

s96(1A) Changes

Modifications to plant areas

Minor adjustments to wall locations

Removal of Sub-Station Kiosk with enclosure of the facade to match streetscape elevation

Indicative locations of the non-loading bearing intertenancy walls, subject to confirmation

The proposed finish/material of the façade is indicative however is it expected to be a combination of glass (finish/material 3) and metal cladding/louvres (finish/material 10)



State Sports Centre
Forecourt



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 96 (1A) (1) (2) Modification Application

No. MOD 1 granted on the 3 May 2018

in respect to MP SSD 7445 MOD 1

Signed MN

Sheet No. 1 of 13

Check all dimensions and the conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.

Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

All drawings may not be reproduced or distributed without prior permission from the architect.

Notes - Construction General (BASIX)

Glazing

Doors / windows:

- Aluminium framed single clear glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed double clear glazing to curtain walls & glazing to balcony edge
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof:

Concrete roof - No insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & sloped areas above to all other units

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:

Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

G	05 02 16	s96(1A)	BS	BS
F	13 12 17	s96(1A)	BS	BS
E	20 11 17	s96(1A)	BS	BS
D	24 01 17	Amended DA Issue	JS	MA
C	25 08 16	Revisions as covered	CP	MA
B	20 07 16	Amended DA Issue	JS	CP
A	01 03 16	Development Application	JS	CP
Revision	Date	Description	Initial	Checked

Principal Contractor: Taylor

Level 13, 157 Walker St,
North Sydney NSW 2060

TAYLOR

Developer: Ecove

1 Australia Avenue,
Sydney Olympic Park NSW 2127



Site 9, Sydney Olympic Park
3 Olympic Boulevard

Site Plan



Status	DEVELOPMENT APPLICATION		
Scale	As indicated	@ A1	
Drawn	Author	Checked	Checker
Project No	S11890		
Plot Date	7/02/2018 9:18:06 AM		
Plot File			
Drawing no.	Revision		
DA01.001	G		

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Bates Smart Pty Ltd ABN 70 004 999 400

BATESSMART

s96(1A) Changes

Pavilion, Atrium, and Parapet heights reduced to match Approved Elevation Heights

s96(1A) Changes

East Pavillion becomes a planter concealing services in void below landscape deck

Plant added to back of stair



**NSW GOVERNMENT
Planning**

Issued under the Environmental Planning and Assessment Act 1979

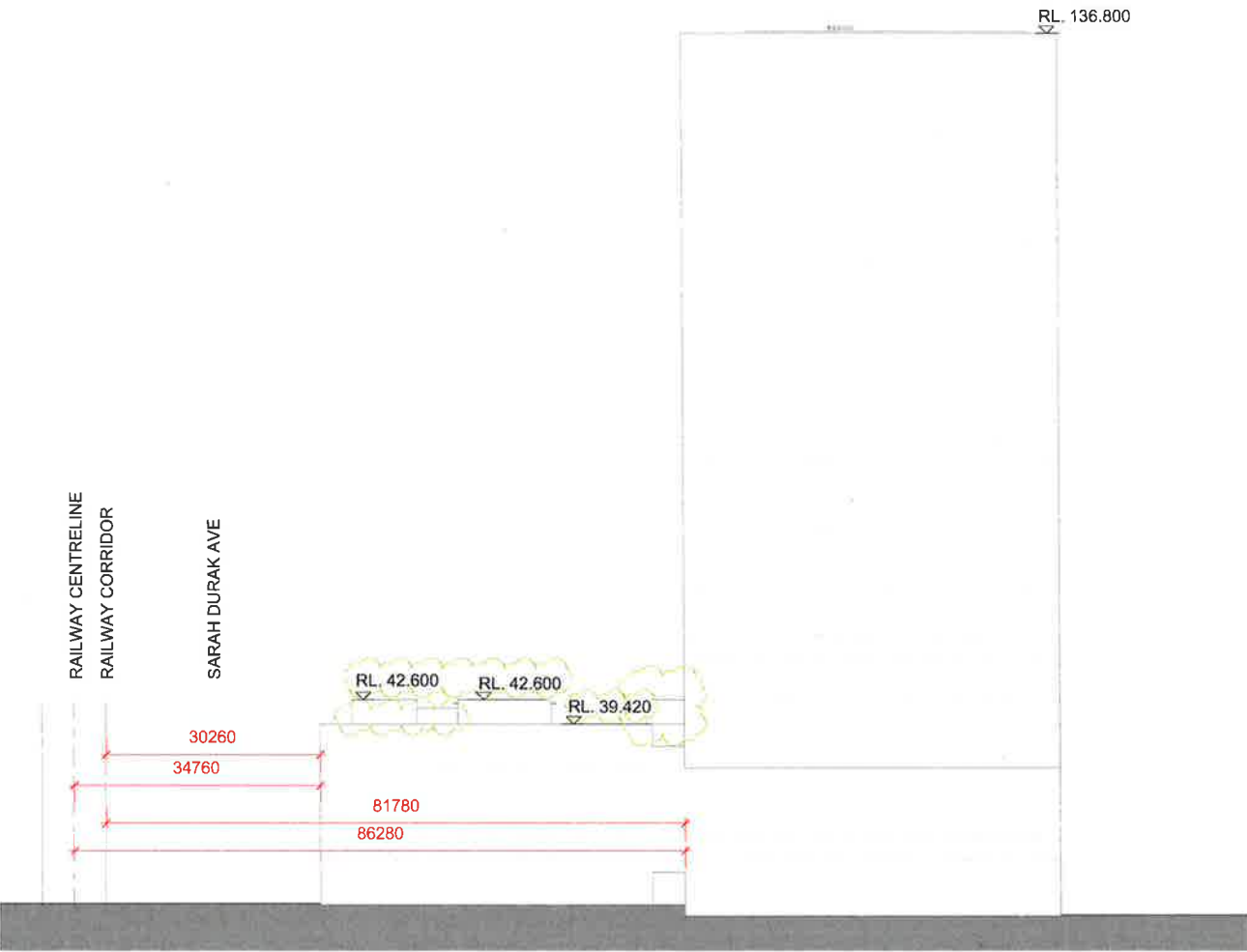
Approved Section 96 (1A) (1) (2) Modification Application

No. 1 granted on the 3 May 2018

in respect to MR SSD 7445 MOD 1

Signed MN

Sheet No. 2 of 13



2 Building Envelope

1 : 500



1 Site Plan

1 : 500

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- U-Value: 4.4 (equal to or lower than)
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Given values are NFRC, total window values

Roof / ceiling insulation

Roof:

Concrete roof - No insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:

Lightweight cladding to all external walls with R1.5 bulk insulation

No colour nominated

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Inter-tenancy walls / corridor:

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75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans

All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (-38mm) insulation to ringmain and supply risers.

Retiulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building

(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

D	27.11.17	s96(1A)	BS	BS
C	20.11.17	s96(1A)	BS	BS
B	20.07.16	Amended DA Issues	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	Date	Description	Initial	Checked

Principal Contractor: Taylor

Level 13, 157 Walter St,
North Sydney NSW 2060

TAYLOR

Developer: Ecove

1 Australia Avenue,
Sydney Olympic Park NSW 2127



Site 9, Sydney Olympic Park
3 Olympic Boulevard

Proximity to Rail Corridor Site Plan +
Building Envelope

Status	DEVELOPMENT APPLICATION		
Scale	As indicated	@	A1
Drawn	Author	Checked	Checker
Project No.	S11890		
Plot Date	27/11/2017 6:43:44 PM		
Plot File			

Drawing no.	Revision
DA01.002	D

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BATESSMART

s96(1A) Changes

Modifications to plant areas

Minor adjustments to wall locations

Removal of Sub-Station Kiosk with enclosure of the facade to match streetscape elevation

Indicative locations of the non-loading bearing intertenancy walls, subject to confirmation

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L	05 02 18 s96(1A)	BS	BS
K	13 12 17 s96(1A)	BS	BS
J	23 11 17 s96(1A)	BS	BS
I	20 11 17 s96(1A)	BS	BS
H	10 11 17 s96(1A)	BS	BS
G	25 07 17 Preliminary GF for Review	RT	RT
F	24 07 17 Preliminary GF for Review	RT	RT
E	08 03 17 Retail Tenancy areas shown	JS	MA
D	24 03 17 Amended DA Issue	JS	MA
C	25 08 16 Revisions as detailed	CP	MA

Principal Contractor: Taylor
Level 13, 157 Walker St,
North Sydney NSW 2060

TAYLOR

Developer: Ecovive
1 Avelis Avenue,
Sydney Olympic Park NSW 2127



Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Ground



Status	DEVELOPMENT APPLICATION		
Scale	1 : 200	@ A1	
Drawn	JS	Checked	CP
Project No.	S11890		
Plot Date	7/02/2018 9:10:36 AM		
Plot File			
Drawing no	Revision		
DA02.001	L		

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NSW GOVERNMENT
Planning

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Approved Section 96 (1A) (1) (2) Modification Application

No. 1 granted on the 3 May 2018

in respect to MP S50 7445 Mod 1

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Sheet No. 3 of 13

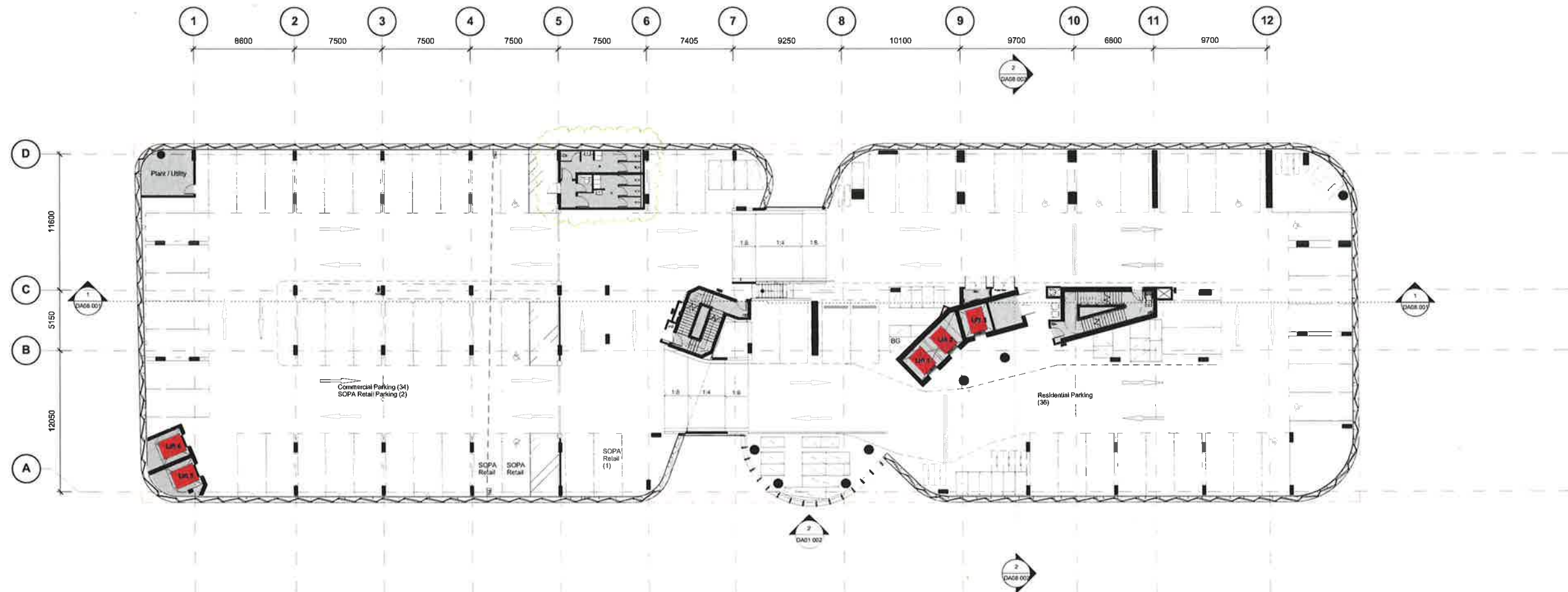
s96(1A) Changes

End of trip facility and car spaces swapped

Legend - General

BG Bulky Goods
Storage Cage

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13	12	17	s96(1A)	BS	BS
12	12	17	s96(1A)	BS	BS
10	11	17	s96(1A)	BS	BS
10	11	17	s96(1A)	BS	BS
24	01	17	Amended DA Issue	JS	MA
20	07	18	Amended DA Issue	JS	CP
01	03	16	Development Application	JS	CP

Principal Contractor: Taylor
Level 13, 157 Walker St,
North Sydney NSW 2060

TAYLOR

Developer: Ecove
1 Australia Avenue,
Sydney Olympic Park NSW 2127



Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 03



Status	DEVELOPMENT APPLICATION		
Scale	1 : 200	@ A1	
Drawn	Author	Checked	Checker
Project No	S11890		
Plot Date	13/12/2017 7:55:07 PM		
Plot File			

Drawing no	Revision
DA02.003	G

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BATESSMART



NSW GOVERNMENT
Planning

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Approved Section 96 (1A) (1) (2) Modification Application

No. 1 granted on the 30 May 2018

in respect to MR 550 7445 MOD 1

Signed MN

Sheet No. 4 of 13

s96(1A) Changes

Continue facade treatment across existing plant area rather than being open (Grid 7-8)



NSW GOVERNMENT
Planning

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Approved Section 96 (1A) (1) (2) Modification Application

No. 1 granted on the 3 May 2016

in respect to MP SSD 7445 MOD 1

Signed MN

Sheet No. 5 of 13

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.
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U-Value: 5.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed double clear glazing to curtain walls & glazing to balcony edge
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof:
Concrete roof - No insulation

Default Colour modelled

Ceiling:
Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & stoil areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:
Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

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Floors:
Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

Floor coverings:
1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system
Central gas-fired boiler with R1.0 (~38mm) insulation to risermain and supply risers.

Retirculated alternative water
Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy
Not required by BASIX

F	18 12 17	696 (1A)	BS	BS
E	12 12 17	596 (1A)	BS	BS
D	20 11 17	696 (1A)	BS	BS
C	10 11 17	696 (1A)	BS	BS
B	20 07 16	Amended DA Issue	JS	CP
A	01 03 16	Development Application	JS	CP

Revision Date Description Initial Checked

Client: Ecove

ecove

Site 9, Sydney Olympic Park

3 Olympic Boulevard

General Arrangement Plan

Level 07

Status: Development Application

Scale: 1 : 200 @ A1

Drawn: Author Checked: Checker

Project No: S11890

Plot Date: 18/12/2017 2:58:14 PM

Plot File:

Drawing no: Revision:

DA02.007 F

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BATESSMART

s96(1A) Changes

Continue facade treatment across existing plant area rather than being open (Grid 7-8)

Commercial bathroom showers changed to Pans



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U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof:

Concrete roof - No insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:

Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans

All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (~38mm) insulation to risermain and supply risers.

Retained alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

Revision	Date	Description	Initial	Checked
E	12/12/17	456 (1A)	BS	BS
D	20/11/17	456 (1A)	BS	BS
C	10/11/17	456 (1A)	BS	BS
B	20/07/16	Amended DA Issue	JS	CP
A	01/03/16	Development Application	JS	CP

Client: ECOPE



Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 08

Status:	Development Application		
Scale	1 : 200	@ A1	
Drawn	Author	Checked	Checker
Project No	S11890		
Plot Date	12/12/2017 1:09:15 PM		
Plot File			

Drawing no:	Revision
DA02.008	E

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BATESSMART



NSW GOVERNMENT
Planning

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Approved Section 96 (1A) (1) (2) Modification Application

No. 1 granted on the 3 May 2018

in respect to MP 550 7445 MOD1

Signed MN

Sheet No. 6 of 13

s96(1A) Changes

East Pavillion becomes a planter concealing services in void below landscape deck

Plant added to back of stair



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#	20.11.17	s96 (1A)	BS	BS
D	10.11.17	s96 (1A)	BS	BS
G	24.01.17	Amended DA Issue	JC	MA
B	20.07.18	Amended DA Issue	JS	CP
A	01.03.18	Development Application	JS	CP

Principal Contractor: Taylor
Level 13, 157 Walker St,
North Sydney NSW 2060

TAYLOR

Developer: Ecover
1 Australia Avenue,
Sydney Olympic Park NSW 2127



Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 09



Status	DEVELOPMENT APPLICATION		
Scale	1 : 200	@	A1
Drawn	Author	Checked	Checker
Project No.	S11890		
Plot Date	20/11/2017 11:41:09 PM		
Plot File			

Drawing no	Revision
DA02.009	E

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http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

BATESSMART



NSW GOVERNMENT
Planning

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Approved Section 96 (1A) (1) (2) Modification Application

No. 1 granted on the 3 May 2018

in respect to MP SSO 7445 MOD 1

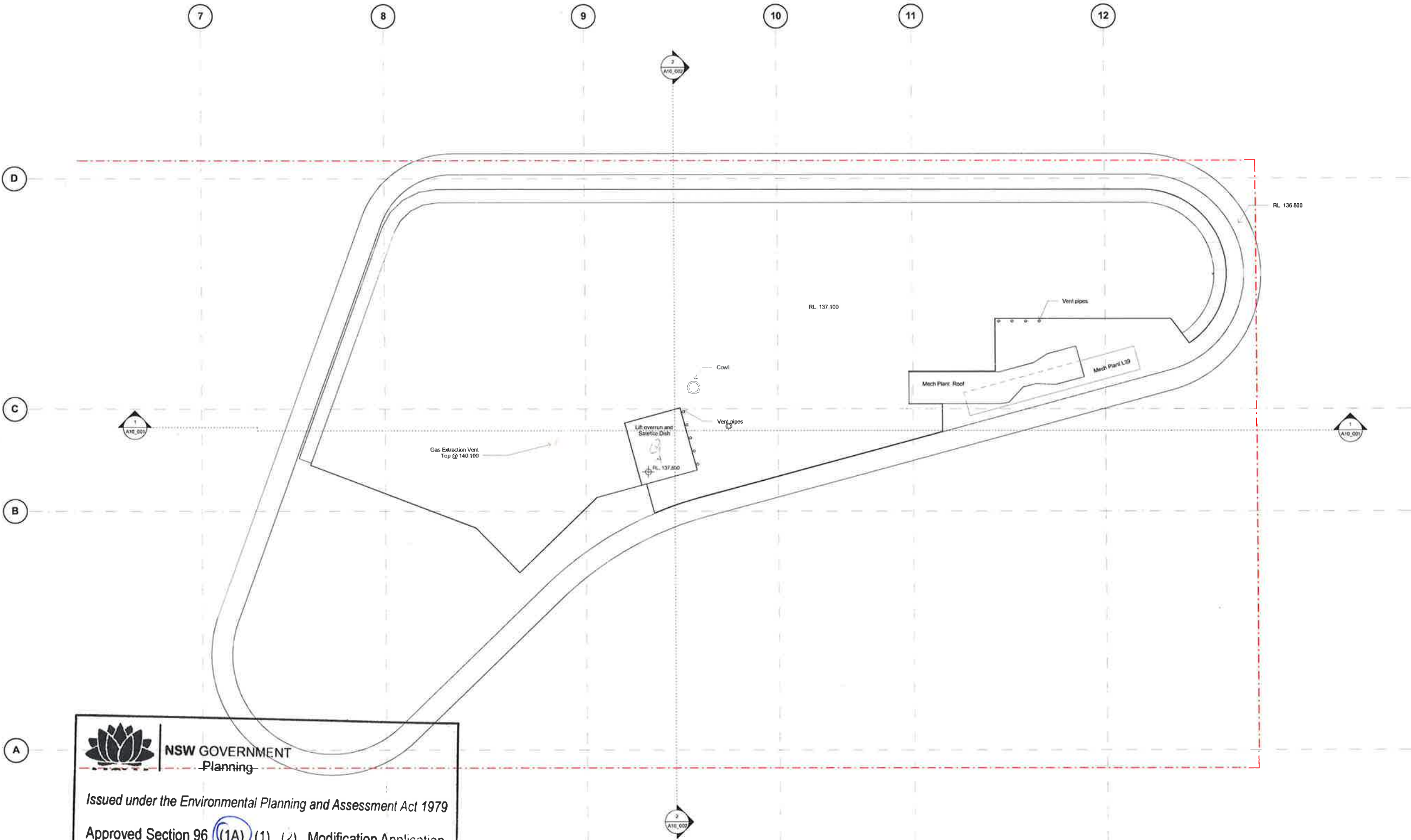
Signed MN

Sheet No. 7 of 13

s96(1A) Changes

Services to roof including vent pipes,
mechanical equipment

Roof extension



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SHGC: 0.5 (+ or - 10%)
Given values are NFRC, total window values

Roof / ceiling insulation
Roof:
Concrete roof - No insulation
Default Colour modelled

Ceiling:
Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.
Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slat areas above to all other units.
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No colour nominated

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75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:
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Concrete - no insulation required between units

Floor coverings:
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Central hot water system
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Reticulated alternative water
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Alternative energy
Not required by BASIX

H	05.02.16	s96(1A)	BS	BS
G	29.11.17	s96(1A)	BS	BS
F	27.11.17	s96(1A)	BS	BS
E	24.11.17	s96(1A)	BS	BS
D	23.11.17	s96(1A)	BS	BS
C	20.11.17	s96(1A)	BS	BS
B	10.11.17	s96(1A)	BS	BS
A	20.07.16	Amended DA Issue	JS	CP

Principal Contractor: Taylor
Level 13, 157 Walker St,
North Sydney NSW 2060

TAYLOR

Developer: Ecove
1 Australia Avenue,
Sydney Olympic Park NSW 2127



Site 9, Sydney Olympic Park
3 Olympic Boulevard

Roof Plan

Status	DEVELOPMENT APPLICATION		
Scale	1 : 100	@	A1
Drawn	Author	Checked	Checker
Project No	S11890		
Plot Date	6/02/2016 5:03:52 PM		
Plot File			

Drawing no: **DA02.040** Revision: **H**

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Bates Smart Pty Ltd ABN 70 004 999 400
BATESSMART

NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 96 (1A) (1) (2) Modification Application

No. 1 granted on the 3 May 2016

in respect to MP 550 744.5 MOD 1

Signed MN

Sheet No. 8 of 13



1. Concrete or aluminium facing to slab edges



2. Aluminium fins



3. Glass



4. Colourback glass



5. Metal framing



6. Paint finish



7. Aluminium mesh



8. Terracotta / Lightweight Cladding



9. In situ concrete



10. Metal cladding/louvers

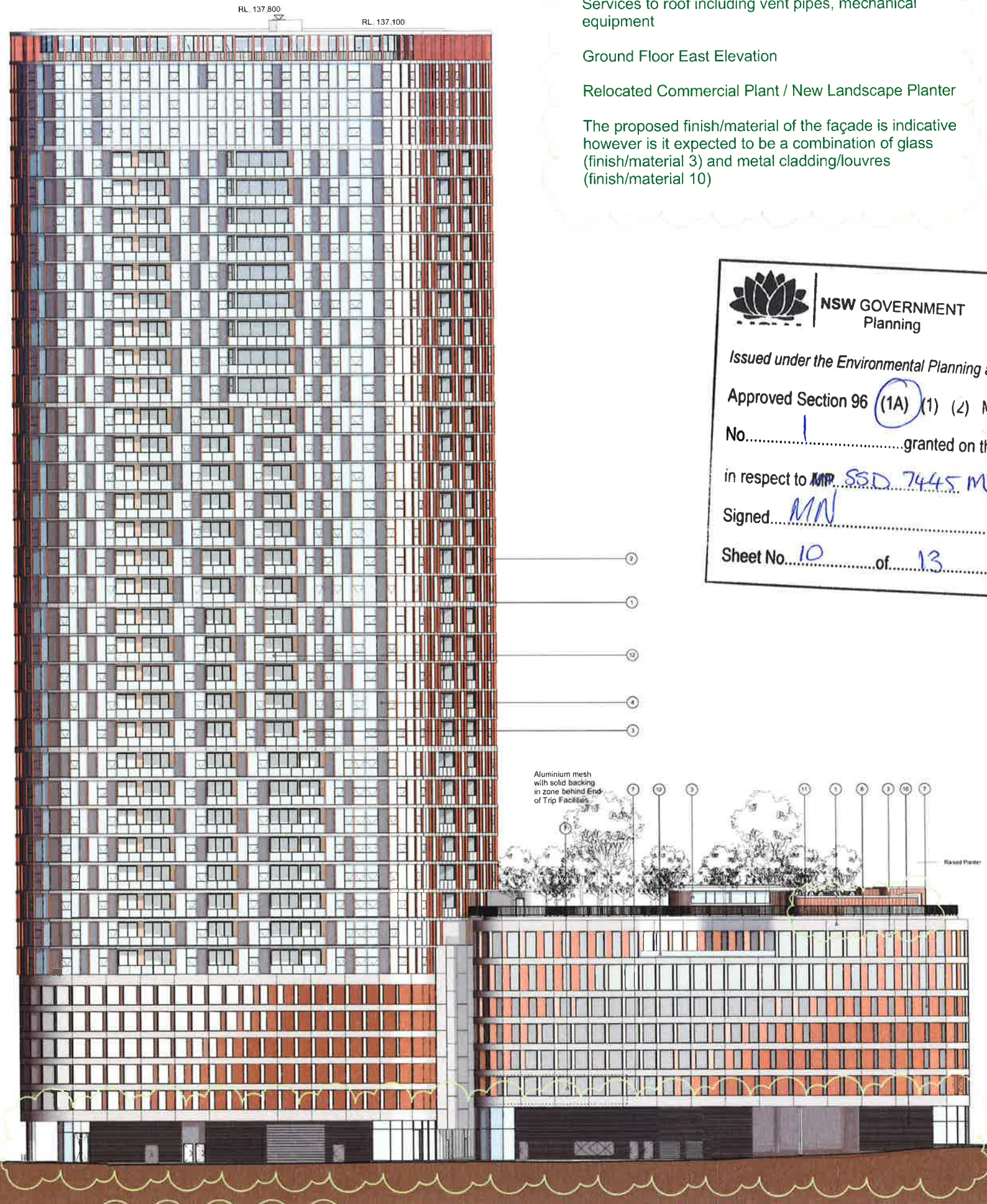


11. Metal balustrade



12. Glazed balustrade

▽ Tower Edge	RL 136.800
▽ 12m SEPP Envelope	
▽ Level 39	RL 133.35
▽ Level 38	RL 132.25
▽ Level 37	RL 127.15
▽ Level 36	RL 124.05
▽ Level 35	RL 120.65
▽ Level 34	RL 117.55
▽ Level 33	RL 114.45
▽ Level 32	RL 111.35
▽ Level 31	RL 108.25
▽ Level 30	RL 105.15
▽ Level 29	RL 102.05
▽ Level 28	RL 98.95
▽ Level 27	RL 95.85
▽ Level 26	RL 92.45
▽ Level 25	RL 89.35
▽ Level 24	RL 86.25
▽ Level 23	RL 83.15
▽ Level 22	RL 80.05
▽ Level 21	RL 76.95
▽ Level 20	RL 73.85
▽ Level 19	RL 70.45
▽ Level 18	RL 67.35
▽ Level 17	RL 64.25
▽ Level 16	RL 61.15
▽ Level 15	RL 58.05
▽ Level 14	RL 54.65
▽ Level 13	RL 51.55
▽ Level 12	RL 48.45
▽ Level 11	RL 45.35
▽ Level 10	RL 42.25
▽ Level 09	RL 39.15
▽ Level 08 South	RL 36.05
▽ Level 07 South	RL 32.95
▽ Level 06 South	RL 29.05
▽ Level 05 South	RL 26.15
▽ Level 04 South	RL 23.25
▽ Level 03 South	RL 20.35
▽ Level 02	RL 17.45
▽ Level G South Residential	RL 13.00



s96(1A) Changes

Services to roof including vent pipes, mechanical equipment

Ground Floor East Elevation

Relocated Commercial Plant / New Landscape Planter

The proposed finish/material of the façade is indicative however it is expected to be a combination of glass (finish/material 3) and metal cladding/louvers (finish/material 10)

Tower Window Legend

- Colourback (Dark grey)
- Fixed Windows
- Operable Windows (All Double awning except 4 Beds - Level 36-38, which receive sliding sash)

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.

Do not scale drawings - refer to figure dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

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Notes - Construction General (BASIX)

Glazing

Doors / windows:

- Aluminium framed single clear glazing to internal windows that open to wintergardens
- U-Value: 6.6 (equal to or lower than)
- SHGC: 0.69 (+ or - 10%)
- Aluminium framed double clear glazing to curtain walls & glazing to balcony edge
- U-Value: 4.4 (equal to or lower than)
- SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof:

Concrete roof - No insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:

Lightweight cladding to all external walls with R1.5 bulk insulation

No colour nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans

All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building

(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

Revision	Date	Description	Initial	Checked
H	05/02/18	s96(1A)	BS	BS
G	27/11/17	s96(1A)	BS	BS
F	24/11/17	s96(1A)	BS	BS
E	22/11/17	s96(1A)	BS	BS
D	20/11/17	s96(1A)	BS	BS
C	10/11/17	s96(1A)	BS	BS
B	20/07/16	Amended DA issue	JS	CP
A	01/03/16	Development Application	JS	CP

Principal Contractor: Taylor

Level 13, 157 Walker St,
North Sydney NSW 2060

Developer: Ecove

1 Australia Avenue,
Sydney Olympic Park NSW 2127

TAYLOR



Site 9, Sydney Olympic Park
3 Olympic Boulevard

Building Elevations
North East

Status	DEVELOPMENT APPLICATION		
Scale	As indicated	@ A1	
Drawn	Author	Checked	Checker
Project No.	S11890		
Plot Date	7/03/2018 9:23:25 AM		
Plot File			
Drawing no	DA07.002		Revision
	H		

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1. Concrete or aluminium facing to slab edges



2. Aluminium fins



3. Glass



4. Colourback glass



5. Metal framing



6. Paint finish



7. Aluminium mesh



8. Terracotta



9. In situ concrete



10. Metal cladding/louvers



11. Metal balustrade



12. Glazed balustrade

s96(1A) Changes

Services to roof including vent pipes, mechanical equipment

Relocated Commercial Plant / New Landscape Planter



Northwest

1 : 250

RL 136.800 Tower Edge ▾

122m SEPP Envelope ▾
RL 133.35 Level 39 ▾

RL 130.25 Level 38 ▾

RL 127.15 Level 37 ▾

RL 124.05 Level 36 ▾

RL 120.05 Level 35 ▾

RL 117.55 Level 34 ▾

RL 114.45 Level 33 ▾

RL 111.35 Level 32 ▾

RL 108.25 Level 31 ▾

RL 105.15 Level 30 ▾

RL 102.05 Level 29 ▾

RL 98.95 Level 28 ▾

RL 95.85 Level 27 ▾

RL 92.45 Level 26 ▾

RL 89.35 Level 25 ▾

RL 86.25 Level 24 ▾

RL 83.15 Level 23 ▾

RL 80.05 Level 22 ▾

RL 76.95 Level 21 ▾

RL 73.85 Level 20 ▾

RL 70.45 Level 19 ▾

RL 67.35 Level 18 ▾

RL 64.25 Level 17 ▾

RL 61.15 Level 16 ▾

RL 58.05 Level 15 ▾

RL 54.95 Level 14 ▾

RL 51.55 Level 13 ▾

RL 48.45 Level 12 ▾

RL 45.35 Level 11 ▾

RL 42.25 Level 10 ▾

RL 39.15 Level 09 ▾

RL 36.05 Level 08 North ▾

RL 32.95 Level 07 South ▾

RL 30.90 Level 06 North ▾

RL 27.60 Level 05 North ▾

RL 24.70 Level 04 North ▾

RL 21.80 Level 03 North ▾

RL 18.90 Level 02 North ▾

RL 13.85 Level 01 North ▾

2

10

1

3

4

1

2

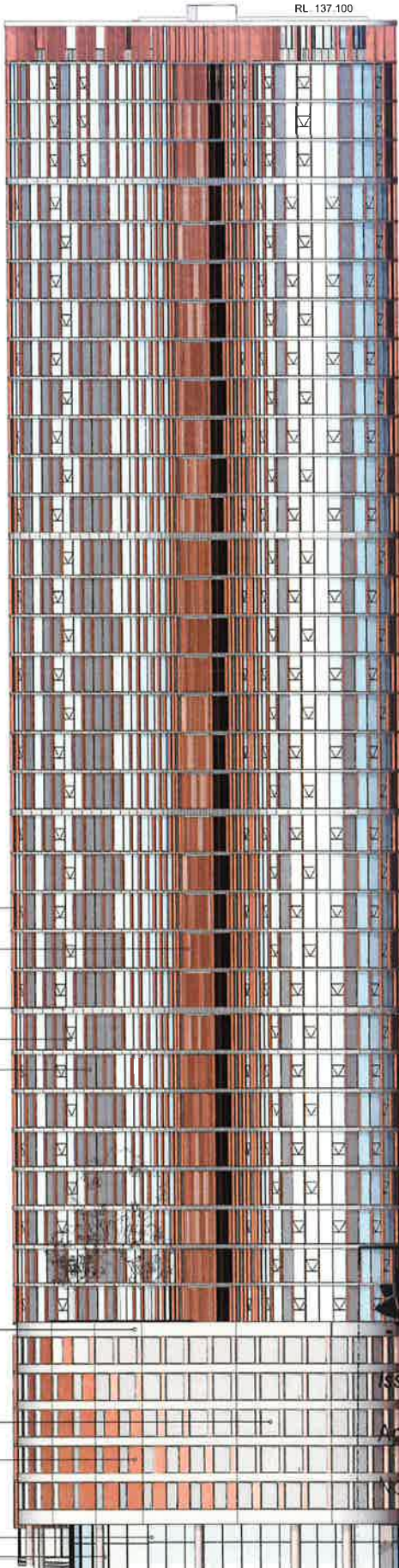
8

3

6

Southeast

1 : 250



RL 136.800 Tower Edge ▾

122m SEPP Envelope ▾
RL 133.35 Level 39 ▾

RL 130.25 Level 38 ▾

RL 127.15 Level 37 ▾

RL 124.05 Level 36 ▾

RL 120.05 Level 35 ▾

RL 117.55 Level 34 ▾

RL 114.45 Level 33 ▾

RL 111.35 Level 32 ▾

RL 108.25 Level 31 ▾

RL 105.15 Level 30 ▾

RL 102.05 Level 29 ▾

RL 98.95 Level 28 ▾

RL 95.85 Level 27 ▾

RL 92.45 Level 26 ▾

RL 89.35 Level 25 ▾

RL 86.25 Level 24 ▾

RL 83.15 Level 23 ▾

RL 80.05 Level 22 ▾

RL 76.95 Level 21 ▾

RL 73.85 Level 20 ▾

RL 70.45 Level 19 ▾

RL 67.35 Level 18 ▾

RL 64.25 Level 17 ▾

RL 61.15 Level 16 ▾

RL 58.05 Level 15 ▾

RL 54.95 Level 14 ▾

RL 51.55 Level 13 ▾

RL 48.45 Level 12 ▾

RL 45.35 Level 11 ▾

RL 42.25 Level 10 ▾

RL 39.15 Level 09 ▾

RL 36.05 Level 08 South ▾

RL 32.95 Level 07 South ▾

RL 30.90 Level 06 South ▾

RL 27.60 Level 05 South ▾

RL 24.70 Level 04 South ▾

RL 21.80 Level 03 South ▾

RL 18.90 Level 02 South ▾

RL 13.85 Level 01 South ▾

Tower Window Legend

- Colourback (Dark grey)
- Fixed Windows
- Operable Windows (All Double awning except 4 Beds - Level 35-38, which receive sliding sash)

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Notes - Construction General (BASIX)

Glazing
Doors / windows:
- Aluminium framed single clear glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed double clear glazing to curtain walls & glazing to balcony edge.
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof: Concrete roof - No insulation

Default Colour modelled

Ceiling: Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall: Lightweight cladding to all external walls with R1.5 bulk insulation. No colour nominated

Internal walls within units: Plasterboard on studs - no insulation

Inter-tenancy walls / corridor: 75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors: Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

Floor coverings: 1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans. All 3 & 4 bed apartments tiled throughout

Central hot water system: Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

Reticulated alternative water: Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building (No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

G	27.11.17	900(1A)	BS	BS
F	24.11.17	900(1A)	BS	BS
E	23.11.17	900(1A)	BS	BS
D	20.11.17	900(1A)	BS	BS
C	10.11.17	900(1A)	BS	BS
B	20.07.16	Amended DA Input	JS	CP
A	01.03.16	Development Application	JS	CP

Principal Contractor: Taylor

Level 13, 157 Walker St, North Sydney NSW 2060

Developer: Ecove

1 Australia Avenue, Sydney Olympic Park NSW 2127

TAYLOR



Site 9, Sydney Olympic Park
3 Olympic Boulevard

Building Elevations
Northwest & Southeast

Status	DEVELOPMENT APPLICATION
As indicated	@ A1
Author	Checked
S11890	Checker
Plot Date	27/11/2017 6:38:53 PM
Drawing no.	Revision
DA07.003	G

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Approved Section 96(1A) (1) (2) Modification Application

granted on the 3 May 2018

respect to MP SSD 7445 MOD 1

Signed: MN

Sheet No. 11 of 13

s96(1A) Changes

Services to roof including vent pipes, mechanical equipment



NSW GOVERNMENT
Planning

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Approved Section 96 (1A) (1) (2) Modification Application

No. 1 granted on the 3 May 2014

in respect to M50 7445 MOD1

Signed MN

Sheet No. 12 of 13

- Roof North RL 42.60

Parapet North RL 39.42

Level 08 North SSL34.4

Level 07 North SSL30.8

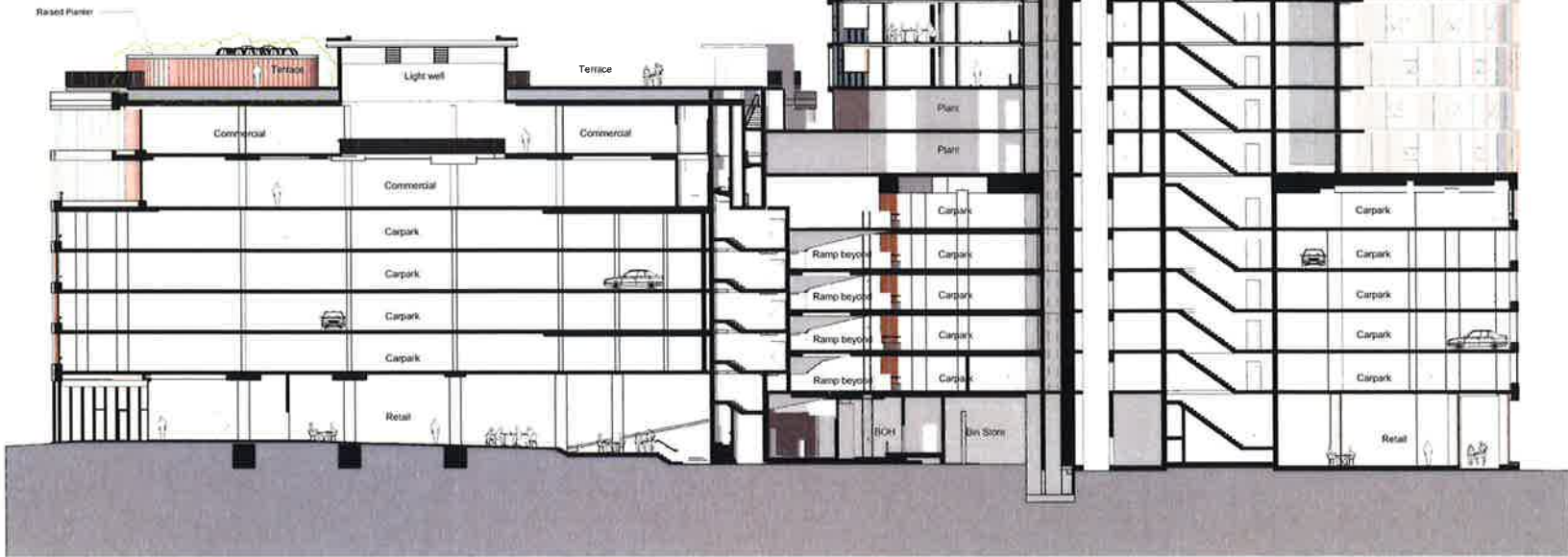
Level 06 North SSL27.6

Level 05 North SSL24.7

Level 04 North SSL21.8

Level 03 North SSL18.9

Level 0 North SSL13.85



- RL 136.800 Tower Edge

SSL133.35 Level 39

SSL130.25 Level 38

SSL127.15 Level 37

SSL124.05 Level 36

SSL120.85 Level 35

SSL117.55 Level 34

SSL114.45 Level 33

SSL111.35 Level 32

SSL108.25 Level 31

SSL105.15 Level 30

SSL102.05 Level 29

SSL98.95 Level 28

SSL95.85 Level 27

SSL92.45 Level 26

SSL89.35 Level 25

SSL86.25 Level 24

SSL83.15 Level 23

SSL80.05 Level 22

SSL76.95 Level 21

SSL73.85 Level 20

SSL70.45 Level 19

SSL67.35 Level 18

SSL64.25 Level 17

SSL61.15 Level 16

SSL58.05 Level 15

SSL54.65 Level 14

SSL51.55 Level 13

SSL48.45 Level 12

SSL45.35 Level 11

SSL42.25 Level 10

SSL39.15 Level 09

SSL36.05 Level 08 South

SSL32.95 Level 07 South

SSL29.05 Level 06 South

SSL26.15 Level 05 South

SSL23.25 Level 04 South

SSL20.35 Level 03 South

SSL17.45 Level 02

RL 13.00 Level 0 South Residential

RL 11.87 Level 0 South

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Floors:
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Concrete - no insulation required between units

Floor coverings:
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All 3 & 4 bed apartments tiled throughout

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Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

Retained alternative water
Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy
Not required by BASIX

F	27.11.17	s96(1A)	BS	BS
E	24.11.17	s96(1A)	BS	BS
D	20.11.17	s96(1A)	BS	BS
C	10.11.17	s96(1A)	BS	BS
B	20.07.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP

Principal Contractor: Taylor
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North Sydney NSW 2060

Developer: Ecosse
1 Australia Avenue,
Sydney Olympic Park NSW 2127



Site 9, Sydney Olympic Park
3 Olympic Boulevard

Building Sections A-A

Status	DEVELOPMENT APPLICATION		
Scale	As indicated	@ A1	
Drawn	Author	Checked	Checker
Project No	S11890		
Plot Date	27/11/2017 6:08:06 PM		

Drawing No	Revision
DA08.001	F

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LEVEL 9 PODIUM (N) LANDSCAPE PLAN
SECTION 96 -1A MODIFICATION



NSW GOVERNMENT
Planning

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Approved Section 96 (1A) (1) (2) Modification Application

No. 1 granted on the 3 May 2018

Respect to MP SSD 7445

Signed MN

Sheet No. 13 of 13

