

3 June 2026

Cameron Thomson
Senior Planning Officer
Department of Planning, Housing and Infrastructure
4 Parramatta Square
Parramatta NSW 2150

Via email: cameron.thomson@dpie.nsw.gov.au

Dear Cameron,

Section 4.55(1A) Modification Application – SSD-74670005 UNSW G25 Education Building, UNSW Kensington Campus

This Modification Application has been prepared by Colliers Urban Planning on behalf of the University of New South Wales pursuant to section 4.55(1A) of the Environmental Planning and Assessment Act 1979 (EP&A Act). The application seeks to modify Development Consent SSD-74670005 relating to the G25 former car park site, located near Gate 11, Botany Street, within the broader UNSW Kensington Campus, being Lot 5 DP1264171 and commonly identified as 8 High Street, Kensington NSW 2033.

The consent was granted on 4 February 2026 for the construction and operation of a 13-storey teaching and learning building, including lower ground and rooftop plant levels, and ancillary works, known as the G25 Education Building. The proposed modification comprises minor detailed design amendments to the approved development, including:

- Revisions to lower ground end-of-trip / access / service arrangements.
- Nominal internal planning and floor area adjustments associated with detailed design of internal plant and service areas.
- Deletion of winter gardens and skylights, fire door and core refinements, and addition of cleaner's cupboards to multiple levels.
- Minor façade refinements including additional window and door changes and terrace safety mesh.
- External landscape refinements including amended paving, planting and swale design, with associated stormwater interface changes.

The modification also seeks to amend Condition D16, to rectify a drafting error to allow for a 'small' rigid vehicle space rather than a 'semi'-rigid vehicle space.

This application identifies the consent to be modified, describes the proposed amendments and provides an assessment of the matters relevant to section 4.55(1A) of the EP&A Act. The application is supported by the following documentation:

- Revised Architectural Plans, prepared by Architectus (**Attachment A**).
- Revised Landscape Plans, prepared by Architectus (**Attachment B**).
- Architectural Statement, prepared by Architectus (**Attachment C**).
- Revised Waste Management Plan, prepared by Elephants Foot (**Attachment D**).
- ESD Statement, prepared by Atelier Ten (**Attachment E**).
- Stormwater Letter of Support prepared by Arup (**Attachment F**).

1.0 Project Background

On 4 February 2026, Development Consent SSD-74670005 was granted for the G25 Education Building at UNSW Kensington Campus. The consent approved a new 13-storey teaching and learning building (including lower ground and rooftop plant levels) and ancillary works, with the approved plans identified in Condition A2(d) of the consent. The consent is now operational, and works have commenced on site.

Since the grant of consent, the project has progressed through detailed design development. That process has identified a limited number of refinements to internal planning, building services coordination, lower ground access and end-of-trip areas, rooftop access / drainage coordination, façade detailing, and the external landscape arrangement. These amendments are shown on the April 2026 plan sets (**Attachment A** and **Attachment B**).

Consultation has been undertaken with the DPHI, including details of the proposed modifications to the G25 Building, seeking confirmation that the works can proceed under the 4.55(1A) pathway. Per correspondence dated 17 April 2026, the DPHI confirmed that the proposed amendments resulting from ongoing design development can be pursued via a 4.55(1A) modification.

2.0 Consent to be Modified

Development Consent SSD-74670005 was approved by the Minister for Planning and Public Spaces, as delegated, on 4 February 2026 for the construction and operation of a 13-storey teaching and learning building (including lower ground and rooftop plant levels) and ancillary works at the UNSW Kensington Campus, Lot 5 DP1264171.

The consent relevantly identifies the approved plans at Condition A2(d), including the approved architectural drawings prepared by Architectus and the approved landscape drawings prepared by Arcadia, and Condition D16 refers to car parking arrangements, with both of these conditions proposed to be modified under this application. This is the first modification to Development Consent SSD-74670005, which seeks to amend the development as shown on the revised April 2026 architectural and landscape plans (**Appendix A** and **Appendix B**).

3.0 Proposed Modifications to the Consent

The proposed modification to Development Consent SSD-74670005 comprises minor amendments to the approved development which is reflected through the amendment of Condition A2(d) and Condition D16.

These nominal amendments are resultant from ongoing design development and input from the contractor selected by UNSW to deliver the G25 project. Consequentially, the modification will amend Condition A2(d) so the consent references the revised April 2026 plan set, and Condition D16 to correct a drafting error in alignment with Condition B29, accurately reflecting the car parking arrangements to accommodate small rigid vehicle spaces.

The proposed modification does not seek to change the management and mitigation measures set out in Appendix B of the EIS and Section 6 of the Submissions Report.

The proposed modifications are described in more detail in **Table 1** below.

3.1 Modifications to the Development

The proposed modifications to the approved development are detailed in **Table 1** below. Excerpts of the approved and amended architectural plans are provided at **Figure 1** to **Figure 23**.

Table 1 Proposed modifications to the development

Location	Proposed Modifications
	Marginal increase in Gross Floor Area (GFA) from 19,567m ² to 19,630m ² arising from general design development across each level, including:
Gross Floor Area	• Removal of internal voids. • Stair width refinements. • Plant room changes.
	General architectural design development including:
Lower Ground	• Amendments to end-of-trip. • Access and amenity arrangements. • Reduced stair width to lower ground level. • Minor amendments to amenities configuration. • Stair location changes. • Alignment of Fire Stair 1 wall with the lift core in response to piling wall / structural coordination. A comparison between the approved plan and proposed modification is illustrated within Figures 1 and 2 below.

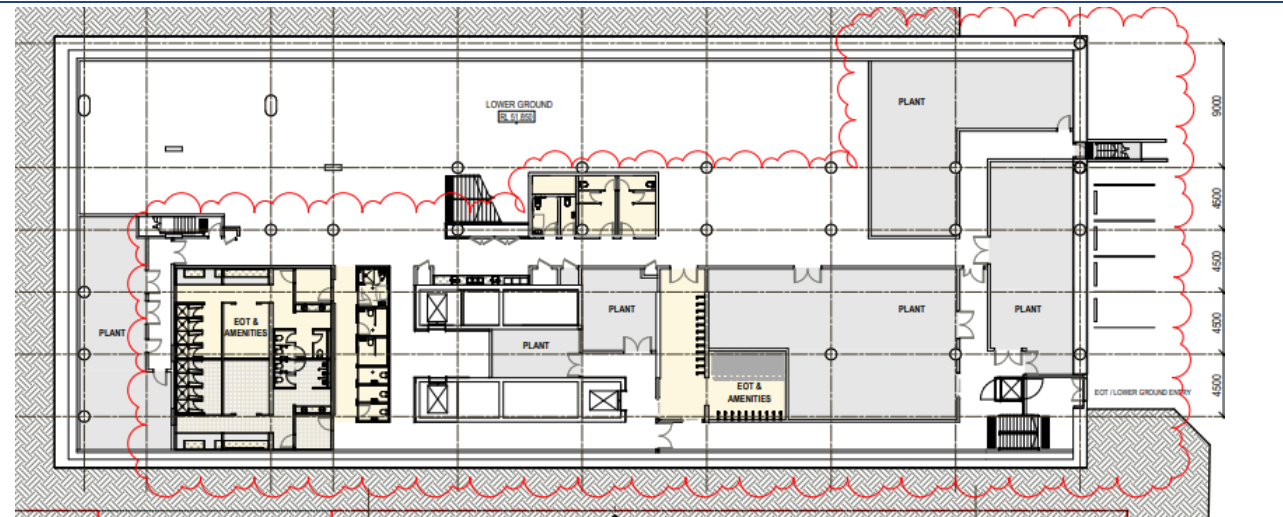


Figure 1 Approved lower ground plan

Source: Architectus

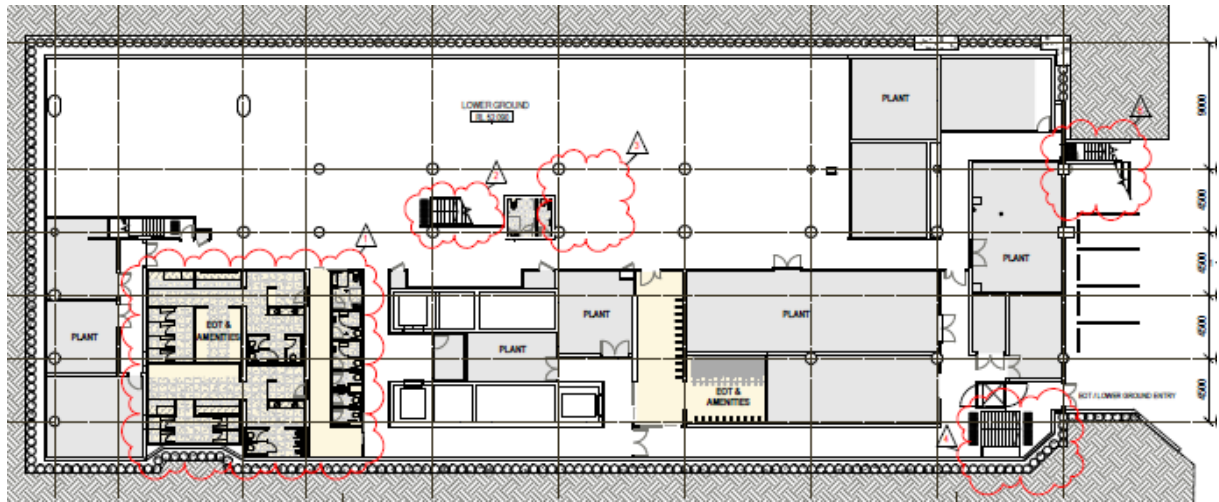


Figure 2 Proposed lower ground plan

Source: Architectus

An updated landscape design is proposed, which incorporates additional planting within an existing deep soil grassed area in the south-eastern section of the site, adjoining the H25 car park, over an area of approximately 75m².

General architectural design development including:

- Reduced stair width to lower ground level.
- Minor amendments to amenities configuration.
- Alignment of Fire Stair 1 wall with the lift core.
- Minor reconfiguration to base building services and core components on all levels (e.g. cupboard sizing).
- Entry refinements.
- Additional door to substation.
- WC and partition amendments.
- Note added for secondary fire booster in alignment with FEBQ.

Ground

Landscape works including:

- Ground plane and public domain works
- Paving and surface finishes
- Tree and understorey planting
- Swale planting
- Retaining walls and edges, furniture, lighting, pedestrian crossing interfaces and Library Walk / shared zone upgrades.

A comparison between the approved plan and proposed modification is illustrated within Figure 3 and Figure 4 below.

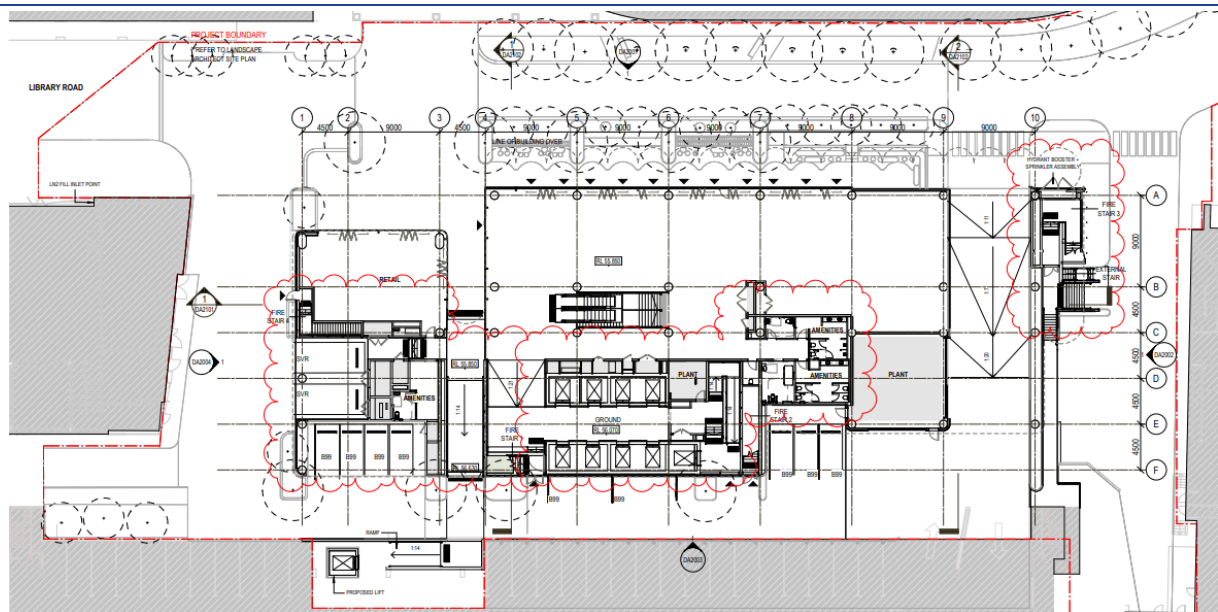


Figure 3 Approved ground plan

Source: Architectus

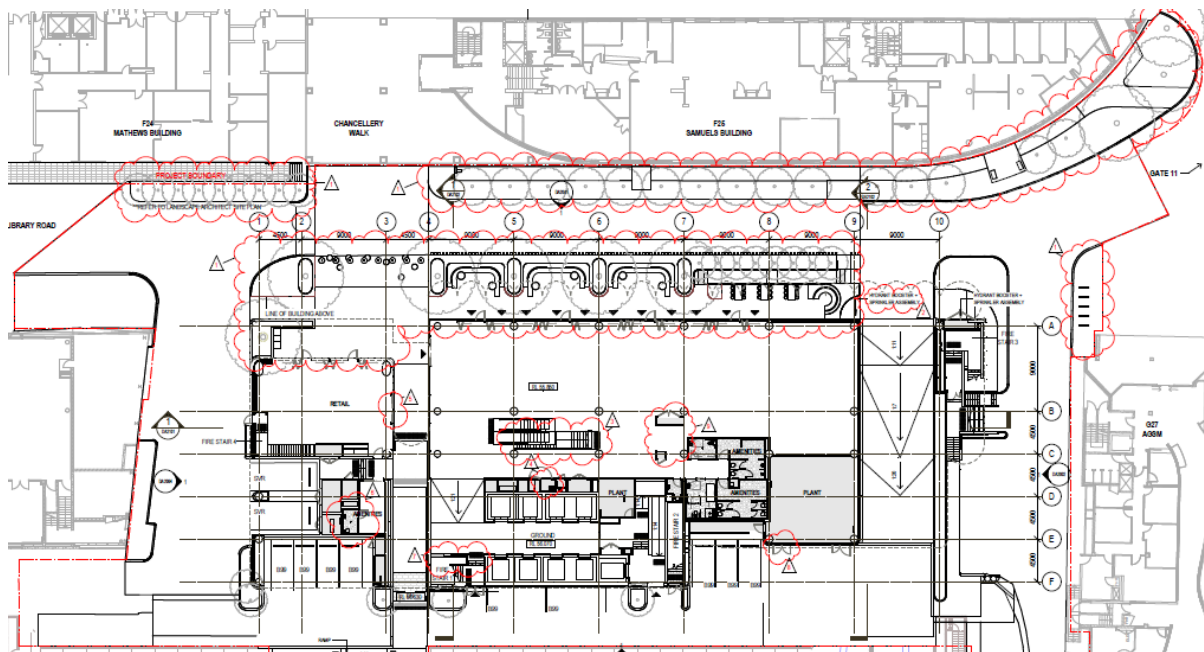


Figure 4 Proposed ground plan

Source: Architectus

General architectural design development including:

Level 1

- Minor reconfiguration to base building services and core components on all levels (e.g. cupboard sizing).

These changes are reflected within the Figure 5 and Figure 6.

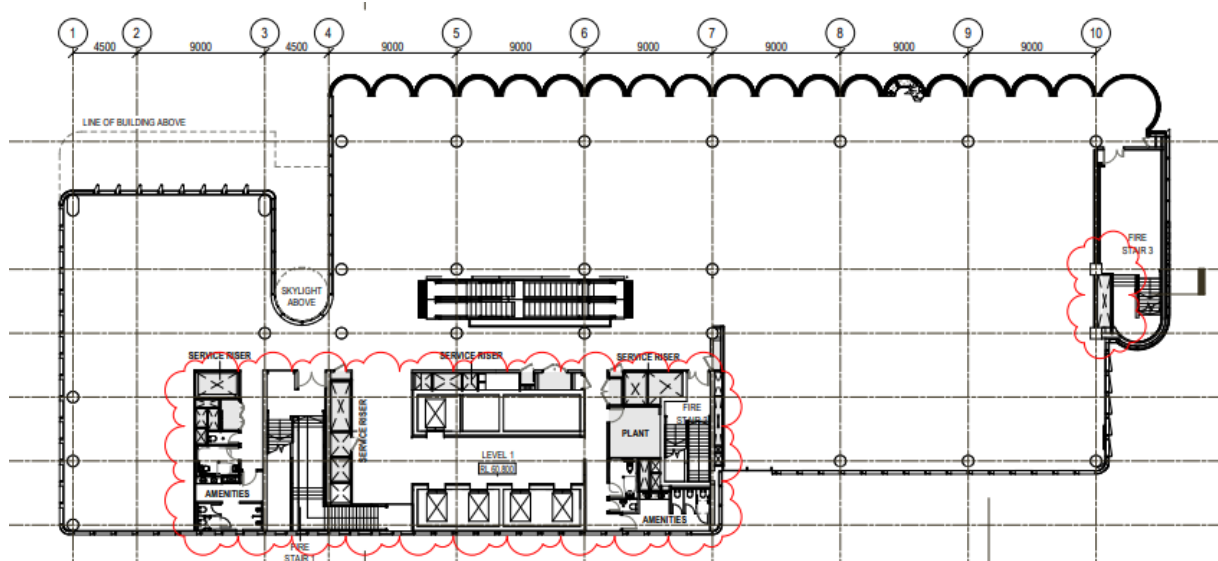


Figure 5 Approved level 1 plan

Source: Architectus

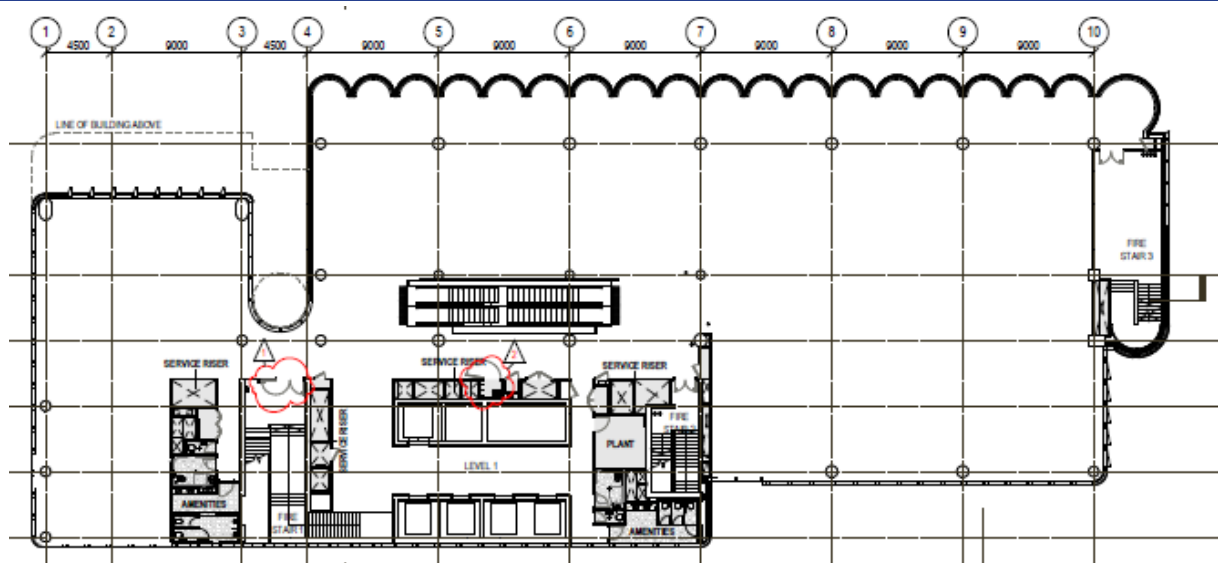


Figure 6 Proposed level 1 plan

Source: Architectus

General architectural design development including:

- Minor reconfiguration to base building services and core components on all levels (e.g. cupboard sizing, door configuration and plant room).

Level 2 – Level 6

Landscape works including:

- The landscape drawings and architectural plans have been amended to only provide winter garden areas on Levels 2,4 and 6.

These changes are reflected within the Figure 7 and Figure 8 below.

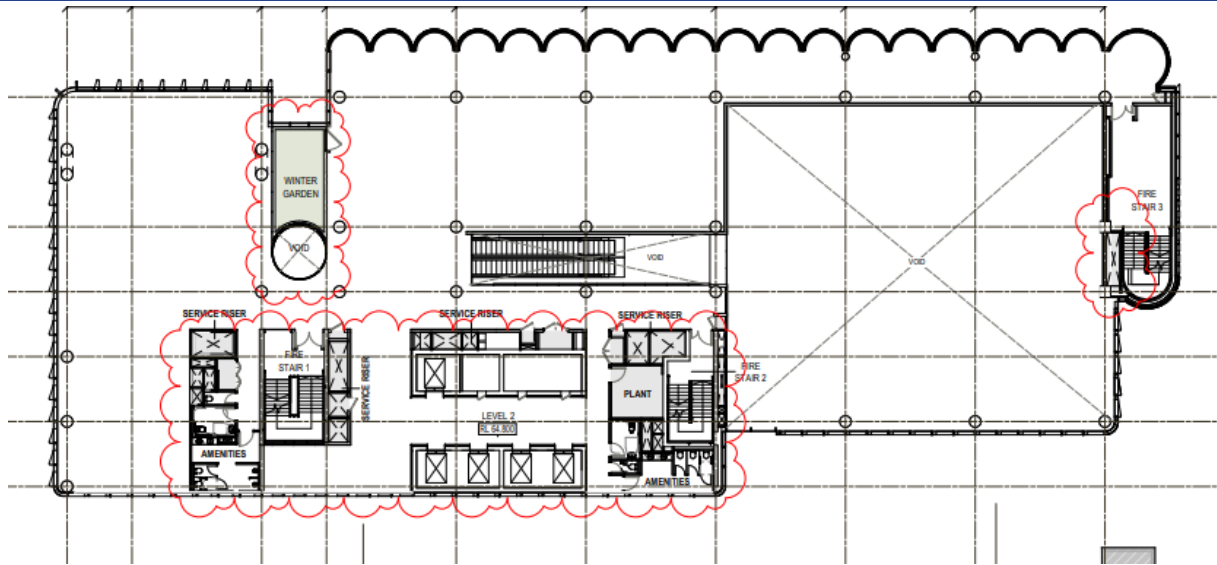


Figure 7 Approved level 2 plan

Source: Architectus

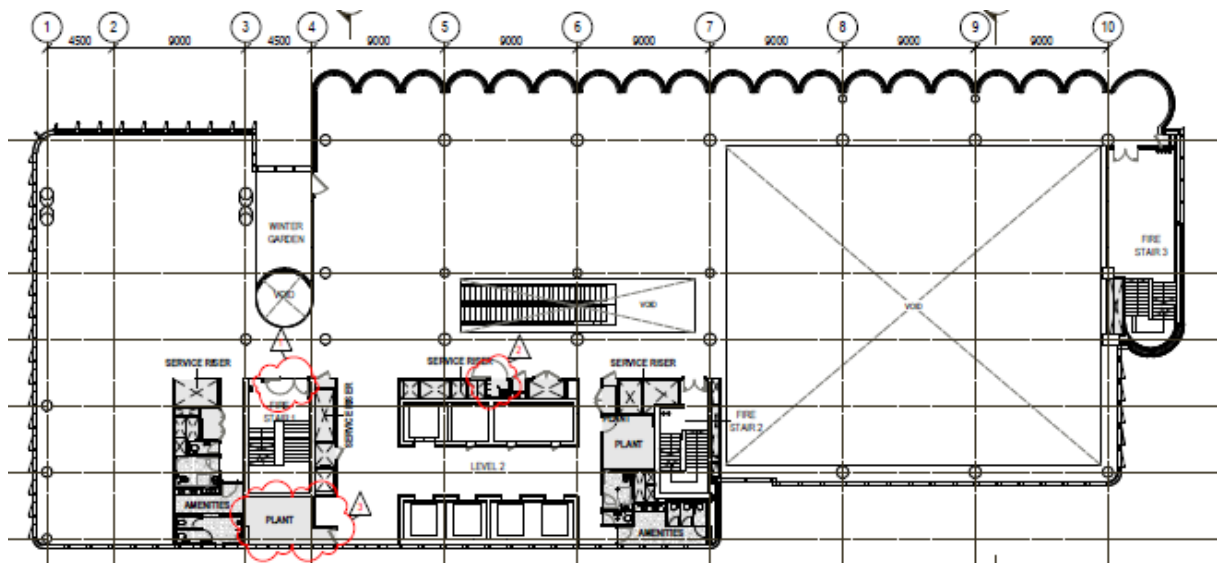


Figure 8 Proposed level 2 plan

Source: Architectus

General architectural design development including:

- Door configuration amendments.
- Additional AV plant room.
- Removal of internal void.
- Relocation of door to external terrace.
- Minor reconfiguration to base building services and core components on all levels (e.g. cupboard sizing).
- Removal of winter gardens at relevant levels and removal of associated skylight elements.

Level 7

- Additional safety tensile mesh FAC06 to the Level 7 external terrace in response to Safety in Design considerations.

These changes are reflected within the Figure 9 and Figure 10 below.

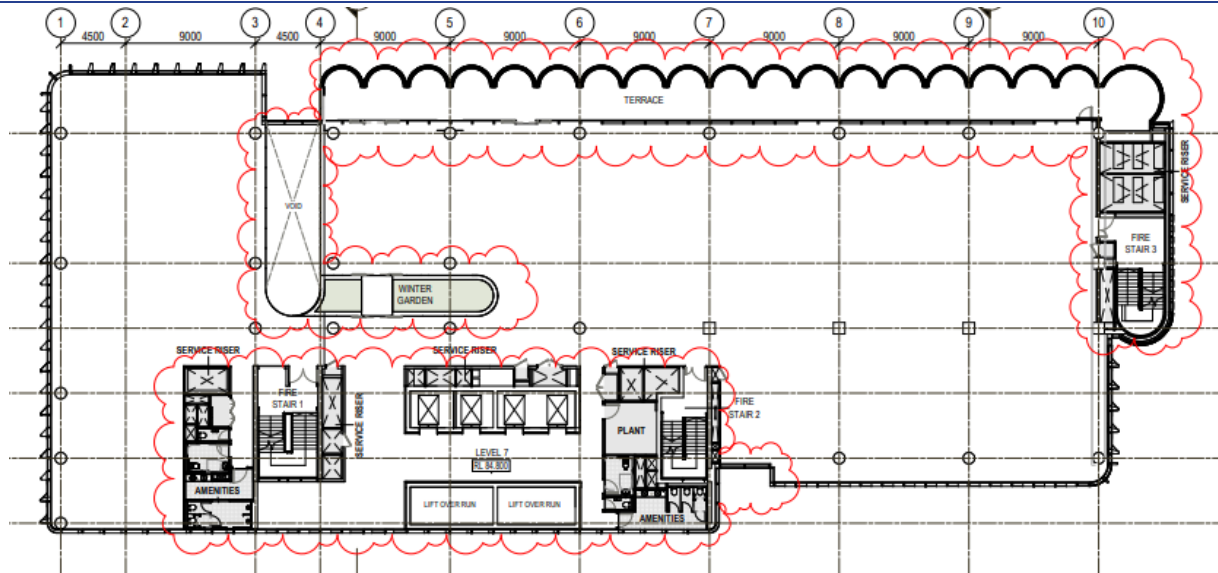


Figure 9 Approved level 7 plan

Source: Architectus

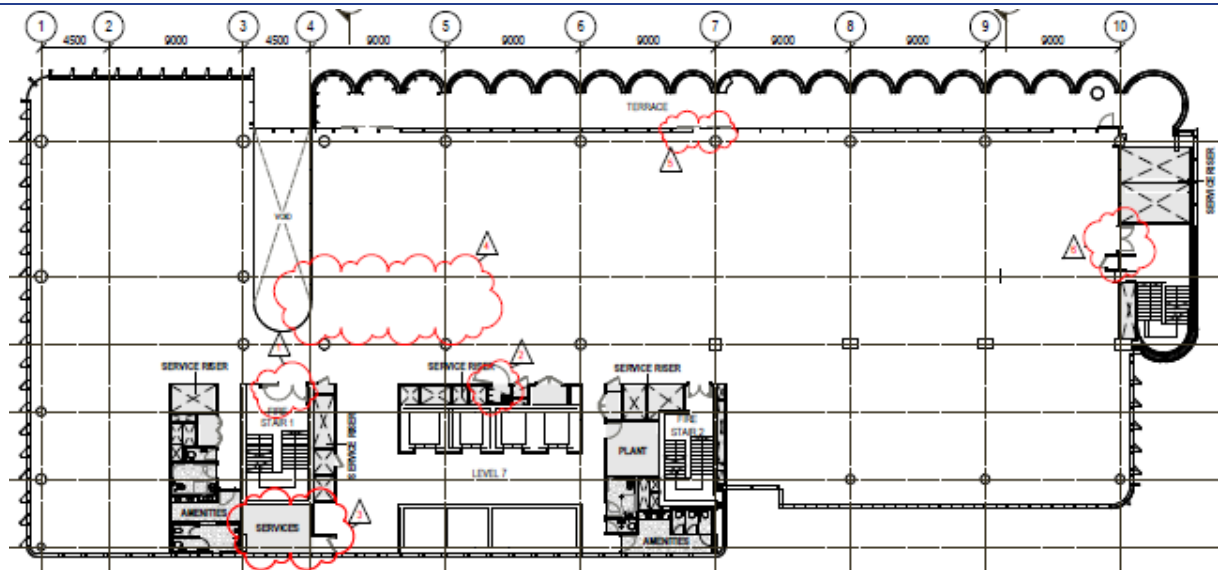


Figure 10 Proposed level 7 plan

Source: Architectus

General architectural design development including:

- Removal of internal void.
- Minor reconfiguration to base building services and core components on all levels (e.g. cupboard sizing).
- Green roof planting to the southern terrace.
- Removal of winter gardens at relevant levels and removal of associated skylight elements.

Level 8

Landscape works including:

- External rooftop garden works and planting.
- Rooftop surface finishes.
- Planting layout updates to suit design changes and maintenance access requirements.

A comparison between the approved and proposed modification is illustrated within Figure 11 and Figure 12 below.

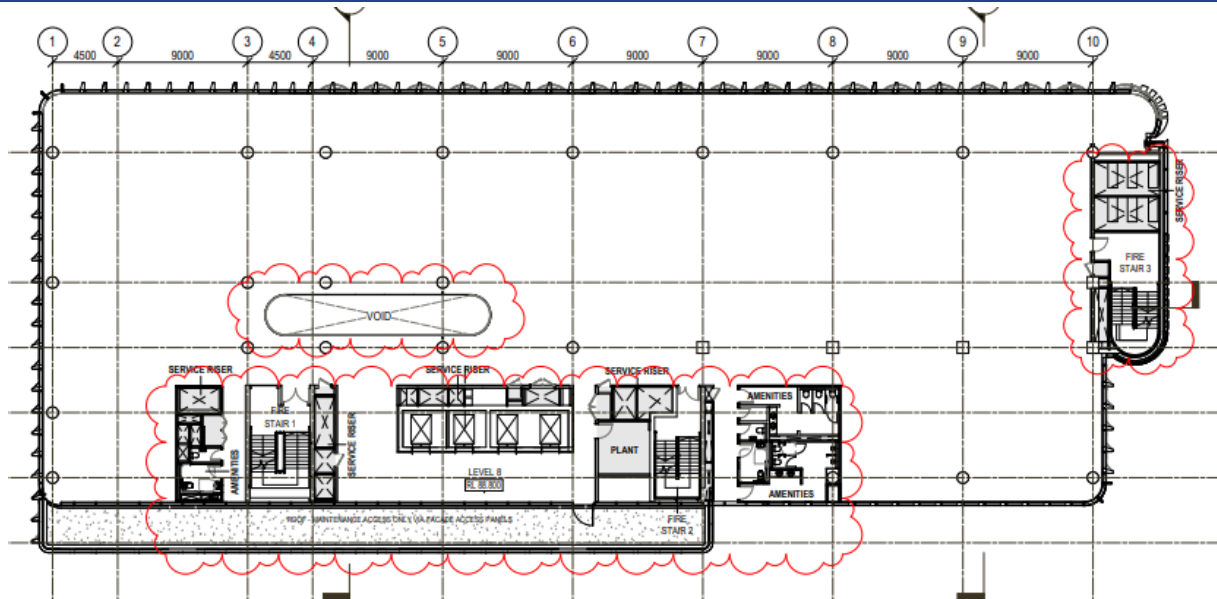


Figure 11 Approved level 8 plan

Source: Architectus

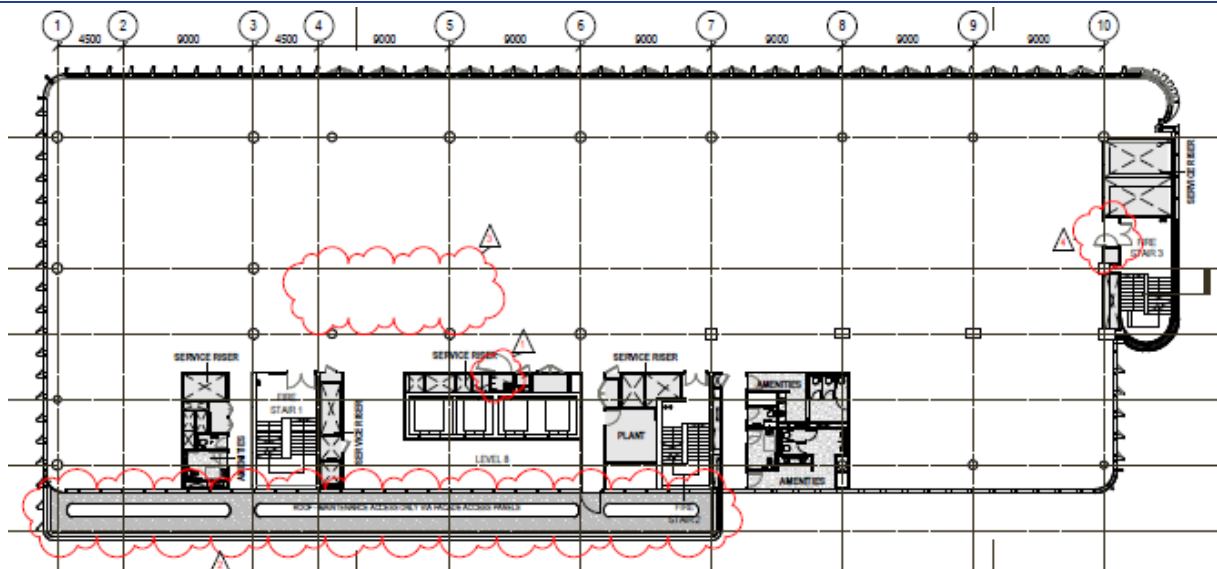


Figure 12 Proposed level 8 plan

Source: Architectus

Level 9 - Level 10

General architectural design development including:

- Door configuration amendments.

- Removal of internal void.
- Minor reconfiguration to base building services and core components on all levels (e.g. cupboard sizing).
- Removal of winter gardens at relevant levels and removal of associated skylight elements.

A comparison between the approved and proposed modification is illustrated within Figure 13 and Figure 14 below.

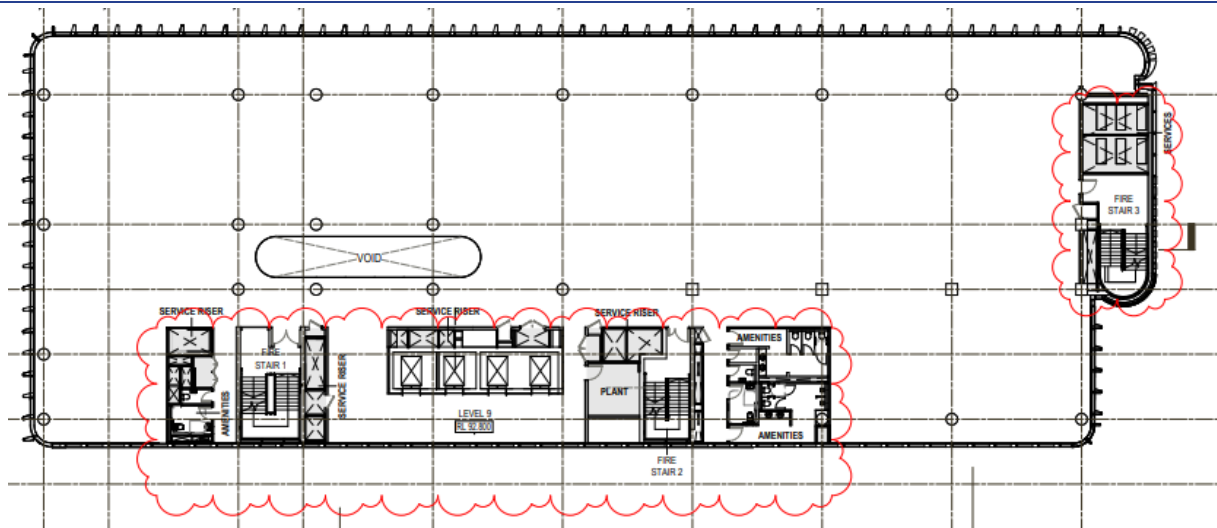


Figure 13 Approved level 9 plan

Source: Architectus

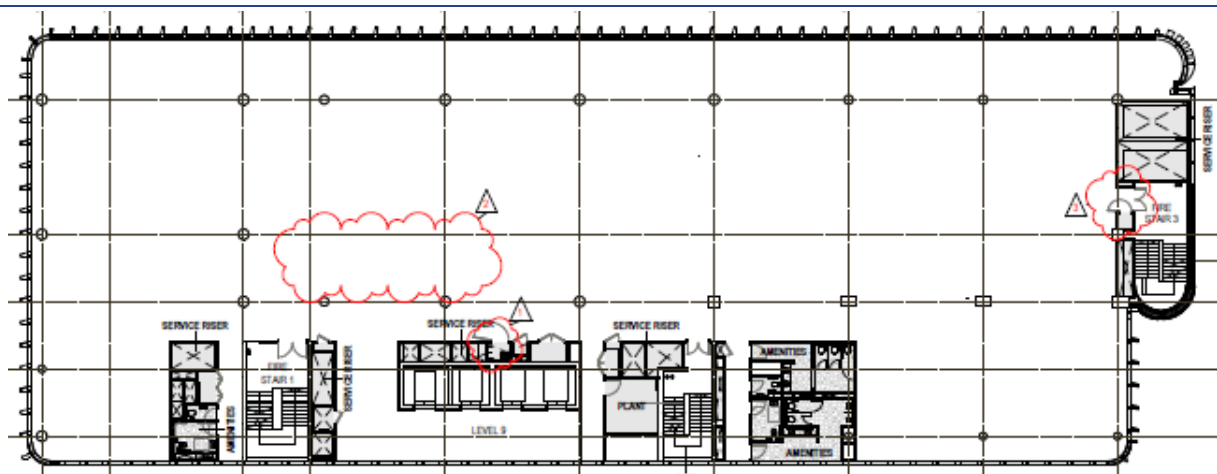


Figure 14 Proposed level 9 plan

Source: Architectus

General architectural design development including:

- Plant door location amendments.
- Removal of internal skylight void.
- Services partition amendments responding to further detailed coordination.
- Removal of winter gardens at relevant levels and removal of associated skylight elements.

Landscape works including:

Level 11 / Plant

- External rooftop garden works.
- Rooftop surface finishes.

A comparison between the approved and proposed modification is illustrated within Figure 15 and Figure 16 below.

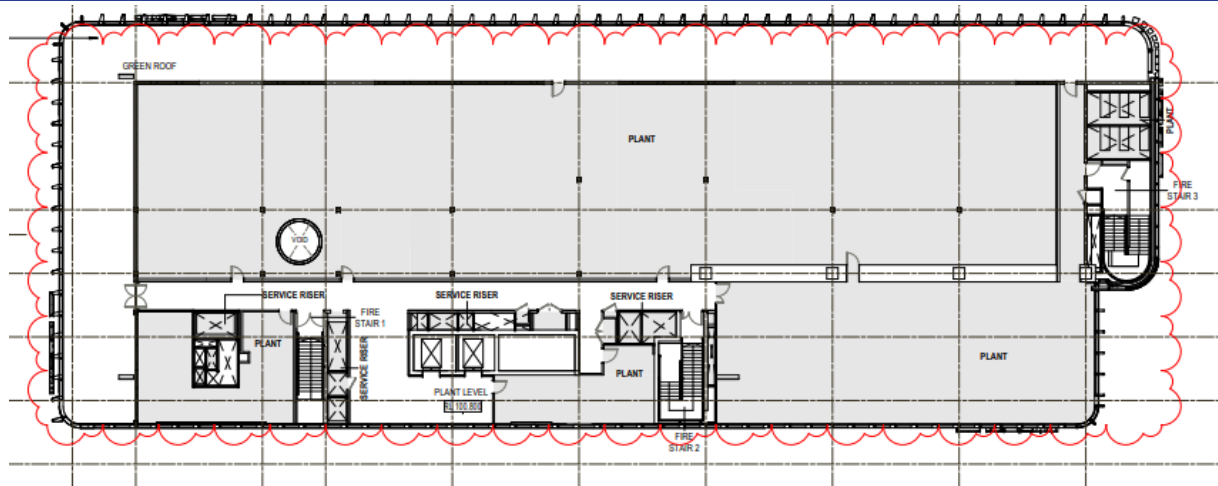


Figure 15 Approved plant plan

Source: Architectus

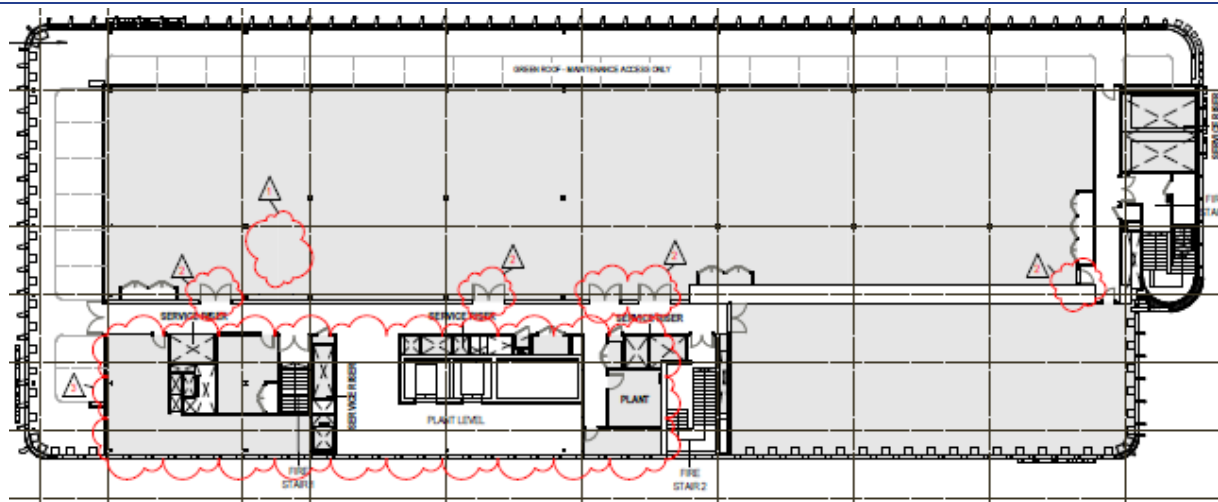


Figure 16 Proposed plant plan

Source: Architectus

Reflects only minor design development at the roof level, comprising shifting of location of services and some functional elements with no changes to the roof form itself, as illustrated within the figures below. The amendments include:

Roof Level

- Removal of skylights.
- Alignment with mechanical layouts.
- Addition of roof access points.
- Alignment with the hydraulic drainage strategy.

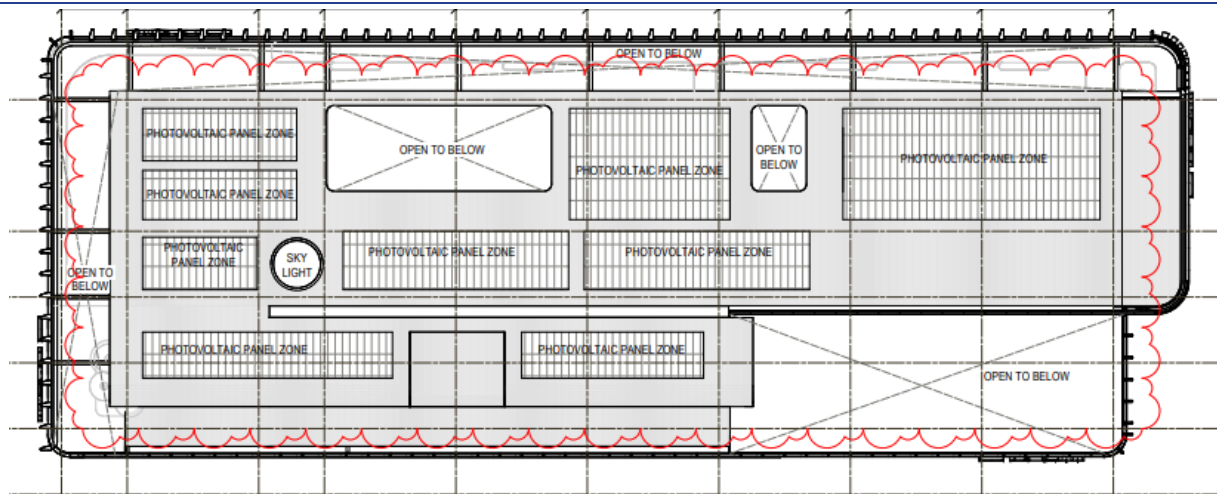


Figure 17 Approved roof plan

Source: Architectus

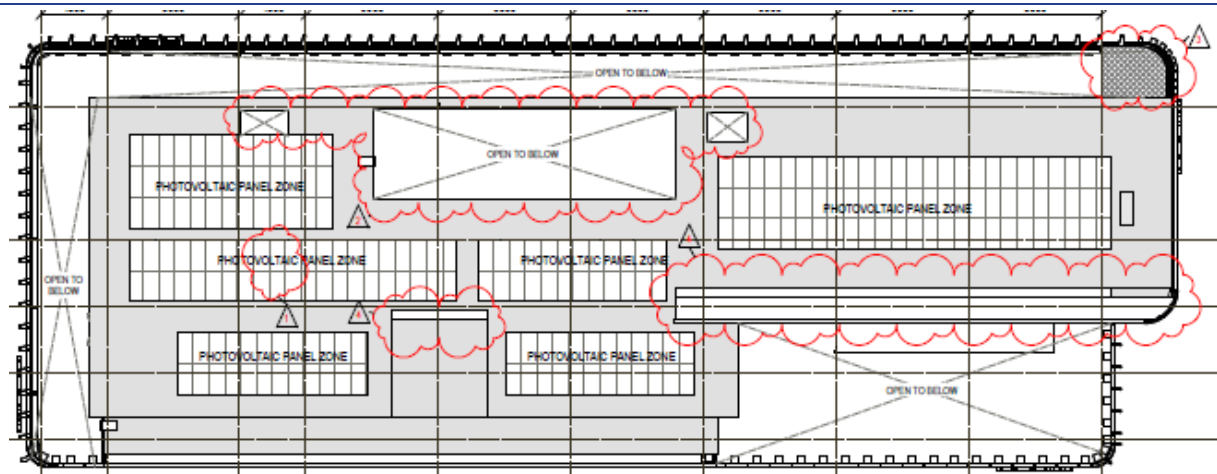


Figure 18 Proposed roof plan

Source: Architectus

Minor façade refinements including:

- High-level window added to the ground floor classroom under awning.
- Amended door locations in response to the amended landscape design.
- Additional safety tensile mesh FAC06 to Level 7 external terrace.
- Section changes reflecting removal of the winter gardens.

These changes are reflected within the figures below.

It should be noted that the additional plant area located on the southern elevation on Levels 2-7 will be treated internally with back pans behind the glazed elements, maintaining the external expression and continuity of glazing to vertical shading.

Elevations / sections

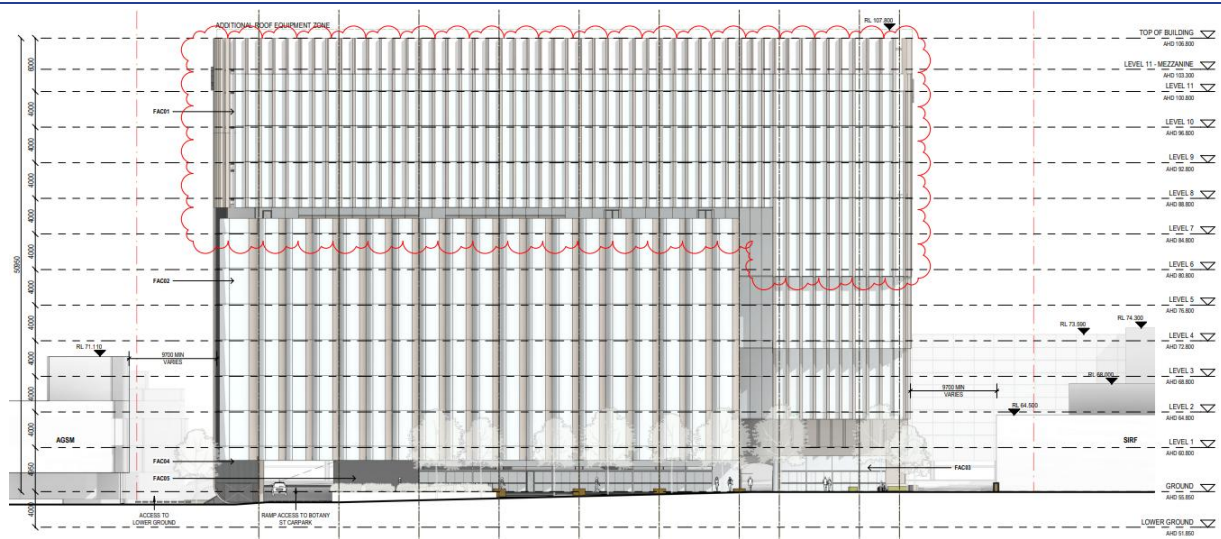


Figure 19 Approved north elevation

Source: Architectus

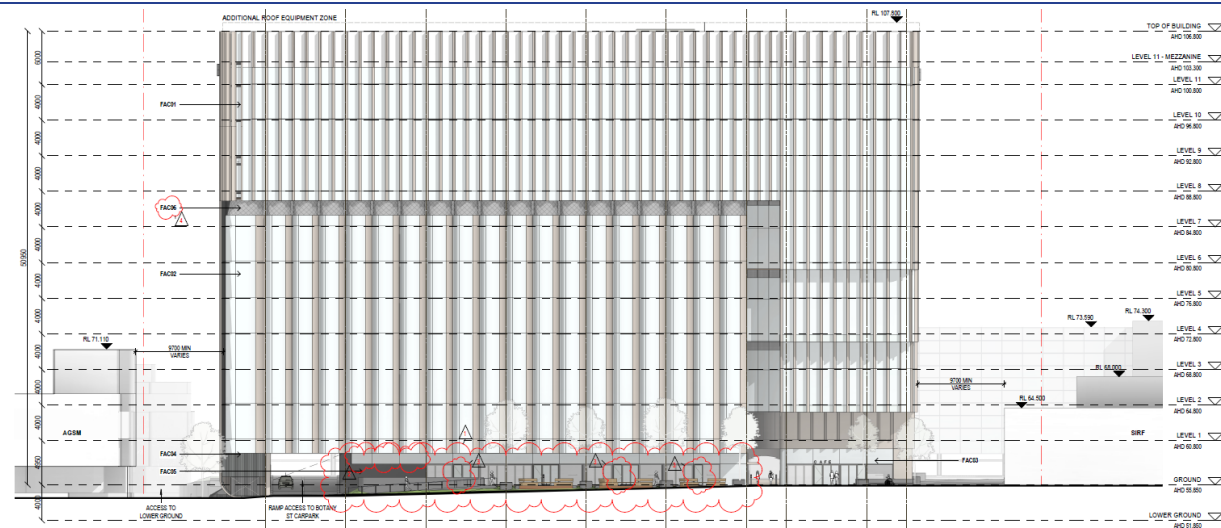


Figure 20 Proposed north elevation

Source: Architectus

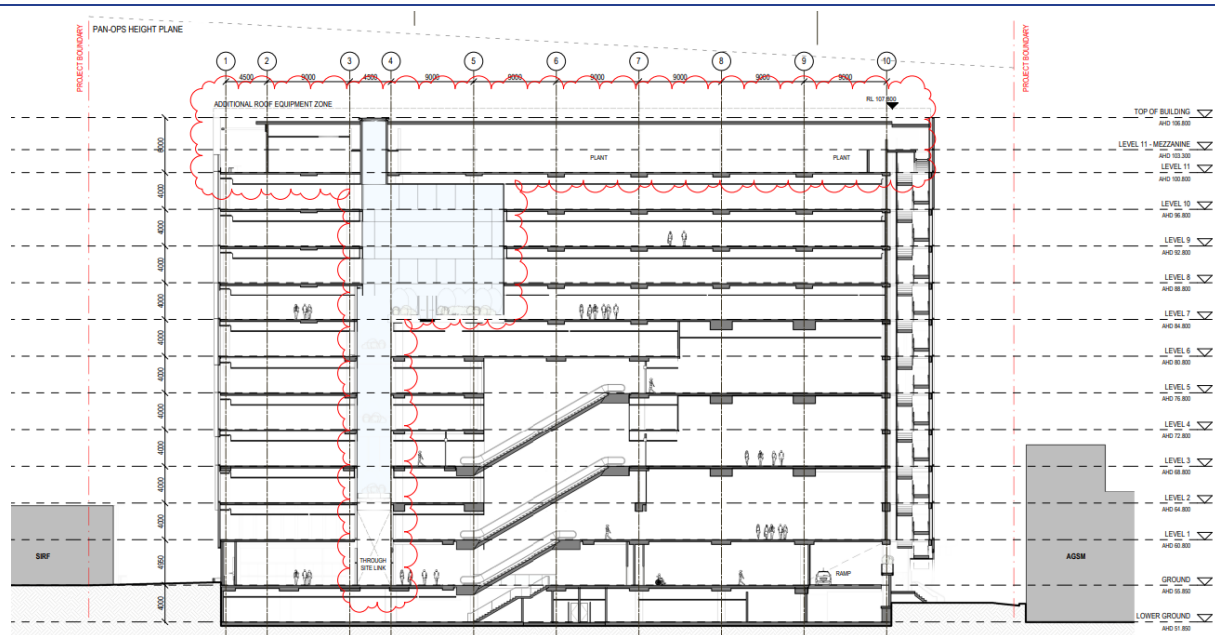


Figure 21 Approved east-west section

Source: Architectus

Updated landscape design including revised ground plane, planting and paving arrangements, revised swale design, new and adjusted retaining wall treatments, crossing and passing bay refinements, revised rooftop garden details, and planting updates having regard to function and microclimate. Figures demonstrating the difference between the approved and proposed landscape plans have been provided below (Figure 22 and Figure 23).

Landscape works

The proposed modification seeks to provide 118 trees which will comprise of the following species, Coastal Banksia (17), Quandong (21), Flindersia (9) and Straw Tree Fern (71). Overall, this is an addition of 8 trees, from the 110 new trees approved under SSD-74670005.

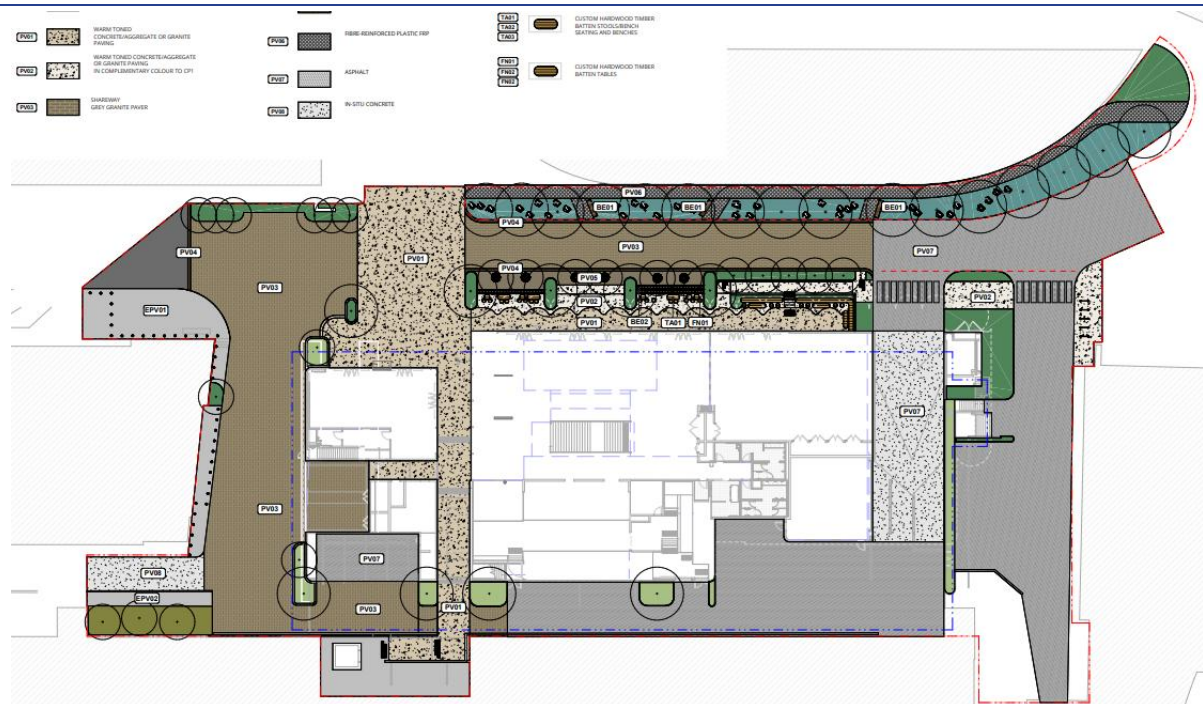


Figure 22 Approved landscape plan

Source: Arcadia

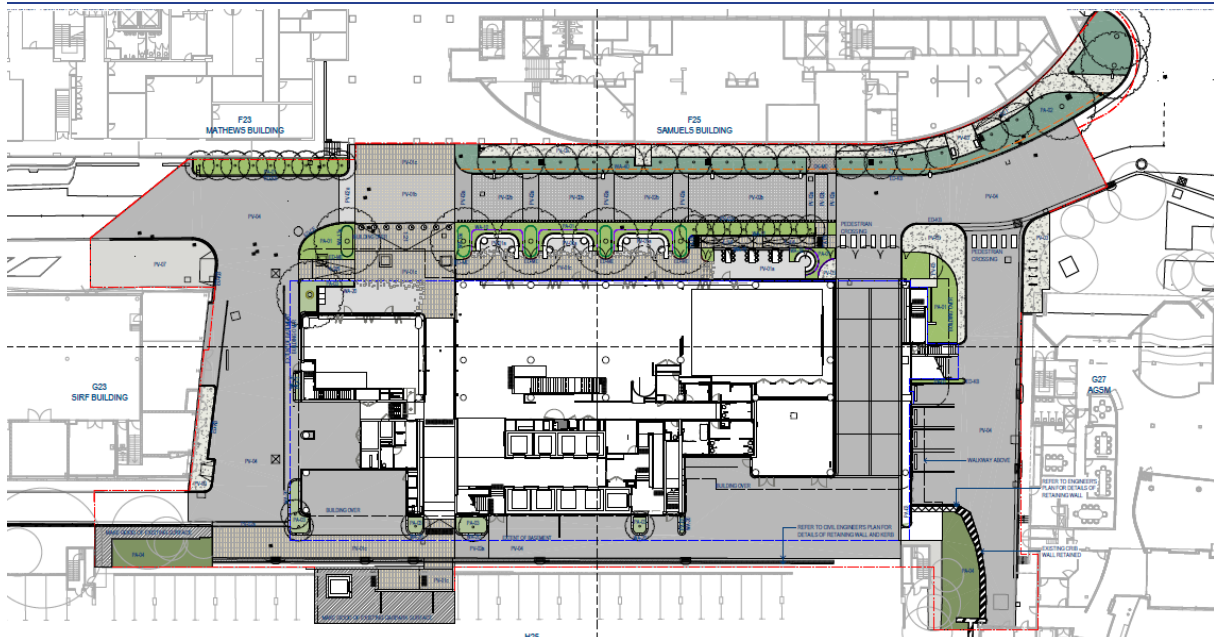


Figure 23 Proposed landscape plan

Source: Architectus

3.2 Modifications to Conditions

The proposed modification to Development Consent SSD-74670005 seeks only to amend Condition A2 and D16, reflecting changes to the approved plans and development, and correcting a drafting error.

It is relevant to note that Section 4.55(5) of the EP&A Act clarifies that a consent authority may modify a development consent under subsections (1A). The proposed amendments to the consent conditions are identified below. Words proposed to be deleted are shown in **~~bold strike through~~** and words to be inserted are shown in ***bold italics***.

Schedule 2

Terms of Consent

- A2. The development may only be carried out:
- a) In compliance with the conditions of this consent;
 - b) In accordance with all written directions of the Planning Secretary
 - c) Generally in accordance with the EIS, Response to Submissions and Amendment Report~~;~~ ***and Modification Report 1 (dated ## April, 2026);***
 - d) In accordance with the approved plans in the table below:

Approved Plans

Dwg No. / Reference	Rev	Name of Plan	Date
Architectural Plans prepared by Architectus			
G25-ARC-000-DRW-DA0020	A.02	Site Plan — Proposed	15.09.2025
<i>G25-ARC-000-DRW-DA0020</i>	<i>A.03</i>	<i>Site Plan – Proposed</i>	<i>13.05.2026</i>
G25-ARC-000-DRW-DA0202	A.02	Area Plans — GFA	15.09.2025
<i>G25-ARC-000-DRW-DA0202</i>	<i>A.03</i>	<i>Area Plans - GFA</i>	<i>13.05.2026</i>
G25-ARC-000-DRW-DA0500	A.03	Demolition Plan	20.11.2025
G25-ARC-000-DRW-DA0501	A.00	Botany St Carpark Demolition Plans – Sheet 1	15.09.2025
G25-ARC-000-DRW-DA0502	A.00	Botany St Carpark Demolition Plans – Sheet 2	15.09.2025
G25-ARC-000-DRW-DA1000	A.02	General Arrangement Plan — Lower Ground	15.09.2025
<i>G25-ARC-000-DRW-DA1000</i>	<i>A.03</i>	<i>General Arrangement Plan - Lower Ground</i>	<i>13.05.2026</i>
G25-ARC-000-DRW-DA1001	A.02	General Arrangement Plan — Ground	15.09.2025
<i>G25-ARC-000-DRW-DA1001</i>	<i>A.03</i>	<i>General Arrangement Plan - Ground</i>	<i>13.05.2026</i>

Dwg No. / Reference	Rev	Name of Plan	Date
G25-ARC-000-DRW-DA1002	A.02	General Arrangement Plan – Level 1	15.09.2025
<i>G25-ARC-000-DRW-DA1002</i>	<i>A.03</i>	<i>General Arrangement Plan - Level 1</i>	<i>13.05.2026</i>
G25-ARC-000-DRW-DA1003	A.02	General Arrangement Plan – Level 2	15.09.2025
<i>G25-ARC-000-DRW-DA1003</i>	<i>A.03</i>	<i>General Arrangement Plan - Level 2</i>	<i>13.05.2026</i>
G25-ARC-000-DRW-DA1004	A.02	General Arrangement Plan – Level 3	15.09.2025
<i>G25-ARC-000-DRW-DA1004</i>	<i>A.03</i>	<i>General Arrangement Plan - Level 3</i>	<i>13.05.2026</i>
G25-ARC-000-DRW-DA1005	A.02	General Arrangement Plan – Level 4	15.09.2025
<i>G25-ARC-000-DRW-DA1005</i>	<i>A.03</i>	<i>General Arrangement Plan - Level 4</i>	<i>13.05.2026</i>
G25-ARC-000-DRW-DA1006	A.02	General Arrangement Plan – Level 5	15.09.2025
<i>G25-ARC-000-DRW-DA1006</i>	<i>A.03</i>	<i>General Arrangement Plan - Level 5</i>	<i>13.05.2026</i>
G25-ARC-000-DRW-DA1007	A.02	General Arrangement Plan – Level 6	15.09.2025
<i>G25-ARC-000-DRW-DA1007</i>	<i>A.03</i>	<i>General Arrangement Plan - Level 6</i>	<i>13.05.2026</i>
G25-ARC-000-DRW-DA1008	A.02	General Arrangement Plan – Level 7	15.09.2025
<i>G25-ARC-000-DRW-DA1008</i>	<i>A.03</i>	<i>General Arrangement Plan - Level 7</i>	<i>13.05.2026</i>
G25-ARC-000-DRW-DA1009	A.02	General Arrangement Plan – Level 8	15.09.2025
<i>G25-ARC-000-DRW-DA1009</i>	<i>A.03</i>	<i>General Arrangement Plan - Level 8</i>	<i>13.05.2026</i>
G25-ARC-000-DRW-DA1010	A.02	General Arrangement Plan – Level 9	15.09.2025
<i>G25-ARC-000-DRW-DA1010</i>	<i>A.03</i>	<i>General Arrangement Plan - Level 9</i>	<i>13.05.2026</i>
G25-ARC-000-DRW-DA1011	A.02	General Arrangement Plan – Level 10	15.09.2025
<i>G25-ARC-000-DRW-DA1011</i>	<i>A.03</i>	<i>General Arrangement Plan - Level 10</i>	<i>13.05.2026</i>
G25-ARC-000-DRW-DA1012	A.02	General Arrangement Plan – Plant	15.09.2025
<i>G25-ARC-000-DRW-DA1012</i>	<i>A.03</i>	<i>General Arrangement Plan - Plant</i>	<i>13.05.2026</i>

Dwg No. / Reference	Rev	Name of Plan	Date
G25-ARC-000-DRW-DA1013	A.02	General Arrangement Plan – Roof	15.09.2025
G25-ARC-000-DRW-DA1013	A.03	General Arrangement Plan - Roof	13.05.2026
G25-ARC-000-DRW-DA2001	A.02	Elevation – North	15.09.2025
G25-ARC-000-DRW-DA2001	A.03	Elevation - North	13.05.2026
G25-ARC-000-DRW-DA2002	A.02	Elevation – East	15.09.2025
G25-ARC-000-DRW-DA2003	A.02	Elevation – South	15.09.2025
G25-ARC-000-DRW-DA2004	A.02	Elevation – West	15.09.2025
G25-ARC-000-DRW-DA2101	A.02	Section – East West 1	15.09.2025
G25-ARC-000-DRW-DA2101	A.03	Section- East West 1	13.05.2026
G25-ARC-000-DRW-DA2102	A.02	Section – North South 1 + 2	15.09.2025
G25-ARC-000-DRW-DA2102	A.03	Sections- North South 1+ 2	13.05.2026
G25-ARC-000-DRWDA9300	A.032	External Materials Schedule	04.12.2025
G25-ARC-000-DRWDA9300	A.032	External Materials Schedule	13.05.2026
G25-ARC-000-DRWDA9320	A.03	External Signage	04.12.2025
SK - 260108	A	Gate 11 Entry – Signage Location	08.01.26
Landscape Plans prepared by Architectus			
100	G	Landscape Site Plan	09.12.2025
DA0202	C	Site Plan – Proposed	15.05.2026
DA0101	A	Legends	13.05.2026
DA0102	A	Specification Notes	13.05.2026
DA0103	A	Planting Schedule	13.05.2026
DA0202	C	Site Plan - Proposed	15.05.2026

Dwg No. / Reference	Rev	Name of Plan	Date
DA1201	C	Surface Finishes Plan - Ground Floor North West	15.05.2026
DA1202	C	Surface Finishes Plan - Ground Floor North East	15.05.2026
DA1203	C	Surface Finishes Plan - Ground Floor South West	15.05.2026
DA1204	C	Surface Finishes Plan - Ground Floor South East	15.05.2026
DA1205	C	Surface Finishes Plan - Winter Gardens (L02, L04, L06)	15.05.2026
DA1206	C	Surface Finishes Plan - Rooftop Gardens (L08 & L11)	15.05.2026
4000	G	Planting Schedule	08.09.2025
4001	G	Softwork Plan Ground Level (01 of 04)	08.09.2025
4002	G	Softwork Plan Ground Level (02 of 04)	08.09.2025
4003	G	Softwork Plan Ground Level (03 of 04)	08.09.2025
4004	G	Softwork Plan Ground Level (04 of 04)	08.09.2025
4005	G	Softwork Plan Level 2, 4, 6	08.09.2025
4006	G	Softwork Plan Level 7, 8	08.09.2025
4009	G	Softwork Plan Rooftop	08.09.2025
DA4201	C	Planting Plan - Ground Floor North West	15.05.2026
DA4202	C	Planting Plan - Ground Floor North East	15.05.2026
DA4203	C	Planting Plan - Ground Floor South West	15.05.2026
DA4204	C	Planting Plan - Ground Floor South East	15.05.2026
DA4206	C	Planting Plan - Rooftop Gardens (L08 & L11)	15.05.2026
6080	G	Details – Softworks / Planting	08.09.2025
6081	G	Details – Softworks / Planting	08.09.2025
6083	G	Specification	08.09.2025

Dwg No. / Reference	Rev	Name of Plan	Date
DA6201	C	Sections	15.05.2026
DA9801	C	Details - Typical Softworks	15.05.2026

Reason: This condition is required to be updated to reflect the revised architectural and landscape plans.

Part D PRIOR TO COMMENCEMENT OF OPERATION

Car Parking Arrangements

D16. Prior to the commencement of any operation, or other timeframe agreed in writing by the Planning Secretary, evidence must be submitted to the Certifier that demonstrates that construction works associated with the proposed nine on-site car parking spaces, two ~~semi-small~~-rigid vehicle spaces and four car parking spaces adjacent to the AGSM building have been completed and are operational.

Reason: To correct a condition drafting error, to ensure the proposal will accommodate two small rigid vehicle spaces instead of two semi rigid vehicle spaces, in alignment with Condition B29 that refers to small rigid vehicles.

4.0 Substantially the Same Development

Section 4.55(1A)(b) of the EP&A Act states that a consent authority may modify a development consent if *“it is satisfied that the development to which the consent as modified relates is the same or substantially the same development as the development for which the consent was originally granted and before that consent as originally granted was modified (if at all)”*.

The development, as proposed to be modified, remains substantially the same development because it will continue to comprise a 13-storey teaching and learning building (including lower ground and rooftop plant levels) and ancillary works on the same site at the UNSW Kensington Campus. The approved educational use, the overall building form and the campus function of the development remain unchanged.

The amendments are confined to detailed design refinements, including internal planning and service coordination changes, minor façade changes, lower ground end-of-trip / access adjustments, rooftop access / drainage refinements, and revised landscape design. They do not alter the essential identity or character of the approved development. Importantly, the revised roof plans do not increase the approved building height and result in no visible change to the perceived roof scale or form.

5.0 Environmental Assessment

Section 4.55(1A)(a) of the EP&A Act states that a consent authority may modify a development consent *if “it is satisfied that the proposed modification is of minimal environmental impact”*.

The following assessment considers the relevant matters under section 4.15(1) and demonstrates that the development, as proposed to be modified, will be of minimal environmental impact.

The Environmental Impact Statement (EIS) submitted with the original SSDA (SSD-74670005) addressed compliance with the following relevant statutory plans and instruments, as at the time of writing including:

- Environmental Protection & Assessment Act 1979
- Environmental Protection & Assessment Regulation 2021
- Environmental Protection and Biodiversity Act 1999
- Higher Education Act 2001
- Water Management Act 2000
- Biodiversity Conservation Act 2016
- State Environmental Planning Policy (Transport and Infrastructure) 2021
- State Environmental Planning Policy (Industry and Employment) 2021
- State Environmental Planning Policy (Resilience and Hazard) 2021
- State Environmental Planning Policy (Planning Systems) 2021
- State Environmental Planning Policy (Biodiversity and Conservation) 2021
- State Environmental Planning Policy (Sustainable Buildings) 2022
- Randwick Local Environmental Plan 2012
- Randwick Development Control Plan 2013

The EIS submitted with the original SSDA addressed the following environmental impacts of the proposed development:

- Built Form and Urban Design
- Environmental Amenities
- Traffic, Access and Parking
- Trees and Landscaping
- Ecologically Sustainable Development
- Environmental Heritage
- Aboriginal Cultural Heritage
- Noise and Vibration
- Construction & Operational Waste Management
- Aviation
- Water Cycle Management
- Site Servicing and Utilities
- Other Impacts of the Development

The proposed modification does not alter the approved development's compliance with the aforementioned environmental planning instruments and development control plans, nor does it introduce any adverse environmental impacts, as discussed in the sections below. As such, the following assessment considers the relevant matters under section 4.15(1) and demonstrates that the development, as proposed to be modified, will have minimal environmental impact.

5.1 Built Form

Building Façade and Design

The proposed modification results in only minor refinements to the approved building façade and architectural presentation, comprising a high-level window to the ground floor classroom under the awning, amended door locations to coordinate with the updated landscape design, and the addition of safety tensile mesh to the Level 7

external terrace in response to Safety in Design considerations, which will be imperceivable from ground level (refer to **Figure 25** below).

These changes are localised and functional in nature and do not alter the overall built form, scale, articulated façade treatment or material expression of the approved building, which was originally conceived as a contemporary, landmark education building that responds to the character, height, bulk and scale of the surrounding UNSW campus context. As modified, the development therefore remains consistent with the approved architectural design intent and will continue to deliver a high-quality built form and façade outcome for the site.

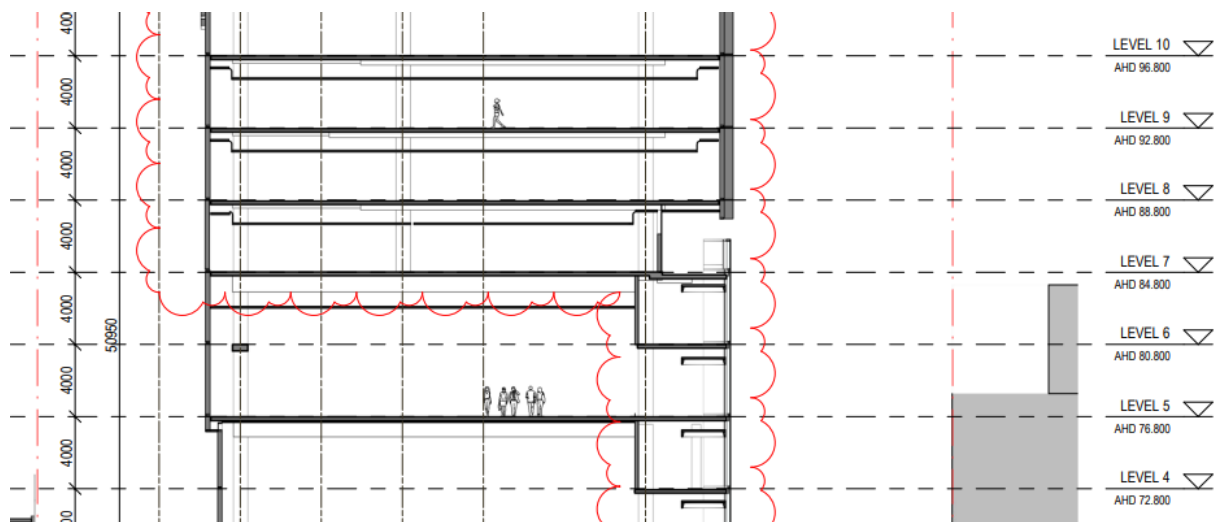


Figure 24 Approved north-south elevation

Source: Architectus

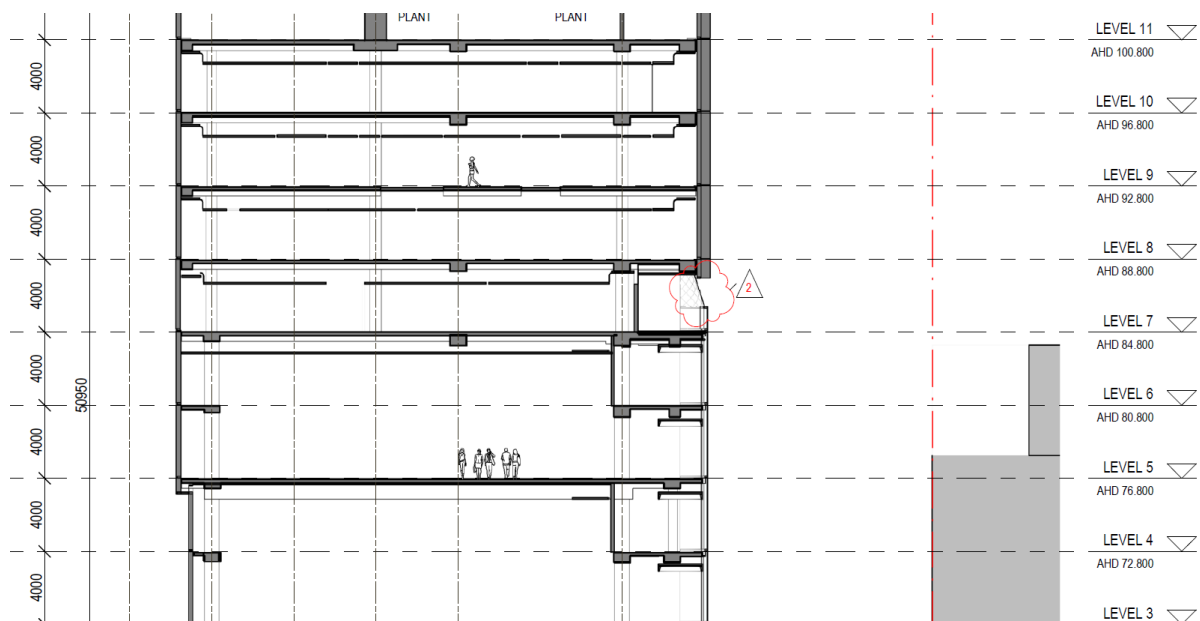


Figure 25 Proposed north-south elevation including addition of tensile mesh

Source: Architectus

Rooftop Amendments

The proposed roof changes are limited to minor detailed design refinement and coordination of the approved rooftop plant and service zone. As shown on the amended roof plans, the modifications comprise removal of the wintergarden skylight, alignment of roof openings with the mechanical layouts below, provision of additional roof access, and alignment of the roof arrangement with the hydraulic drainage strategy. These changes are functional and technical in nature and are directed to service coordination, maintenance access and drainage resolution, as part of the continued design development of the approved building.

From a visual and built form perspective, the roof amendments will not result in any material additional visual impact. The changes do not alter the essential form, scale or design character of the approved development and remain consistent with the approved architectural composition, which was designed to respond to the surrounding campus context in terms of height, bulk and scale. In particular, the removal of the skylight reduces rooftop elements, while the remaining amendments relate to subtle plan and access changes within the already approved roof / plant zone. The amendments also do not result in any additional overshadowing impacts, as they do not increase the building height or bulk beyond that already approved. Accordingly, the modified roof design remains visually recessive within the overall building composition and does not detract from the high-quality architectural outcome of the approved development.

5.2 Gross Floor Area and Internal alterations

The proposed modification results in a minor increase in GFA from 19,567m² to 19,630m², being a slight increase of 63m². This change arises from detailed design development and internal rationalisation of the building, including removal of internal voids, winter gardens and skylight elements, together with refinement of stair widths, plant areas, lifts and service configurations. While there are some minor redistributions of floor area between individual levels as part of that coordination, the modification produces a minor increase in GFA across the building (refer to **Figure 27** below).

These changes reflect the standard progression of the approved design through detailed alignment of architectural, structural, mechanical, hydraulic and access components of the project. In this respect, the amendments are directed toward improving the efficiency, functionality and buildability of the approved scheme, including rationalisation of circulation, services and ancillary support spaces, with no substantive change to the approved teaching and learning use of the building. The increase in GFA is therefore not the result of any additional built form or expansion of the approved envelope, but a consequence of internal design resolution and coordination of the already approved development.

At lower ground level, the detailed design changes include amendments to the End of Trip (EOT) facilities and associated access and amenity arrangements, including updates arising from piling wall coordination, stair width changes, stair location changes and associated amenity refinements. The changes do not alter the approved number of bike spaces, number of toilets or showers within the end of trip facilities. The lower ground level continues to accommodate plant, waste, campus services and EOT functions, and the updated OWMP (**Attachment D**) confirms that the building will continue to be serviced by a central waste room at basement and lower ground level with appropriate bin storage, access and collection arrangements. In this regard, the waste function and operational waste management strategy remain fundamentally unchanged, with the modifications instead improving internal layouts and circulation efficiency at the lower ground.

More broadly, the internal alterations are dispersed across the lower ground, ground floor and upper levels and principally relate to ancillary and service components of the building, including stairs, lifts, plant rooms, service risers, cleaners' cupboards, doors, amenities and void rationalisation. They do not materially alter the approved

external envelope, height, massing or principal building form, nor do they change the approved function of the main teaching and learning floorplates.

While winter garden and skylight elements have been rationalised as part of the coordinated design development, these changes are localised and do not give rise to any material new impacts in terms of the building's overall internal amenity or built form assessment. From a built form and massing perspective, the modified design therefore remains entirely consistent with the approved architectural intent of the building and continues to present an appropriate scale and form within the campus context.



Figure 26 Excerpt of approved GFA plans

Source: Architectus

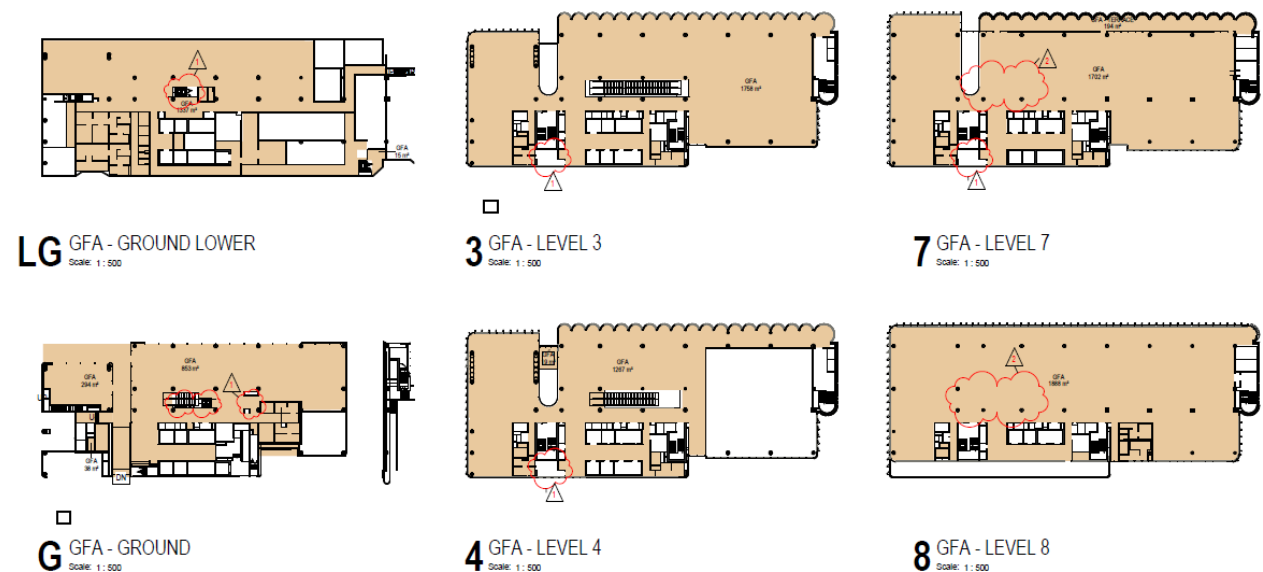


Figure 27 Excerpt of approved vs proposed GFA plans illustrating amendments

Source: Architectus

5.3 Ecologically Sustainable Development

An ESD Statement has been prepared by Atelier Ten in relation to the proposed modification (**Attachment E**). The statement confirms that Atelier Ten reviewed the revised architectural drawings for SSDA submission, listed on G25-ARC-000-DRW-DA0000 Revision A.03, and the revised landscape drawings, listed on G25-ARC-000-DRW-LA-DA0100 Revision A.

Atelier Ten confirms that the proposed design development changes remain consistent with the commitments and initiatives outlined in the approved ESD Report prepared for the project, being Revision 06 dated March 2025. Accordingly, the proposed modification will not alter the approved ESD strategy for the development and will not give rise to any additional environmental impacts in relation to ESD performance.

5.4 Waste Management

An updated Operational Waste Management Plan (OWMP) has been prepared by Elephants Foot Consulting and is provided at **Attachment D**. The principal change relevant to waste management is a refinement of the lower ground and basement internal layout in response to detailed design development of the approved building. In this regard, the updated lower ground general arrangement plan and OWMP confirm that the development will continue to accommodate a central waste room within the lower level service area of the building, with waste collection continuing in accordance with UNSW campus procedures via the AGSM loading dock and existing campus collection point to the east.

The updated OWMP confirms that the refined layout remains capable of supporting an appropriate operational waste management system for the building, including source separation of general waste, co-mingled recycling, paper and cardboard recycling, and food waste. Importantly, the basement waste room is confirmed to provide 59.7m², exceeding the 48.0m² estimated requirement for the nominated waste equipment. The report also confirms that the development will continue to provide safe and efficient storage, access and collection arrangements, supported by building management, cleaners and the waste contractor.

The updated waste generation estimates see a reduction from those initially approved, to reflect the current area schedules and refined operations for the modified scheme. The approved scheme identified weekly generation of 10,463L general waste, 7,740L co-mingled recycling and 7,740L paper and cardboard waste, whereas the updated OWMP identifies 9,372L general waste, 6,898L co-mingled recycling, 6,898L paper and cardboard recycling and 4,599L food waste.

Notwithstanding those updated figures, the revised OWMP demonstrates that the proposed lower ground and basement layout retains adequate capacity and servicing arrangements for the building. Accordingly, the proposed modification will not result in any unacceptable operational waste impacts.

5.5 Stormwater and Landscaping

The updated landscape plans prepared by Architectus (**Attachment B**) refine the approved public domain and landscape response across the site, while maintaining the overall landscape design intent for the G25 Education Building. The revised package includes updated site, surface finishes, planting and detail drawings, identifying refinements to paving and surface treatments, planting layout and specifications, retaining wall and edge treatments, swale integration and furniture arrangements, while retaining the approved rooftop gardens at Levels 08 and 11.

At ground level, the plans specifically provide for refinement of the shared zone and frontage areas around the building, including changes to pavement materials and geometry, revised Library Road shared zone treatment,

adjustment of lighting and bollard elements, accommodation of fire truck hardstand requirements, and revision of the G25 forecourt seating and planter arrangements.

The landscape revisions are minor and represent design development of the approved scheme (refer to **Figure 22** and **Figure 23**). Compared with the approved landscape plan, the proposed landscape design retains the same overall landscape strategy for the site but refines a number of elements through detailed design development. In particular, the proposed scheme updates the paving and surface treatment layout, revises planter and planting bed geometry, further resolves the furniture and seating arrangement, and incorporates more detailed water-sensitive design measures including the swale and associated drainage interfaces. The planting design has also been updated through revised species selection, quantities and rooftop / terrace planting details, with the later package noting changes to improve diversity, function and microclimate response.

At ground level, the landscape amendments also refine the interface with accessways, crossings and the shared public domain around the building, including the treatment of edges, retaining elements, bollards, pedestrian movement areas and the Library Walk frontage. The changes improve landscape, access, civil and architectural elements, including the swale and retaining wall interfaces, and refine the planting strategy having regard to species diversity, function and microclimate, including at the retained rooftop garden levels. These changes remain consistent with the broader approved landscape intent for a high-quality, green and legible campus setting that supports pedestrian movement, biodiversity and water-sensitive urban design outcomes.

Further to the above, the planting schedule has been revised following a detailed review by the Landscape Architect to ensure species are appropriate to the site's microclimate, spatial conditions, and functional requirements. Several original species were identified as unsuitable due to factors such as exposure, soil limitations, or mature size in relation to adjoining uses. For example, the originally proposed Tuckeroo within the swale was found to have a canopy height too low to maintain clear pedestrian access along adjacent pathways. The updated selections respond to these constraints by providing more suitable canopy forms, improved resilience, and better integration with circulation and use of the space, ensuring long-term performance and reduced maintenance conflicts.

The revised planting schedule remains consistent with the Connecting with Country principles and outcomes of the original SSD, with a strong emphasis on native species, including many endemic to the local area and representative of the Eastern Suburbs Banksia Scrub community. This approach strengthens ecological integrity and connection to place. In addition, planting proposed on Level 11 has been selected to ensure mature heights do not exceed the approved building envelope, confirming compliance with Commonwealth airspace requirements.

A Stormwater Strategy Compliance letter has been prepared by Arup dated 15 April 2026, in relation to the proposed modification (**Attachment F**). The letter confirms that Arup reviewed the updated SSDA landscape layout issued by Architectus and considers that the stormwater strategy for the G25 Education Building remains consistent with the design intent of the previously issued civil design documentation prepared in support of SSD-74670005.

Arup confirms that the updates within the landscape package and associated stormwater elements are minor in nature, do not alter the underlying stormwater management approach or design philosophy of the approved SSD, and that the proposed stormwater infrastructure, discharge arrangements and compliance pathways continue to align with the approved strategy.

Accordingly, the proposed modifications will not result in any unacceptable stormwater impacts, and the approved stormwater management framework remains appropriate to the development as modified. Similarly, the

proposed landscaping modifications will continue to facilitate an appropriate and positive public domain outcome for the site, without giving rise to any unacceptable environmental impacts.

5.6 Reasons Given for Granting Consent

Under section 4.55(3)(b) of the EP&A Act, the consent authority must take into consideration the reasons given by the consent authority for the grant of the consent sought to be modified, but only so far as the reasons are of relevant to the application.

Overall, the proposed modifications remain consistent with the Department's reasons for granting consent in that the project will continue to:

- *be in the public interest and would provide public benefits, including additional investment in educational infrastructure within a highly accessible location.*
- *maintain acceptable impacts that can be appropriately mitigated through the implementation of conditions of consent.*
- *provide economic benefits, generating 206 construction jobs and five additional operational jobs through investment in educational infrastructure.*

5.7 Suitability of the Site and Public Interest

Having regard to the particulars of the proposed modifications and their minor nature, it is confirmed that the development remains suitable for the site and within the public interest in that:

- The site is an existing University campus and can accommodate new development for learning and teaching spaces.
- Existing and future public transport services provide frequent connections between the site and the surrounding areas.
- The scale, height and form of the proposed building is consistent with the surrounding character of the University and desired future character of the campus.
- The site will have access to all utility services to accommodate the demand generated by the proposed development.
- The local road network and key intersections have been assessed to be able to accommodate the traffic volumes generated by the proposed building, without adverse impact on performance or safety.
- The proposed development will not result in any unacceptable or material environmental impacts in relation to adjoining and surrounding properties, particularly in terms of acoustic impacts or overshadowing.
- The proposal will improve teaching and learning spaces, enhancing the overall quality of the profession in Australia.

6.0 Conclusion

The proposed modifications comprise a limited set of post-consent design refinements to the approved UNSW G25 Education Building, including lower ground end-of-trip / access adjustments, nominal internal area refinements, winter garden / skylight deletion, minor façade changes, minor rooftop access and drainage coordination updates, and revised landscape / swale works. The changes do not alter the approved use of the building and do not increase the approved building height, form/scale or appearance.

In accordance with section 4.55(1A) of the EP&A Act, the consent authority may modify the consent as:

- the proposed modification is of minimal environmental impact; and
- substantially the same development as development for which the consent was granted.
- The proposed modification does not seek to change the management and mitigation measures set out in Appendix B of the EIS and Section 6 of the Submissions Report.

We trust that this information is sufficient to enable a prompt assessment of the proposed modification request.

Sincerely,

A handwritten signature in black ink, appearing to read "Karen Armstrong".

Karen Armstrong
Director, Planning
Karen.armstrong@colliers.com

A handwritten signature in black ink, appearing to read "Sonya Constantinou".

Sonya Constantinou
Principal, Planning
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A handwritten signature in black ink, appearing to read "Ben Marino".

Ben Marino
Planner
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