCESS:
SOLAR ACCESS TO EXISTING PARK :
460M² (39.8%)

3 **SHADOW - JUNE 21ST -3PM**

SCALE 1 : 1000



Dimensioned drawings to take precedence over scaling. Contractor to verify all dimensions on site before construction. All inconsistencies to be reported to the Architect immediately. This drawing and its contents remain the copyright of WMK Architecture Pty Ltd © Nominated Architect Greg Barnett (NSW ARB. 6092)

Issue	Description	Date	Client
1	Development Application	19.06.2025	CORIO PROJECTS

Project
 Seniors Living Development
 2-32 Junction Street, Forest Lodge NSW

Title
 SHADOW DIAGRAM - JUNE 21ST - 2PM-3PM

**DEVELOPMENT APPLICATION ONLY
 NOT FOR CONSTRUCTION**

Drawing No. DA502	Issue 1
Scale 1 : 1000	Drawing Size A3
Project No. 23110	Drawn By JT
CAD Reference	
19/06/2025 4:31:33 PM	



ELEVATIONAL SHADOW - JUNE 21ST - 9AM

1



ELEVATIONAL SHADOW - JUNE 21ST - 9.30AM

2



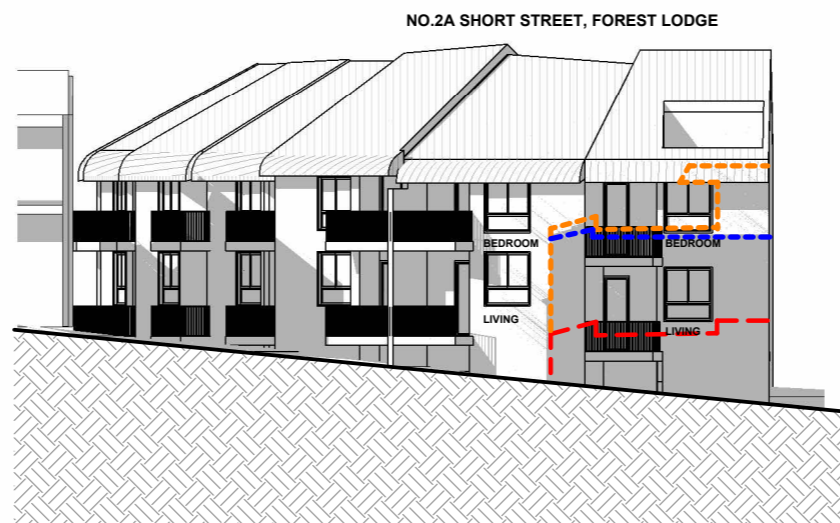
ELEVATIONAL SHADOW - JUNE 21ST - 10AM

3



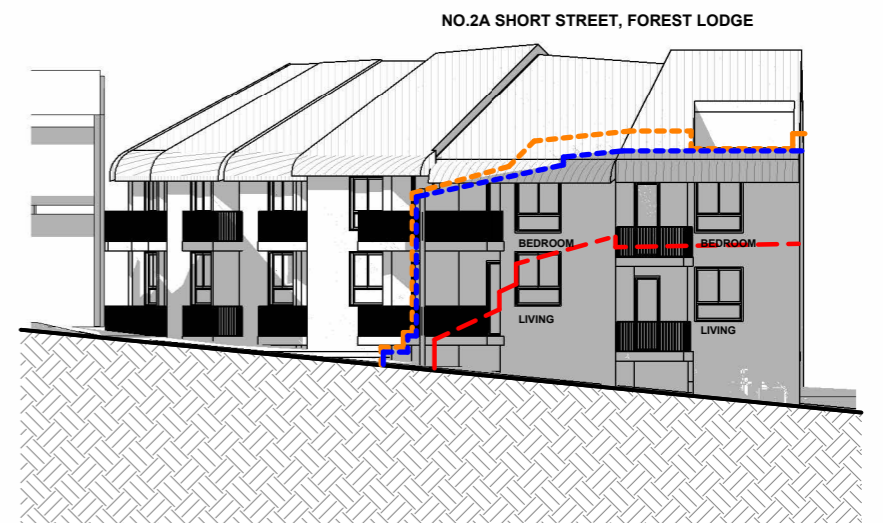
ELEVATIONAL SHADOW - JUNE 21ST - 10.30AM

4



ELEVATIONAL SHADOW - JUNE 21ST - 11AM





5



ELEVATIONAL SHADOW - JUNE 21ST - 12PM

6

LEGEND:

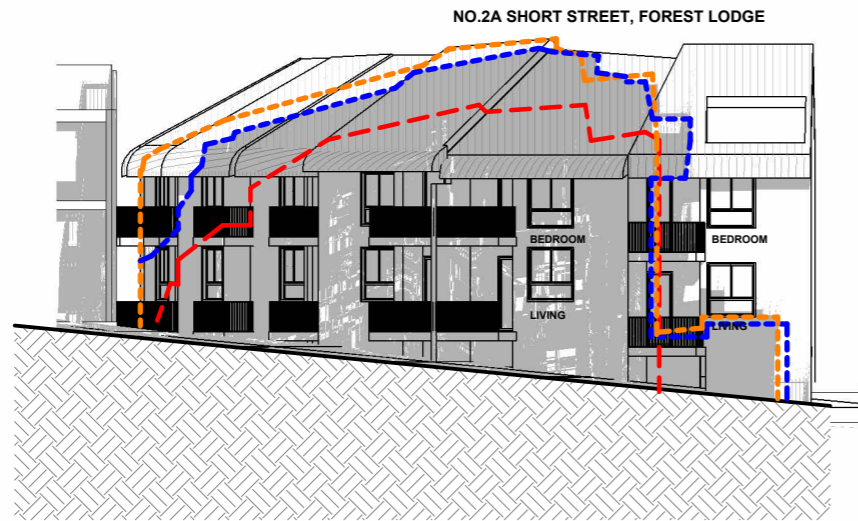
-  DENOTES EXTENT OF LEP+SEPP BUILDING ENVELOPE ELEVATIONAL SHADOWS CAST ONTO NEIGHBOURING BUILDING AT NO.2A SHORT ST.
-  DENOTES EXTENT OF PROPOSED BUILDING ELEVATIONAL SHADOW CAST ONTO NEIGHBOURING BUILDING AT NO.2A SHORT ST.
-  DENOTES EXTENT OF DCP COMPLIANT ENVELOPE ELEVATIONAL SHADOWS CAST ONTO NEIGHBOURING BUILDING AT NO. 2A SHORT ST
-  DENOTES EXISTING SHADOWS CAST BY EXISTING CONTEXT ONTO NO.2A SHORT ST



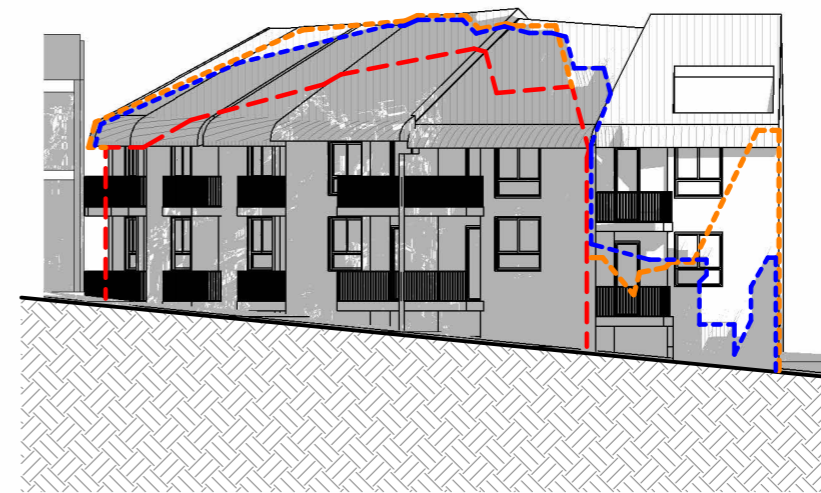
1
ELEVATIONAL SHADOW - JUNE 21ST - 1PM



2
ELEVATIONAL SHADOW - JUNE 21ST - 2PM



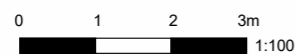
3
ELEVATIONAL SHADOW - JUNE 21ST - 2.30PM



4
ELEVATIONAL SHADOW - JUNE 21ST - 3PM

LEGEND:

- DENOTES EXTENT OF LEP+SEPP BUILDING ENVELOPE ELEVATIONAL SHADOWS CAST ONTO NEIGHBOURING BUILDING AT NO.2A SHORT ST.
- DENOTES EXTENT OF PROPOSED BUILDING ELEVATIONAL SHADOW CAST ONTO NEIGHBOURING BUILDING AT NO.2A SHORT ST.
- DENOTES EXTENT OF DCP COMPLIANT ENVELOPE ELEVATIONAL SHADOWS CAST ONTO NEIGHBOURING BUILDING AT NO. 2A SHORT ST
- DENOTES EXISTING SHADOWS CAST BY EXISTING CONTEXT ONTO NO.2A SHORT ST



Dimensioned drawings to take precedence over scaling. Contractor to verify all dimensions on site before construction. All inconsistencies to be reported to the Architect immediately. This drawing and its contents remain the copyright of WMK Architecture Pty Ltd © Nominated Architect Greg Barnett (NSW ARB. 6092)

Issue	Description	Date
1	Development Application	19.06.2025

Client
CORIO PROJECTS

Project
Seniors Living Development
2-32 Junction Street, Forest Lodge NSW






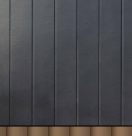



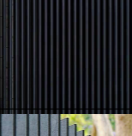




Title
ELEVATIONAL SHADOW

Drawing No.
DA504
Scale
1 : 100
Project No.
23110

Issue
1
Drawing Size
A3
Drawn By
JT

DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

CAD Reference
19/06/2025 4:32:33 PM

MATERIAL SCHEDULE			
MARK	NAME	DESCRIPTION	REFERENCE
WF1	WALL FINISH 01	CONCRETE FINISH (LIGHT GREY, RIBBED)	
WF2	WALL FINISH 02	CONCRETE FINISH (LIGHT GREY, SMOOTH)	
WF3	WALL FINISH 03	CONCRETE FINISH (MID GREY, TEXTURED)	
WF4	WALL FINISH 04	BRICK FINISH (BROWN)	
WF5	WALL FINISH 05	REPURPOSED SANDSTONE (FROM EXISTING RETAINING WALL)	
WF6	WALL FINISH 06	METAL CLADDING (COLOUR: GREY)	
WF7	WALL FINISH 07	METAL CLADDING (COLOUR: BRONZE)	
SC1	SCREEN TYPE 01	LOUVRE SCREENING (LIGHT GREY)	
SC2	SCREEN TYPE 02	LOUVRE SCREENING (COLOUR: BRONZE)	
SC3	SCREEN TYPE 03	LOUVRE SCREENING (DARK GREY)	
BAL1	BALUSTRADE TYPE 01	VERTICAL METAL RAILING (DARK GREY)	
GL1	GLAZING TYPE 01	GLASS	
GL2	GLAZING TYPE 02	OPAQUE GLASS (INSULATED BACKING WHERE REQUIRED. REFER TO BASIX)	
EXB	EXISTING BUILDING	AGED BRICK (CLEANED AND MADE GOOD)	



ARTIST IMPRESSION - EASTERN ELEVATION ALONG JUNCTION ST

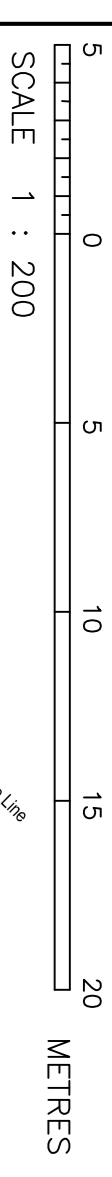


Dimensioned drawings to take precedence over scaling. Contractor to verify all dimensions on site before construction. All inconsistencies to be reported to the Architect immediately. This drawing and its contents remain the copyright of WMK Architecture Pty Ltd © Nominated Architect Greg Barnett (NSW ARB. 6092)

Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
1	Development Application	19.06.2025	CORIO PROJECTS	Seniors Living Development 2-32 Junction Street, Forest Lodge NSW	MATERIALS & FINISHES	DA600	1
						Scale N/A	Drawing Size A3
						Project No. 23110	Drawn By JT
					DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION	CAD Reference	
						19/06/2025 4:32:34 PM	

Appendix B - Site Survey





SCALE 1 : 200

0 5 10 15 20 METRES

SECTION 54 56 20

SECTION 54 56 20

FDC CONSTRUCTION & FITOUT

DETAIL SURVEY OF VARIOUS LOTS
No 20-22 JUNCTION STREET & KIMBER LANE FOREST LODGE

NOTES
 The title boundaries shown hereon were not marked at the time of survey and have been determined by plan dimensions only and not by field survey. Owners hereon have been located where possible by field survey. If not able to be so located, services have been plotted from the records of relevant authorities where available and have been noted accordingly on the plan. Where such records do not exist or are inadequate a notation 'P' has been placed on the plan to indicate that the location of the service is shown. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

PP/CF	LPL	DD/MM/YY	COMMENT
A	LJMC	20/07/15	ISSUED FOR COMMENT

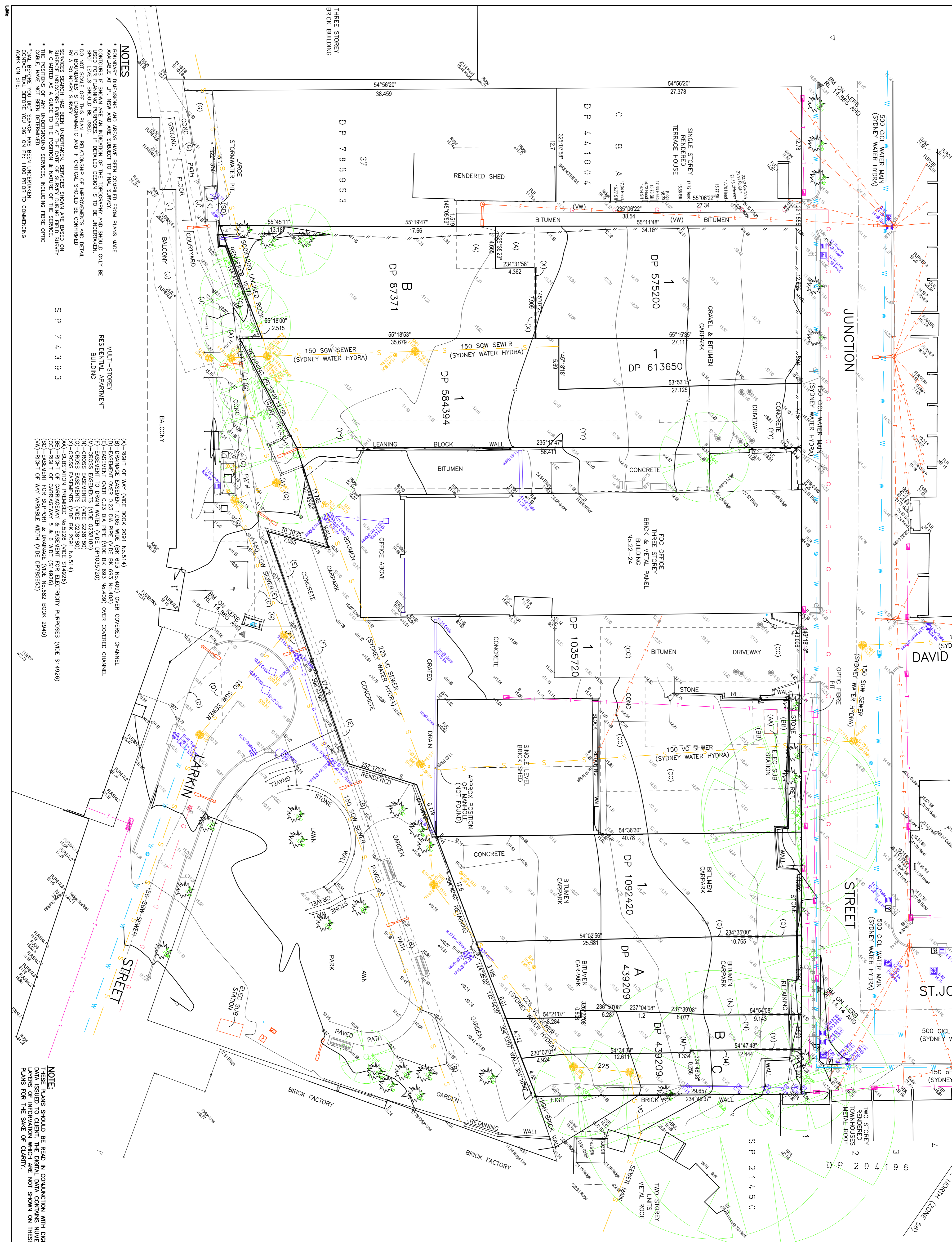
LEGEND	
	State Survey Mark
	Bench Mark
	Telephone Field (light)
	Telephone Field (dark)
	Bell
	Seal or Stairs
	Sign
	Power Pole & Light
	Gas Valve
	Unmarked Field
	Sewer Handhole Cover
	Sewer Lateral Pipe
	Sewer Vent Pipe
	Gully Pit/Gate Cover
	Drainage Junction Marked
	Trench (incl. In-situ of Trench)
	Trench (incl. In-situ of Trench)
	Tree Stub

Symbol shown are indicative only. The symbol size and orientation does not necessarily represent the real size or orientation of the feature.

LANDPARTNERS
 Built environment consultants

Sydney Office
 Level 2, 23-29 Smith Street
 Pyralidae NSW 2116
 Dundas NSW 2117
 Sydney Office: (02) 9665 2000
 Sydney Office: (02) 9665 2001
 Sydney Office: (02) 9665 2002
 Sydney Office: (02) 9665 2003
 Sydney Office: (02) 9665 2004
 Sydney Office: (02) 9665 2005
 Sydney Office: (02) 9665 2006
 Sydney Office: (02) 9665 2007
 Sydney Office: (02) 9665 2008
 Sydney Office: (02) 9665 2009
 Sydney Office: (02) 9665 2010
 Sydney Office: (02) 9665 2011
 Sydney Office: (02) 9665 2012
 Sydney Office: (02) 9665 2013
 Sydney Office: (02) 9665 2014
 Sydney Office: (02) 9665 2015
 Sydney Office: (02) 9665 2016
 Sydney Office: (02) 9665 2017
 Sydney Office: (02) 9665 2018
 Sydney Office: (02) 9665 2019
 Sydney Office: (02) 9665 2020

HEIGHT DATUM	LOCAL AUTHORITY
AHD	SYDNEY COUNCIL
HEIGHT ORIGIN	SCALE
SSM 46146 RL 16.574	1:200 (A1)
MERIDIAN	CONTOUR INTERVAL
56	0.5 Metre
CO-ORD SYSTEM	SURVEYOR
MGA	JAA 2015
COAD FILE	DRAWN
173512 COX	EB
AUTOCAD FILE	CHECKED
73512.DWG	EB
ARCHIVE FILE	DATE
73512	21/07/15
PLAN NUMBER	DATE
SY073512.000	21/07/15



NOTES

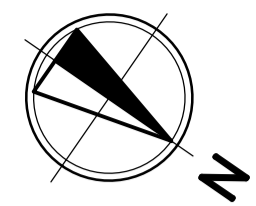
- BOUNDARY DIMENSIONS AND AREAS HAVE BEEN COMPARED FROM PLANS MADE AVAILABLE AT LPI, NSM AND ARE SUBJECT TO FINAL SURVEY.
- CONTOURS IF SHOWN ARE AN INDICATION OF THE TOPOGRAPHY AND SHOULD ONLY BE USED FOR PLANNING PURPOSES. IF DETAILED DESIGN IS TO BE UNDERTAKEN, A SEPARATE TOPOGRAPHIC SURVEY SHOULD BE UNDERTAKEN.
- DO NOT SCALE OFF THIS PLAN. RELATIONSHIP OF IMPROVEMENTS AND DETAIL TO BOUNDARIES IS DIAGRAMMATIC AND IF CRITICAL SHOULD BE CONFIRMED BY A BOUNDARY SURVEY.
- SERVICES SEARCH HAS BEEN UNDERTAKEN. SERVICES SHOWN ARE BASED ON 4. CHARTERED AS A GUIDE TO THE POSITION & NATURE OF THE SERVICE.
- THE POSITIONS OF ANY UNDERGROUND SERVICES, INCLUDING FIBRE OPTIC CABLE, HAVE NOT BEEN DETERMINED.
- FINAL BEFORE YOU DIG SEARCH HAS BEEN UNDERTAKEN.
- FINAL BEFORE YOU DIG SEARCH ON PH. 100 PRIOR TO COMMENCING WORK ON SITE.

MULTI-STOREY RESIDENTIAL APARTMENT BUILDING

(A) - RIGHT OF WAY (VIDE BOOK 2091 No.514)
 (B) - DRAINAGE EASEMENT 1.065 WIDE (BK 693 No.409) OVER COVERED CHANNEL
 (C) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)
 (D) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)
 (E) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)
 (F) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)
 (G) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)
 (H) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)
 (I) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)
 (J) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)
 (K) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)
 (L) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)
 (M) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)
 (N) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)
 (O) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)
 (P) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)
 (Q) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)
 (R) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)
 (S) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)
 (T) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)
 (U) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)
 (V) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)
 (W) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)
 (X) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)
 (Y) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)
 (Z) - EASEMENT OVER 0.23 DIA PIPE (VIDE BK 693 No.409)

NOTE:
 THESE PLANS SHOULD BE READ IN CONJUNCTION WITH DIGITAL DATA ISSUED TO CLIENT. THE DIGITAL DATA CONTAINS NUMEROUS LAYERS OF INFORMATION WHICH ARE NOT SHOWN ON THESE PLANS FOR THE SAKE OF CLARITY.

Appendix C - Civil Plans

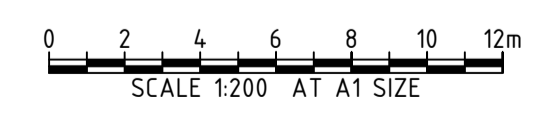
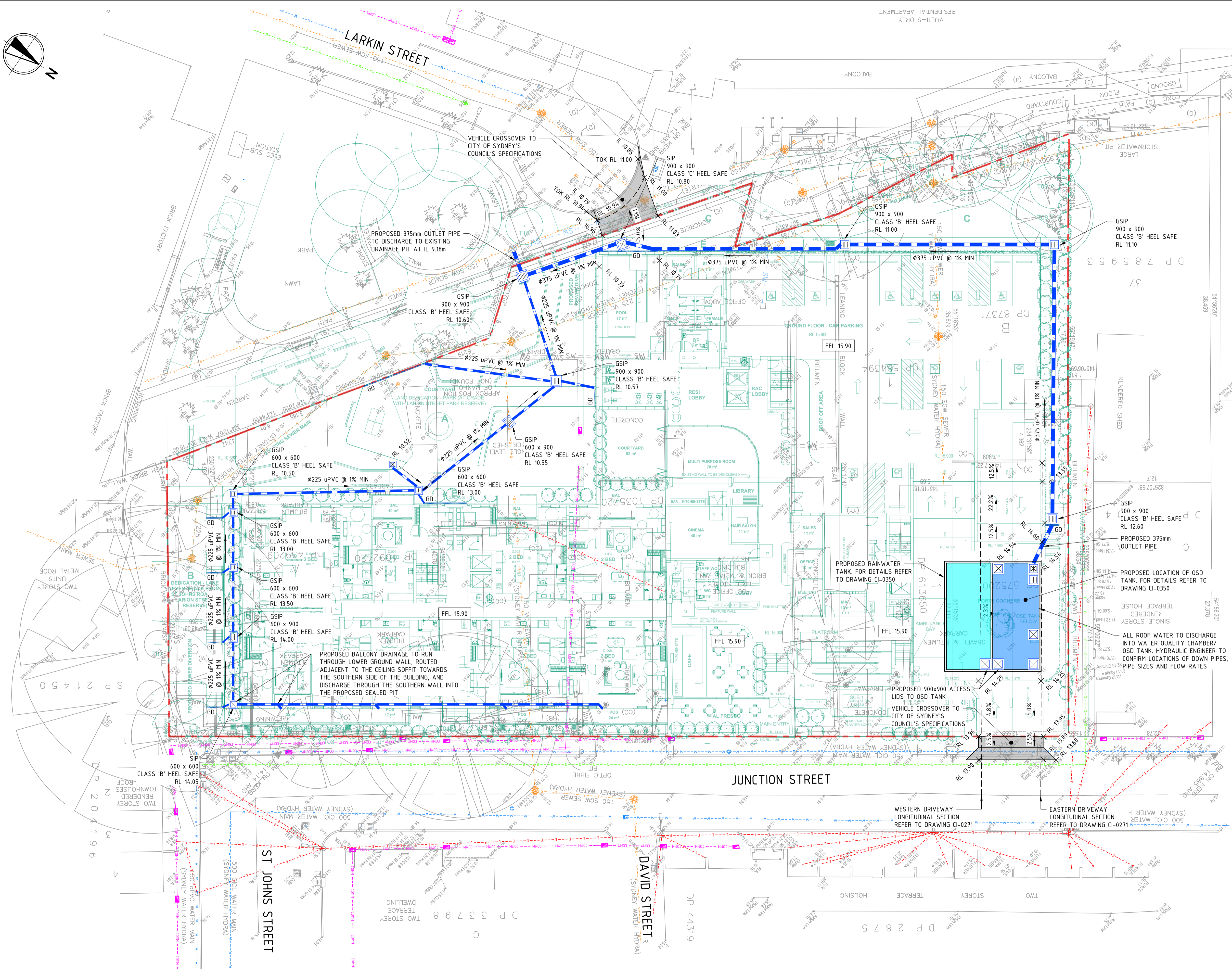


LEGEND

- SITE BOUNDARY
- ARCHITECTURAL SURVEY
- PROPOSED STORMWATER (SIZE AND GRADE)
- EXISTING DRAINAGE PIPE
- PROPOSED GRATED SURFACE INLET PIT (GSIP)/ PROPOSED KERB INLET PIT (KIP)
- PROPOSED SEALED INLET PIT (SIP)
- EXISTING INLET PITS
- GO
- PROPOSED GRATED DRAIN
- PROPOSED OSD TANK
- PROPOSED RAINWATER TANK

- ### EXISTING UTILITIES
- EXISTING ELECTRICITY
 - EXISTING TELECOMMUNICATIONS
 - EXISTING FIBRE OPTIC
 - EXISTING GAS
 - EXISTING SEWER
 - EXISTING WATER
 - EXISTING STORMWATER

- ### NOTES
1. ALL GRATED TRENCH DRAINS TO BE 100(D) x 100(W) EXCEPT FOR THE DRIVEWAY GRATED TRENCH DRAINS TO BE 200(W) x 200(D).
 2. ALL UNMARKED STORMWATER PITS ARE TO BE 450 x 450 POLY PITS WITH CLASS 'B' GRATES.



REV	DATE	DESCRIPTION	RVD	REV	DATE	DESCRIPTION	RVD
D	19.06.2025	ISSUED FOR DEVELOPMENT APPROVAL	SH				
C	12.06.2025	ISSUED FOR DEVELOPMENT APPROVAL	SH				
B	23.05.2025	ISSUED FOR DEVELOPMENT APPROVAL	SH				
A	01.04.2025	ISSUED FOR INFORMATION	SH				

CLIENT
CORIO DEVELOPMENTS

WMK

Sydney Office –
L2, 8 Windmill St
Sydney NSW 2000
P / +61 2 9770 3300 E / info@bgeeng.com
bgeeng.com

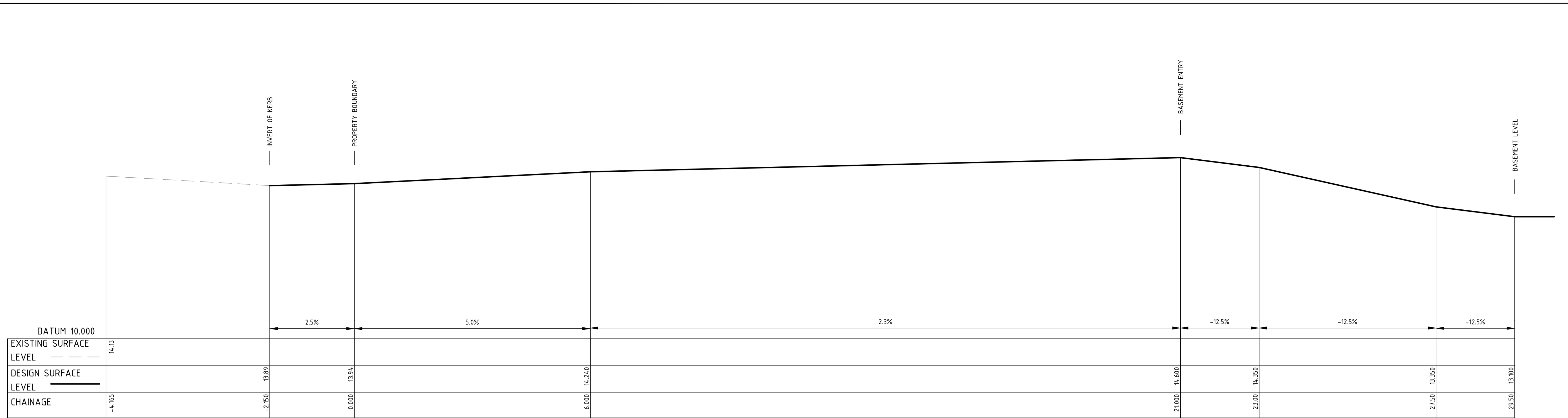
BG & E

PROJECT
2-32 JUNCTION STREET
FOREST LODGE, NSW, 2037

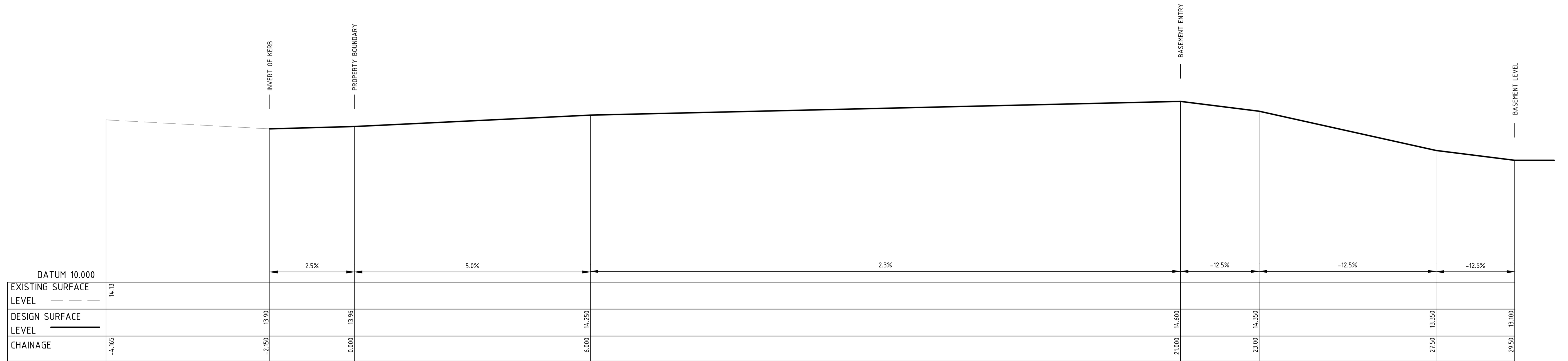
STATUS			
ISSUED FOR INFORMATION	NOT TO BE USED FOR CONSTRUCTION		
DRAWN	DESIGNED	CHECKED	APPROVED
JC	SM	SH	-
DATUM	GRID	SCALE	
AHD	GDA2020 MGA-56	1:200	

TITLE
SITWORKS AND DRAINAGE PLAN
GROUND FLOOR

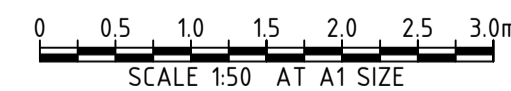
PROJECT No. **S24129** DRAWING No. **CI-0201** REV **D**



DRIVEWAY EASTERN LONGITUDINAL SECTION



DRIVEWAY WESTERN LONGITUDINAL SECTION



REV	DATE	DESCRIPTION	RVD	REV	DATE	DESCRIPTION	RVD
C	19.06.2025	ISSUED FOR DEVELOPMENT APPROVAL	SH				
B	23.05.2025	ISSUED FOR DEVELOPMENT APPROVAL	SH				
A	01.04.2025	ISSUED FOR INFORMATION	SH				

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CORIO DEVELOPMENTS



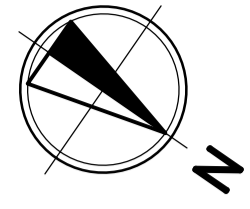
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Sydney NSW 2000
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PROJECT
2-32 JUNCTION STREET
FOREST LODGE, NSW, 2037

STATUS			
ISSUED FOR APPROVAL			
NOT TO BE USED FOR CONSTRUCTION			
DRAWN	DESIGNED	CHECKED	APPROVED
JC	SM	SH	-
DATUM	GRID	SCALE	
AHD	GDA2020 MGA-56	1:50	

TITLE		PROJECT No.	DRAWING No.	REV
DRIVEWAY LONGITUDINAL SECTIONS		S24129	CI-0270	C



LEGEND

	SITE BOUNDARY
	ARCHITECTURAL
	ROOF = 1,520m ²
	LANDSCAPE = 1,855m ²
	IMPERVIOUS AREA = 1,455m ²
	TOTAL = 4,830m²

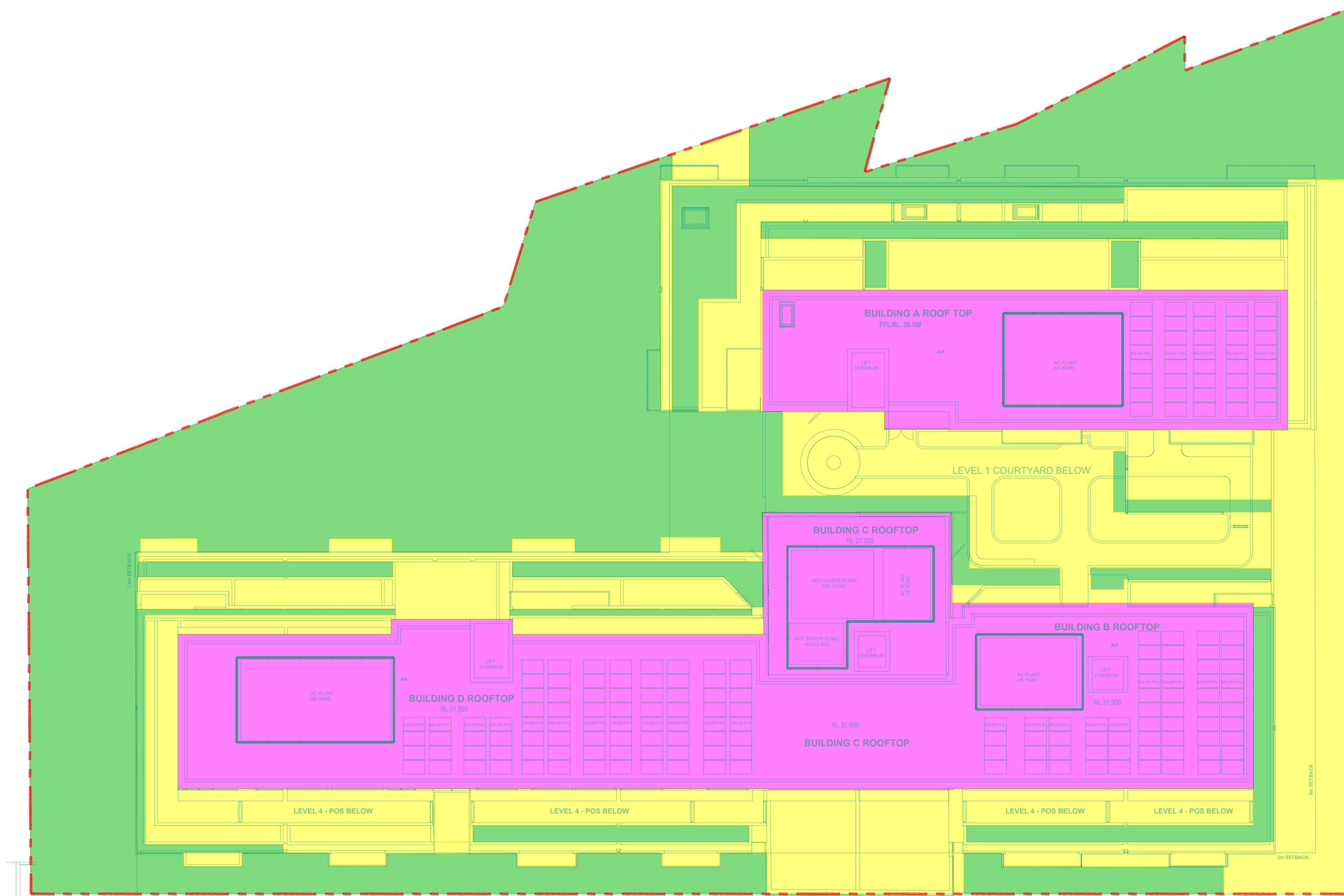
WATER QUALITY FOR DEVELOPMENT

TREATMENT DEVICES:
 - WATER QUALITY CHAMBER WITH 27 OCEAN PROTECT
 690 PSORB (MCC) STORMFILTER CARTRIDGES

TREATMENT STANDARDS

POLLUTANT	PRE	POST	REDUCTION ACHIEVED (%)	COUNCIL REQUIREMENTS (%)
GROSS POLLUTANTS	84.3	0	100	70
TOTAL SUSPENDED SOLIDS	783	109	86.2	85
TOTAL PHOSPHORUS	1.49	0.394	73.6	65
TOTAL NITROGEN	9.69	5.10	47.3	45

STORMWATER DRAINAGE REQUIREMENTS HAVE BEEN CALCULATED IN ACCORDANCE WITH CITY OF SYDNEY COUNCIL SECTION 3.7 OF THE SYDNEY DCP 2012



REV	DATE	DESCRIPTION	RVD	REV	DATE	DESCRIPTION	RVD
C	19.06.2025	ISSUED FOR DEVELOPMENT APPROVAL	SH				
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A	01.04.2025	ISSUED FOR INFORMATION	SH				

CLIENT

CORIO DEVELOPMENTS

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 L2, 8 Windmill St
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PROJECT

BG & E

2-32 JUNCTION STREET
 FOREST LODGE, NSW, 2037

STATUS

ISSUED FOR APPROVAL
 NOT TO BE USED FOR CONSTRUCTION

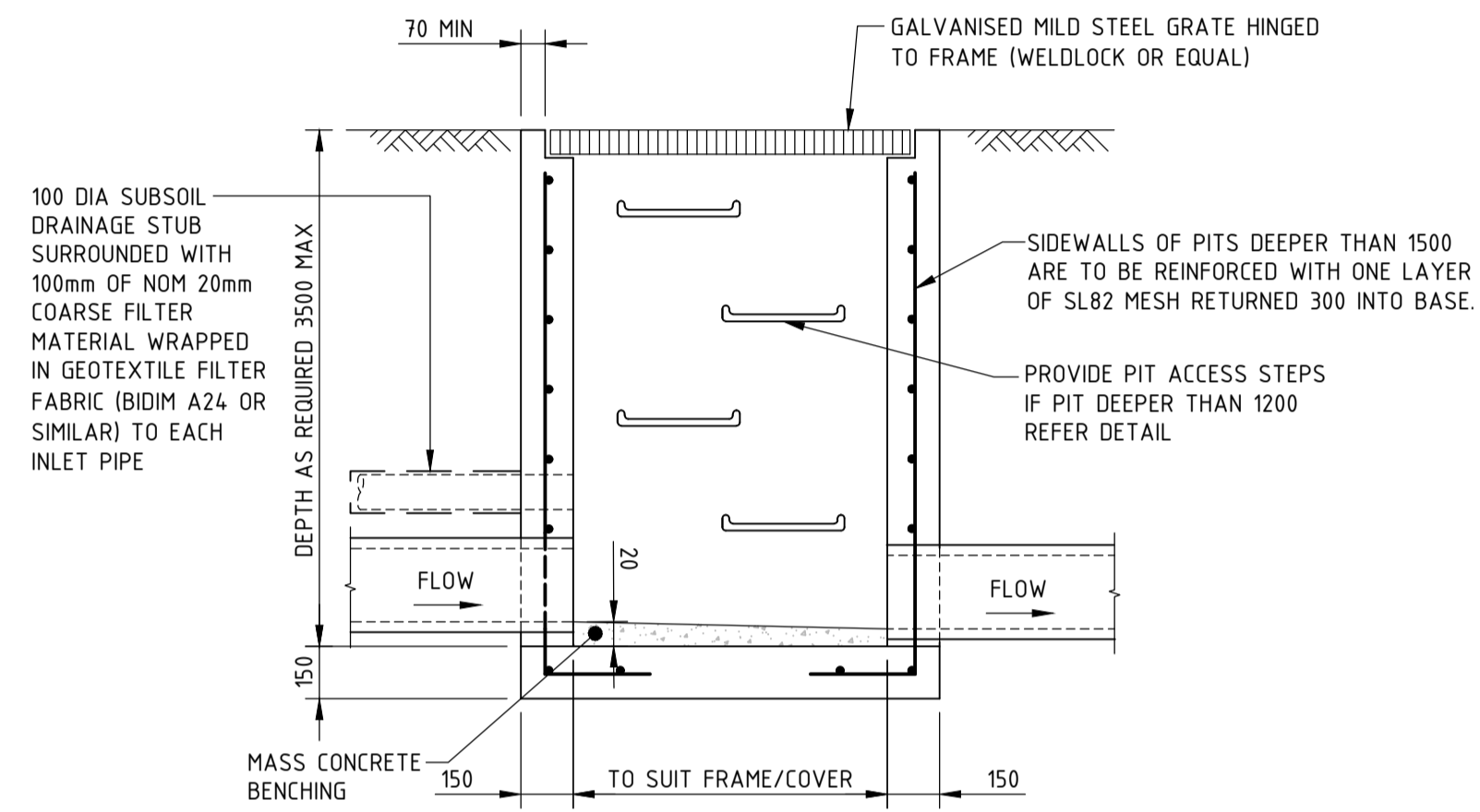
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JC	SM	SH	-

DATUM: AHD GRID: GDA2020 MGA-56 SCALE: 1:200 AT A1 SIZE

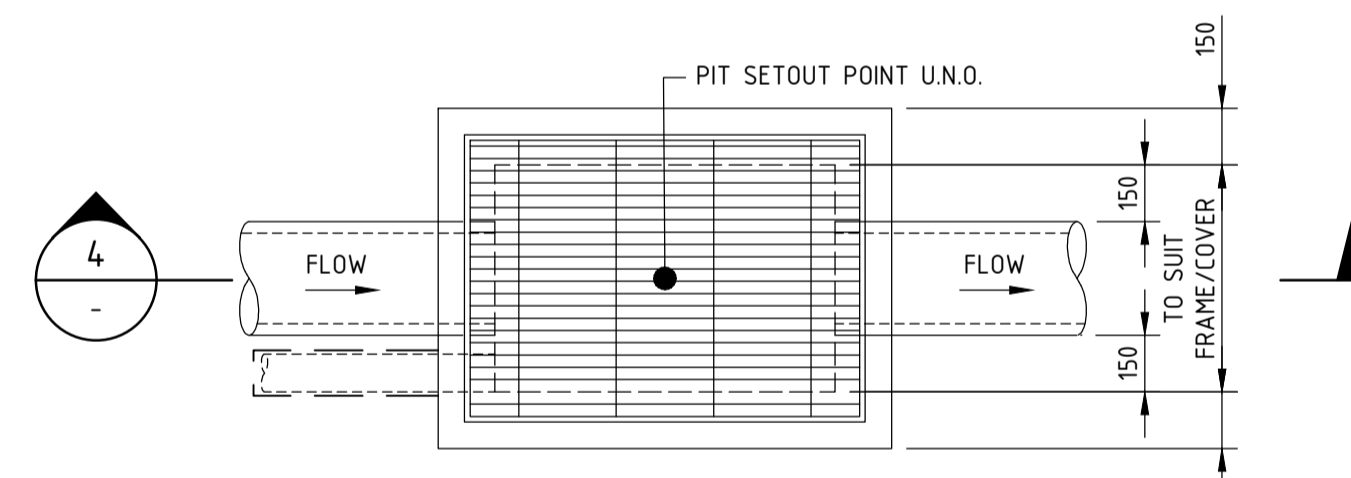
TITLE

DRAINAGE CATCHMENT PLAN

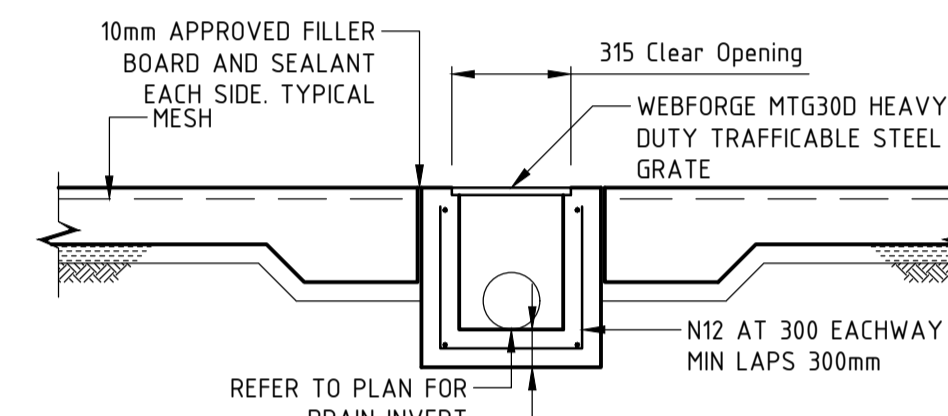
PROJECT No: S24129 DRAWING No: CI-0300 REV: C



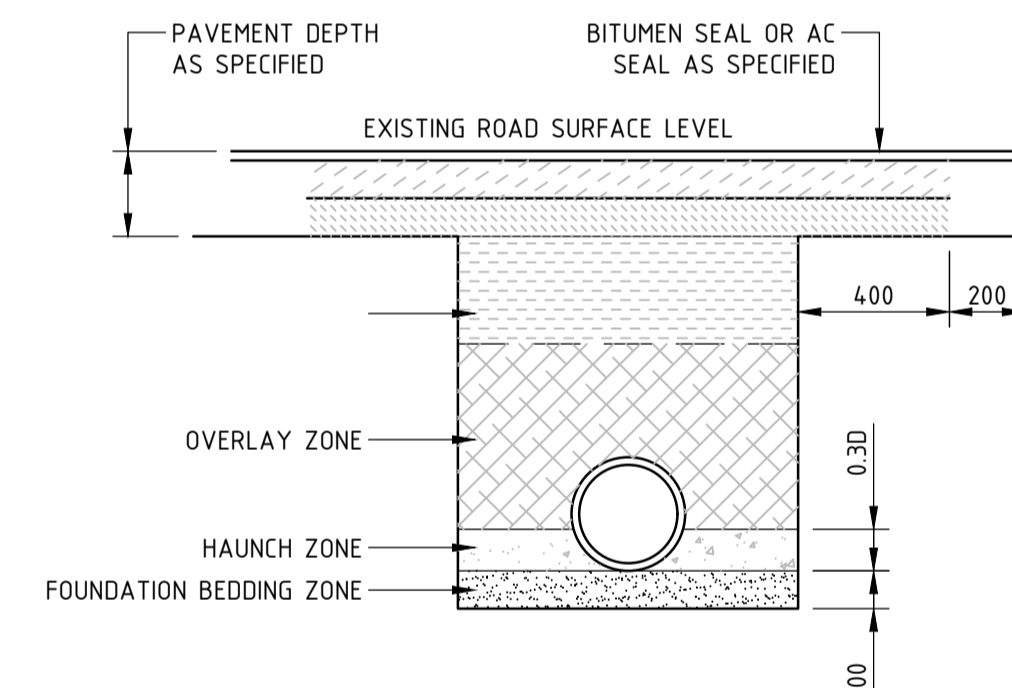
SECTION 4
SCALE 1:20



PLAN - GRATED / JUNCTION PIT DETAIL
SCALE 1:20



GRADED TRENCH DETAIL



TYPICAL STORMWATER DRAINAGE
INSTALLATION IN EXISTING ROADWAY
SCALE : N.T.S

REV	DATE	DESCRIPTION	RVD	REV	DATE	DESCRIPTION	RVD
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B	23.05.2025	ISSUED FOR DEVELOPMENT APPROVAL	SH				
A	01.04.2025	ISSUED FOR INFORMATION	SH				

REVISIONS

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CORIO DEVELOPMENTS

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Sydney Office -
L2, 8 Windmill St
Sydney NSW 2000
P / +61 2 9770 3300 E / info@bgeeng.com
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PROJECT
**2-32 JUNCTION STREET
FOREST LODGE, NSW, 2037**

STATUS
ISSUED FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION

DRAWN JC	DESIGNED SM	CHECKED SH	APPROVED -
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DATUM
AHD

GRID
GDA2020
MGA-56

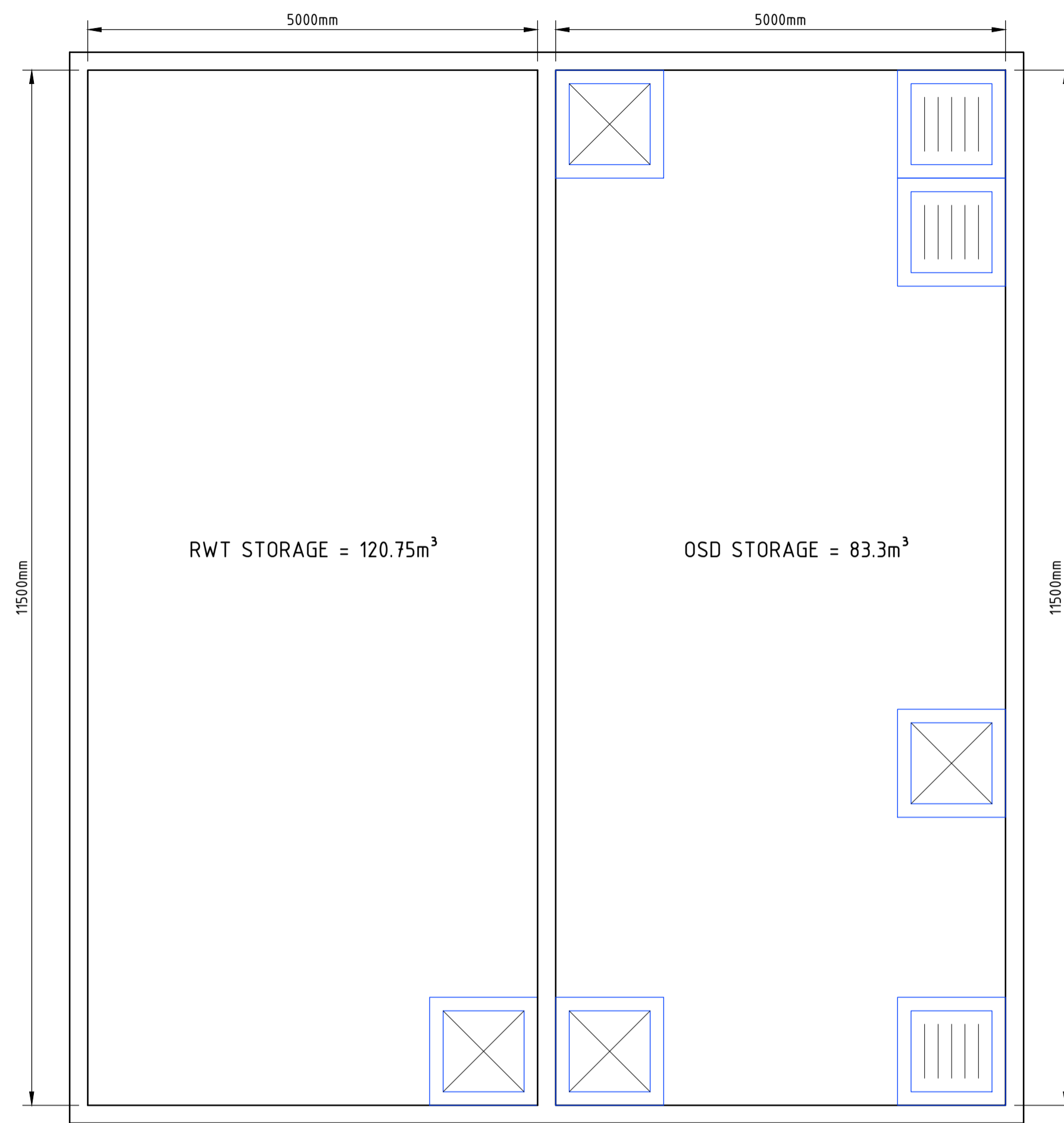
SCALE
AS SHOWN

PROJECT No.
S24129

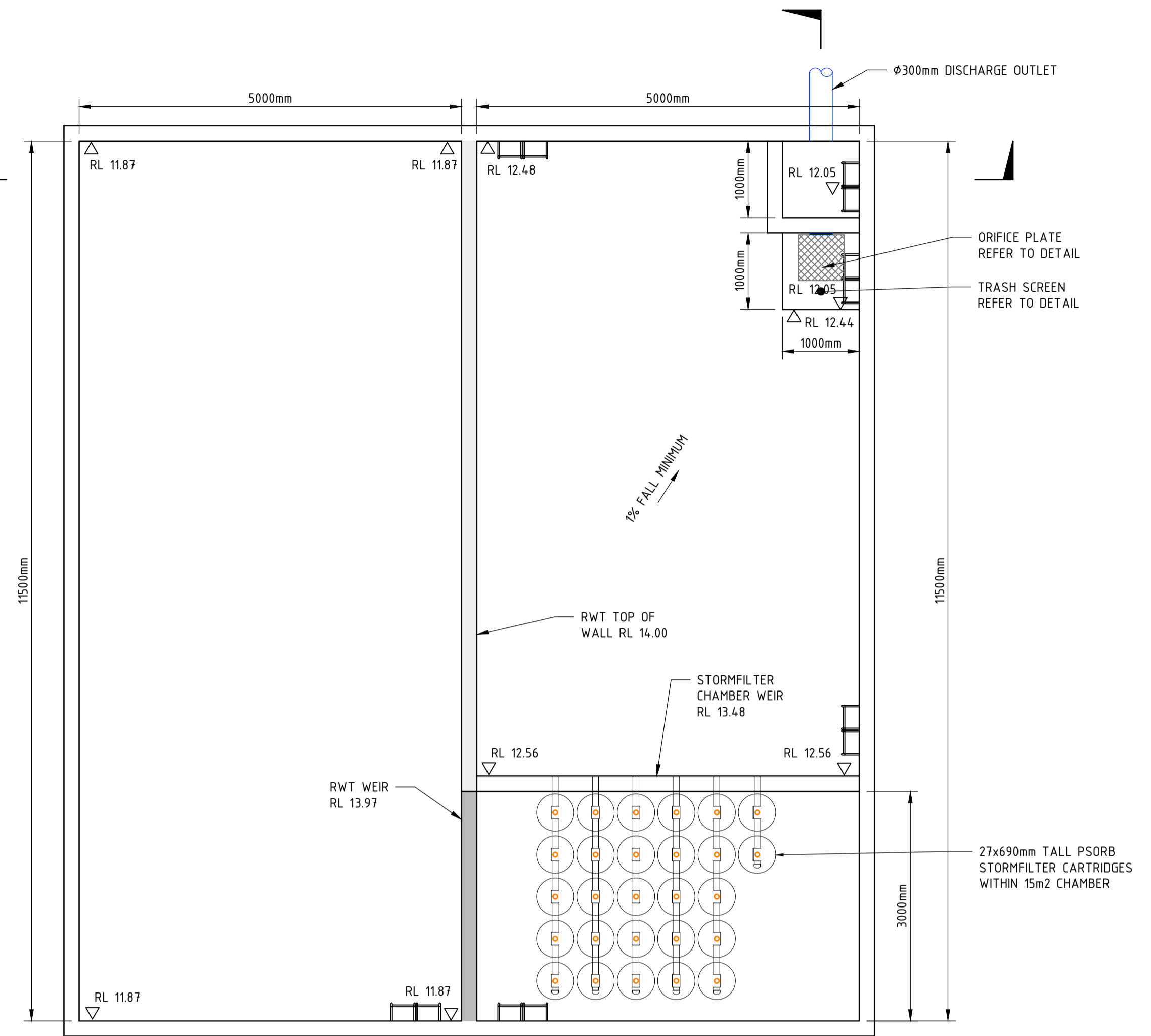
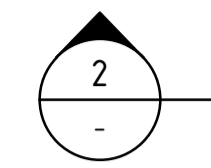
DRAWING No.
CI-0340

REV
C

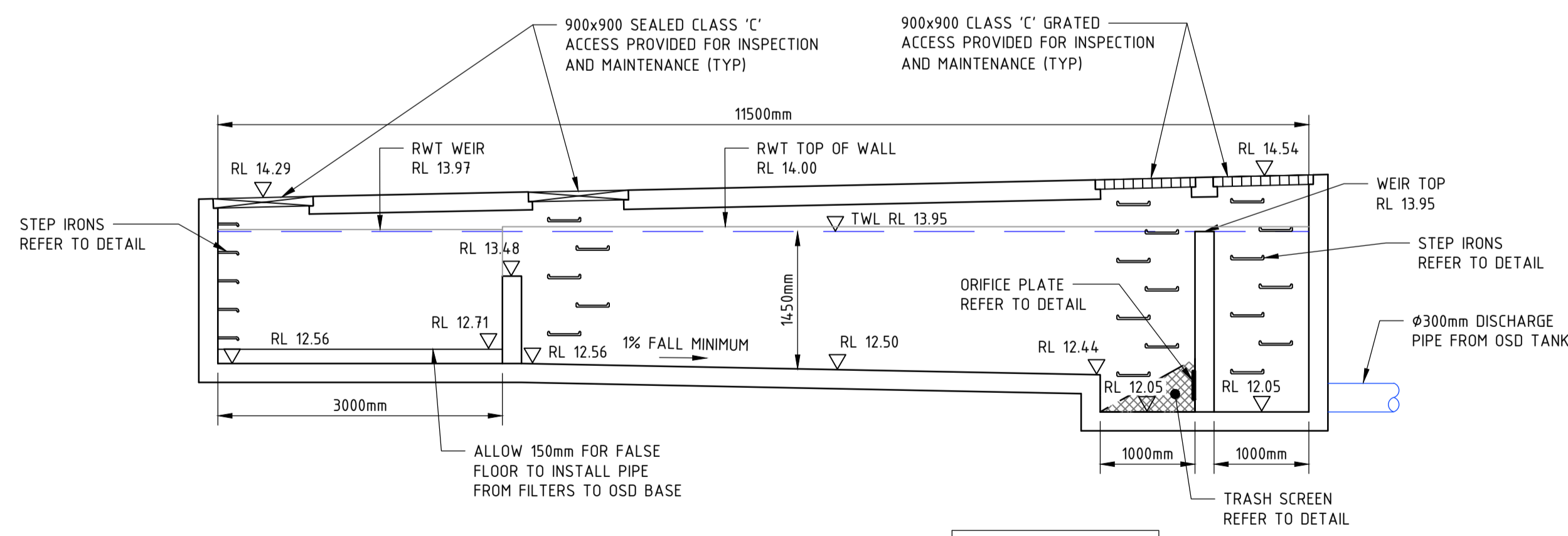
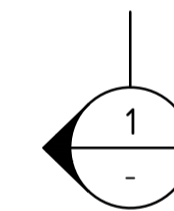
TITLE
DRAINAGE DETAILS



OSD LID PLAN
SCALE 1:50

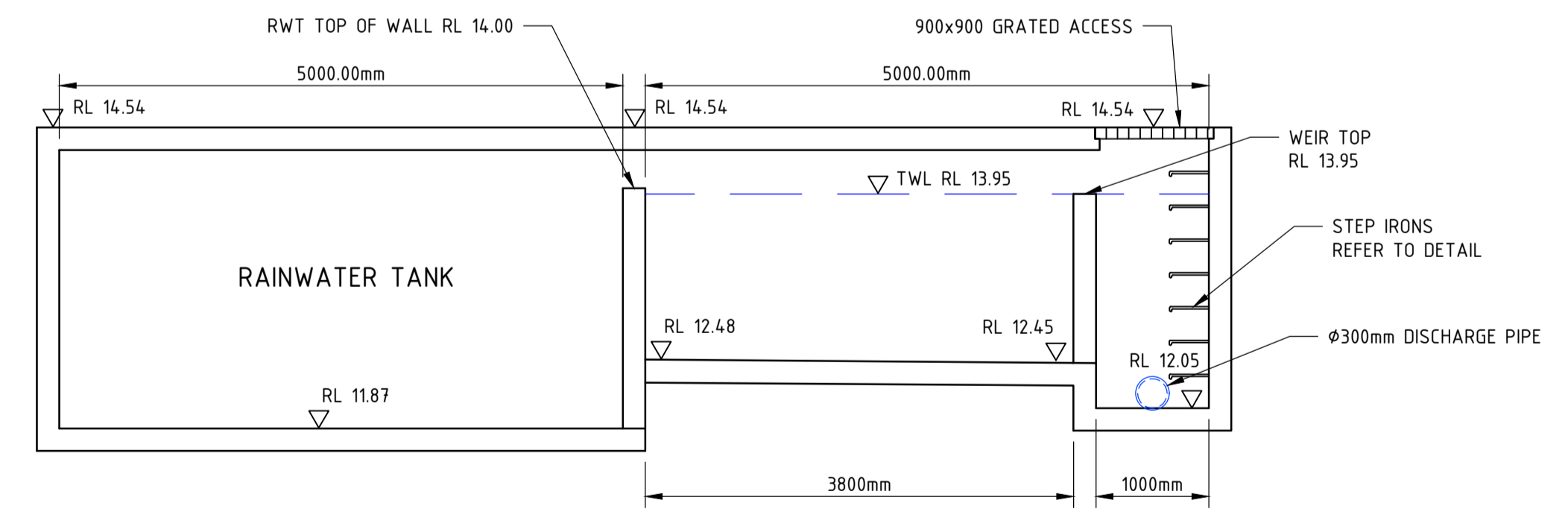


OSD BASE PLAN
SCALE 1:50

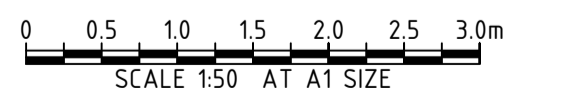


SECTION 1
SCALE 1:50

NOTE:
REQUIRED VOLUME: 77m³
PROVIDED VOLUME: 83.3m³
REQUIRED PSD: 176 L/s
PROVIDED PSD: 174.7 L/s



SECTION 2
SCALE 1:50



REV	DATE	DESCRIPTION	REVISED BY	DATE	DESCRIPTION	REVISED BY
C	19.06.2025	ISSUED FOR DEVELOPMENT APPROVAL	SH			
B	23.05.2025	ISSUED FOR DEVELOPMENT APPROVAL	SH			
A	01.04.2025	ISSUED FOR INFORMATION	SH			

CORIO DEVELOPMENTS



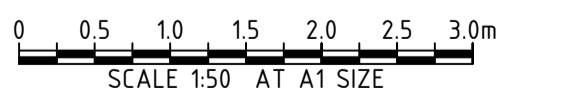
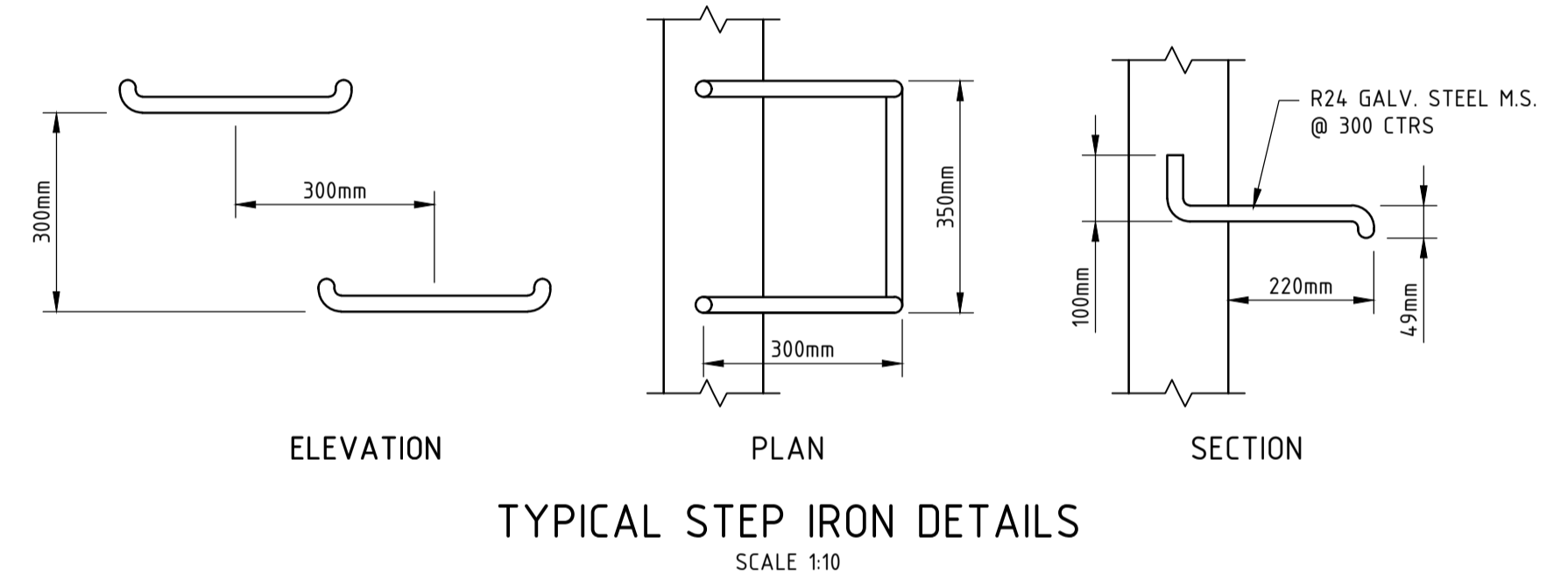
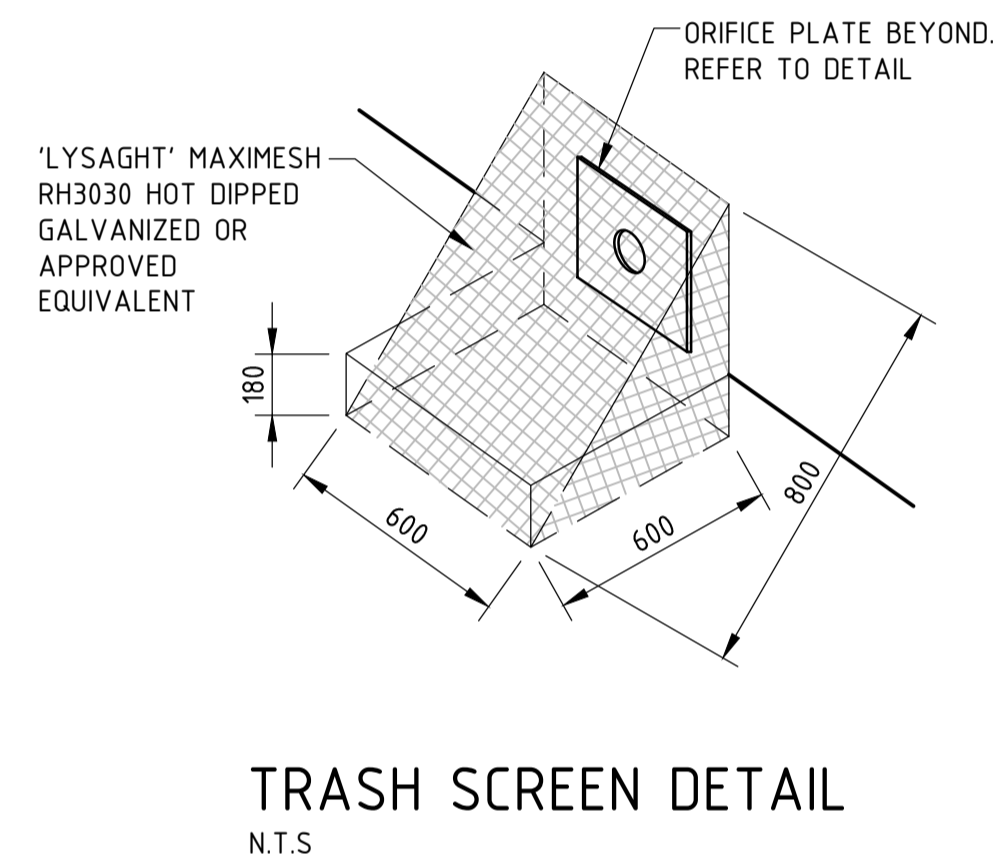
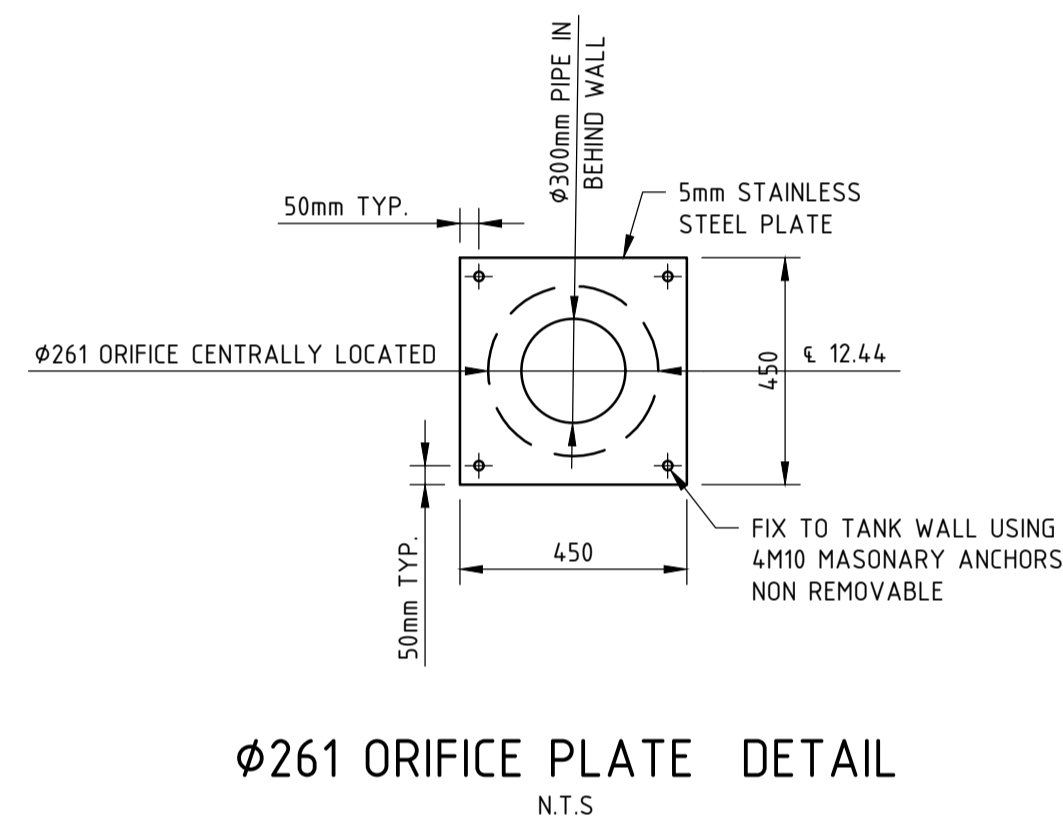
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Sydney NSW 2000
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bgeeng.com—



2-32 JUNCTION STREET
FOREST LODGE, NSW, 2037

STATUS ISSUED FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION			
DRAWN JC	DESIGNED SM	CHECKED SH	APPROVED -
DATUM AHD	GRID GDA2020 MGA-56	SCALE AS SHOWN	AT A1 SIZE

TITLE OSD PLAN AND SECTIONS	
PROJECT No. S24129	DRAWING No. CI-0350
REV C	



REV	DATE	DESCRIPTION	REVISIONS	REV	DATE	DESCRIPTION	REVISIONS
A	19/06/2025	ISSUED FOR INFORMATION	SH				

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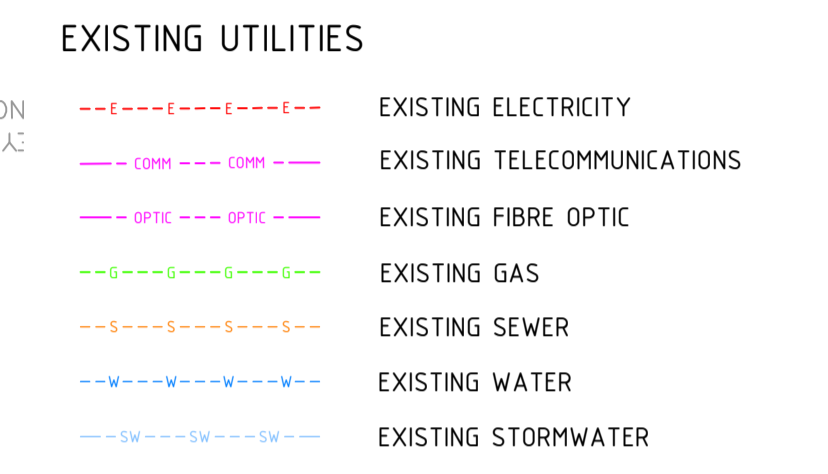
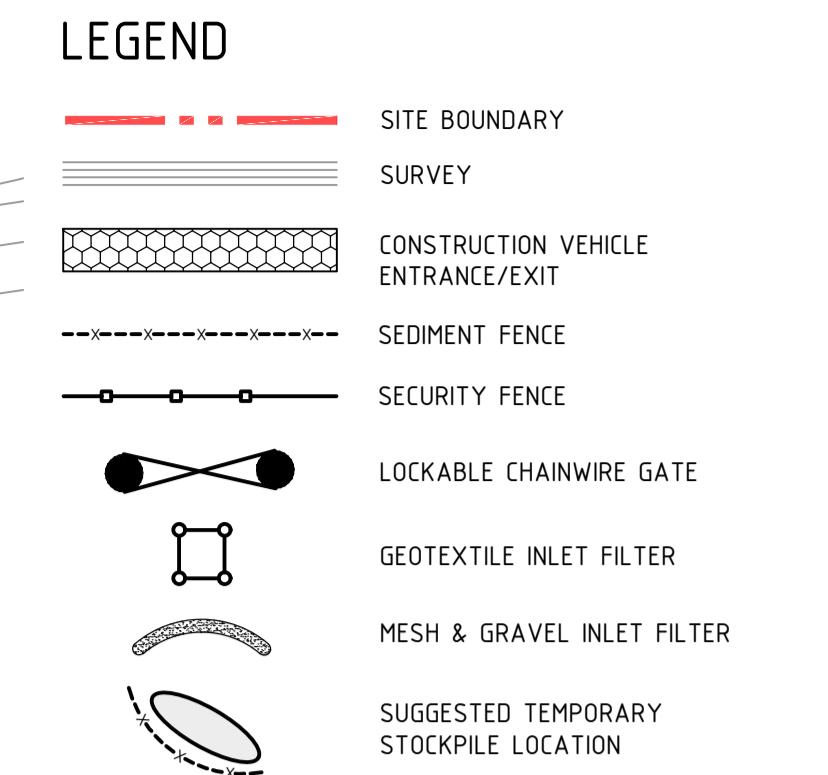
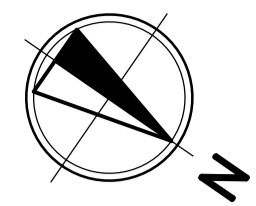


PROJECT

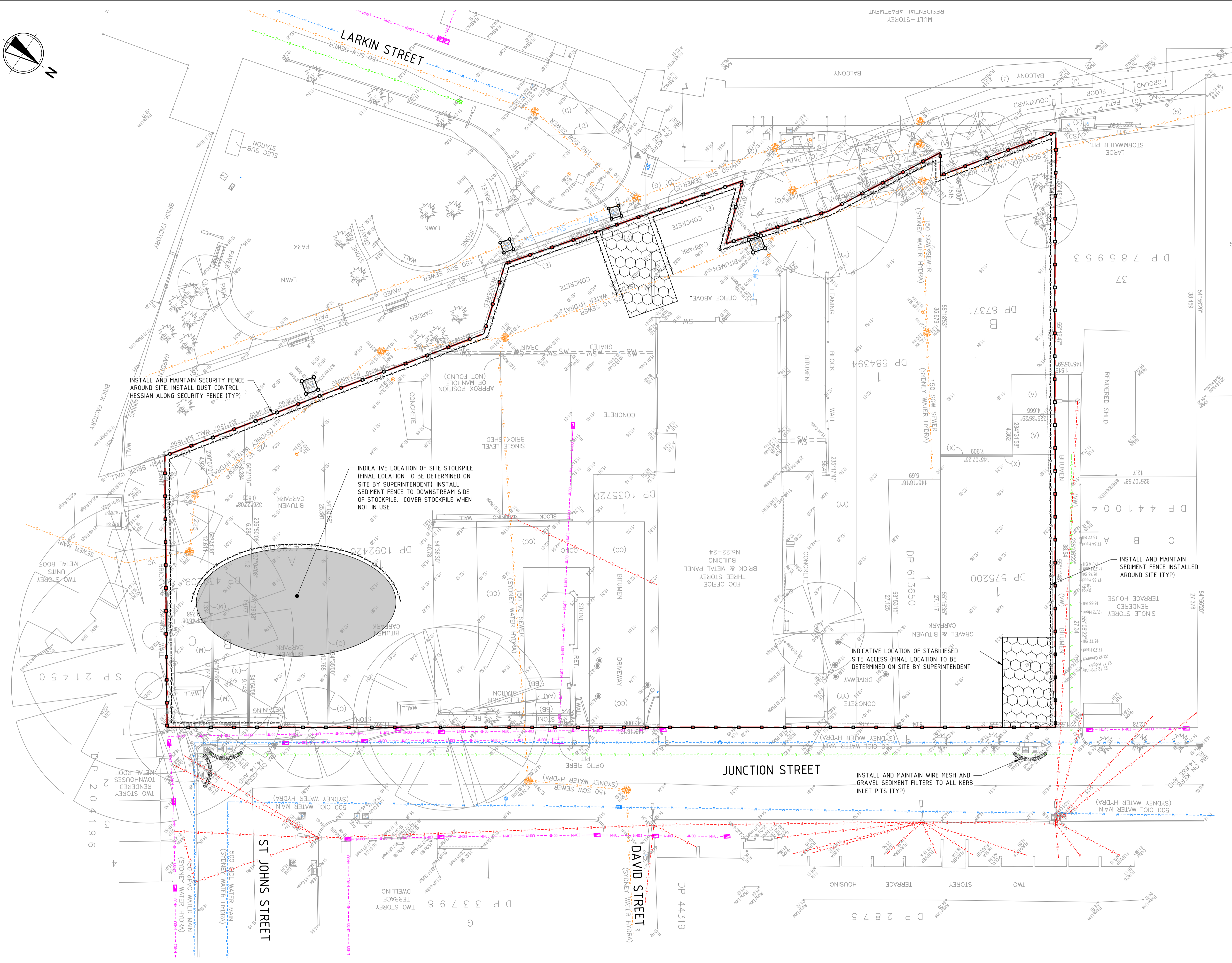
2-32 JUNCTION STREET
FOREST LODGE, NSW, 2037

STATUS			
ISSUED FOR APPROVAL			
NOT TO BE USED FOR CONSTRUCTION			
DRAWN	DESIGNED	CHECKED	APPROVED
JC	SM	SH	-
DATUM	GRID	SCALE	
AHD	GDA2020 MGA-56	AS SHOWN	

TITLE		
OSD DETAILS		
PROJECT No.	DRAWING No.	REV
S24129	CI-0355	A



- ### NOTES
- REFER DRAWING CI-070 FOR EROSION AND SEDIMENT CONTROL DETAILS.
 - CONTRACTOR TO ENSURE SITE DRAINAGE IS NOT ADVERSELY IMPACTED DURING CONSTRUCTION.
 - CONTRACTOR TO PROVIDE 'SANDBAG SEDIMENT TRAP' TO ALL PAVED/ROAD AREAS (BOTH PROPOSED AND EXISTING) IN ACCORDANCE WITH THE 'BLUE BOOK'.
 - CONTRACTOR TO PROVIDE 'GEOTEXTILE INLET FILTER TRAPS' TO ALL STORMWATER DRAINAGE INLETS (BOTH PROPOSED AND EXISTING) IN ACCORDANCE WITH THE 'BLUE BOOK'.
 - INSTALL AND MAINTAIN SANDBAG FILTERS ACROSS ALL PAVEMENT INTERFACES.



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PROJECT

2-32 JUNCTION STREET
FOREST LODGE, NSW, 2037

STATUS

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DRAWN	DESIGNED	CHECKED	APPROVED
JC	SM	SH	-

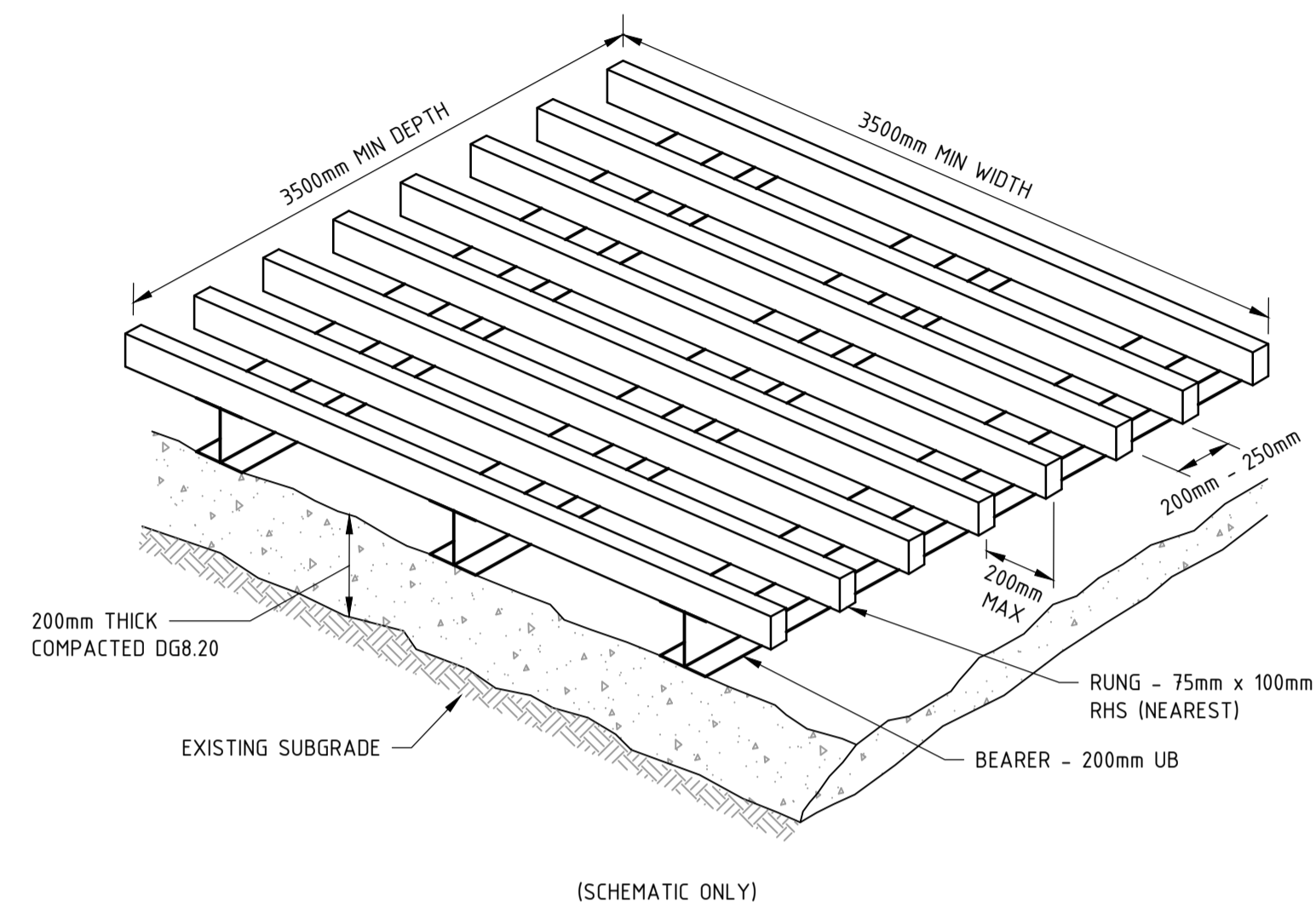
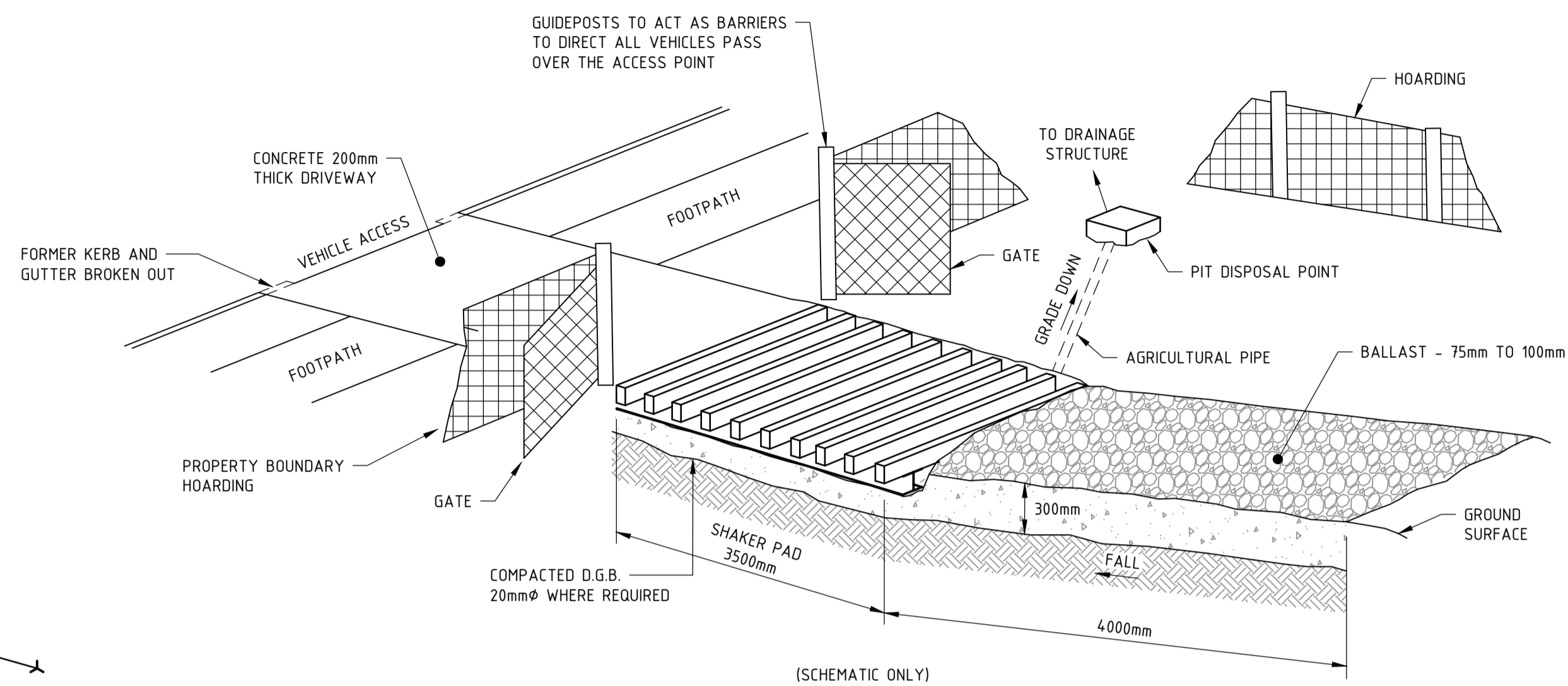
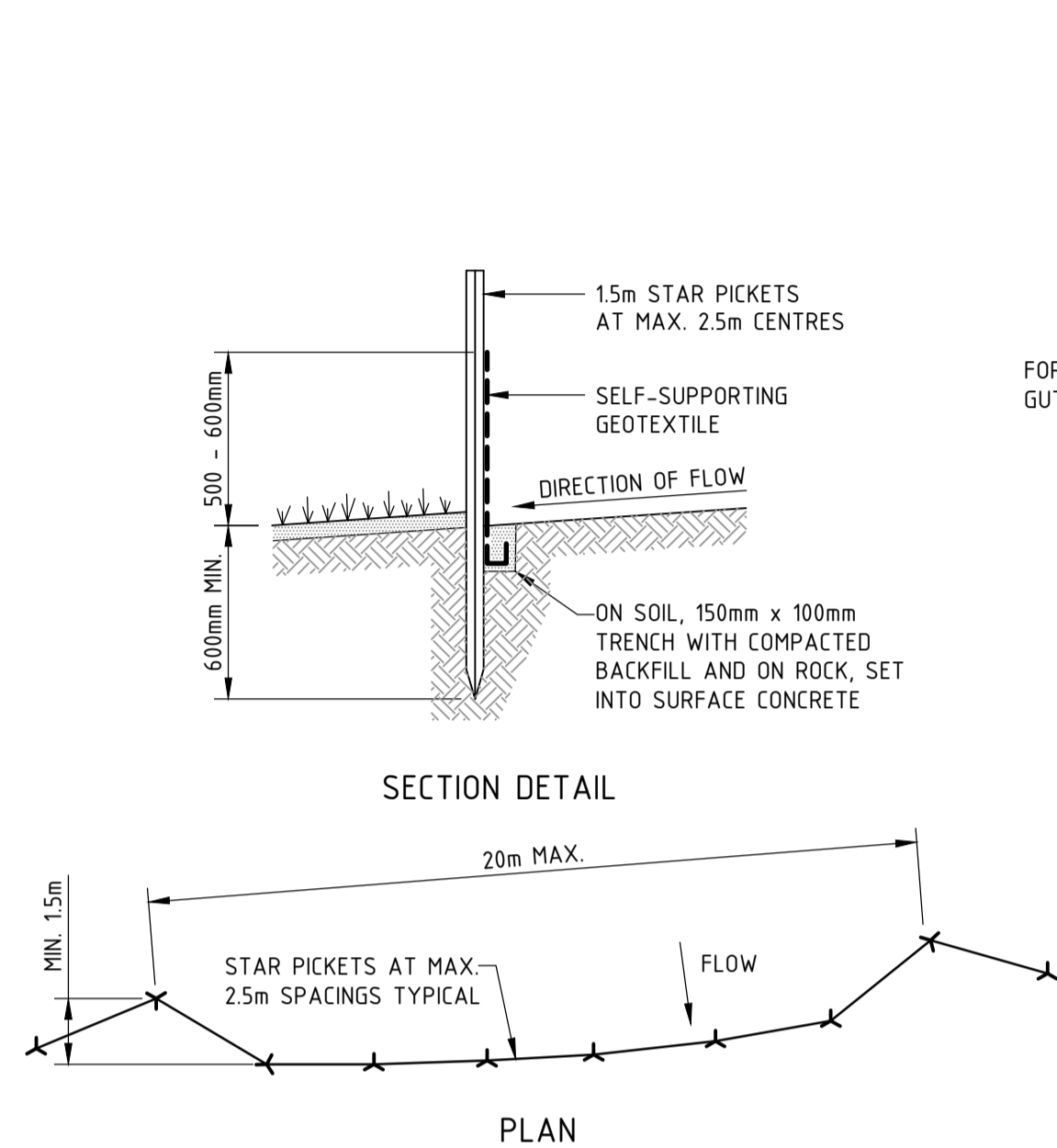
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TITLE

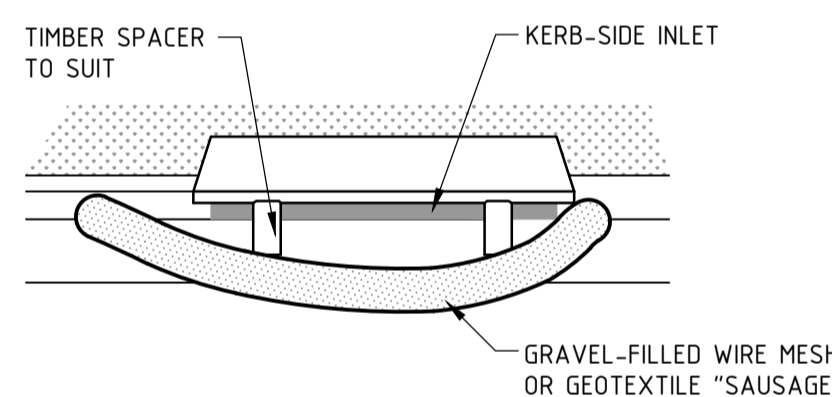
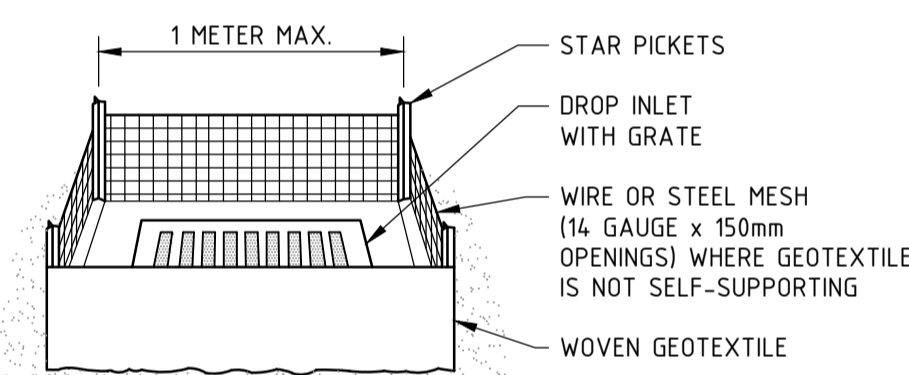
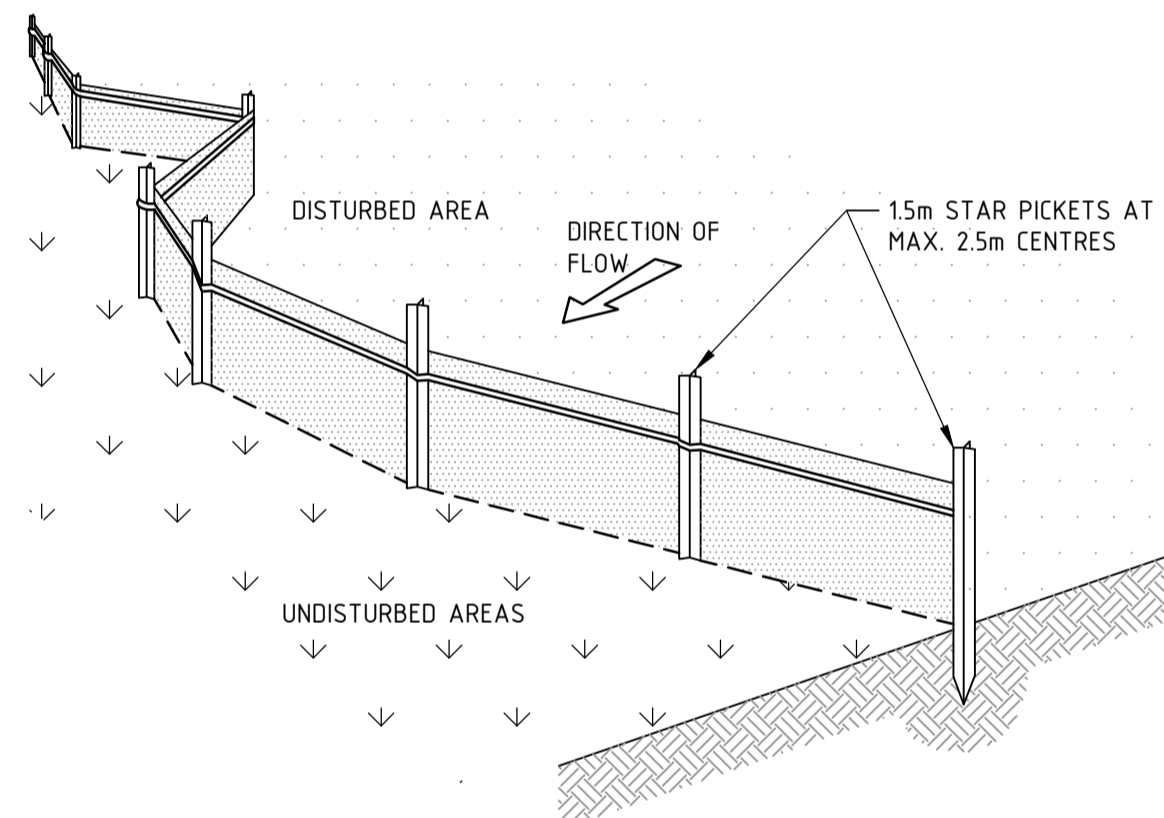
EROSION AND SEDIMENT CONTROL PLAN

PROJECT No: S24129 DRAWING No: CI-0700 REV: C

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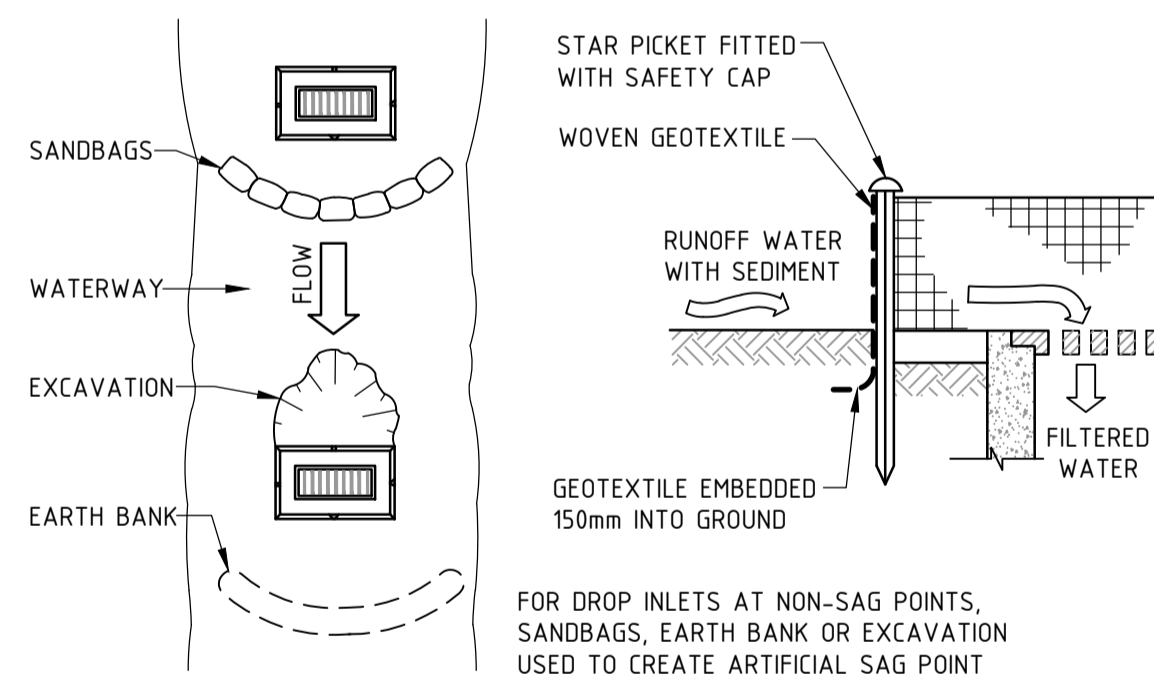
STABILISED SITE ACCESS - SHAKER GRID
SCALE N.T.S



SEDIMENT FENCE CONSTRUCTION NOTES:

- CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITERS PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10-YEAR EVENT.
- CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
- DRIVE 15m LONG STAR PICKETS INTO GROUND AT 2.5m INTERVALS (MAX.) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
- FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
- JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.
- BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.

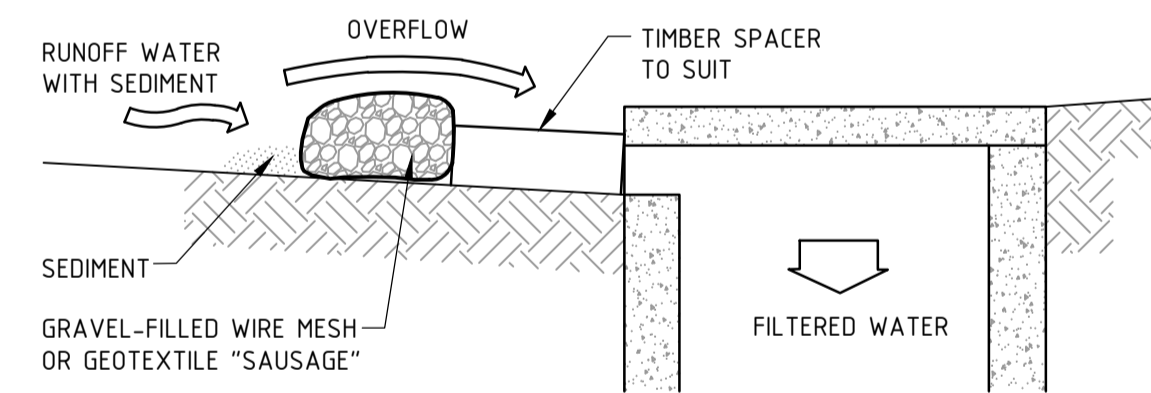
SEDIMENT FENCE
SCALE N.T.S



GEOTEXTILE INLET FILTER CONSTRUCTION NOTES:

- FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES.
- PICKET SPACING TO BE A MAXIMUM 1.0m CENTRES.
- IN WATERWAYS, ARTIFICIAL SAG POINTS CAN BE CREATED WITH SANDBAGS OR EARTH BANKS AS SHOWN IN THE DRAWING.
- DO NOT COVER THE INLET WITH GEOTEXTILES UNLESS THE DESIGN IS ADEQUATE TO ALLOW FOR ALL WATERS TO BYPASS IT.

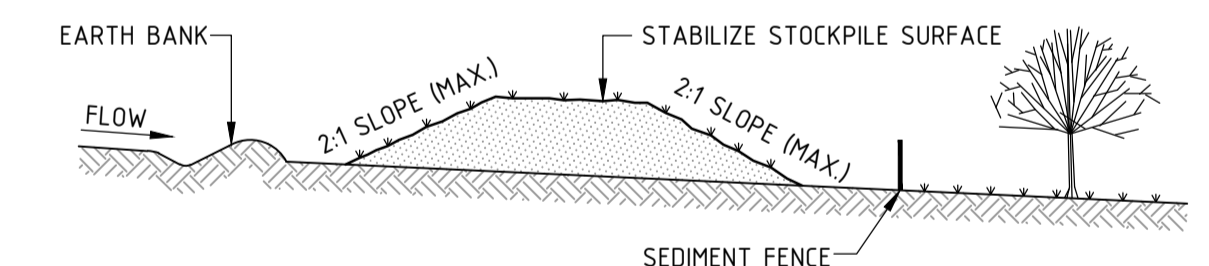
GEOTEXTILE INLET FILTER
SCALE N.T.S



MESH & GRAVEL INLET FILTER CONSTRUCTION NOTES:

- INSTALL FILTERS TO KERB INLETS ONLY AT SAG POINTS.
- FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25mm TO 50mm GRAVEL.
- FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150mm HIGH x 400mm WIDE.
- PLACE THE FILTER AT THE OPENING LEAVING AT LEAST A 100mm SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER BLOCKS.
- FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER.
- SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY CAN FIRMLY ABUT EACH OTHER AND SEDIMENT-LADEN WATERS CANNOT PASS BETWEEN.

MESH & GRAVEL INLET FILTER
SCALE N.T.S



STOCKPILE CONSTRUCTION NOTES:

- PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METRES FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
- CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
- WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT.
- WHERE THEY ARE TO BE PLACED FOR MORE THAN 10 DAYS, STABILIZE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
- CONSTRUCT EARTH BANKS ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES 1 TO 2 METRES DOWNSLOPE.

STOCKPILES
SCALE N.T.S

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
C	19.06.2025	ISSUED FOR DEVELOPMENT APPROVAL	SH		
B	23.05.2025	ISSUED FOR DEVELOPMENT APPROVAL	SH		
A	01.04.2025	ISSUED FOR INFORMATION	SH		

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Sydney NSW 2000
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PROJECT
2-32 JUNCTION STREET
FOREST LODGE, NSW, 2037

STATUS
ISSUED FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION

DRAWN	DESIGNED	CHECKED	APPROVED
JC	SM	SH	-

DATUM
AHD

GRID
GDA2020
MGA-56

SCALE
AS SHOWN

PROJECT No.
S24129

DRAWING No.
CI-0710

REV
C

TITLE
EROSION AND SEDIMENT CONTROL DETAILS

Appendix D - Stormwater Maintenance Schedule

At BG&E, we are united by a common purpose – we believe that truly great engineering takes curiosity, bravery and trust, and is the key to creating extraordinary built environments.

Our teams in Australia, New Zealand, South East Asia, the United Kingdom and the Middle East, design and deliver engineering solutions for clients in the Property, Transport, Ports and Marine, Water, Defence, Renewables and Resources sectors.

We collaborate with leading contractors, developers, architects, planners, financiers and government agencies, to create projects for today and future generations.

ABN 67 150 804 603