

PERFORMANCE BASED DESIGN BRIEF (PBDB)

PROPOSED PERFORMANCE SOLUTION FOR

The Lands Building,
23-35 Bridge Street, Sydney

Report prepared for: James Jewell
Built
Level 4/185 Clarence Street
Sydney NSW 2000

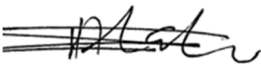
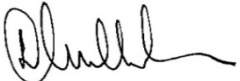
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Brief Ref: AN021-014540 Sandstone Precinct_Dept of Lands Building PBDB IS
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DOCUMENT ACCEPTANCE

	Name	Signed	Date
Prepared by	Iliyas Shah <i>Access Consultant</i>		28 February 2022
Reviewed by	Douglas Melloh <i>Senior Access Consultant ACAA Accredited Member 217</i>		15 December 2021

REVISION HISTORY

Revision No.	Prepared by	Description	Date
00	Iliyas Shah	For review	15 December 2021
01	Iliyas Shah	Final (includes stakeholder comments/feedback)	23 February 2022

RELEVANT STAKEHOLDERS

COMPANY	ATTENTION	EMAIL
Client	Pontiac Land Group – William Boneham	william.boneham@pontiacland.com
Architect	Hassell – Jeff Morgan	JMorgan@hassellstudio.com
Project Manager	Essence Project Management – Kylie Chu	kchu@essencepm.com.au
Builder	Built – James Jewell	jamesjewell@built.com.au

☐ BUILDING CODE ☐ ACCESS CONSULTING ☐ ESSENTIAL SERVICES

Approval Authority	McKenzie Group – Aaron Celarc	acelarc@mckenzie-group.com.au
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1.0 INTRODUCTION

As of July 2021, BCA section A2.2(4) requires that any proposed Performance Solution include a Performance Based Design Brief (PBDB).

According to **Schedule 3 - Definitions** of the BCA, a PBDB “means the process and the associated report that defines the scope of work for the performance-based analysis, the technical basis for analysis, and the criteria for acceptance of any relevant Performance Solution as agreed by stakeholders”.

The Performance Solution Report process is in-line with the expectations and requirements intended by the PBDB and hence can be considered as such.

As per our discussions with the Client and other relevant stakeholders, this report forms part of this process and will be included as an Annexure within the PS Report (once issued).

Brief Exclusions

It is conveyed that this PBDB should not be construed to infer that an assessment for compliance with the following has been undertaken –

- (i) Any other part of the Building Code of Australia 2019 Amdt 1 which is not directly referenced by this brief.
- (ii) Occupational Health & Safety Act and Regulations.
- (iii) Work Cover Authority requirements.

1.1 Site context

The project involves the Lands Building Redevelopment at 21-33 Bridge Street, Sydney.

The redevelopment of the Sandstone Precinct Buildings is set to create one of the finest luxury hotels and hospitality developments in the heart of Sydney’s Central Business District. This will be achieved through the careful restoration and reinvention of the Lands and Education building, and with this, the opportunity to transform the adjacent urban context

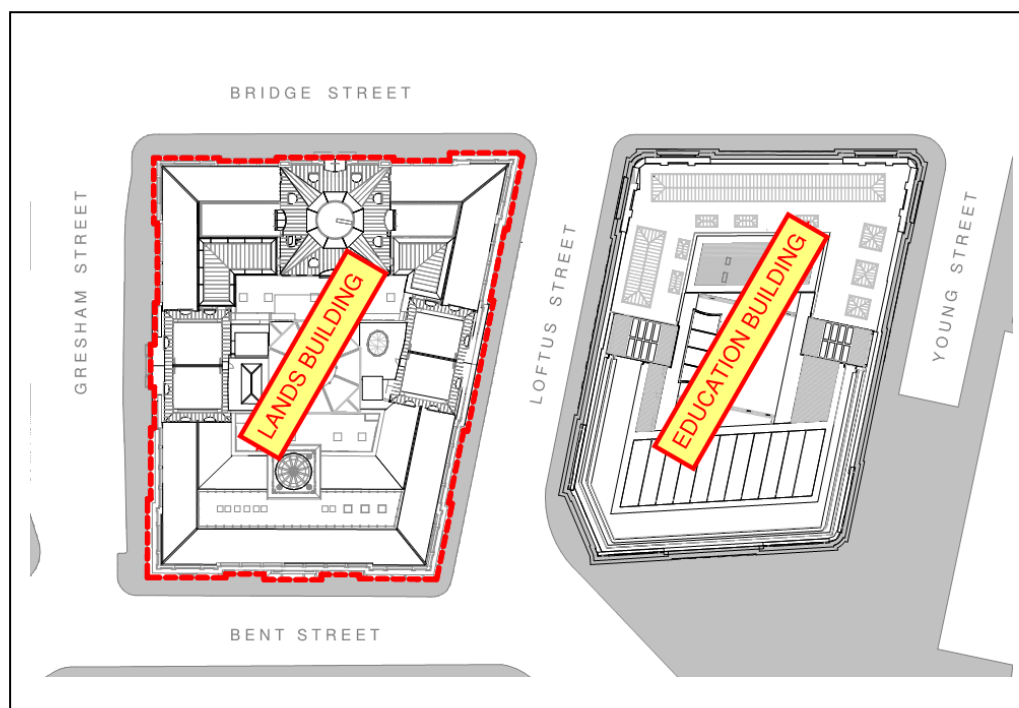


Figure 1. Lands & Education building connected at basement level 3 via tunnel.



1.2 Building Description – SUBJECT BUILDING

Class of Building:	Class 5 (Office), Class 6 (Retail) and Class 9b (Assembly)
Deemed-to-Satisfy Clause:	D3.2, D3.3, AS1428.1
Performance Requirements:	DP1 and DP2 respectively
Occupant Characteristics:	<p>This building has mixed use:</p> <ul style="list-style-type: none">• Basement Level 3 – tunnel connection• Basement Level 2• Lower ground – F&B, Retail and Tenant kitchen• Lower ground mezzanine – Staff office & BOH• Ground – Co-working/meeting and F&B• Level 1 – Co-working and Meeting• Level 2 – Function rooms & Kitchen• Level 3 – Public bar and F&B• Level 4 – Public bar and F&B

1.3 Heritage Classification

The Lands Department Building was designed by the Colonial Architect James Barnet, and was built in two stages. The first stage was between 1876–81; the second stage was between 1888–92 under the supervision of the Colonial Architect Walter Vernon. The first stage saw the use of reinforced concrete slabs by the builder John Young who was Sydney's first protagonist of ferro-cement construction. Sometime between 1887 and 1894 the Lands Department Datum Bench Mark Plug was set into position on the front of the building and provided the origin of all levels in NSW under the Survey Co-ordination Act. In 1938, a clock for the tower and a clock system throughout the building to be driven electronically by a pendulum master clock were installed by Prouds Limited. The whole system was Australian made.

In the late 1980s, the building was earmarked by the NSW Government as one of the possible sites for conversion into a casino. A Permanent Conservation Order covering the premises was passed by the NSW Heritage Council in order to protect the building from unsympathetic development. The NSW Department of Planning and Environment moved from the former Lands Department building in September 2016. Up until now, the NSW Government Department (of Lands) had been in the Bridge Street building since it was completed in 1892. The building will be refurbished into a hotel where the **historical features will be retained for visitors to enjoy.**

As at 3 November 2006, the building is one of the **most outstanding surviving Victorian buildings in Sydney.** It has a long association with the public life of NSW, especially the rapid expansion of settlement during the later part of the 19th century. The building forms a visually satisfying enclosure to the southern side of Macquarie Place and relates in scale and materials to the other Government buildings at the eastern end of Bridge Street. A vital landmark in the history of surveying, land titles and public works in New South Wales. Lands Department Building was listed on the New South Wales State Heritage Register on 2 April 1999. **The place is important in demonstrating the course, or pattern, of cultural or natural history in New South Wales.**

2.0 Performance Solutions

- Performance Solution 1 – Building Entrance
- Performance Solution 2 – Stairways
- Performance Solution 3 – Door clear opening width – General
- Performance Solution 4 – Door clear opening width – Strong Rooms
- Performance Solution 5 – Walls up to 600mm in depth
- Performance Solution 6 – Walls greater than 600mm in depth
- Performance Solution 7 – Access to Balconies
- Performance Solution 8 – Door handles - controls



- Performance Solution 9 – Door circulation area
- Performance Solution 10 – Floor to Ground Surfaces
- Performance Solution 11 – Continuous Accessible Path of Travel
- Performance Solution 12 – Main entrance handrail extension over boundary
- Performance Solution 13 – Access to lower ground mezzanine
- Performance Solution 14 – Circulation space at lower ground doorway LG.28.1
- Performance Solution 15 – Operation of entry gates LG.42.1 and G.37.3

2.1 PBDB Assessment

The following table outline the departures, assessment methodology, and acceptance criteria proposed to be used in our assessment.

Should anyone have any comments please advise by responding to this report, and the feedback will be appropriately captured in the Performance Solution Report as appropriate.

Performance Solution 1 – Building Entrance	
BCA 2019 (Amdt 1) DTS clause:	D3.2 (b) (i) In a building required to be accessible, an accessway must be provided through the principal pedestrian entrance, and through not less than 50% of all pedestrian entrances including the principal pedestrian entrance. (sic.)
Description of the DTS Non-Compliance:	<p>The existing building has four entrances. Two entrances are present at lower ground level (Gresham Street and Bridge Street) and two entrances are located at ground level (Bent Street and Loftus Street). Gresham Street will be the only accessible entrance. The remaining 3 entrances are accessed via existing stairs.</p> <p>Due to the significant heritage status of the building and the existing site topography of the surrounding streets, a single accessible entrance from Gresham Street is only proposed.</p>
Applicable BCA Performance Requirements:	DP1 Access must be provided, to the degree necessary, to enable people to approach the building from the road boundary and from any accessible carparking spaces associated with the building (sic.)
Assessment Method:	In this instance, Philip Chun Accessibility proposes a Performance Solution based on a combination of Clause A2.2 (c) – expert judgement and Clause A2.2 (d) – comparison with the Deemed-to-Satisfy provisions.
Acceptance Criteria:	<p>Provide safe, equitable and dignified access to, and egress from, work and public spaces, accommodation, and facilities for personal hygiene 'to the degree necessary' appropriate to the function and use of the building considering the significant heritage status.</p> <p>The existing building has previously been used as an office space. The existing office space has always been accessed using a single non-compliant wheelchair entrance. The main entrance located at Gresham Street will be upgraded as near as reasonably practicable to meet the requirements of AS1428.1-2009 hence will result in improvements to attributes that relate to access and facilities for people with disabilities. The improvements to the main entrance will outweigh any detriments that is likely to arise as a result of only one accessible entrance.</p> <p>The proposed design is considered acceptable if it can be demonstrated that the proposed change of use will not make the situation any worse than before (will continue to comply to at least the</p>



Performance Solution 1 – Building Entrance	
	same extent as it did then comply) and access is provided to degree necessary as near as reasonably practicable keeping in mind the heritage status of the building.
Proposed additional measures	<ul style="list-style-type: none"> - Signage provided at non accessible entrance to inform users (way-finding) the location of accessible entrance. - Selected features of the existing heritage stairs on other entrances to be upgraded to meet the requirements of AS1428.1-2009 i.e. custom made nosing's.

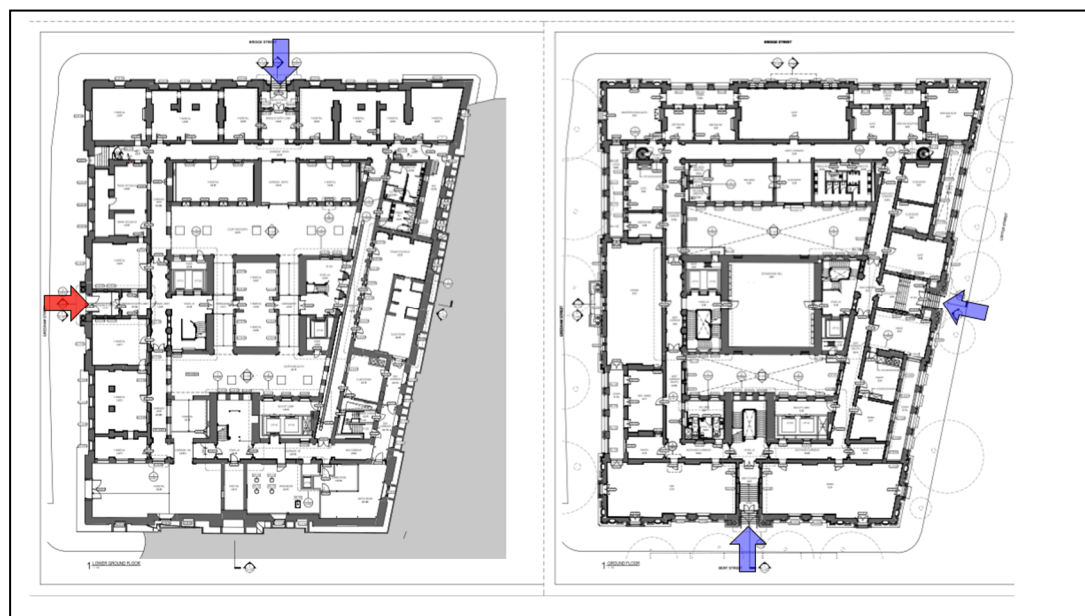


Figure 2. Performance Solution 1 – Building Entrance (Red = Accessible Entrance)

Performance Solution 2 – Stairways	
BCA 2019 (Amdt-1) DTS clause:	D3.3 (a) (ii) In a building required to be accessible every stairway must comply with clause 11 of AS1428.1-2009. (sic.)
Description of the DTS Non-Compliance:	<p>Stairs shall comply with clause 11 of AS 1428.1. The existing stairs (L.02, L.03 and L.04) are to be used as egress stairs (fire-isolated stairs) and due to the significant heritage status of the building some of the existing stairs will not achieve complete technical compliance.</p> <p>The existing stairs have curved threads and landings in black and white marble finish and a non-compliant handrail on one side. Due to the significant heritage status of the handrails and stairs, it can't be upgraded.</p>
Applicable BCA Performance Requirements:	DP2 So that people can move safely to and within a building, any stairs must have slip resistant walking surface and suitable handrails where necessary to assist and provide stability to people using the stair.
Assessment Method:	In this instance, Philip Chun Accessibility proposes a Performance Solution based on a combination of Clause A2.2 (c) – expert judgement and Clause A2.2 (d) – comparison with the Deemed-to-Satisfy provisions.



Performance Solution 2 – Stairways

Acceptance Criteria:	<p>Provide safe, equitable and dignified access to, and egress from, work and public spaces, accommodation, and facilities for personal hygiene 'to the degree necessary' appropriate to the function and use of the building considering the significant heritage status.</p> <p>The proposed design is considered acceptable if it can be demonstrated that the provision of new passenger lifts and additional handrails on the other side of the existing stairs will result in improvements to attributes that relate to access and facilities for people with disabilities and the improvements will outweigh any detriments that is likely to arise as a result of noncompliance. The existing building has previously been used as an office space and the floors has always been accessed via these non-compliant stairs. The proposed change in use and the associated stair upgrades will not make the situation any worse than before (will continue to comply to at least the same extent as it did then comply).</p>
Proposed additional measures	Selected features of the existing heritage stairs will be upgraded as near as reasonably practicable to meet the requirements of AS1428.1-2009 i.e. custom made nosing's.



Figure 3. Performance Solution 2 – Stairways

Performance Solution 3 – Door clear opening width - General

BCA 2019 (Amdt 1) DTS clause:	Table D3.1 In a building required to be accessible access shall be provided to and within all areas normally used by the occupants.
Description of the DTS Non-Compliance:	<p>Doorways located within a required accessible path of travel for people with a disability must have a clear door opening width of not less than 850mm in accordance with Clause 13.2 of AS 1428.1-2009.</p> <p>Due to the significant heritage status of the building some of the existing doors located at the lower ground level and ground level will not achieve compliance.</p>



Performance Solution 3 – Door clear opening width - General	
Applicable BCA Performance Requirements:	DP1 Access will be provided, to the degree necessary, to enable people to equitably access the workspaces and public spaces, accommodation, and facilities for personal hygiene.
Assessment Method:	In this instance, Philip Chun Accessibility proposes a Performance Solution based on a combination of Clause A2.2 (c) – expert judgement and Clause A2.2 (d) – comparison with the Deemed-to-Satisfy provisions.
Acceptance Criteria:	<p>Provide safe, equitable and dignified access to, and egress from, work and public spaces, accommodation, and facilities for personal hygiene 'to the degree necessary' appropriate to the function and use of the building considering the significant heritage status.</p> <p>A Disability Management Plan shall be developed to address the lack of door circulation spaces to and within each room where all identified non-compliant doors may not be required to be accessible due to the intended function of these spaces and how these rooms associated with these doors are to be managed - Refer attached proposed room plans.</p> <p>The existing building has previously been used as an office space and the floors spaces have always been accessed via these non-compliant doors. The proposed design is considered acceptable if it can be demonstrated that the existing doors will be kept open using a hold open device, managed by a Disability Management Plan. The provision of hold open device will result in improvements to attributes that relate to access and facilities for people with disabilities and the improvements will outweigh any detriments that is likely to arise as a result of noncompliance.</p> <p>The proposed hold open device connected to the existing heritage doors will not make the situation any worse than before (will continue to comply to at least the same extent as it did then comply).</p>
Proposed additional measures	

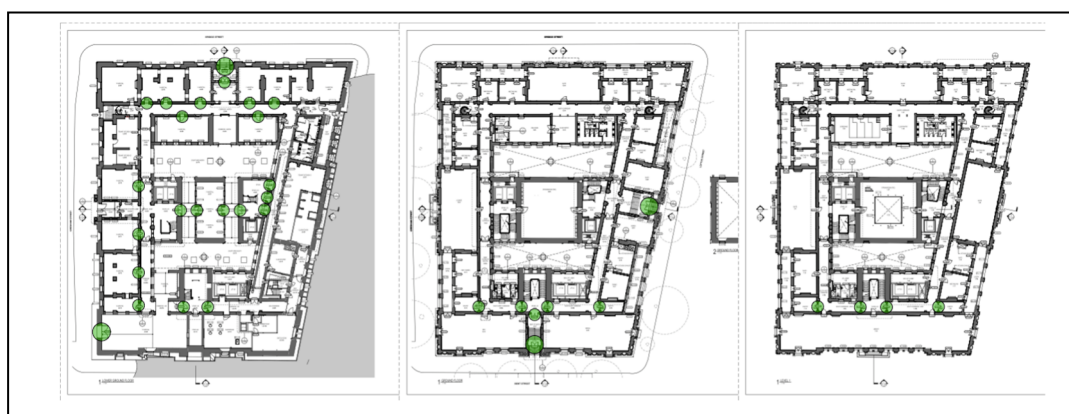


Figure 4. Performance Solution 3 – Door clear opening width - General



Performance Solution 4 – Door clear opening width – Strong Rooms	
BCA 2019 (Amdt-1) DTS clause:	Table D3.1 In a building required to be accessible to and within all areas normally used by the occupant.
Description of the DTS Non-Compliance:	Doorways located within a required accessible path of travel for people with a disability must have a clear door opening width of not less than 850mm in accordance with Clause 13.2 of AS 1428.1-2009 and the circulation space at the doorways shall meet the requirements of Clause 13.3 of AS 1428.1-2009. Due to the existing width constraints of the strong room doors and their thresholds, the doorway will not achieve compliance.
Applicable BCA Performance Requirements:	DP1 Access will be provided, to the degree necessary, to enable people to equitably access the workspaces and public spaces, accommodation, and facilities for personal hygiene.
Assessment Method:	In this instance, Philip Chun Accessibility proposes a Performance Solution based on a combination of Clause A2.2 (c) – expert judgement and Clause A2.2 (d) – comparison with the Deemed-to-Satisfy provisions.
Acceptance Criteria:	Provide safe, equitable and dignified access to, and egress from, work and public spaces, accommodation, and facilities for personal hygiene ‘to the degree necessary’ appropriate to the function and use of the building considering the significant heritage status. The proposed design is considered acceptable if it can be demonstrated that the existing steel doors will be kept in an open position thus allowing a person on a wheelchair to easily manoeuvre the non-compliant threshold/circulation space. The provision of hold open device on the steel doors will result in improvements to attributes that relate to access and facilities for people with disabilities and the improvements will outweigh any detriments that is likely to arise as a result of the non-compliance.
Proposed additional measures	

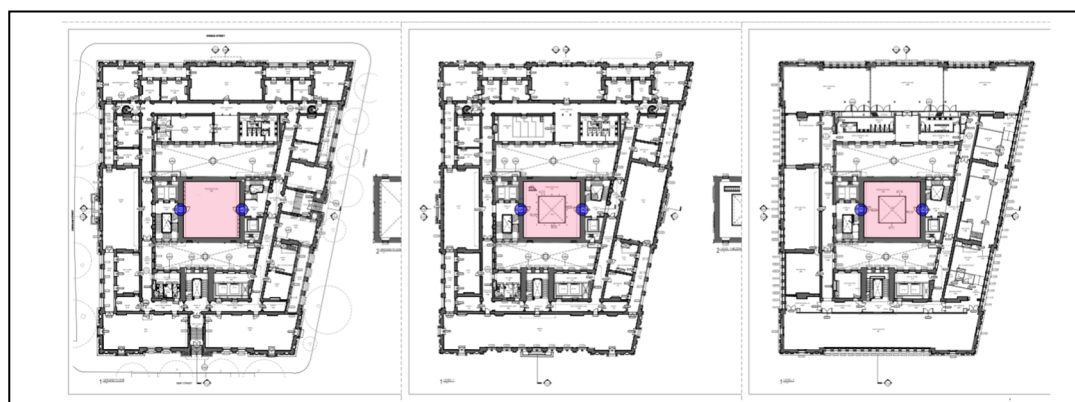


Figure 5. Performance Solution 4 – Door clear opening width – Strong Rooms



Performance Solution 5 – Walls up to 600mm in depth	
BCA 2019 (Amdt-1) DTS clause:	Table D3.1 In a building required to be accessible to and within all areas normally used by the occupant.
Description of the DTS Non-Compliance:	<p>Door controls in or forming part of, 'the continuous accessible path of travel' shall comply with the door controls in Clause 13.5 of AS1428.1-2009.</p> <p>The palm reach for a person using a wheelchair is typically within 300mm of the face of a door being part of, 'the continuous accessible path of travel'. Where the door is hinged in any location other than in the center of a 600mm deep wall, compliant access is not achievable.</p> <p>Due to the significant heritage status of the building some of the existing doors and walls may not achieve compliance.</p>
Applicable BCA Performance Requirements:	DP1 Access will be provided, to the degree necessary, to enable people to equitably access the workspaces and public spaces, accommodation, and facilities for personal hygiene.
Assessment Method:	In this instance, Philip Chun Accessibility proposes a Performance Solution based on a combination of Clause A2.2 (c) – expert judgement and Clause A2.2 (d) – comparison with the Deemed-to-Satisfy provisions.
Acceptance Criteria:	<p>Provide safe, equitable and dignified access to, and egress from, work and public spaces, accommodation, and facilities for personal hygiene 'to the degree necessary' appropriate to the function and use of the building considering the significant heritage status and the structural stability of the existing core structure.</p> <p>The proposed design is considered acceptable if it can be demonstrated that considering the significant heritage status of the building, reasonable measures have been taken including but not limited to:</p> <ul style="list-style-type: none">- Doors that cannot be upgraded will be either installed with automatic openers or hold open device.- Doors that can be upgraded, the door set will be repositioned to the centre of the wall- Doors in selected room/space will be removed. <p>The improvements referenced above will result in improvements to attributes that relate to access and facilities for people with disabilities and the improvements will outweigh any detriments that is likely to arise as a result of noncompliance.</p>
Proposed additional measures	



Performance Solution 6 – Walls greater than 600mm in depth	
BCA 2019 (Amdt-1) DTS clause:	Table D3.1 In a building required to be accessible to and within all areas normally used by the occupant.
Description of the DTS Non-Compliance:	<p>Door controls in or forming part of, 'the continuous accessible path of travel' shall comply with the door controls in Clause 13.5 of AS1428.1-2009.</p> <p>The palm reach for a person using a wheelchair is typically within 300mm of the face of a door being part of, 'the continuous accessible path of travel'. Any doors located in wall exceeding 600mm deep cannot comply.</p>
Applicable BCA Performance Requirements:	DP1 Access will be provided, to the degree necessary, to enable people to equitably access the workspaces and public spaces, accommodation, and facilities for personal hygiene.
Assessment Method:	In this instance, Philip Chun Accessibility proposes a Performance Solution based on a combination of Clause A2.2 (c) – expert judgement and Clause A2.2 (d) – comparison with the Deemed-to-Satisfy provisions.
Acceptance Criteria:	<p>Provide safe, equitable and dignified access to, and egress from, work and public spaces, accommodation, and facilities for personal hygiene 'to the degree necessary' appropriate to the function and use of the building considering the significant heritage status and core structure.</p> <p>The proposed design is considered acceptable if it can be demonstrated that considering the significant heritage status of the building, reasonable measures have been taken including but not limited to:</p> <ul style="list-style-type: none">- Doors that cannot be upgraded will be either installed with automatic openers or hold open device.- Doors in selected room/space will be removed.- Development of a Disability Management Plan. The Disability Management Plan will detail how the functions of non-compliant spaces can be provided elsewhere within the building and how this is intended to be managed. <p>The improvements referenced above will result in improvements to attributes that relate to access and facilities for people with disabilities and the improvements will outweigh any detriments that is likely to arise as a result of noncompliance.</p>
Proposed additional measures	



Performance Solution 7 – Access to Balconies	
BCA 2019 (Amdt-1) DTS clause:	Table D3.1 In a building required to be accessible to and within all areas normally used by the occupant.
Description of the DTS Non-Compliance:	An uninterrupted path of travel to, into or within a building providing access to all accessible facilities. Access is required to the balcony areas of the building. All room with a step threshold to the balcony area cannot comply.
Applicable BCA Performance Requirements:	DP1 Access will be provided, to the degree necessary, to enable people to equitably access the workspaces and public spaces, accommodation, and facilities for personal hygiene.
Assessment Method:	In this instance, Philip Chun Accessibility proposes a Performance Solution based on a combination of Clause A2.2 (c) – expert judgement and Clause A2.2 (d) – comparison with the Deemed-to-Satisfy provisions.
Acceptance Criteria:	<p>Provide safe, equitable and dignified access to, and egress from, work and public spaces, accommodation, and facilities for personal hygiene ‘to the degree necessary’ appropriate to the function and use of the building considering the significant heritage status.</p> <p>The proposed design is considered acceptable if it can be demonstrated that access to the balconies can be managed using a Disability Management Plan to provide a ‘continuous accessible path of travel’. Access to selected balconies will be provided using portable step ramp complying with the requirements of AS1428.1-2009 Clause 10.6. The Disability Management Plan will detail how the functions of the non-compliant spaces can be provided elsewhere within the building including storage, installation and management of the portable step ramps.</p> <p>The improvements referenced above will result in improvements to attributes that relate to access and facilities for people with disabilities and the improvements will outweigh any detriments that is likely to arise as a result of noncompliance.</p>
Proposed additional measures	Step ramp be compliant with AS1428.1-2009.

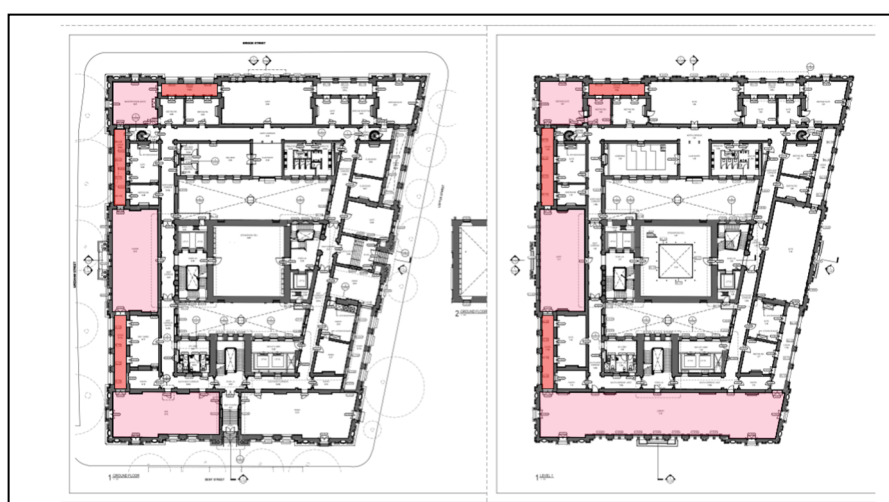


Figure 6. Performance Solution 7 – Access to Balconies



Performance Solution 8 – Door handles - controls	
BCA 2019 (Amdt-1) DTS clause:	Table D3.1 In a building required to be accessible to and within all areas normally used by the occupant.
Description of the DTS Non-Compliance:	<p>Door Handles of a 'D' type are to be provided with a clearance between the handle and back plate of not less than 35mm and not more than 45mm. Door Handles are to be located within 900 to 1100mm above finished floor level.</p> <p>Due to the significant heritage status of the building some of the existing door handles will not achieve compliance.</p>
Applicable BCA Performance Requirements:	<p>DP1 and DP2 (b) Access will be provided, to the degree necessary, to enable people to equitably access the workspaces and public spaces, accommodation, and facilities for personal hygiene.</p> <p>So that people can move safely to and within a building, it must have – (b) any doors installed to avoid the risk of the occupants – - having their egress impeded or being trapped in the building</p>
Assessment Method:	In this instance, Philip Chun Accessibility proposes a Performance Solution based on a combination of Clause A2.2 (c) – expert judgement and Clause A2.2 (d) – comparison with the Deemed-to-Satisfy provisions.
Acceptance Criteria:	<p>Provide safe, equitable and dignified access to, and egress from, work and public spaces, accommodation, and facilities for personal hygiene 'to the degree necessary' appropriate to the function and use of the building considering the significant heritage status.</p> <p>The proposed design is considered acceptable if it can be demonstrated that the existing doors cannot be upgraded due to the significant heritage status of the building and the affected area/room can be managed by a Disability Management Plan. The Disability Management Plan will detail how the functions of these spaces can be provided elsewhere within the building and how this is intended to be managed.</p> <p>Additionally selected doors will be installed with automatic openers or hold open device.</p> <p>The improvements referenced above will result in improvements to attributes that relate to access and facilities for people with disabilities and the improvements will outweigh any detriments that is likely to arise as a result of noncompliance.</p>
Proposed additional measures	



Performance Solution 9 – Door circulation area	
BCA 2019 (Amdt-1) DTS clause:	Table D3.1 In a building required to be accessible to and within all areas normally used by the occupant.
Description of the DTS Non-Compliance:	Doors required to be accessible to comply with Section 13 of AS 1428.1- 2009. Doorways to be provided with circulation spaces in accordance with Clause 13.3 and relevant approach to meet the requirements of Figures 31 and 32. Note: circulation spaces at doorways must have a gradient and crossfall not steeper than 1 in 40. Due to the significant heritage status of the building most the existing doors will not achieve compliance.
Applicable BCA Performance Requirements:	DP1 Access will be provided, to the degree necessary, to enable people to equitably access the workspaces and public spaces, accommodation, and facilities for personal hygiene.
Assessment Method:	In this instance, Philip Chun Accessibility proposes a Performance Solution based on a combination of Clause A2.2 (c) – expert judgement and Clause A2.2 (d) – comparison with the Deemed-to-Satisfy provisions.
Acceptance Criteria:	Provide safe, equitable and dignified access to, and egress from, work and public spaces, accommodation, and facilities for personal hygiene ‘to the degree necessary’ appropriate to the function and use of the building considering the significant heritage status. The proposed design is considered acceptable if it can be demonstrated that the existing doors cannot be upgraded due to the significant heritage status of the building. The affected doors will be installed with automatic openers or hold open device. The improvements referenced above will result in improvements to attributes that relate to access and facilities for people with disabilities and the improvements will outweigh any detriments that is likely to arise as a result of noncompliance.
Proposed additional measures	



Performance Solution 10 – Floor to Ground Surfaces	
BCA 2019 (amend-1) DTS clause:	Table D3.1 In a building required to be accessible to and within all areas normally used by the occupant.
Description of the DTS Non-Compliance:	<p>Interior floor finishes shall have surface level difference to surrounding materials not more than 3mm for vertical and 5mm for rounded or bevelled edges. Change of level of no more than 5mm between two differing surfaces</p> <p>Due to the significant heritage status of the building some of the existing floor finishes and installations within the floors will not achieve compliance.</p>
Applicable BCA Performance Requirements:	DP1 Access will be provided, to the degree necessary, to enable people to equitably access the workspaces and public spaces, accommodation, and facilities for personal hygiene.
Assessment Method:	In this instance, Philip Chun Accessibility proposes a Performance Solution based on a combination of Clause A2.2 (c) – expert judgement and Clause A2.2 (d) – comparison with the Deemed-to-Satisfy provisions.
Acceptance Criteria:	<p>Provide safe, equitable and dignified access to, and egress from, work and public spaces, accommodation, and facilities for personal hygiene ‘to the degree necessary’ appropriate to the function and use of the building considering the significant heritage status.</p> <p>The proposed design is considered acceptable if it can be demonstrated that numerous alternative routes are available to access the affected area. New ramps complying with the requirements of AS1428.1-2009 will be formed along the alternative route to provide a continuous accessible path of travel.</p>
Proposed additional measures	Signage provided at non accessible points to inform users (way-finding) the location of accessible path of travel.

Performance Solution 11 – Continuous Accessible Path of Travel	
BCA 2019 (Amdt-1) DTS clause:	Table D3.1 In a building required to be accessible to and within all areas normally used by the occupant.
Description of the DTS Non-Compliance:	<p>An uninterrupted path of travel to, into or within a building providing access to all accessible facilities.</p> <p>Class 6 and 9b building requires access to all areas within the building that are used by staff, visitors and the general public (all users of the building).</p> <p>Due to the significant heritage status of the building a continuous accessible path of travel to all areas cannot be achieved.</p>
Applicable BCA Performance Requirements:	DP1 Access will be provided, to the degree necessary, to enable people to equitably access the workspaces and public spaces, accommodation, and facilities for personal hygiene.



Performance Solution 11 – Continuous Accessible Path of Travel	
Assessment Method:	In this instance, Philip Chun Accessibility proposes a Performance Solution based on a combination of Clause A2.2 (c) – expert judgement and Clause A2.2 (d) – comparison with the Deemed-to-Satisfy provisions.
Acceptance Criteria:	<p>Provide safe, equitable and dignified access to, and egress from, work and public spaces, accommodation, and facilities for personal hygiene 'to the degree necessary' appropriate to the function and use of the building considering the significant heritage status.</p> <p>The proposed design is considered acceptable if it can be demonstrated that a continuous accessible path of travel can be achieved using a combination of improvements including but not limited to:</p> <ul style="list-style-type: none">- Availability of alternative routes to access the affected area,- Installation of new ramps complying with the requirements of AS1428.1-2009,- Installation of hold open door devices or automatic opening doors or- Availability of similar rooms and spaces within close proximity. <p>The improvements referenced above will result in improvements to attributes that relate to access and facilities for people with disabilities and the improvements will outweigh any detriments that is likely to arise as a result of noncompliance.</p>
Proposed additional measures	<ul style="list-style-type: none">- Disability Management Plan- Signage provided at non accessible points to inform users (way-finding) the location of accessible path of travel.



Figure 7. Performance Solution 11 – Continuous Accessible Path of Travel



Performance Solution 12 – Main Entrance Handrail Extension Over Boundary	
BCA 2019 (Amdt-1) DTS clause:	D3.3 (a) (ii) In a building required to be accessible every stairway must comply with clause 11 of AS1428.1-2009. (sic.)
Description of the DTS Non-Compliance:	The existing stair bottom landing serving the main entrance does not have a compliant handrail extensions and terminations which does not comply with the requirements of AS1428.1-2009, Clause 11.
Applicable BCA Performance Requirements:	DP2 So that people can move safely to and within a building, any stairs must have a suitable handrail where necessary to assist people using the stairway.
Assessment Method:	In this instance, Philip Chun Accessibility proposes a Performance Solution based on a combination of Clause A2.2 (c) – expert judgement and Clause A2.2 (d) – comparison with the Deemed-to-Satisfy provisions.
Acceptance Criteria:	<p>Provide safe, equitable and dignified access to, and egress from, work and public spaces, accommodation, and facilities for personal hygiene 'to the degree necessary' appropriate to the function and use of the building considering the significant heritage status.</p> <p>The proposed design is considered acceptable if it can be demonstrated that provision raised tactile warning device in the form of a dome indicator buttons on the nominated access stairs in lieu of handrail extension will provide comparative compliance. The dome button shall be 4mm to 5mm in height and 10mm to 12mm in diameter and shall be setback 150mm from the end of the handrail.</p>
Proposed additional measures	Existing heritage stairs nosings and TGSIs to be upgraded to meet the requirements of AS1428.1-2009.



Figure 8. Performance Solution 12 – Main handrail extension over boundary



Performance Solution 13 – Access to Lower Ground Mezzanine	
BCA 2019 (Amdt-1) DTS clause:	D3.3 (f) (ii). Parts of a building required to be accessible – (f) a passenger lift is required to access a floor, other than the entrance story, in a Class 8 building, except where the upper floors of this building are less than 200m ² .
Description of the DTS Non-Compliance:	Part of the existing lower ground mezzanine located on the northeast side of the building do not have lift access to the upper level BOH facilities. <ul style="list-style-type: none"> - The mezzanine floor areas of these BOH spaces are less than 100m². - The combined mezzanine floor area on the lower ground mezzanine floor level exceeds the allowable 200m² limit for the lift access exemption within the BCA.
Applicable BCA Performance Requirements:	DP1 Access must be provided, to the degree necessary, to enable people to access workspace. (sic.)
Assessment Method:	In this instance, Philip Chun Accessibility proposes a Performance Solution based on a combination of Clause A2.2 (c) – expert judgement and Clause A2.2 (d) – comparison with the Deemed-to-Satisfy provisions.
Acceptance Criteria:	Provide safe, equitable and dignified access to, and egress from, work and public spaces, accommodation, and facilities for personal hygiene ‘to the degree necessary’ appropriate to the function and use of the building considering the significant heritage status. Part of the lower ground mezzanine will have lift access. The proposed design is considered acceptable if it can be demonstrated that access is provided to the degree necessary to enable people equitable access to similar room located on the lower ground mezzanine located on South and Southeast part of the building.
Proposed additional measures	All other requirements for the stair access up to the mezzanine level are to be compliant with AS1428.1-2009 requirements.

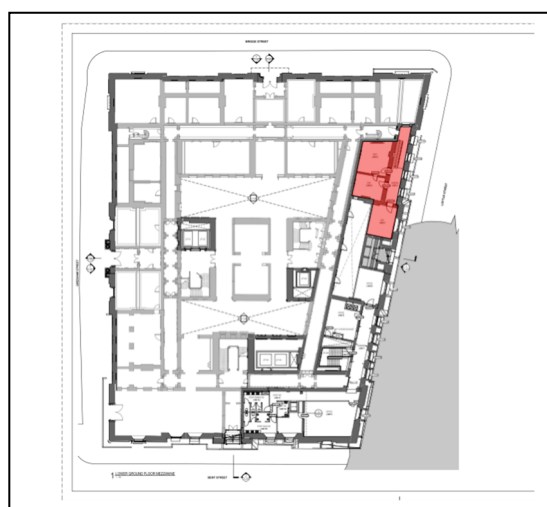


Figure 9. Performance Solution 13 – Access to lower ground mezzanine



Performance Solution 14 – Circulation space at lower ground doorway LG.28.1	
BCA 2019 (Amdt-1) DTS clause:	D2.15 - The threshold of a doorway must not incorporate a step or ramp at any point closer to the doorway than the width of the door leaf... D3.1 - Access required to and within all areas normally used by the occupants...
Description of the DTS Non-Compliance:	This area has previously been used as a loading/unloading dock and has a floor gradient of 1:21 starting at the street boundary. This area will be converted into a walkway without landing which does not comply with the requirements of AS1428.1-2009, Clause 13.3.1.
Applicable BCA Performance Requirements:	DP1 Access must be provided, to the degree necessary, to enable people to access workspace. (sic.) DP2 So that people can move safely to and within a building, it must have a walking surface with safe gradients. (sic.)
Assessment Method:	In this instance, Philip Chun Accessibility proposes a Performance Solution based on a combination of Clause A2.2 (c) – expert judgement and Clause A2.2 (d) – comparison with the Deemed-to-Satisfy provisions.
Acceptance Criteria:	Provide safe, equitable and dignified access to, and egress from, work and public spaces, accommodation, and facilities for personal hygiene 'to the degree necessary' appropriate to the function and use of the building considering the significant heritage status. The proposed design is considered acceptable if it can be demonstrated that the existing doors and landing cannot be upgraded due to the significant heritage status of the building and the affected continuous accessible path of travel can be managed by a Disability Management Plan. The Disability Management Plan will detail the opening and closing of the doors and how this is intended to be managed. It is intended to keep the existing door in an open position during operating hours thus allowing a person on a wheelchair to easily manoeuvre the non-compliant circulation space at the doorway.
Proposed additional measures	

Performance Solution 15 – Operation of entry gates LG.42.1 and G.37.3	
BCA 2019 (Amdt-1) DTS clause:	D3.1 - Access required to and within all areas normally used by the occupants...
Description of the DTS Non-Compliance:	Access to the accessible entry door at Gresham Street LG.42.2 and entry door at Bent Street G.37.2 is preceded by metal gate which are heritage listed. Due to the presence of the metal gate, the circulation space does not comply with the requirements of AS1428.1-2009, Clause 13.3.1 and the existing weight of the gate would preclude independent operation by a person with disability, not compliant with the requirements of AS1428.1-2009, Clause 13.5.2 (e).
Applicable BCA Performance Requirements:	DP1 Access must be provided, to the degree necessary, to enable people to access workspace. (sic.)



Performance Solution 15 – Operation of entry gates LG.42.1 and G.37.3	
	<p>DP2</p> <p>So that people can move safely to and within a building, it must have a walking surface with safe gradients. (sic.)</p>
Assessment Method:	<p>In this instance, Philip Chun Accessibility proposes a Performance Solution based on a combination of Clause A2.2 (c) – expert judgement and Clause A2.2 (d) – comparison with the Deemed-to-Satisfy provisions.</p>
Acceptance Criteria:	<p>Provide safe, equitable and dignified access to, and egress from, work and public spaces, accommodation, and facilities for personal hygiene 'to the degree necessary' appropriate to the function and use of the building considering the significant heritage status.</p> <p>The proposed design is considered acceptable if it can be demonstrated that the existing gates cannot be removed or upgraded due to the significant heritage status and the affected continuous accessible path of travel can be managed by a Disability Management Plan. The Disability Management Plan will detail the opening and closing of these gates and how this is intended to be managed. It is intended to keep the existing metal gates in an open position during operating hours thus allowing a person on a wheelchair to easily manoeuvre the non-compliant circulation space.</p> <p>The improvements referenced above will result in improvements to attributes that relate to access and facilities for people with disabilities and the improvements will outweigh any detriments that is likely to arise as a result of noncompliance.</p>
Proposed additional measures	



Figure 10. Performance Solution 12 – Metal Gates



3.0 STAKEHOLDERS ACCEPTANCE

As part of the consultation process for the Performance Based Design Brief, the identified stakeholders are required confirm that they have been consulted in this process and have understood the proposed Performance Solutions that are intended to be prepared by Philip Chun Accessibility.

Should anyone have any comments please advise by responding to this report, and the feedback will be appropriately captured in the Performance Solution Report as appropriate

COMPANY	ATTENTION	Signature
Client	Pontiac Land Group – William Boneham	
Architect	Hassell – Jeff Morgan	
Project Manager	Essence Project Management – Kylie Chu	
Builder	Built – James Jewell	
Approval Authority	McKenzie Group – Aaron Celarc	

Note: The above sign-off process by the stakeholders does not imply any obligation by the stakeholder of the proposed Performance Solution. The sign-off is only required to verify that each stakeholder understands the brief and accepts its contents. This is an acknowledgement of being notified and being included in the Performance Solution process only.