

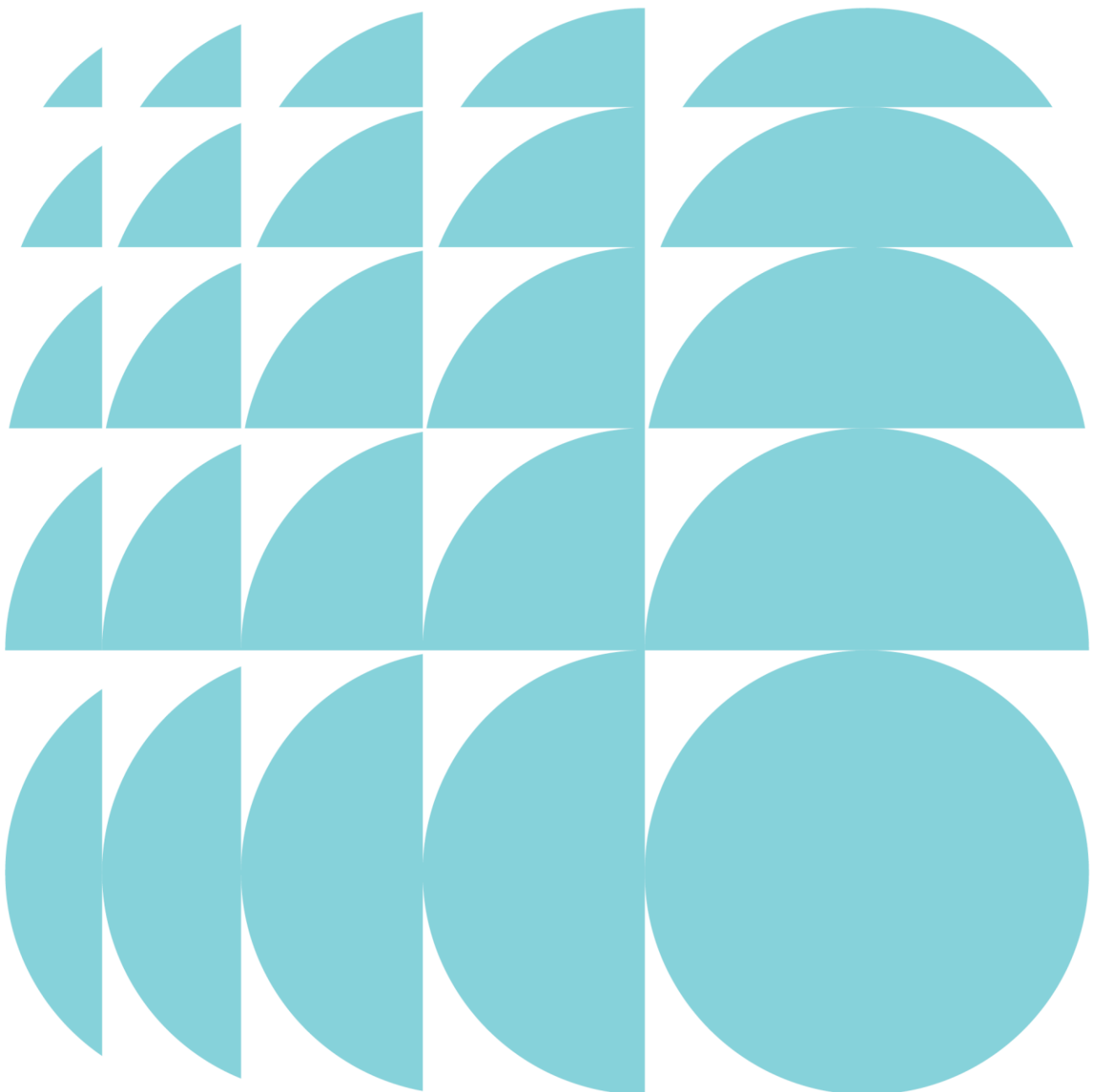
ETHOS URBAN

State Significant Development 7484

The Sandstone Precinct Mod 4
23-33 & 35-59 Bridge Street, Sydney
Section 4.55(2) Modification Application

Submitted to Department of Planning and
Environment
On behalf of Pontiac Land (Australia) Pty Ltd

26 June 2019 | 16009



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1.0 Introduction

This modification application is submitted to the Department of Planning and Environment (DPE) pursuant to Section 4.55(2) of the *Environmental Planning and Assessment Act 1979* (EP&A Act) to modify State Significant Development 7484 (SSD 7484) relating to adaptive reuse of the Sandstone Precinct (Education and Lands buildings) for tourist and visitor accommodation.

The proposed modifications include design and operational development changes to the Lands Building to reconfigure its role and function in the overall hotel development. As a result of an extensive Early Contractor Involvement (ECI) process, further design development and various investigations, a revised approach has been developed for how each building will operate and be programmed in order to deliver the best holistic outcome for the precinct.

It is the intention of this modification to reconfigure the Lands Building to act as the amenities, services and facilities for the hotel, with all guest rooms to be located within the Education Building.

In particular the modifications include:

- Modifying the internal layout of the Lands Building through removal of 61 guest rooms;
- Introduction of hotel amenities into the Lands Building including:
 - Food and beverage offerings and associated kitchen spaces;
 - Consolidation of bathroom facilities;
 - Business suites;
 - Library and lounge;
 - Event and function rooms; and
 - Activation of the strong room.
- Removal of the previously proposed diagrid at terrace level and extension of existing roof style across new internal walkways, including changes to materials; and
- Creation of publicly accessible terrace spaces and access into the northern dome, including a new mezzanine level.

A full list of changes is provided further in this report.

This report has been prepared by Ethos Urban on behalf of Pontiac Land (Australia) Pty Ltd, and is based on the Architectural Plans provided by Hassell (see **Appendix A**) and other supporting technical information appended to the report (see Table of Contents).

This report describes the proposed modifications to the approved design, sets out the proposed amendments to the development consent conditions, and provides an assessment of the environmental impacts of the proposed changes. It should be read in conjunction with the documentation that accompanied State Significant Development Application 7484.

2.0 Background

On 25 August 2015, a delegate of the Minister for Planning granted development consent (SSD 6751) to a Stage 1 Concept Proposal for tourism and visitor accommodation including associated ancillary uses for:

- adaptive reuse of the Lands Building and Education Building for tourist and visitor accommodation, and ancillary uses;
- a building envelope up to RL58.69 (approximately 3 additional storeys) above the Education Building; and
- an indicative subterranean building envelope below the Lands Building and Education Building, under Loftus Street, Farrer Place and Gresham Street.

A Section 96 (now Section 4.55) modification to the Stage 1 SSD 6751 was approved by DPE on 24 April 2018 which increased the height of the building envelope above the Education Building and introduced a building envelope to the roof of the Lands Building.

The Stage 2 detailed development application (SSD 7484), the subject of this modification application, was also approved on 24 April 2018 by DPE and granted consent for the adaptive reuse of the Sandstone Precinct for tourist and visitor accommodation, including:

- demolition of existing improvements and alterations to the Lands and Education Buildings (as shown in the approved plans only)
- maximum gross floor area (GFA) of 31,633m², with:
 - 10,918m² in the Lands Building
 - 20,715m² in the Education Building
- maximum of 253 hotel rooms, with:
 - 61 in the Lands Building
 - 192 in the Education Building
- fit out of ancillary guest and visitor facilities
- improvements and construction of a roof extension to the Lands Building, with a maximum height of RL 38.00
- construction of a roof extension to the Education Building, with a maximum height of RL 60.03

The SSD 7484 has been subject multiple modifications to date, including Modification 1 regarding the wording of Condition B37 (relating to railway tunnels). This application was approved on 8 May 2018.

Modification 2 was lodged on 22 August 2018 and sought approval for changes to the extent of demolition and excavation throughout the Education Building. This application was approved on 28 November 2018.

A third modification (under Section 4.55(2)) was lodged on 17 October 2018 and sought approval for design changes relating to the Education Building only. This application was approved on 8 May 2019.

This Section 4.55(2) application represents the fourth modification to the approved SSD 7484 consent, and more specifically the first involving design changes to the Lands Building.

Construction is well underway on site, with Built appointed as head contractor for the Education Building, the first two construction certificates issued for the Education Building and a crane recently erected on site (**Figures 1 to 2**). Demolition and installation of temporary steel is underway.



Figure 1 The Sandstones Precinct viewed from the north-west of the site

Source: Built



Figure 2 The Education Building viewed from Bent Street to the south

Source: Built

2.1 Background to Modification

The original proposal for the Sandstones precinct involved hotel guest rooms, function and event spaces, retail spaces, wellness and other guest and visitor amenities spread across both the Education and Lands buildings. This is a typical selection of uses for a luxury hotel offering which is key to providing the right products and services for the luxury traveller.

Another key component of the re-development works was to create areas of public access to these two state significant heritage buildings.

Key to the creation and configuration of the Sandstones precinct operating as a singular hotel across two separate buildings was the addition of a sub-terranean tunnel which supported:

- Ease of employee access to both buildings
- Shared back of house space (administration and operational offices, purchasing, receiving, waste collection)
- Shared services (one key plant area servicing both buildings)

As a result of an extensive Early Contractor Involvement (ECI) process, further design development and various investigations, a revised approach has been developed for how each building will operate and be programmed in order to deliver the best holistic outcome for the precinct.

There is now proposed to be a rationalisation and clear order to uses and experiences across each of the buildings. The Education Building will contain all hotel accommodation rooms, with the Lands Building providing the essential support and ancillary guest and visitor facilities that are instrumental to guest enjoyment.

Key benefits able to be realised through this revised approach for the Lands Building (the subject of this modification application) include:

- Reduced heritage impact
- Greater public access
- Retention of large room volumes
- Recovery of historic roof
- Greater reflection of spatial hierarchy
- Recovery of historic Strong Room
- Increased opportunities for meaningful integration of moveable heritage

Hassell Studio, with its extensive experience in the adaptive reuse of significant heritage buildings together with its breadth of hospitality projects across the world, has been appointed to lead the design for the re-imagined Lands Building.

Hassell is a leading international design practice with studios in Australia, China, South East Asia, the United States and the United Kingdom. Hassell are involved nationally on key heritage revitalisation projects including the State Library of NSW, the Sydney Theatre Company, and 44 Martin Place in Sydney, the Melbourne Town Hall public forum, the New Museum for Western Australia, and the GPO in Adelaide. The successful delivery of the Mitchell Building Refurbishment at the State Library of NSW was recently recognised in the 2019 National Trust Heritage Awards.

Purcell are working closely with Hassell as specialist Architects bringing a wealth of experience designing and delivering high quality conservation and design projects to significant historic and listed buildings and places, including many successful projects to hotels, castles, and museums. Purcell have an established working relationship with Hassell working together on a number of significant heritage sites in both Sydney and Melbourne.

2.2 Design Review Panel

Condition B2 of SSD 6751 (the Stage 1 consent) required the establishment of a Design Review Panel to be comprised of three independent design advisors with appropriate experience with adaptive re-use and heritage conservation projects. The design objectives of the DRP include:

- To create the best hotel in the world for the luxury market, with the appropriate array of amenities and facilities;
- To respect and celebrate the buildings' exceptional heritage and to adapt the buildings for the intended hotel use while avoiding pastiche design details;
- To create a modern addition to the Education Building that responds to the existing building;
- To facilitate public access to the buildings; and
- To give Farrer Place a renewed sense of identity and place.

The DRP was established in 2016 with Brian Zulaikha, Kerry Clare and Peter Mould the selected advisors. To date there have been 10 meetings of the DRP:

- Meeting 1: 7 June 2016;
- Meeting 2: 12 July 2016;
- Meeting 3: 9 August 2016;
- Meeting 4: 30 August 2016;
- Meeting 5: 2 August 2017;
- Meeting 6: 23 April 2018;
- Meeting 7: 31 May 2018;
- Meeting 8: 22 August 2018;
- Meeting 9: 14 March 2019; and
- Meeting 10: 16 April 2019.

At the completion of each meeting the DRP issues formal advice which identifies the key issues discussed and the desired outcomes from the Panel.

The DRP have played a valuable role and have been closely involved throughout the design development and refinement of the proposal, with key feedback and guidance being adopted by the project team. The DRP are generally supportive of the proposed modifications, as noted within DRP Advices 9 and 10 which specifically relate to this modification. The advice notes for Meetings 9 and 10 are at **Appendix L**.

2.3 Consultation

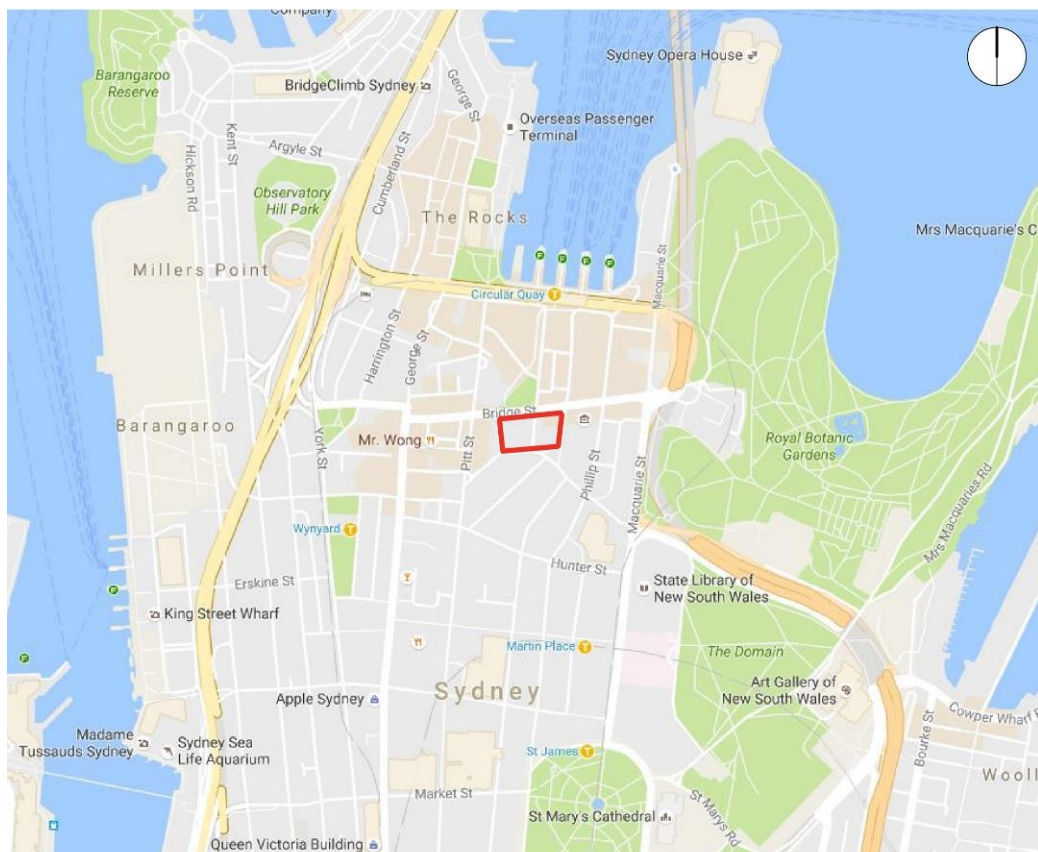
In addition to the close engagement and consultation with the DRP, the project team has presented the proposed changes, the subject of this modification application to Property NSW (as the main landowner). A briefing to the Department of Planning and Environment and Heritage Division also occurred on 7 May 2019, with both agencies indicating support for the changes, in particular the proposed heritage outcomes and benefits.

The City of Sydney Council were briefed on the proposal on 14 May 2019.

3.0 Site Analysis

The site is located at 23-33 Bridge Street and 35-39 Bridge Street, Sydney within the northern part of the Sydney Central Business District (CBD). It is situated within the vicinity of both the commercial and tourist precincts surrounding Circular Quay, which is located 250m to the north. The site is situated within the City of Sydney Local Government Area.

The site's locational context is shown at **Figure 3** and an aerial photograph is included at **Figure 4** below.



 The Site

Figure 3 Site location

The site is known as the Sandstone Precinct in recognition of the heritage buildings that occupy the site. The site is rectangular in shape, approximately 6,182m² in area and comprises the Department of Lands Building (Lands Building), Department of Education Building (Education Building) and the subterranean space beneath Loftus Street. The site boundary is shown in **Figure 4**.

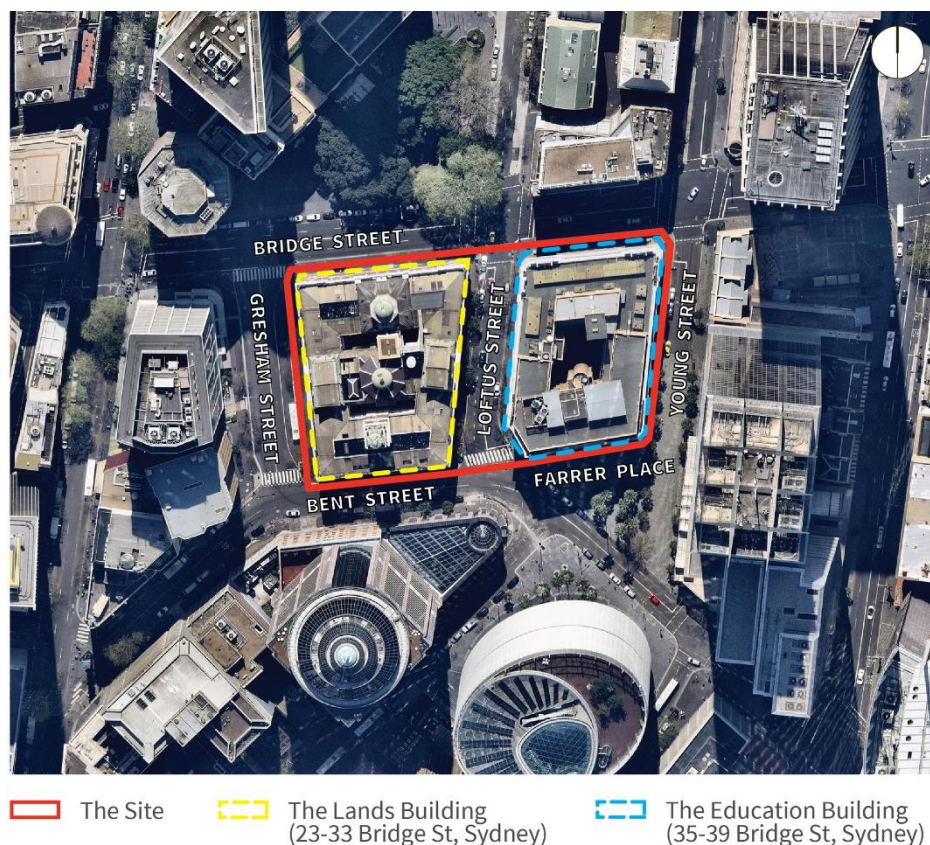


Figure 4 Aerial view of the site

Source: Nearmap

The Lands and Education Buildings are owned by GPNSW and are legally described as Lot 1877 in DP 8770000 and Lot 56 in DP 729620 respectively. Loftus Street is classified as a local road and is under the ownership of the City of Sydney Council.

4.0 Proposed modifications to the consent

The proposed modification to the development consent comprises the following:

- Modifying the internal layout of the Lands Building through removal of 61 guest rooms;
- Introduction of hotel amenities into the Lands Building including:
 - Food and beverage offerings and associated kitchen spaces;
 - Consolidation of bathroom facilities;
 - Business suites;
 - Library and lounge;
 - Function rooms; and
 - Activation of the strong room.
- Removal of the previously approved diagrid at terrace level and extension of existing roof style across new internal walkways, including changes to materials; and
- Creation of publicly accessible terrace spaces and access into the northern dome, including a new mezzanine level.

Ultimately the proposed modification seeks to establish the Lands Building as containing the essential support and ancillary guest and visitor facilities that are instrumental to guest enjoyment, with the Education Building containing all hotel accommodation rooms. Each building will have a distinctive focus and level of activity for hotel guests and visitors (refer to **Figure 5**):

- The Education Building provides the core accommodation facilities and therefore will likely see greater activity during the later evening and early morning; and
- The Lands Building provides the supporting hotel amenities with day and evening experiences and inclusions.

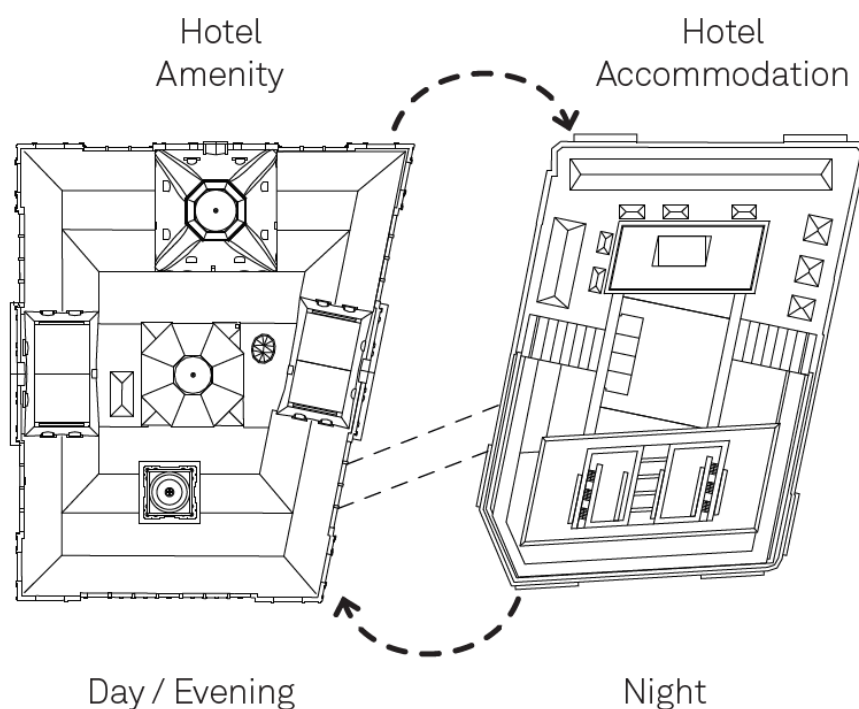


Figure 5 Overview of Sandstone Precinct functions

Source: Hassell

A detailed description of the proposed modifications to the Lands Building is presented in the following subsections.

4.1 Modifications to the development

The proposed modifications to the development relate to design refinements within the Lands Building. A brief description of the proposed modifications for each level is presented in **Table 1** below which includes a comparison of the previous approved scheme and the proposed changes. The changes are numbered to align with those changes on the relevant plans.

Table 1 Modifications to the development by level

Level	Description of modification
Basement	• No changes
Lower Ground Floor	• (1) Consolidation from three kitchens to two kitchens • (2) Relocation of cultural space to north-eastern corner of the courtyard • (3) Reconfiguration of plant rooms and inclusion of a waste room in south-eastern corner of the building
Ground Floor	The function of the level is changing from primarily hotel guest rooms to food and beverage, kitchens, business suites and the wellness amenities. • (4), (7) Removal of 19 guest rooms and guest room partition walls • (5) Reduction in new door openings • (8) Consolidation of bathroom amenities in north-eastern and south-western corners of the central courtyard • (9) Retention of strong room floor with no new penetration required • (4) Provision of new dining, bar, games room, work lounge and meeting rooms, wellness spaces, and business suites • (6) Removal of gantries
Level 1	The function of the level is changing from primarily hotel guest rooms to food and beverage, working suites, guest lounge areas and amenities. • (4), (7) Removal of 22 guest rooms and guest room partition walls • (5) Reduction in new door openings • (8) Consolidation of bathroom amenities in north-eastern and south-western corners of the central courtyard • (4) Provision of new work lounge and meeting rooms, library, a screening room, and business suites of varying size and capacity • (6) Removal of gantries
Level 2	The function of the level is changing from primarily hotel guest rooms to food and beverage, meeting and event spaces and amenities. • (4) Removal of 20 guest rooms • (4) Three new function rooms with a total capacity of 550 persons, including pre-function spaces • (10) Kitchens and pantry's associated with the function spaces • (8) Consolidation of bathroom amenities in the northern part of the building • (5) Reduction in new door openings • (11) Back of house/goods lift now extending only to Level 2 from the basement • (12) Removal of lift access to the clock tower • (6) Removal of gantries
Level 3	The function of the level is changing from a hotel reception space with guest lounges and breakfast areas, to food and beverage and amenities, with access to the northern dome. • (4) Removal of reception area, guest lounge and breakfast space, bar area, kitchen and gymnasium/spa space • (13) Retention of all southern roofs and all street facing northern roofs • (14) Provide terrace access around the central courtyard opening • (8) Consolidation of bathroom amenities in the northern part of the building • (4) One new lounge space on the western side of the building (atelier lounge) and pantry/atelier in the eastern side of the building • (15) New stair and lift to the existing terrace level • (11) Back of house/goods lift no longer extending to Level 3 from the basement

Level	Description of modification
	(6) Removal of gantries
Level 4 (Terrace Level)	(13) Retention of all southern roofs and all street facing northern roofs (16) Remove Level 4 tempietti existing stair access (17) Remove existing Level 4 and new opening to Level 5 within the dome (18) Create new mezzanine at Terrace Level for access from the northern dome (19) Retain the existing terrace areas
Roof Level	(13) Removal of diagrid roof proposal and retention of all southern roofs and all street facing northern roofs (14) New insertion between the tempietti and northern dome facing the northern courtyard (12) Removal of clock tower access
Additional General Notations	Refer to the architectural plans for further details. (20) Existing element retained (21) Existing element removed (22) Existing demolition extents modified (23) Proposed element removed (24) Proposed element

Courtyards

The proposed removal of existing intrusive structures in the courtyard areas will ensure a publicly accessible space at ground level is provided that will enable a mix of surrounding uses including retail, food and beverage and cultural uses. Original openings and windows have been filled-in over the years and it is proposed to open these up to restore the elevations facing the courtyards to their original state. Removal of the now redundant lift shaft on the northern side of the building near the Bridge Street entry will allow for a direct connection between Bridge Street and the courtyards.



Figure 6 Visualisations of the intended courtyard treatment

Source: Hassell

Stairs and Lifts

The co-location of two new lifts opposite the western stairwell and one lift opposite the eastern stairwell will ensure that there are options for people to use, and ideally result in more stair use, reducing demand on lifts. Furthermore, the egress strategy for the building relies on these three stairwells requiring them to be fire isolated. Reinstatement of historic clear openings with a new fire door being installed nearby will provide the same outcome however results in the removal of previously proposed doors swinging into the hallway.

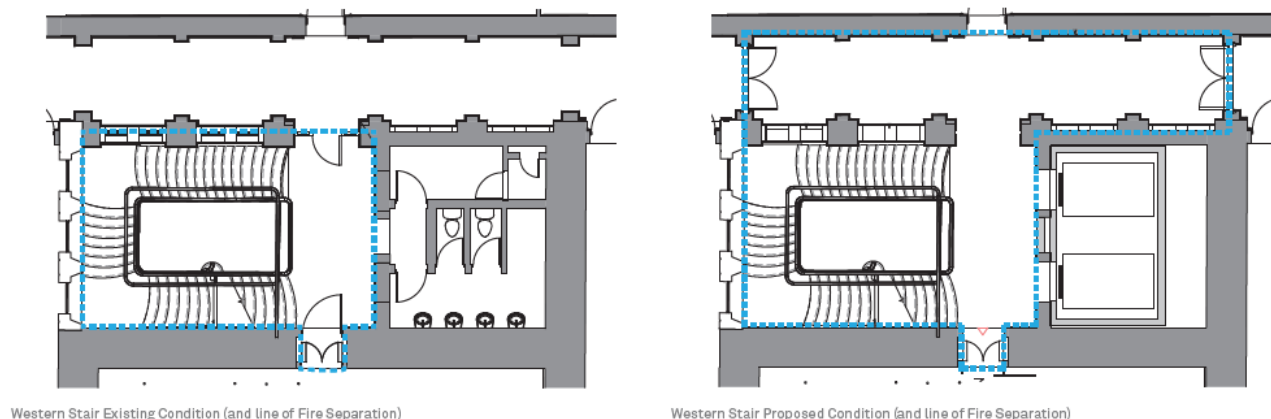


Figure 7 The proposed amendments to the stairwell fire isolation area

Source: Hassell

The mix of uses within the Lands Building will result in different peak access periods for various rooms. The two western lifts will likely be used primarily for the Level 2 function rooms and guests, arriving and departing at the Lower Ground Floor level. The single eastern lift has been designed to manage other movements during peak times. Importantly, the western lifts are located adjacent to the DDA accessible Gresham Street entry. New service and back of house lifts are to be located to the east of the southern stairwell in a visually discreet location.

Internal Rooms

A range of room types are proposed, including the lounge library, function rooms and the existing strong room. All of these rooms are existing spaces, and it is intended to maintain these as current, with no permanent partitioning proposed to focus on their grand scale and conserve the high value heritage features of each space. The northern function room will have the ability for temporary operable partitions to be drawn across to divide the space into two as required. There is a new corridor proposed to the southern function room on Level 2.

The strong room is intended to be opened to its original volume through removal of intrusive floors, ducting and partitioning. In particular, the umbrella lantern structure at the top of the strong room will be opened to allow natural light to enter the space.

Tempietti

The east and west tempietti act as the arrival spaces to Level 3, and it is intended to remove the upper level of both structures to provide increased daylight amenity from the level above. The tempietti are to function as a front-of-house display kitchen and pantry, reception lounge, pre-function and gallery spaces.

Roofscape, Northern Dome, Linking Corridors and Terraces

The guiding principle of the rooftop change intends to keep the majority of the existing steel trusses and pitched roofs, and re-clad these with metal, providing a consistent finish that reflects the historic structure of the existing roof. This is further defined by the intention to utilise the two current terraces, accessed by the northern dome, for the views provided towards the harbour. The design of the roofscape and terraces ensures that the building maintains an appearance that is generally consistent with its current form.

It is proposed to open the northern dome through removal of the upper levels of the dome to provide greater natural light access into the space. A new glazed opening to the courtyards is proposed, in the location of the lift shaft (to be demolished), with two new openings to the eastern and western terraces. Currently Level 4 sits half a floor above the terrace level, and is proposed to be demolished and replaced by a mezzanine floor at the terrace level. This will create a functional connection between the two terraces and will be accessed by stairs and an access-lift with no pit, ensuring universal access to the terraces is provided.



Figure 8 Visualisations of the intended terraces and northern dome treatment

Source: Hassell

The inclusion of linking corridors below the terrace level (that provide accessible access to those spaces via lifts) ensures access can be provided in a manner that minimises impacts on views to the building from external viewpoints.

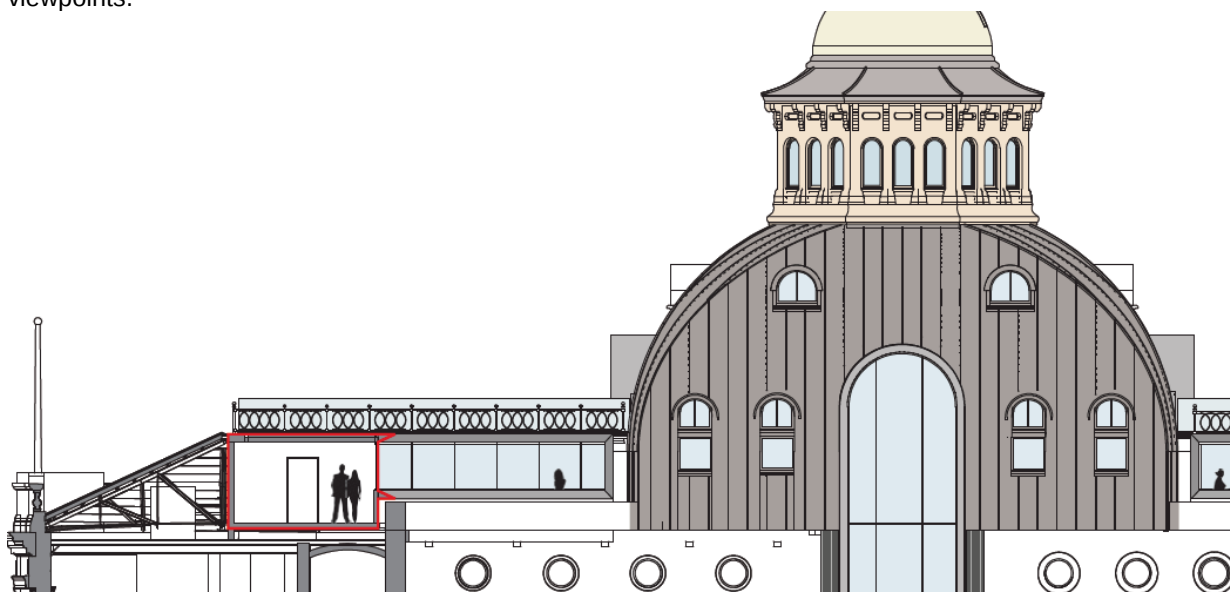


Figure 9 The linking corridors ensure universal access is afforded to the dome and terraces

Source: Hassell

The proposed modifications to the rooftop of the Lands Buildings will continue to provide a 'fifth' façade to the appearance of the building from the taller surrounding buildings. The same metalwork extends over the roof to complete the architectural vision in an ordered and considered composition befit of the original building.

4.2 Modifications to conditions

The proposed modifications described above necessitate amendments to the consent conditions which are identified below. Words proposed to be deleted are shown in ~~bold strike through~~ and words to be inserted are shown in **bold italics**.

4.2.1 Schedule 1 - Description of Development

The modified description of the development is summarised as follows:

Stage 2 development consent for the adaptive reuse of the Sandstone Precinct for tourist and visitor accommodation, including:

- demolition of existing improvements and alterations to the Lands and Education Buildings
- maximum gross floor area (GFA) of ~~30,683~~ **30,329**m², with ~~10,819~~ **10,465**m² in the Lands Building and 19,864m² in the Education Building
- maximum of ~~290 229~~ hotel rooms, ~~with 61 in the Lands Building and 229~~ in the Education Building
- fit out of ancillary guest and visitor facilities
- improvements ~~and construction of a roof extension~~ to the Lands Building **roof**, with a maximum height of RL 38.00
- construction of a roof extension to the Education Building, with a maximum height of RL 60.03
- excavation and construction of three basement levels and a subterranean link beneath Loftus Street, provision of loading bay facilities and 60 bicycle parking spaces

Justification

The amendment to the room numbers and roof description are a result of the proposed modifications to the development.

4.2.2 Condition A3 – Terms of Consent

A3 The Applicant, in acting on this consent, must carry out the development:

- a) in compliance with the conditions of this consent
- b) in accordance with all written directions of the Secretary
- c) generally in accordance with the State significant development application SSD 7484 Environmental Impact Statement prepared by JBA Urban Planning Consultants Pty Ltd, dated November 2016
- d) generally in accordance with the State significant development application SSD 7 484 Response to Submissions report prepared by JBA Urban Planning Consultants Pty Ltd, dated April 2017
- e) generally in accordance with the State significant development application SSD 7484 Response to Request for Further Information prepared by Ethos Urban, dated 6 December 2017
- f) the Section 4.55(1) modification application (SSD 7484 Mod 1) prepared by Ethos Urban Planning Consultants dated 26 and 30 April 2018
- g) the Section 4.55(1A) modification application (SSD 7484 Mod 2) prepared by Ethos Urban Planning Consultants dated 6 August 2018
- h) the Section 4.55(2) modification application (SSD 7484 Mod 3) prepared by Ethos Urban Planning Consultants dated 16 October 2018
- i) the Section 4.55(2) modification application (SSD 7484 Mod 4) prepared by Ethos Urban Planning Consultants dated 10 May 2019***
- ~~i~~ j) generally in accordance with the endorsed conservation management plans, prepared by GBA Heritage dated May 2017 and endorsed by the Heritage Council NSW, June 2017
- ~~j-k~~ remediation in accordance with the Preliminary Remediation Action Plan prepared by Environmental Earth Sciences, dated 14 December 2017 (if required)
- ~~k-l~~ in accordance with the following drawings:

Demolition Drawings prepared by Make + Ridley Architects + Hassell			
Drawing No.	Rev.	Name of Plan	Date
SP-DA-G-1500	02 03	Proposed Site Plan	28.09.18 08.05.19
SP-DA-G-2295	05	Demolition Plans Education Building – Basement Level 03	14.08.18
SP-DA-G-2296	05	Demolition Plans Education Building – Basement Level 02	14.08.18
SP-DA-G-2297	05 06	Demolition Plans Lands Building – Lower Ground Education Building – Basement Level 01	14.08.18 08.05.19
SP-DA-G-2298	05 06	Demolition Plans Lands Building – Lower Ground Mezzanine	14.08.18 08.05.19
SP-DA-G-2299	06 07	Demolition Plans Lands Building – Ground Education Building – Lower Ground	14.08.18 08.05.19
SP-DA-G-2300	06 07	Demolition Plans Lands Building – Level 01 Education Building – Ground	14.08.18 08.05.19
SP-DA-G-2301	06 07	Demolition Plans Lands Building – Level 02 Education Building – Level 01	14.08.18 08.05.19
SP-DA-G-2302	06 07	Demolition Plans Lands Building – Level 03 Education Building – Level 02	14.08.18 08.05.19
SP-DA-G-2303	06 07	Demolition Plans Lands Building – Level 04 Education Building – Level 03	14.08.18 08.05.19
SP-DA-G-2304	06 07	Demolition Plans Lands Building – Level 05 Education Building – Level 04	14.08.18 08.05.19
SP-DA-G-2305	06 07	Demolition Plans Lands Building – Level 06 Education Building – Level 05	14.08.18 08.05.19
SP-DA-G-2306	05 06	Demolition Plans Lands Building – Level 07 Education Building – Level 06	14.08.18 08.05.19
SP-DA-G-2307	05 06	Demolition Plans Lands Building – Level 08 Education Building – Level 07	14.08.18 08.05.19
SP-DA-G-2308	06 07	Demolition Plans Lands Building – Level 09 Education Building – Level 08	21.08.18 08.05.19
SP-DA-G-2309	05 06	Demolition Plans Lands Building – Level 10 Education Building – Roof	14.08.18 08.05.19
SP-DA-G-2310	06 07	Demolition Plans Lands Building – Level 11 Education Building – Roof	21.08.18 08.05.19
SP-DA-G-2311	06 07	Demolition Plans Lands Building – Level 12 Education Building – Roof	21.08.18 08.05.19
SP-DA-G-2312	06 07	Demolition Plans Lands Building – Level 13 Education Building – Roof	21.08.18 08.05.19
SP-DA-G-3100	06 07	Demolition Elevations Lands Building – South Education Building – South	14.08.18 08.05.19
SP-DA-G-3101	06 07	Demolition Elevations Lands Building – West	14.08.18 08.05.19
SP-DA-G-3102	06 07	Demolition Elevations Lands Building – North Education Building – North	14.08.18 08.05.19
SP-DA-G-3103	06	Demolition Elevations Education Building – East	14.08.18
SP-DA-G-3104	06 07	Demolition Elevations Lands Building – East	14.08.18 08.05.19
SP-DA-G-3105	06	Demolition Elevations Education Building – West	14.08.18
SP-DA-G-3400	07 08	Demolition Sections Lands and Education Building – Section 01	14.08.18 08.05.19
SP-DA-G-3401	06 07	Demolition Sections Lands Building – Section 02	14.08.18 08.05.19

SP-DA-G-3402	07	Demolition Sections Education Building – Section 03	08.05.19
SP-DA-G-3150	00	Demolition Courtyard Elevations Lands Building – North Courtyard	08.05.19
SP-DA-G-3151	00	Demolition Courtyard Elevations Lands Building – South Courtyard	08.05.19
Architectural Drawings prepared by Make + Ridley Architects+ Hassell			
SP-DA-G-2496	04	Proposed Plans Education Building – Basement Level 03	06.12.18
SP-DA-G-2947	04	Proposed Plans Education Building – Basement Level 02	06.12.18
SP-DA-G-2498	04 05	Proposed Plans Lands Building – Lower Ground, Education Building – Basement Level 01	06.12.18 08.05.19
SP-DA-G-2498-M	00	Proposed Plans Lands Building – Lower Ground, Mezzanine, Education Building – Basement Level 01 Ground	08.05.19
SP-DA-G-2499	06 07	Proposed Plans Lands Building – Ground, Education Building – Lower Ground	06.12.18 08.05.19
SP-DA-G-2500	06 07	Proposed Plans Lands Building – Level 01, Education Building – Ground	22.02.19 08.05.19
SP-DA-G-2501	04 05	Proposed Plans Lands Building – Level 02, Education Building – Level 01	06.12.18 08.05.19
SP-DA-G-2502	04 05	Proposed Plans Lands Building – Level 03, Education Building – Level 02	06.12.18 08.05.19
SP-DA-G-2503	04 05	Proposed Plans Lands Building – Level 04, Education Building – Level 03	06.12.18 08.05.19
SP-DA-G-2504	04 05	Proposed Plans Lands Building – Level 05, Education Building – Level 04	06.12.18 08.05.19
SP-DA-G-2505	05 06	Proposed Plans Lands Building – Level 06, Education Building – Level 05	06.12.18 08.05.19
SP-DA-G-2506	04 05	Proposed Plans Lands Building – Level 07, Education Building – Level 06	06.12.18 08.05.19
SP-DA-G-2507	04 05	Proposed Plans Lands Building – Level 08, Education Building – Level 07	06.12.18 08.05.19
SP-DA-G-2508	04 05	Proposed Plans Lands Building – Level 09, Education Building – Level 08	06.12.18 08.05.19
SP-DA-G-2509	04 05	Proposed Plans Lands Building – Level 10, Education Building – Level 09	06.12.18 08.05.19
SP-DA-G-2510	03 04	Proposed Plans Lands Building – Level 11, Education Building – Roof	28.09.18 08.05.19
SP-DA-G-2511	03 04	Proposed Plans Lands Building – Level 12, Education Building – Roof	28.09.18 08.05.19
SP-DA-G-2512	03 04	Proposed Plans Lands Building – Roof, Education Building – Roof	28.09.18 08.05.19
SP-DA-G-2830	A	NLA Suite Area Plan	06.12.18
SP-DA-G-3200	05 06	Proposed Elevations Lands Building – South, Education Building – South	22.02.19 08.05.19
SP-DA-G-3201	05 07	Proposed Elevations Lands Building – West	22.02.19 08.05.19
SP-DA-G-3202	05 06	Proposed Elevations, Lands Building – North, Education Building – North	22.02.19 08.05.19
SP-DA-G-3203	05	Proposed Elevations, Education Building – East	22.02.19
SP-DA-G-3204	05 06	Proposed Elevations, Lands Building – East	22.02.19 08.05.19
SP-DA-G-3205	05	Proposed Elevations, Education Building – West	22.02.19
SP-DA-G-3210	04	Proposed Elevations, Education Building – Courtyard	28.09.18
SP-DA-G-3250	00	Proposed Courtyard Elevations Lands Building – North Courtyard	08.05.19

SP-DA-G-3250	00	Proposed Courtyard Elevations Lands Building – South Courtyard	08.05.19
SP-DA-G-3500	04 05	Proposed Sections, Lands and Education Building – Section 01	28.09.18 08.05.19
SP-DA-G-3501	02 03	Proposed Sections Lands Building – Section 02	11.10.16 08.05.19
SP-DA-G-3502	04	Proposed Sections Education Building – Section 03	28.09.18
SP-DA-G-4000	00	Façade Details Lands Building – NW Glass Roof and NE Pergola	17.10.16
SP-DA-G-4001	00	Façade Details Lands Building – Southern Metal Roof	17.10.16
SP-DA-G-4100	02	Façade Details Education Building – Glass Bay	28.09.18
SP-DA-G-4101	00	Façade Details Education Building – Glass Bay Corner	17.10.16
SP-DA-G-4102	02	Façade Details Education Building – Garden Villa	28.09.18
SP-DA-G-4103	02	Façade Details Education Building – East and West Tower	28.09.18
SP-DA-G-4104	01	Façade Details Education Building – Level 9 Infill Cladding	28.09.18
SP-DA-G-6000	05 06	Materials and Finishes Schedule	27.02.19 08.05.19

Justification

The amendments to plans are to reflect those changes proposed as part of this modification application.

4.2.3 Condition B22 – Storage and Handling of Waste

The building plans and specifications accompanying the Construction Certificate 4 – Structure (CC4) shall demonstrate that an appropriate area will be provided within the premises for the storage of garbage bins and recycling containers and all waste and recyclable material generated by this premises will meet the requirements of the Waste Management Plan, dated 11 December 2018 and prepared by the Mack Group **and the Operational Waste Management Plan for the Lands Building dated 9 May 2019 and prepared by Foresight Environmental** to the satisfaction of the PCA.

Justification

Reference to the Operational Waste Management Plan which applies to the Lands Building is to be incorporated into this condition.

4.2.4 Condition B23 – Storage and Handling of Waste

The Waste Management Plan, dated 11 December 2018 and prepared by the Mack Group **and the Operational Waste Management Plan for the Lands Building dated 9 May 2019 and prepared by Foresight Environmental** is to be finalised and approved by the PCA prior to the first Construction Certificate for Foundations/In Ground Structure (CC3) being issued. The Plan shall be generally in accordance with Council's *Policy for Waste Minimisation in New Development 2005* and include areas for back of house waste separation and collection. All requirements of the approved Waste Management Plan must be implemented during construction of the development.

Justification

Reference to the Operational Waste Management Plan which applies to the Lands Building is to be incorporated into this condition to reflect its application to the development.

4.2.5 Condition C7 – Construction Pedestrian and Traffic Management Plan (CPTMP)

C7. Prior to the commencement of any works on site the Applicant shall prepare a Construction Pedestrian and Traffic Management Plan (CPTMP) in consultation with the CBD Coordination Office

and the Sydney Light Rail Team within TfNSW. The CPTMP needs to specify, but not limited to, the following:

- a) location of the proposed work zone
- b) haulage routes
- c) construction vehicle access arrangements
- d) proposed construction hours
- e) estimated number of construction vehicle movements
- f) construction program
- g) consultation strategy for liaison with surrounding stakeholders
- h) any potential impacts to general traffic, cyclists, pedestrians and bus services within the vicinity of the site from construction vehicles during the construction of the proposed works
- i) cumulative construction impacts of projects including Sydney Light Rail Project and Sydney Metro. Existing CPTMPs for developments within or around the development site should be referenced in the CPTMP to ensure that coordination of work activities are managed to minimise impacts on the road network
- j) should any impact be identified, the duration of the impacts and measures proposed to mitigate any associated general traffic, public transport, pedestrian and cyclist impacts should be clearly identified and included in the CPTMP.

The CPTMP is to be updated to reflect the approved MOD **3 4** and submitted to the Coordinator General, Transport Coordinator for endorsement, prior to the issue of construction certificate **3 4**.

Prior to the commencement of work, the Applicant shall submit a copy of the CBD Coordination Office endorsed CPTMP to the PCA and the Secretary.

Justification

This condition is to be updated to reflect this modification.

4.2.6 Condition F7 – GFA and Height Certification

A Registered Surveyor is to certify that:

- a) the development does not exceed the approved gross floor areas of the:
 - i) Education Building (19,864m² GFA)
 - ii) Lands Building (~~10,819~~ **10,465**m² GFA)
- b) the development (excluding satellite dishes and balustrades) does not exceed the approved extension heights of the:
 - i) Education Building (RL 60.03)
 - ii) Lands Building (RL 38.00).

Details shall be provided to the PCA demonstrating compliance with this condition prior to the issue of the final Occupation Certificate.

Justification

This condition is required to be amended to reflect the new GFA of the buildings.

4.2.7 Condition G6 – Waste Collection

G6. Prior to an Occupation Certificate being issued and/or commencement of the use, whichever is earlier, the building owner must ensure that there is a contract with a licensed contractor for the removal of all waste. No garbage is to be placed on the public way, e.g. footpaths, roadways, plazas, reserves, at any time. In addition:

- a) garbage and recycling must not be placed on the street for collection more than half an hour before the scheduled collection time. Bins and containers are to be removed from the street within half an hour of collection

- b) the collection of waste and recycling must only occur between 7.00am and 8.00pm weekdays and 9.00am and 5.00pm weekends and public holidays, to avoid noise disruption to the surrounding area
- c) the storage and handling of waste associated with the premises must comply with the approved Waste Management Plan, dated 11 December 2018 and prepared by the Mack Group, **and the Operational Waste Management Plan for the Lands Building dated 9 May 2019 and prepared by Foresight Environmental**, and be generally in accordance with Council's *Policy for Waste Minimisation in New Developments 2005*.

Justification

Reference to the Operational Waste Management Plan which applies to the Lands Building is to be incorporated into this condition to reflect its application to the development.

5.0 Substantially the same development

Section 4.55(2) of the EP&A Act states that a consent authority may modify a development consent if "it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which the consent was originally granted and before that consent as originally granted was modified (if at all)". The consent authority must also be satisfied that the proposed modification is of minimal environmental impact.

Whilst there is no hard and fast rule when it comes to determining what constitutes 'substantially the same development' the 'substantially the same test' has been considered and approved through various cases within the Land & Environment Court.

The applied phrasing as described in *Moto Projects (No2) Pty Ltd v North Sydney Council* [1999] NSWLEC 280, requires the consent authority to undertake both quantitative and qualitative analysis:

"The comparative task does not merely involve a comparison of the physical features or components of the development as currently approved...Rather, the comparison involves an appreciation, qualitative, as well as quantitative, of the developments being compared in their proper contexts (including circumstances in which the development consent was granted)".

Further *Moto Projects Pty Ltd v North Sydney* [1999] NSWLEC 280 established the following key principles when considering what constitutes a modification:

- The verb "modify" means to alter without radical transformation.
- "Substantially" in this context means essentially or materially or having the same essence.
- A development as modified would not necessarily be "substantially the same development" simply because it is precisely the same use as that for which consent was originally granted.
- A modification application involves undertaking both quantitative and qualitative comparison of the development as originally approved and modified.
- Although the comparative task required under Section 96 involves a comparison of the whole development being compared, the fact does not eclipse if a particular feature of the development, particularly if that feature is found to be important material or essential to the development.
- Environmental impacts of the proposed modifications are relevant in determining whether or not a development is 'substantially the same'.

The development, as proposed to be modified, is in our opinion considered to meet the substantially the same development tests under Section 4.55(2) of the EP&A Act as:

- The proposed modifications do not alter the key components of the approved development description;
- The essence of the approved development remains unaffected, the development (as modified) remains true to the adaptive reuse of these exceptional state significant heritage buildings for tourist and visitor accommodation purposes;
- The Lands Building retains its same approved land use of tourist and visitor accommodation in terms of provision of amenities for guests and visitors as part of the broader Sandstone precinct;
- The reduction in the number of hotel keys across the entire development from 290 to 229 (due to the removal of hotel rooms from the Lands Building) is substantially the same as that original approved, being 253 hotel keys;
- The reduction in keys has no more than a negligible to minimal environmental impact, in terms of additional visitors/guests, traffic, waste etc;
- Guests will still be able to experience the services of the hotel across both buildings consistent with the approved development;
- There is no increase to the maximum building height, with a reduction to the overall rooftop addition from what was approved, with corresponding neutral/reduced environmental impacts with respect to shadows, wind etc;
- There is no increase in GFA resulting from the changes, with an actual reduction in GFA due to the reduction in the rooftop addition;
- There is considered to be an improved visual impact, given the rooftop addition is now a more recessive and subservient element and is generally consistent with the existing roofscape compared to the original approval;
- The proposed modification will have less heritage impact than the original approval;
- The modified development has been closely reviewed by the project Design Review Panel, who overall support the changes and design direction including the proposed uses for the Lands Building; and
- The modified development continues to be consistent with the approved Stage 1 DA.

For these reasons, the DPE can be satisfied that the modified proposal is substantially the same development for which consent was originally granted. Furthermore, it is important to note that the extent of the proposed modifications are generally minor in nature and are considered to have only minimal environmental impact beyond those considered during the assessment of SSD 7484 and the more recent approved plans. **Table 2** below demonstrates that all key elements of the approved development remain, resulting in a development that clearly meets the test of being substantially the same as originally approved.

Table 2 Consistency with the approved development

Component	Approved development	Amended proposed development	Consistency/substantially the same
Envelope	Rooftop extensions	No change	✓
Use	Tourist and visitor accommodation and ancillary amenities with a total of 253 rooms	Tourist and visitor accommodation and ancillary amenities with a total of 229 rooms	✓
Gross floor area	31,633m ²	30,329m ² (decrease of 1,304m ²)	✓
Maximum Height	Education Building: RL58.60 Lands Building: RL38.00	No change	✓
Vehicular access/loading	Loading access provided from Education Building	No change	✓
Pedestrian access	Access provided from all surrounding streets	No change, accessible access afforded from Gresham Street	✓
Rooftop extension materials	Lands Building: • North-west roof: steel and glass diagrid	Lands Building: • Generally consistent with metal panel sheeting, stone paving on pedestals and standing seam	✓

Component	Approved development	Amended proposed development	Consistency/substantially the same
	- North-east roof: open steel pergola - Southern roof: curved, ribbed stainless steel panels	metal sheeting consistent in colour to the existing slate roofing	
Subterranean link	Connection between Education Building and Lands Building for back of house servicing	No change	✓
Operation and management	Single hotel operator managing both buildings	No change	✓

An Operational Overview for the Sandstone Precinct has also been prepared by Pontiac Land Group in order to demonstrate how the two buildings will continue to function and operate as an integrated hotel offering (refer to **Appendix C**). This document further reinforces that the fundamentals of the approved project as a tourist and visitor accommodation facility remain true.

6.0 Environmental assessment

Section 4.55(2) of the EP&A Act states that a consent authority may modify a development consent if *“it is satisfied that the proposed modification is of minimal environmental impact”*. Under section 4.55(3) the consent Authority must also take into consideration the relevant matters to the application referred to in section 4.15(1) of the EP&A Act and the reasons given by the consent authority for the grant of the original consent.

The following assessment considers the relevant matters under section 4.15(1) and demonstrates that the development, as proposed to be modified, will be of minimal environmental impact.

6.1 Statutory and Strategic Context

The Environmental Impact Statement submitted with the original State Significant Development application addressed the proposed development's level of compliance against the relevant strategic plans, policies, guidelines and statutory planning instruments, including:

- *Environmental Planning and Assessment Act 1979*;
- *Environmental Planning and Assessment Regulation 2009*;
- State Environmental Planning Policy (State and Regional Development) 2011;
- State Environmental Planning Policy (Infrastructure) 2007;
- State Environmental Planning Policy 55 (Remediation of Land);
- Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005;
- A Plan for Growing Sydney;
- Sydney 2030 (City of Sydney);
- Development Near Rail Corridors and Busy Roads: Interim Guideline;
- Guide to Traffic Generating Developments;
- NSW Planning Guidelines for Walking and Cycling;
- NSW Long Term Master Plan;
- Sydney Local Environmental Plan 2012; and
- Sydney Development Control Plan 2012.

The proposed modifications do not affect the development's level of compliance with the majority of the relevant planning instruments and strategic documents.

6.2 Reasons given for granting consent

During the assessment of the Stage 2 SSD 7484, the DPE considered a number of key issues including:

- design quality;
- traffic, parking and servicing;
- the Voluntary Planning Agreement;
- construction impacts;
- archaeology; and
- heritage.

The DPE was satisfied that these issues could be appropriately dealt with and considered that the impacts of these key items could be managed and mitigated accordingly. Furthermore, the adaptive re-use of the Sandstone Precinct buildings was considered to activate and add further vitality to the northern end of the CBD, with the project considered to sensitively respond to the heritage significance of the broader precinct. The DPE concluded the proposal was in the public interest and recommended the application for approval.

6.3 Consistency with Stage 1 consent

The Stage 1 approval granted consent under the Stage 1 SSD 6751 establishes the vision and planning framework to assess the detailed design of the future development on the site. In accordance with Section 4.24(2) of the EP&A Act, while this Stage 1 DA remains in force development on the site cannot be inconsistent with the approved Concept Proposal/Stage 1 DA.

The original Stage 2 SSD 7484 was assessed in terms of consistency with the Stage 1 consent and found to be entirely consistent, in particular with regards to the subterranean space, and heritage and archaeology. The proposed development as proposed to be modified remains consistent with the Terms of Approval as set out in the SSD 6751 consent for the Stage 1 SSD. The modifications as part of this S4.55 application do not change the overall development's consistency with the approved Stage 1 SSD and do not trigger a need to amend the Stage 1 consent.

The Stage 1 approval was very broad in nature and did not include any limiting parameters to achieving the adaptive re-use of the buildings for tourist and visitor accommodation.

6.4 Heritage

A Heritage Impact Statement addendum has been prepared by Urbis and is included at **Appendix D**. Urbis has played a key role in assisting Hassell with the amended design for the Lands Building, focusing on ensuring adverse heritage impacts are minimised while providing reasonable amenity as the building is converted to hotel use. Urbis advise the proposed modified scheme:

- Provides the building with a useful and appropriate new use;
- Offers greater public accessibility;
- Re-establishes the historic carriageway;
- Retains the spatial dimensions of the historic rooms and volumes;
- Reduces impact on historic fabric;
- Minimises impact on the historic roofscape;
- Retains the hierarchy of spaces; and
- Recaptures the spatial identity of the Strong Room.

The changes to the Lands Building proposal relate to roofscape and internal changes and design refinements and are considered to have an acceptable impact overall, being appropriate in the context of the adaptive reuse works. In particular, the works proposed under this modification will have less heritage impact than the approved works under the original SSD. The modified proposal is in accordance with the intent of the endorsed Conservation Management Plan. The proposal is also considered to be in accordance with the requirements of the *Sydney Local Environmental Plan 2012* and the guidelines of the Sydney Development Control Plan 2012.

The proposed modifications are considered to have an acceptable impact on the Lands Building given the context of the major adaptive reuse works approved by the original SSD 7484 to permit the redevelopment of the site for tourist and visitor accommodation.

6.5 Built Form and Layout

The proposed modifications to the Lands Building generally retain the key parameters of the approved building envelope, noting the change to the proposed rooftop treatment, including the removal of the proposed diagrid and the retention of the existing roof structure (albeit expanded). This design amendment results in a change in materials, with metal panels, stone paving and metal sheeting consistent with the existing slate roofing now proposed in place of the previous glass diagrid roof.

In terms of establishing the design principles to inform the reconfiguration of the overall precinct, it was determined that the use needs to fit the building, not the building fit the use, resulting in a concept of minimising intrusions and impacts on the heritage fabric of the Lands Building. This fundamental principle then informed the key design principles to determine the end outcome for the Lands Building structure and configuration:

- Clear carriageway and courtyards;
 - Focus on the historic carriageway loops through the building and remove intrusive elements to re-establish the courtyards for public access.
- Co-located stairs and lifts;
 - Utilise the existing location of the stairwells for lift access to ensure a connection and ease of movement through the building.
- Centralise functional requirements;
 - Ensure operational and servicing functions are located within the least desirable internal areas of the building.
- Activate the high-value perimeter;
 - By locating services internally, the external rooms of the building can be used for more appropriate uses to take advantage of their views.
- Strong room social connections; and
 - Maintain an opening in the strong room to act as a key focal point throughout its entire height.
- Celebrate the location.
 - the position of the northern dome and tempietti ensures these spaces can be used for public engagement and enjoyment, noting the historic view corridor to the harbour is protected.

These design principles have informed the proposed modification, and when compared to the previously approved concept, generally results in an improved outcome for the site, as follows:

- greater public access (improved);
- re-established historic carriageway (substantially the same);
- retention of large rooms (improved);
- reduced heritage impact (improved, refer to **Section 6.4**);
- recovery of historic roofscape (improved);
- hierarchy of spaces re-established (improved);
- opening strong room floors (substantially the same); and
- working with moveable heritage (improved).

Overall, the proposed modification results in an improved outcome for the Lands Building, maintaining its importance and heritage values while ensuring that public access to its unique spaces is re-established.

Visual Impact

The proposed modifications to the rooftop of the Lands Building will continue to provide a 'fifth' façade to the appearance of the building from the taller surrounding buildings. The same metalwork cladding extends over the roof to complete the architectural vision in an ordered and considered composition befit of the original building.

The proposed materials (with specifications to be confirmed as part of detailed design) ensures that the rooftop changes do not dominate the existing heritage values of the precinct and benefits the built form appearance through ensuring consistency with the existing roof form of the building. The proposed refined design for the rooftop ensures the structure is generally consistent with the appearance of the existing sandstone building below per its current roof design. Importantly, the proposed roof design will not result in any visual change from the public domain from the existing situation.

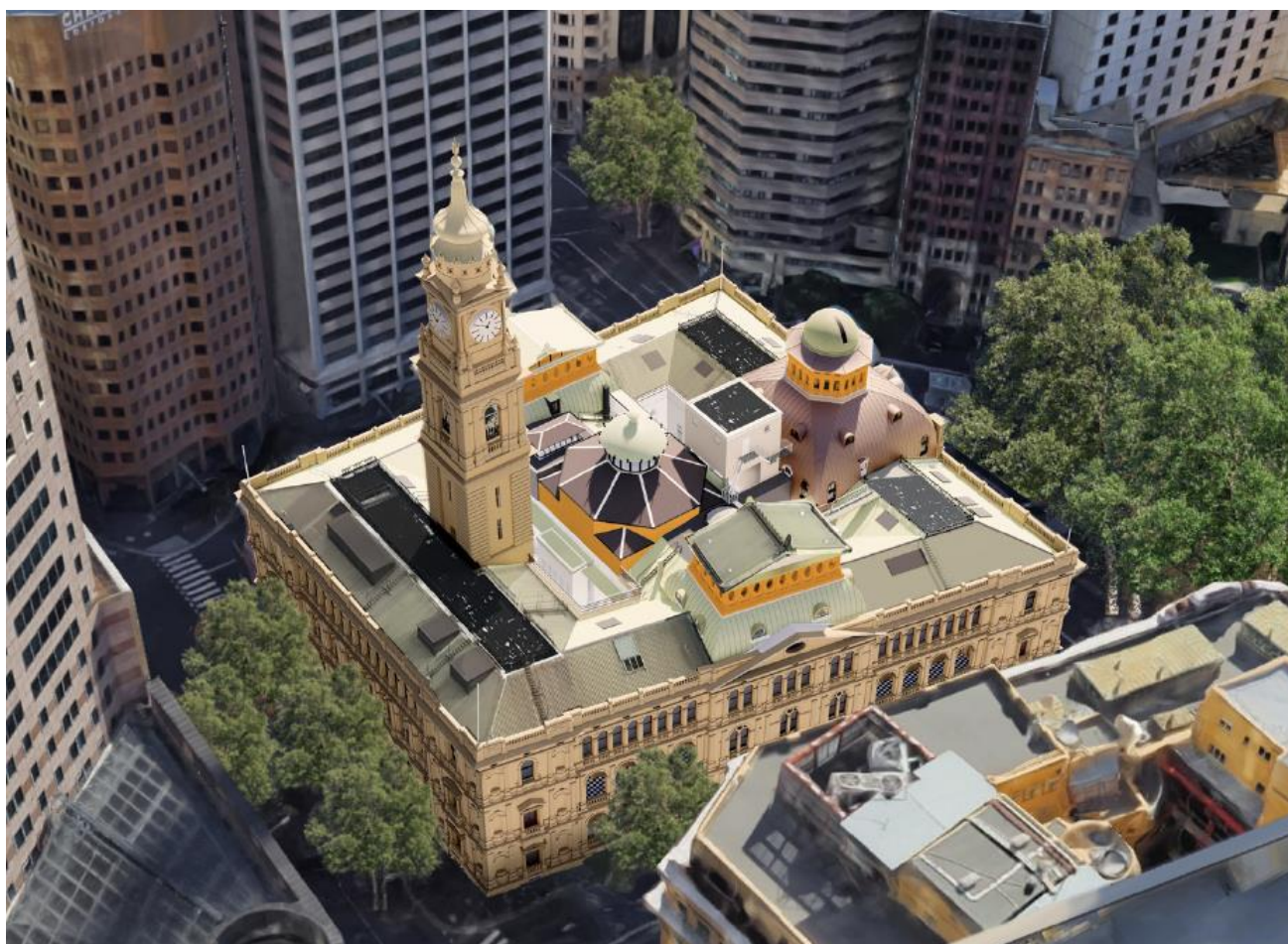


Figure 10 The existing aerial view of the Lands Building roofscape

Source: Hassell



Figure 11 The proposed aerial view of the Lands Building roofscape

Source: Hassell

Design Excellence

The proposed changes to the Lands Building continue to exhibit design excellence as identified by the Department in the original assessment report for SSD 7484. The Design Review Panel has been closely involved with the proposed changes and will continue to be consulted through design development (including to address detailed matters raised within DRP Meeting No 10), ensuring design excellence will be achieved.

Specifically, Hassell as the architects for the Lands Building are experienced and highly capable when it comes to design excellence and exhibit clear understanding of the requirements for the site to ensure it responds to its surrounds and the heritage context.

6.5.1 Gross Floor Area

The existing approved Stage 2 consent provides for a total gross floor area (GFA) of 30,683m², comprised of:

- 10,819m² within the Lands Building; and
- 19,864m² within the Education Building.

The proposed amendments to the design result in a decrease in GFA across the site, due to the combination of the below changes:

- The removal of guest rooms within the Lands Building at all levels; and
- Reconfiguration of the internal layout within the Lands Building resulting in a more efficient configuration.

Table 3 demonstrates the change in GFA distribution resulting from the proposed modification.

The modification to the numerical GFA for the precinct is not the result of any increase to the bulk, mass or scale of the development. Furthermore, it does not give rise to an intensification of, or any additional environmental impacts and in fact results in a decrease in floor area across the site.

Table 3 Gross floor area amendments

Site	Approved GFA (m ²)	Proposed GFA (m ²)	Difference	Percentage
Lands Building	10,819	10,465	-354	-3.3%
Education Building	19,864	19,864	0	0%
Total	30,683	30,329	-354	-1.1%

6.6 Waste Management

Foresight Environmental have prepared an Operational Waste Management Plan to reflect the proposed changes to the Lands Building under this modification and its intended operation as the supporting amenities building for the hotel. It is noted that the Education Building contains the main waste collection point and that waste generated within the Lands Building will be first stored within the waste room as proposed, before being moved across via the subterranean link to the Education Building storeroom prior to collection by a private contractor.

The proposed development consists of a combination of mixed retail tenancies, restaurant/bar areas, kitchen facilities and function spaces. A waste profile was determined based on historical operational data retained by Foresight Environmental, which identified areas of the new development that would generate waste. Based on this, the primary waste streams expected include:

- Mixed recycling (plastics, glass, aluminium, steel);
- Food organic recycling;
- Cardboard and paper recycling;
- General waste; and
- Cooking oil.

Smaller waste streams may include general office waste including ink toner cartridge, fluoro tube/globe recycling and battery recycling.

It is important to note that waste generation will vary depending on function spaces being used and at what capacity. As such, business as usual and the additional full function capacity generation estimates have been used. The total of these, due to the waste room needing to accommodate the total waste generated during normal business hours and full function operation, is provided below. Further detail is in the Operational Waste Management Plan at **Appendix J**.

Table 4 Waste generation estimates

Stream	Kg/day	L/day	Kg/week	L/week
Paper/cardboard	117.45	3,033.88	822.16	21,237.19
Food organics	358.44	1,280.15	2,509.09	8,961.04
Mixed recycling	49.70	828.31	3,47.89	5,798.19
General waste	133.09	1,566.49	931.63	10,965.41
Total	658.68	6,708.83	4,610.78	46,961.84

Source: Foresight Environmental

Based on the waste generation outlined above, the following are the recommended bin numbers and collection frequencies:

- Paper/cardboard: 660L x 3 bins, collected 7 times a week (total capacity of 23,100L/week);
- Organics: 120L x 11 bins, collected 7 times a week (total capacity of 9,240L/week);
- Mixed recycling: 660L x 2 bins, collected 7 times a week (total capacity of 6,600L/week);
- General waste: 660L x 2 bins, collected 7 times a week (total capacity of 11,000L/week); and
- Cooking oil: heated tank x 1, collected once per week (weekly capacity of 600L).

The total bin footprint of the required waste equipment comes to approximately 14.92m². It is therefore recommended that a waste room of 34.83m² be provided, inclusive of wash down and circulation space. The proposed modification will provide a waste room of 76m² at lower ground floor in the south-eastern corner of the Lands Building.

6.7 Acoustic

Wood & Grieve Engineers (WGE) have prepared an acoustic assessment (**Appendix K**) to review the proposed changes to the Lands Building, noting the removal of all guest rooms and the inclusion of function spaces, including the external terrace spaces. The external terrace spaces results in the main change to the external noise emission of the building, noting a maximum of 80 persons in this space.

WGE considered a conservative approach with patron noise being assessed against the night time criteria of the Industrial Noise Policy (INP) of 42dB(A). This assumed 50% of patrons on the terraces talking loudly at 77.5dB(A) at the same time, and predicted the noise level at the most sensitive nearest receiver to the site, being the residential building at 38-42 Bridge Street, approximately 48m to the north of the site. The predicted noise levels at this sensitive receiver were 42dB(A), complying with the INP night time criteria.

Additionally the external terraces are expected to achieve the noise emission criteria established by Liquor and Gaming NSW for licensed premises. As such, WGE consider the changes to the design of the Lands Building will not generate any significant new noise impact and is expected to comply with the relevant noise guidelines and policies.

6.8 Access

Review of the accessibility requirements for the modified design has been completed by Philip Chun Building Compliance (**Appendix F**). The assessment considers that the modified design is able to comply with the relevant accessibility codes.

Access to the building is proposed via a number of entrances, with two public entrances provided from Gresham Street, which also provides DDA compliant access to the building. Entrances to the bar, lounge and hotel club spaces are provided from Bent Street and Loftus Street.

The reconfiguration of the Lands Building will still ensure compliance in terms of accessibility, with a number of performance solutions to be provided to satisfy the applicable performance requirements, namely due to the heritage nature of the building and the existing stairwells and doorways not achieving compliance in some circumstances.

6.9 Traffic and Transport

The proposed changes include removal of guest rooms from the Lands Building and changes to the intended uses, including function spaces, kitchens, meeting rooms and bars. Arup have completed a Traffic Assessment (**Appendix G**) and confirms that the conclusions within the original Sandstone Precinct Traffic Impact Assessment (25 October 2016) submitted in support of the original SSD 7484 remain unchanged.

In particular, Arup concluded the loading dock in the Education Building remains unchanged and will still service the Lands Building via the tunnel link for the purposes of delivery and collection activities. In addition, the function rooms will not change the access arrangements to the building, with patrons to arrive via a variety of travel modes or park in nearby public car parks, with on-street provisions for drop-off and pick-up remaining unchanged.

6.10 Fire Engineering

The proposed modifications to the layouts and intended uses of the various levels associated with the development are not considered to have any adverse impacts to fire safety. This has been confirmed by WGE (**Appendix E**) which identifies the proposed modifications are considered to satisfy the Performance Requirements of the Building Code of Australia in terms of fire safety design, by complying with the deemed to satisfy provisions, and through performance-based fire engineering as required.

6.11 Structural Engineering

Confirmation that the structural design of the proposed modifications to the design of the Lands Building have been designed in accordance with the relevant Australian Standards has been provided by Aurecon at **Appendix H**. Furthermore, Aurecon confirm that the strengthening works of the existing structures for the new and increased loads will be completed. Strengthening and alterations to the existing roof to accommodate new internal and external spaces will require supplementary framing as proposed to be incorporated.

6.12 Building Code of Australia

McKenzie Group have undertaken a review of the modified design against the applicable requirements of the Building Code of Australia (**Appendix I**). The report concludes that the proposed development is capable of complying with the provisions of the Building Code of Australia 2016.

6.13 Construction Management

The existing conditions of consent that apply continue to provide the appropriate framework for the management of the proposed design modifications.

7.0 Conclusion

The proposed modifications include design and operational development changes to the Lands Building in to reconfigure its role and function in the overall hotel development. The revised approach to the Lands Building has been the result of an extensive Early Contractor Involvement (ECI) process, further design development and various investigations. The end outcome as proposed through this modification is considered to achieve the best holistic outcome for the precinct and the buildings themselves, with significant benefits now able to be realised from both a heritage and public access perspective.

The proposed modifications represent further enhancements to the overall design while ensuring the development continues to deliver the adaptive reuse of state significant heritage buildings for tourist and visitor accommodation use – fully consistent with the approved Stage 1 consent.

Further and in accordance with section 4.55(2) of the EP&A Act, the DPE may modify the consent as the proposed development remains substantially the same development as that originally granted.

We trust that this information is sufficient to enable a prompt assessment of the proposed modification request.