



Amendment Report

UNSW G25 Education Building

8 High Street, Kensington (Library Walk, west of Gate 11 - Botany Street)

Submitted to Department of Planning, Housing and Infrastructure
on behalf of University of NSW

Prepared by Colliers Urban Planning

16 December 2025 | SSD-74670005



'Gura Bulga'

Liz Belanjee Cameron

'Gura Bulga' – translates to Warm Green Country. Representing New South Wales.



'Dagura Buumarri'

Liz Belanjee Cameron

'Dagura Buumarri' – translates to Cold Brown Country. Representing Victoria.



'Gadalung Djarri'

Liz Belanjee Cameron

'Gadalung Djarri' – translates to Hot Red Country. Representing Queensland.

Colliers Urban Planning acknowledges the Traditional Custodians of Country throughout Australia and recognises their continuing connection to land, waters and culture.

We pay our respects to their Elders past and present.

In supporting the Uluru Statement from the Heart, we walk with Aboriginal and Torres Strait Islander people in a movement of the Australian people for a better future.

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Appendices

Appendix	Author
A1. Amended Architectural Plans (demolition plans)	Architectus
A2. Amended Arboricultural Impact Assessment Report	Canopy Consulting
A3. Amended Hydraulic Services Infrastructure Report	Lehr Consultants International
A4. Amended Civil Design Letter	Arup
A5. Updated Project Description	Colliers Urban Planning
A6. Updated Mitigation Measures Table	Colliers Urban Planning
A7. Updated Statutory Compliance Table	Colliers Urban Planning
K. Revised EDC Report	Wilde and Woollard

1.0 Introduction

This Amendment Report has been prepared by Colliers Urban Planning on behalf of the University of New South Wales (UNSW) (the Applicant) in support of an amendment to the State Significant Development Application (SSDA) for the G25 Education Building. The report has been prepared having regard to the *State Significant Development Guidelines – Preparing an Amendment Report* issued by the Planning Secretary.

The purpose of this Amendment Report is to describe the amendments made to the SSDA, outline the background to those changes, and assess the environmental implications of the amended project. The amendments relate solely to site preparation works—specifically, infrastructure improvement works and the associated demolition, earthworks, remediation and tree removal required with these works—that were removed from the SSDA and subsequently progressed and approved under a separate Review of Environmental Factors (REF) in accordance with Part 5 of the *Environmental Planning and Assessment Act 1979* (EP&A Act).

This Amendment Report identifies the components of the SSDA now excluded from the proposal, provides an explanation of the approved REF works the subject of these exclusions, and evaluates whether any additional impacts arise as a consequence of the amended project. The report has been prepared in accordance with the relevant provisions of the EP&A Act, the *Environmental Planning and Assessment Regulation 2021*, and the Department's *State Significant Development Guidelines*.

The Proposal is SSD under Schedule 1 of the Planning Systems SEPP, as it is development for the purpose of a tertiary institution, with an Estimated Development Cost (EDC) of more than \$50 million. The original EDC report (EIS Appendix G) noted a proposed EDC of \$171,084,000. The amended EDC report (see **Appendix K**) confirms a proposed EDC of \$165,235,000.

This Amendment Report should be read in conjunction with the supporting technical documentation accompanying this report, the original SSDA and the Response to Submissions Report.

1.1 Overview of the Project

The G25 Education Building is the subject of State Significant Development Application SSD-74670005, lodged by the University of New South Wales (UNSW) for a new education facility within the upper campus. The project is located adjacent to Library Walk and immediately west of the Gate 11 entry on Botany Street, within the Kensington campus (formally addressed as 8 High Street, Kensington) (the site) (Refer to **Figure 1** site context map).

The site is currently an at-grade car park comprising hardstand pavement, line-marked parking spaces, trees and landscaped areas. It also incorporates the eastern extent of Library Walk and the loading dock area of the Australian Graduate School of Management (AGSM) Building (G27). No permanent buildings exist within the primary development footprint. The site is framed by established campus buildings and infrastructure, including the Samuels Building (F25) and Mathews Building (F23) to the north, the Solar Industrial Research Facility (SIRF) (G23) to the west, the Botany Street Parking Station (H25) to the south, and the AGSM Building (G27) and Gate 11 entry to the east. (Refer to **Figure 2** SSD site area)

The SSDA for the G25 Education Building was publicly exhibited between 23 April and 20 May 2025, after which the Department of Planning, Housing and Infrastructure (DPHI) issued a request for a Response to Submissions. The Submissions Report was submitted to DPHI on 4 November 2025.

As exhibited, the SSDA seeks approval for the construction and operation of a new multi-storey education building that forms part of UNSW's broader campus development program. This purpose-built facility will provide flexible and adaptable teaching and learning spaces. This will better support the University activities of existing staff, students and visitors, and will relieve capacity on other teaching and learning spaces across the campus.

Specifically, the exhibited SSD development seeks consent for the following:

- Site preparation works including demolition of the existing at-grade car park, tree removal, and excavation works.

- Construction of an eleven (11) storey (plus roof plant/services) teaching and learning building with approximately 20,200m² of gross floor area, comprising:
 - Basement including plant/services, bike storage, End of Trip facilities and staff amenities, ancillary service areas such as Mail and Print rooms.
 - Ground level Food and Beverage premises and informal educational spaces.
 - Teaching and Learning spaces and workspaces for UNSW Faculties for other levels (the internal fit-out will be subject to separate approval).
 - Rooftop level including landscaping, mechanical plant and services.
- Associated landscaping, replacement trees and public domain embellishment works in and around the proposed building.
- Remediation works (*included in the RTS process in response to DPHI request, to align with the EIS described works*)
- Extension and augmentation of infrastructure and services as required.
- New lift core in the adjacent building – H25 Botany Street Carpark Station, and associated access improvements.

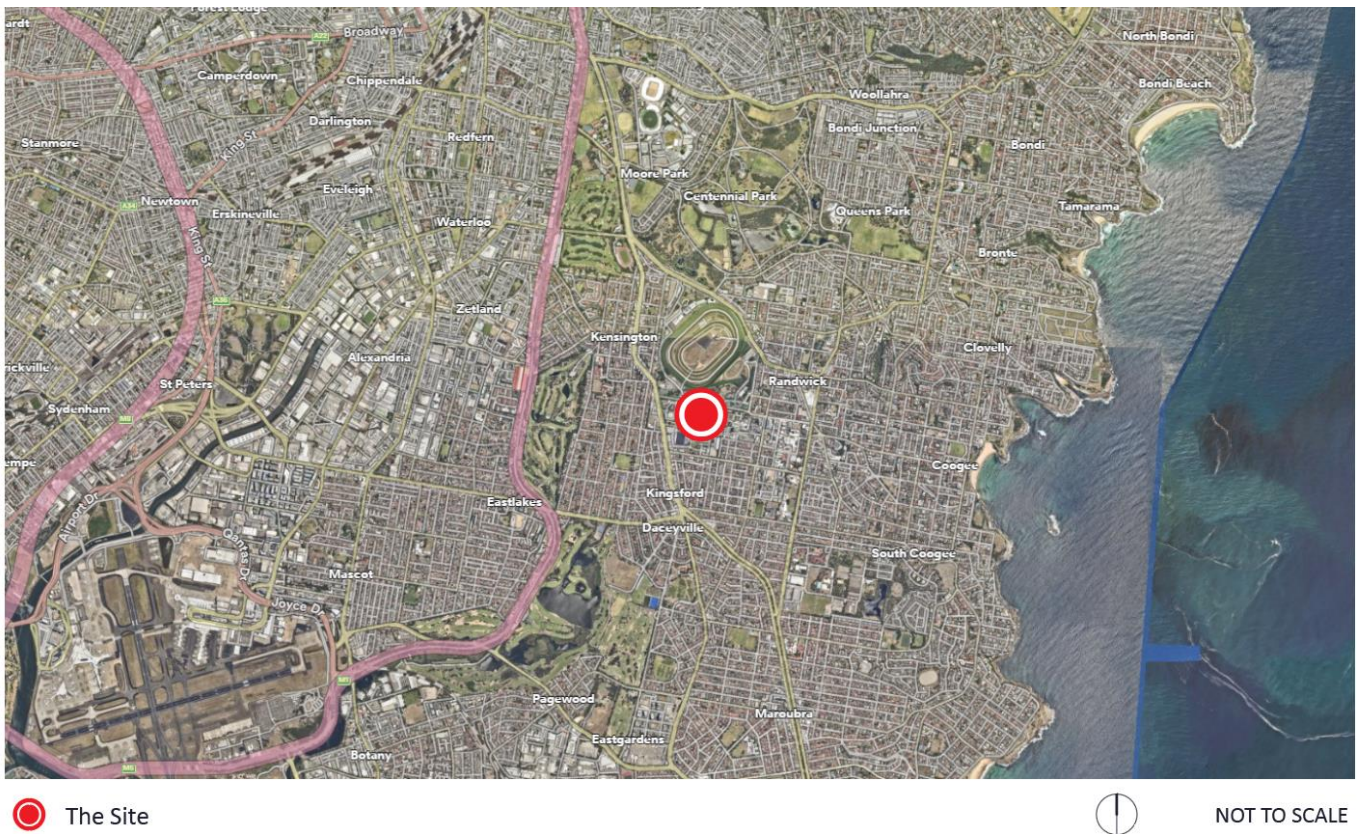


Figure 1 Site context map

Source: Nearmap, Colliers

Figure 2 provides an aerial image of the site and its location relative to the UNSW upper campus boundaries.



Figure 2 Site Aerial (approximate site area outlined in red)

Source: Nearmap, Colliers

1.2 Background to the SSD Amendments

Separate Part 5 Approved Infrastructure Improvement Works

A series of separate but related infrastructure improvement works are being delivered across the UNSW upper campus under a separate approval pathway pursuant to Part 5 of the EP&A Act and as Development Without Consent under the *State Environmental Planning Policy (Transport and Infrastructure) 2021* (TI SEPP). These works were approved by UNSW on 21/11/2025. They are required to facilitate efficient staging and maintain ongoing University operations and are distinct from the subject SSD works.

These infrastructure improvement works, approved under a separate Review of Environmental Factors (REF) in accordance with Part 5 of the EP&A Act, relate to infrastructure works being progressed separately to the SSDA. Section 4.38(4) of the EP&A Act states that where part of a single proposed development is SSD and requires consent, any other part that can be undertaken without consent is only treated as requiring consent if it forms part of that same single proposed development. In this case, the REF infrastructure works do not form part of the SSD 'single proposed development' and therefore remain appropriately assessed under Division 5.1.

The infrastructure improvement works being delivered under the separate Part 5 approval are as follows:

- Relocation of a generator;
- Relocation of hydrant and booster infrastructure;
- Inground service diversions including the electrical infrastructure, main gas pipeline, telecommunications cabling, and stormwater infrastructure; and
- Associated demolition works and capping of infrastructure services.

Refer to **Figure 3** below for the area of these Part 5 approved works.

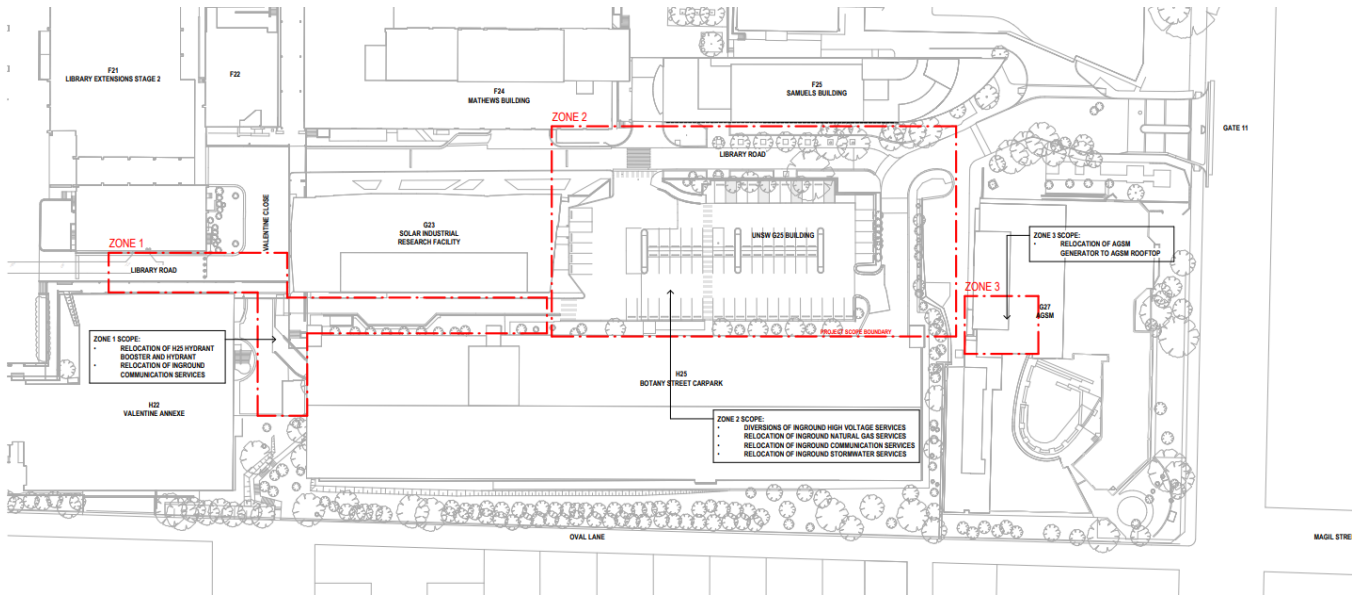


Figure 3 Part 5 Approved Works Plan (key areas of work outlined in red)

Source: Architectus

The following Figures 4-6 refer to the SSD plans and reports which have required updating in this Amendment Report to remove these Part 5 approved works. Refer to **Figure 4** below which shows the area of the Part 5 approved demolition works associated with the infrastructure improvement works and the area of the SSD demolition works (Refer to the amended demolition plan from the Architectural plans, at **Appendix A1**).

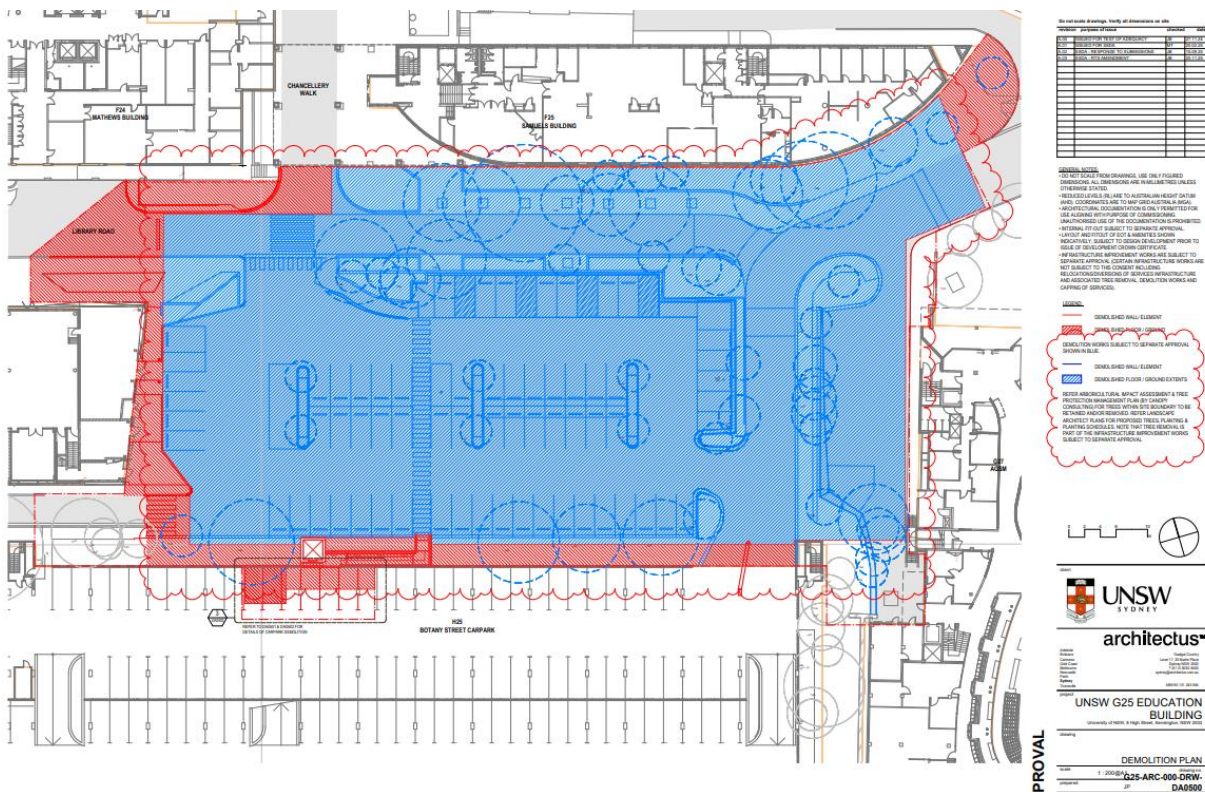


Figure 4 Approved Part 5 demolition works (in blue) and SSD demolition works (in red)

Source: Architectus

The following **Figure 5** identifies the Part 5 approved main gas pipeline relocation (removed from SSD via updated Hydraulic Services Infrastructure Report; at **Appendix A3**):



Figure 5 Proposed gas main relocation

Source: LCI

See also **Figure 6** below showing the Part 5 approved stormwater diversion works (removed from SSD via updated Civil Design letter at **Appendix A4**).

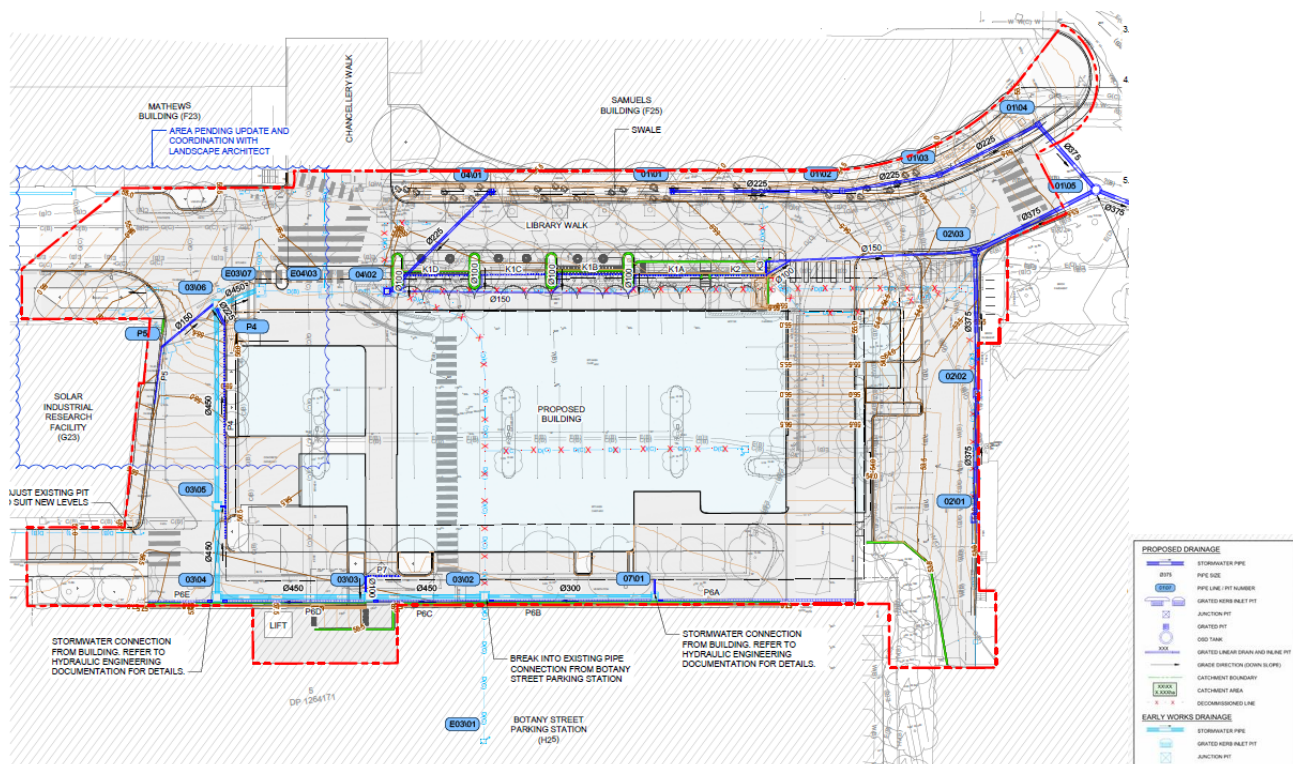


Figure 6 Proposed stormwater plan excerpt

Source: Arup

Proposed SSD Amendments

The SSD proposed amendments exclude these Part 5 approved infrastructure works from the SSD application and associated documentation and thus these infrastructure works are not sought for approval under this SSDA. The SSD amendments are described in detail in Section 3.

In summary, these excluded works comprise infrastructure service removals/relocations/diversions/capping and associated works including demolition of the area that includes the at-grade G25 car parking area, with earthworks, remediation and tree removal required in undertaking these infrastructure services works. These works are required to facilitate efficient staging and maintain ongoing University operations and are distinct from the subject SSD works.

The SSD excluded works, as relevant to the separate Part 5 works, are further described as follows:

- **Relocation of a generator** – The generator is situated adjacent to the AGSM building and is to be relocated to the roof of the AGSM building to maintain back-up power capabilities of the AGSM. This involves removal of redundant electrical infrastructure and new cabling tray and pipework. There are no changes applicable to the SSD as these works were not identified in the SSD documentation.
- **Relocation of hydrant and booster infrastructure** - The existing H25 hydrant booster (at H25 Botany St car park station) is currently sited in a location that will be obstructed by the proposed construction works for the new UNSW G25 Education Building. As such, its relocation is essential to maintain compliance with relevant fire safety regulations and to ensure ongoing, unimpeded access for emergency services. While this relocation was not identified in the SSD documentation, demolition works are required in relation to new service lines and thus this demolition area is now to be excluded from the SSD demolition plans (see Amended Architectural demolition plan at **Appendix A1**).
- **Inground service diversions including:**
 - o *Electrical infrastructure, telecommunications cabling* – as part of the broader network, the works involve removal/diversion of electrical and communications services, which were not included in the SSD documentation, as noted in the original EIS Electrical Services Infrastructure Report (**EIS Appendix BB**). However, demolition works are required with these diversions and thus this demolition area is now to be excluded from the relevant SSD demolition plan, at **Appendix A1**.
 - o *Main gas pipeline* – as part of the broader main gas pipeline network and to ensure continued gas supply within the upper campus, this diversion is to be excluded from the SSD documentation with an amendment required to the original EIS Hydraulic Systems Infrastructure Report (refer Amended Hydraulic Services Infrastructure Report at **Appendix A3**) and demolition area is now to be excluded from the SSD demolition plans.
 - o *Stormwater infrastructure* – to maintain the existing stormwater system across the upper campus, a stormwater pipe will be diverted and rerouted with no changes to catchment delineation and aligning with the university's 2025 Stormwater Strategy Masterplan, while traversing the G25 car park area. This diversion is proposed to be excluded from the SSD documentation with an amendment required to the original Civil Design Report and Addendum Letter (refer Amended Civil Design Letter at **Appendix A4**) and demolition area is now to be excluded from the SSD demolition plan.
- **Associated demolition works and capping of infrastructure** – the above services infrastructure improvements require associated demolition works, earthworks, remediation and tree removals. The subject area covers a large part of the demolition area identified in the SSD documentation and thus the Part 5 approved demolition works area is now to be excluded from the SSD (refer Amended Architectural demolition plan at **Appendix A1** and Amended Arboricultural Impact Assessment Report at **Appendix A2**).

Accordingly, the following SSD documents have been updated to clarify that these elements are now excluded from the SSD and subject to the separate approval:

- Amended Architectural Plans (demolition plans) (**Appendix A1**) amending RTS Appendix C;
- Amended Arboricultural Impact Assessment Report (**Appendix A2**) amending EIS Appendix L;
- Amended Hydraulic Services Infrastructure Report (**Appendix A3**) amending EIS Appendix CC; and
- Amended Civil Design Letter (**Appendix A4**) amending EIS Appendix GG.

2.0 Strategic Context

No further updates to the strategic context for the Proposal are required within this Amendment Report, as it has been comprehensively addressed in **EIS Section 2.3** and reiterated in the **RTS report**. As such, the Proposal as amended remains in alignment with the relevant strategic context, as summarised below.

The UNSW campus forms part of the wider Randwick Health and Education Precinct, which has been strategically identified to provide a world-class coalition of education, research, innovation and healthcare organisations and to attract growth, investment and employment opportunities. This Precinct has been identified in the Greater Sydney Region Plan – A Metropolis of Three Cities and the Eastern City District Plan, for its strategic importance as a specialised centre providing for health and education research, innovation, teaching and learning. It is also identified in Randwick City Council's long term Local Strategic Planning Statement (LSPS) and related strategic documents as a significant Precinct for health and education collaboration and innovation.

The G25 Proposal has been informed by this regional, district and local strategic framework and by the UNSW's 2025 Strategy, which emphasises academic excellence, innovation, and social impact. This strategy reflects UNSW's commitment to creating world-class educational spaces that foster innovative research and transformative education, aligning with the University's goal to expand its global influence in education, research, and community engagement. The strategic priorities outlined in the UNSW 2025 Strategy, including enhancing the student experience and advancing UNSW's reputation as a leader in research and teaching, have driven the conception of the G25 Education Building and guided the facility's design approach.

The proposed G25 Education Building aims to integrate active and flexible learning spaces, supporting a diverse and inclusive environment that is essential for modern, high-quality education. Additionally, the location leverages proximity to other facilities in the UNSW upper campus, within the broader Randwick Health and Education Precinct, and to critical infrastructure including the light rail network, enhancing accessibility and promoting a collaborative campus environment aligned with UNSW's vision for sustainable development and engagement.

In summary, the project is consistent with the following strategic plans in that:

- **Greater Sydney Region Plan – A Metropolis of Three Cities**
 - The project is consistent with the Plan's goal of strengthening internationally competitive health and education precincts by delivering modern teaching and learning infrastructure within the Randwick Health and Education Precinct, supported by high-capacity transport connections.
- **Eastern City District Plan**
 - The project aligns with the District Plan by enhancing the Randwick Strategic Centre and supporting the growth of the Health and Education Precinct through new educational floorspace that improves access, productivity and student experience.
- **Collaboration Area: Randwick Place Strategy**
 - The project supports the Place Strategy by responding directly to anticipated student growth, leveraging light rail investment, and contributing to the coordinated renewal and uplift envisaged across the health and education ecosystem.
- **Vision 2040 – Randwick Local Strategic Planning Statement**
 - The development reinforces the LSPS priorities by strengthening the economic role of UNSW within the Randwick Health and Education Precinct and delivering high-quality institutional floorspace consistent with the campus's strategic uplift and built-form trajectory.
- **NSW Premier's Priorities**
 - The proposal advances key State priorities by supporting infrastructure delivery, expanding education capacity, creating construction and ongoing jobs, and contributing to a sustainable and future-focused tertiary precinct.
- **Transport for NSW – Future Transport Strategy 2056**
 - The project aligns with the Strategy by locating major educational facilities in a highly accessible transit-rich environment, capitalising on existing light rail infrastructure and supporting mode shift through enhanced active transport facilities.

- **CPTED and Government Architect Guidelines (Better Placed / Connecting with Country)**

- The project is aligned with Government Architect principles through a design that enhances public domain safety, improves pedestrian permeability, respects Country, and integrates landscaping and sustainability outcomes consistent with contemporary NSW design policy.

3.0 Description of Amendments

3.1 Project Description as amended

The Project Description in the EIS was clarified in the Response to Submissions Report (**RTS Appendix B**) to specifically add “remediation works” as part of the development description, with additional wording highlighted in **bold**.

The separate Part 5 approval of infrastructure works also requires amendments to the description, with additional wording highlighted below in **bold** and/or deletions highlighted with ~~strikethroughs~~ as follows:

Specifically, the development seeks consent for the following:

- Site preparation works including demolition ~~of the existing at-grade car park, tree removal,~~ and excavation works.
- Construction of an eleven (11) storey (plus roof plant/services) teaching and learning building with approximately 20,200m² of gross floor area, comprising:
 - Basement including plant/services, bike storage, End of Trip facilities and staff amenities, ancillary service areas such as Mail and Print rooms.
 - Ground level Food and Beverage premises and informal educational spaces.
 - Teaching and Learning spaces and workspaces for UNSW Faculties for other levels.
 - (the internal fit-out will be subject to separate approval).
 - Rooftop level including landscaping, mechanical plant and services.
- Associated landscaping, ~~replacement trees~~ **planting** and public domain embellishment works in and around the proposed building.
- **Remediation works.**
- Extension and augmentation of infrastructure and services as required.
- New lift core in the adjacent building – H25 Botany Street Carpark Station, and associated access improvements.

The Table below summarises the changes between the original SSD proposal and amended SSD proposal described in this report:

Table 1 *Project summary*

Component	Original SSD Proposal	Amended SSD Proposal
Project Summary	Construction and operation of an 11-storey (plus roof plant) teaching and learning building within the UNSW campus (G25 Education Building).	No change
Project Address	8 High Street, Kensington NSW 2052 (adjacent to Library Walk, West of the Gate 11 entry from Botany Street)	No change
Legal Description	Lot 5 DP1264171	No change
Project Area	5,707m ²	No change
University Campus Area	358,773.07m ²	No change
Lot 5 Area	101,664.88m ²	No change
Proposed Use	Teaching and learning facility (Educational Establishment)	No change
Physical Layout and Design	An eleven (11) storey (plus roof plant/services) rectangular building configuration. The building will accommodate centrally allocated teaching space (CATS) and collaborative learning spaces and ancillary	No change

Component	Original SSD Proposal	Amended SSD Proposal
	uses. Landscaping and surrounding public domain works including additional tree planting, landscaping, installation of furniture and construction of new footpaths.	
Proposed Site Preparation Activities	Demolition, earthworks, tree removal, services infrastructure	Demolition, earthworks, tree removal , services infrastructure
GFA	20,773m ²	No change
Maximum Height (LEP definition)	49.95m (RL 105.8)	No change
Storeys	Eleven (11) storey building (plus roof plant/services)	No change
Car Parking	11	12
Bicycle Parking Spaces	98	No change
Tree Removal	67	0
Proposed Tree Planting	54	No change
Operational Hours	24 hours a day, 7 days a week	No change
Construction Hours	7:00am and 6:00pm on Monday to Friday. 8:00am to 1:00pm on Saturday. No work to take place on Sunday or public holidays.	No change
Construction staging	The work proposed as part of this SSDA will be carried out as a single stage. The construction works are anticipated to commence in early 2026.	No change
Construction Jobs	214 full-time jobs	No change
Operational Jobs	284 full-time jobs (NB 279 retained staff and 5 new staff for café)	No change

3.2 Amendments

This section outlines the amendments to the SSD project and provides clarity on how they differ from the elements assessed in the original Environmental Impact Statement (EIS) and subsequently in the Response to Submissions (RTS).

The EIS (Chapter 3) identified the key components of the Project as comprising:

- Design principles
- Site preparation works
- Built form and urban design
- Landscaping
- Site access and parking
- Signage and wayfinding
- Operational details
- Construction details

This Amendment Report proposes changes only for the site preparation works for the SSD Project, being infrastructure improvement/service works and associated demolition of the at-grade G25 car park area, earthworks, remediation and tree removal required for these infrastructure services removal/relocation/diversion and capping as described in detail as follows:

3.2.1 Demolition

The original SSD proposal includes demolition of the existing at-grade car park to facilitate the construction of the G25 building, which would result in these car parking spaces being removed. Additionally, some minor demolition works are also required within the adjacent Botany Street multi-storey car park to relocate the existing external lift internal to the car park structure, with the resultant removal of internal spaces.

The separate Part 5 approval for infrastructure works will require demolition of an area including the existing at-grade car park as a result of the infrastructure works. Hence, demolition works for this area is no longer part of this SSD proposal.

The SSD demolition works are amended to delete the at-grade car parking demolition works, while some demolition works remain required, where located outside the infrastructure works area (see **Figure 4** above), and also for the minor demolition works within the multi-storey car park for lift relocation. (Refer to Amended Architectural demolition plan at **Appendix A1**).

3.2.2 Earthworks

The original SSD proposal includes bulk earthworks to excavate for the proposed basement structure of the G25 building.

The separate Part 5 approval for infrastructure improvement works will require some minor earthworks as a result of the infrastructure works i.e. service line trenching. No fill or export of soils is required.

In the amended SSD, earthworks remain required for bulk excavation of the G25 basement exclusive of the minor earthworks of the separate approval. (Again, refer to Amended Architectural demolition plans at **Appendix A1**).

3.2.3 Remediation

The original SSD proposal includes remediation works as part of the development, noting the site can be made suitable for the proposed development subject to mitigation measures including implementation of a Remediation Action Plan (RAP) which was prepared and submitted.

The separate Part 5 approval for infrastructure works will require remediation in relation to the minor earthworks and will be undertaken in accordance with the requirements of the RAP.

The SSD as amended, continues to require remediation in association with the required demolition and bulk earthworks and there are no required changes to the RAP.

3.2.4 Tree Removal

The original SSD proposal assessed the existing trees on site which are located within the development area and confirmed the retention of 16 trees and that removal of 67 trees is required to facilitate the construction of the building and new water sensitive landscape areas. (Refer to EIS Aboricultural Impact Assessment Report).

The separate Part 5 approval for infrastructure works will require the removal of the 67 trees associated with the proposed infrastructure works, also supported by an Arboricultural assessment.

The SSD as amended, therefore no longer seeks approval for tree removal and the Aboricultural Report has been updated accordingly (refer to Amended Arboricultural Impact Assessment Report found in **Appendix A2**).

3.2.5 Servicing Infrastructure

The original SSD proposal includes infrastructure servicing removals and relocations where these are present on the subject site.

The separate Part 5 approval undertakes a range of separate but related infrastructure improvement works to ensure continued servicing of the upper campus and sequencing of works considering the future G25 building construction. These involves the following works:

- Relocation of a generator;
- Relocation of hydrant and booster infrastructure; and
- Inground service diversions including the electrical infrastructure, main gas pipeline, telecommunications cabling, and stormwater infrastructure.

The SSD as amended, no longer seeks approval for these infrastructure works within the separate approval, where these were originally included in the SSD (as detailed in the above Section 1.2). Amendments have been made accordingly to the relevant SSD documents, being the Amended Architectural demolition plans (**Attachment A1**), the Amended Hydraulic Services Infrastructure Report (**Attachment A3**) in relation to the gas main relocation and the Amended Civil Design Letter (**Attachment A4**) in relation to the stormwater and servicing removal/relocations.

4.0 Statutory Context

The relevant statutory requirements have been discussed in **EIS Section 4.0** and assessed in **EIS Appendix C**. No further amendments have been made to **EIS Appendix C** following public exhibition. Specifically, the EIS has addressed all of the matters specified in the issued SEARs dated 12 August 2024 (refer to **EIS Appendix A**) and Section 190 and 192 of the EP&A Regulation (refer to **EIS Appendix C**).

Amendments to State significant project applications in NSW are governed by the statutory framework established under the *Environmental Planning and Assessment Act 1979* (EP&A Act) and the *Environmental Planning and Assessment Regulation 2021* (EP&A Regulation). Under this framework, an applicant may amend a State significant development (SSD) application at any time prior to determination with the agreement of the consent authority. An amendment report must accompany an amendment application and be prepared having regard to the relevant State Significant Development / State Significant Infrastructure Guidelines – Preparing an Amendment Report issued by the Planning Secretary. These guidelines are a required component of the SSD assessment process.

In this context, this Amendment Report supports changes to the originally exhibited SSDA by documenting the works that have been removed from the SSDA and subsequently approved by UNSW via a separate Part 5 Review of Environmental Factors (REF) application.

The REF infrastructure improvement works were progressed under the *Environmental Planning and Assessment Act 1979* via a REF, prepared and assessed in accordance with Part 5 of the EP&A Act and the associated requirements of the EP&A Regulation. The proposed works, or activities, qualify as ‘Development without Consent’ under the *State Environmental Planning Policy (Transport and Infrastructure) 2021* (TISEPP). As the proponent is a public authority for the purposes of Part 5, the REF was the appropriate statutory mechanism to assess the environmental impacts of the scope of works. That assessment has since been completed and the REF has been approved by the determining authority, enabling those works to proceed independently of the State significant development pathway.

The Amendment Report responds directly to these procedural changes and aligns with the Department’s requirements for clarity, justification and transparency in the assessment of amended project proposal.

5.0 Engagement

Extensive engagement has been undertaken throughout the project’s planning process, including pre-lodgement consultation with key stakeholders and additional engagement carried out by the Applicant following the public exhibition of the SSDA in direct response to submissions received.

The outcomes of this consultation program, together with the Applicant’s detailed responses to issues raised, are comprehensively documented in the Response to Submissions (RTS) report. As the works now proposed to be removed from the SSDA in this Amendment Report and to be pursued through a separate REF approval pathway, which has no specific notification or consultation requirements, no further engagement is considered to be required for the purposes of this Amendment Report.

6.0 Assessment of Impacts

The amendments relate only to infrastructure works, including infrastructure servicing removal/relocations and associated demolition, earthworks, remediation and tree removal. These works are proposed to be removed from the SSDA, where relevant, given these have been assessed and approved under a separate Review of Environmental Factors (REF) prepared in accordance with Part 5 of the Environmental Planning and Assessment Act 1979. The REF (Colliers Urban Planning, 19 November 2025) provides a detailed environmental impact assessment of these works and was formally determined by UNSW as the determining authority, confirming that the activity may proceed subject to the identified mitigation measures.

With the proposed amendments to the SSD as outlined in this report, there are no additional or new environmental impacts requiring reassessment under the SSD framework.

As outlined and assessed below, there are no further or revised environmental impacts arising from the amendments:

- **Demolition, Earthworks and Remediation:** The SSD now proposes to exclude certain demolition, remediation and minor earthworks that will be undertaken in association with the Part 5 infrastructure improvement works. This involves removal of the at-grade car parking and other paved areas, with earthworks and remediation to reinstate the site following the servicing works. The works will support suitable sequencing of these servicing improvements to this part of the upper campus and will enable the UNSW to program these works to minimise impacts on campus usage. The requirements for implementation of a Remediation Action Plan remain the same for the REF works and the SSD, with no adverse environmental impacts.
- **Stormwater, utilities and services:** Diversions and infrastructure relocations will be undertaken separate to the SSD, with the SSD thereby having reduced impacts via reduced complexity of its proposed works. With these separate infrastructure works proceeding early, this provides for improved outcomes across the campus in terms of greater certainty in the continuity of services and the upgrading of services that support other buildings and users of the upper campus.
- **Tree Removal:** The SSD now no longer seeks removal of 67 trees, with a reduced environmental impact as a result. It is noted that the separate Part 5 works involve service removals and relocations that require removal of the 67 trees. This level of removal is below the threshold set out in Part 7 of the Biodiversity Conservation Regulation 2017 relating to the biodiversity offset scheme threshold (being 10,000m² or more). It confirms that the proposed works do not require an Environmental Impact Statement (EIS), Species Impact Statement (SIS), Biodiversity Development Assessment Report (BDAR) or BDAR Waiver (while a waiver had been in any case been obtained as part of the SEARs process). Further, the site is not mapped in the Biodiversity Values Map. Nevertheless, an Amended Arboricultural Impact Assessment Report has been prepared (refer to **Appendix A2**) which assesses the significance of the trees, removal and future planting. Further, UNSW remains committed to additional tree planting in the SSD and to a replacement strategy of over 100 plants, with implementation of a Tree Protection Management Plan for retained vegetation, ensuring the project provides for suitable environmental impacts in this regard.
- **Construction and Amenity:** The impact of construction works under the SSD will be reduced in terms of noise, pedestrian management and traffic which were assessed as reasonable in any case prior to this reduced scope of demolition works, and subject to the Construction Traffic Management Plan, Construction Management Plan and Construction Worker Transport Strategy. The construction works required under the Part 5 approval were noted as temporary and manageable.
- **Public interest and cumulative impacts:** The amendments to the SSD are considered to reduce the impacts of the SSD proposal, while enabling the suitable sequencing of the upper campus university works which will ensure there are no significant adverse impacts and no unacceptable cumulative effects of the development.

7.0 Justification of Amended Project

The amendments the subject of this Amendment Report relate only to infrastructure improvement works, namely for infrastructure servicing removal/relocations and associated demolition, earthworks, remediation and tree removal. These works are proposed to be removed from the SSDA, where relevant, given these have been assessed and approved under a separate Review of Environmental Factors (REF) prepared in accordance with Part 5 of the Environmental Planning and Assessment Act 1979. The REF (Colliers Urban Planning, 19 November 2025) provides a detailed environmental impact assessment of these works and was formally determined by UNSW as the determining authority, confirming that the activity may proceed subject to the identified mitigation measures.

These works remain essential preparatory activities that facilitate the construction of the G25 Education Building by resolving infrastructure conflicts, establishing safe working conditions and enabling efficient site establishment. The amendments do not alter the purpose, scale or intent of the original SSD project, nor do they modify its built form, operational characteristics or strategic outcomes.

Undertaking these works under a separate Part 5 approval delivers clear project sequencing and efficiency benefits, allowing critical infrastructure adjustments and site preparation to occur for the upper campus to ensure continuity for servicing of the area and other buildings ahead of the main G25 building works. This approach reduces construction interfaces, shortens the overall program and supports orderly delivery of the G25 project.

Accordingly, the amended project is justified on environmental, strategic and operational grounds, representing a responsible and efficient amendment to the original SSDA without altering its overall outcomes or impacts.

Appendix A5 – Updated Project Description

Specifically, the development seeks consent for the following:

- Site preparation works including demolition and excavation works.
- Construction of an eleven (11) storey (plus roof plant/services) teaching and learning building with approximately 20,200m² of gross floor area, comprising:
 - Basement including plant/services, bike storage, End of Trip facilities and staff amenities, ancillary service areas such as Mail and Print rooms.
 - Ground level Food and Beverage premises and informal educational spaces.
 - Teaching and Learning spaces and workspaces for UNSW Faculties for other levels.
 - (the internal fit-out will be subject to separate approval).
 - Rooftop level including landscaping, mechanical plant and services.
- Associated landscaping, tree planting and public domain embellishment works in and around the proposed building.
- Remediation works.
- Extension and augmentation of infrastructure and services as required.
- New lift core in the adjacent building – H25 Botany Street Carpark Station, and associated access improvements.

Project Summary

Component	Original SSD Proposal	Amended SSD Proposal
Project Summary	Construction and operation of an 11-storey (plus roof plant) teaching and learning building within the UNSW campus (G25 Education Building).	No change
Project Address	8 High Street, Kensington NSW 2052 (adjacent to Library Walk, West of the Gate 11 entry from Botany Street)	No change
Legal Description	Lot 5 DP1264171	No change
Project Area	5,707m ²	No change
University Campus Area	358,773.07m ²	No change
Lot 5 Area	101,664.88m ²	No change
Proposed Use	Teaching and learning facility (Educational Establishment)	No change
Physical Layout and Design	An eleven (11) storey (plus roof plant/services) rectangular building configuration. The building will accommodate centrally allocated teaching space (CATS) and collaborative learning spaces and ancillary uses. Landscaping and surrounding public domain works including additional tree planting, landscaping, installation of furniture and construction of new footpaths.	No change
Proposed Site Preparation Activities	Demolition, earthworks, tree removal, services infrastructure	Demolition, earthworks, tree removal , services infrastructure
GFA	20,773m ²	No change
Maximum Height (LEP definition)	49.95m (RL 105.8)	No change

Component	Original SSD Proposal	Amended SSD Proposal
Storeys	Eleven (11) storey building (plus roof plant/services)	No change
Car Parking	11	12
Bicycle Parking Spaces	98	No change
Tree Removal	67	0
Proposed Tree Planting	54	No change
Operational Hours	24 hours a day, 7 days a week	No change
Construction Hours	7:00am and 6:00pm on Monday to Friday. 8:00am to 1:00pm on Saturday. No work to take place on Sunday or public holidays.	No change
Construction staging	The work proposed as part of this SSDA will be carried out as a single stage. The construction works are anticipated to commence in early 2026.	No change
Construction Jobs	214 full-time jobs	No change
Operational Jobs	284 full-time jobs (NB 279 retained staff and 5 new staff for café)	No change

Appendix A6 – Updated Mitigation Measures Table

Please refer to separate consolidated Mitigation Measures table with RFI package, Dec 2025.

Appendix A7 – Updated Statutory Compliance Table

Due to the nature of the amendments, no updates are required to the statutory compliance table submitted with the EIS.



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