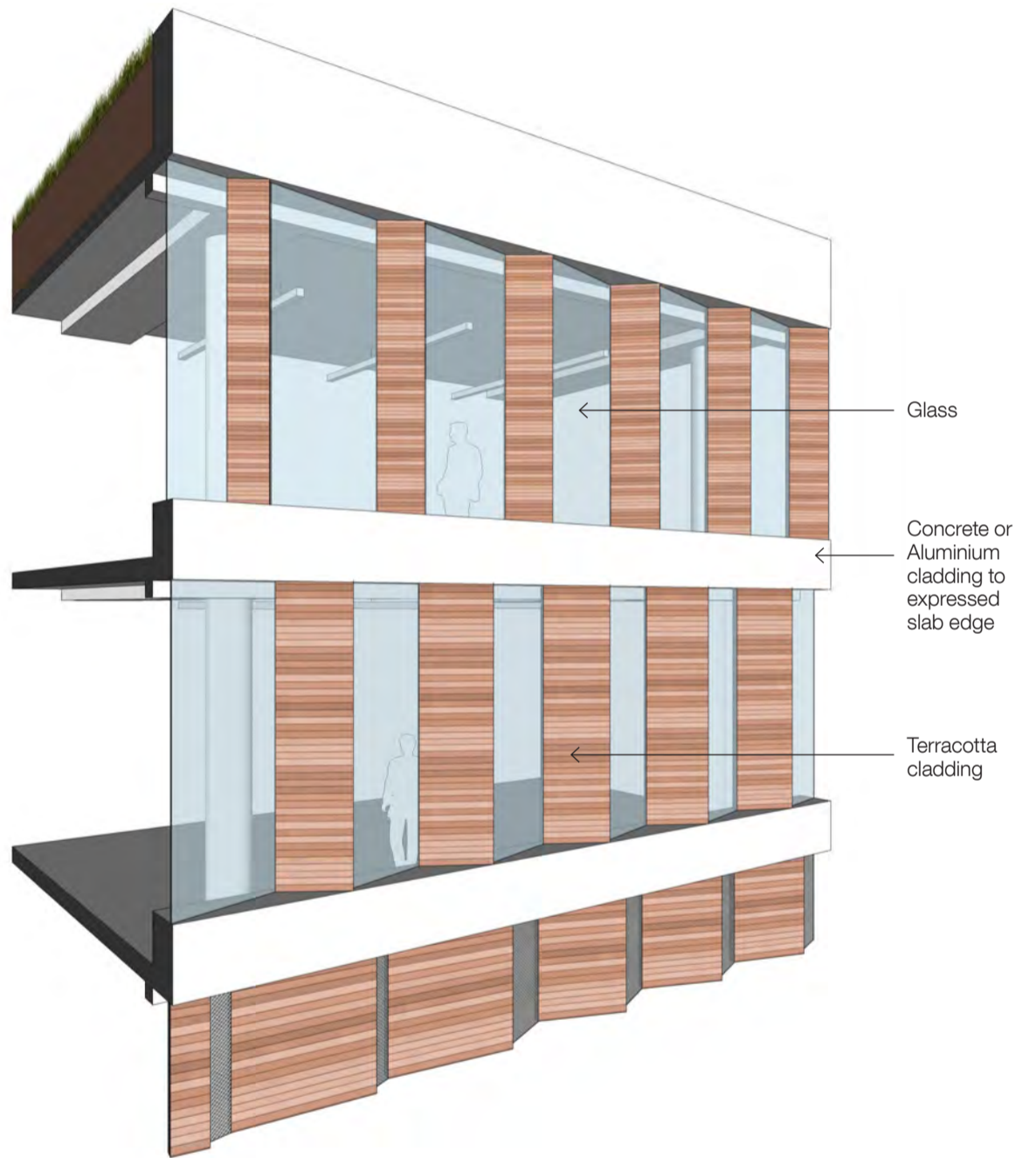
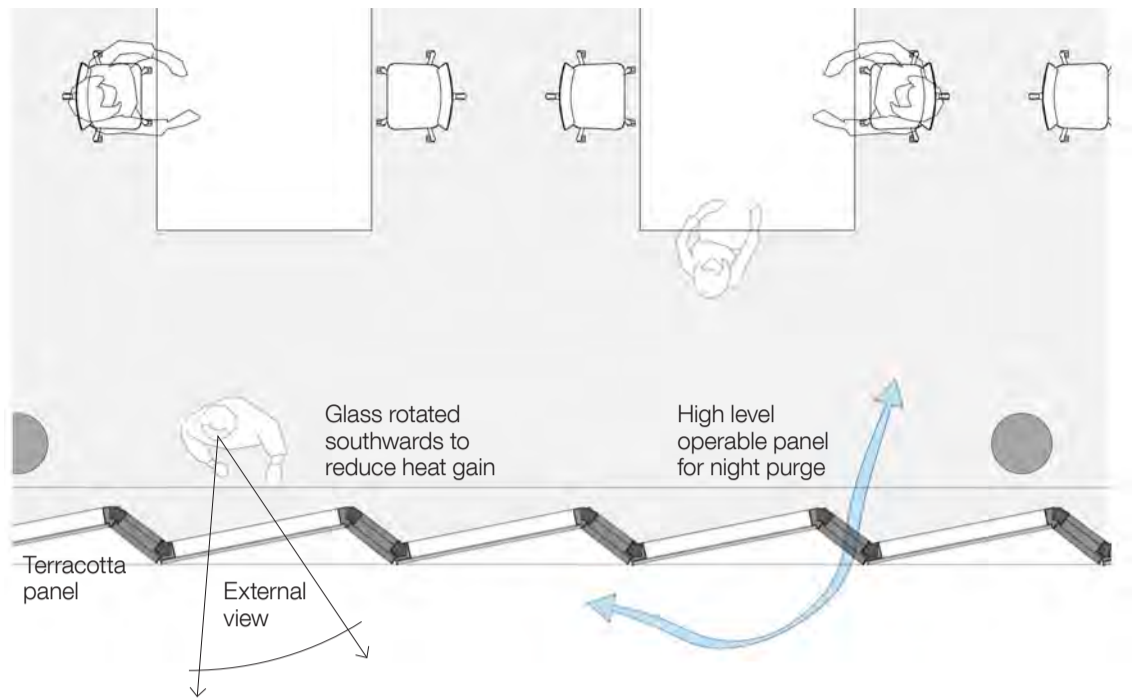


**6.3 OFFICE FACADE**

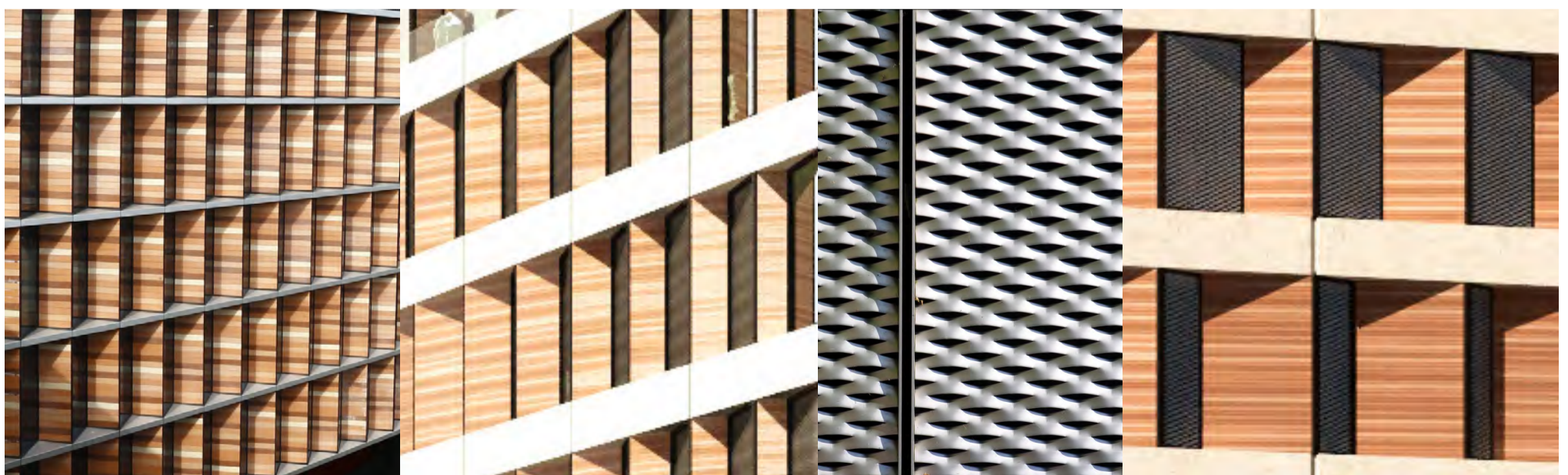
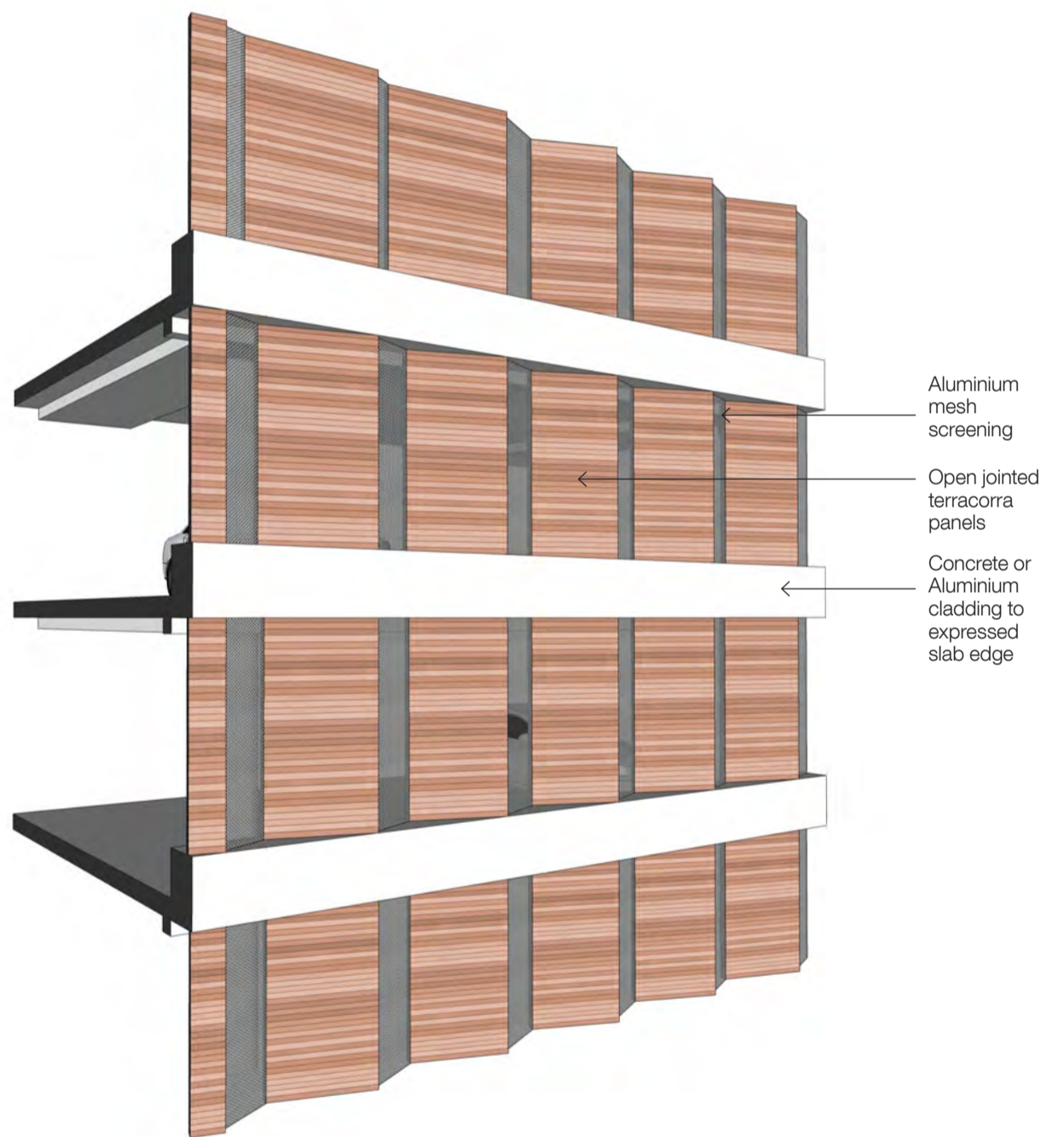
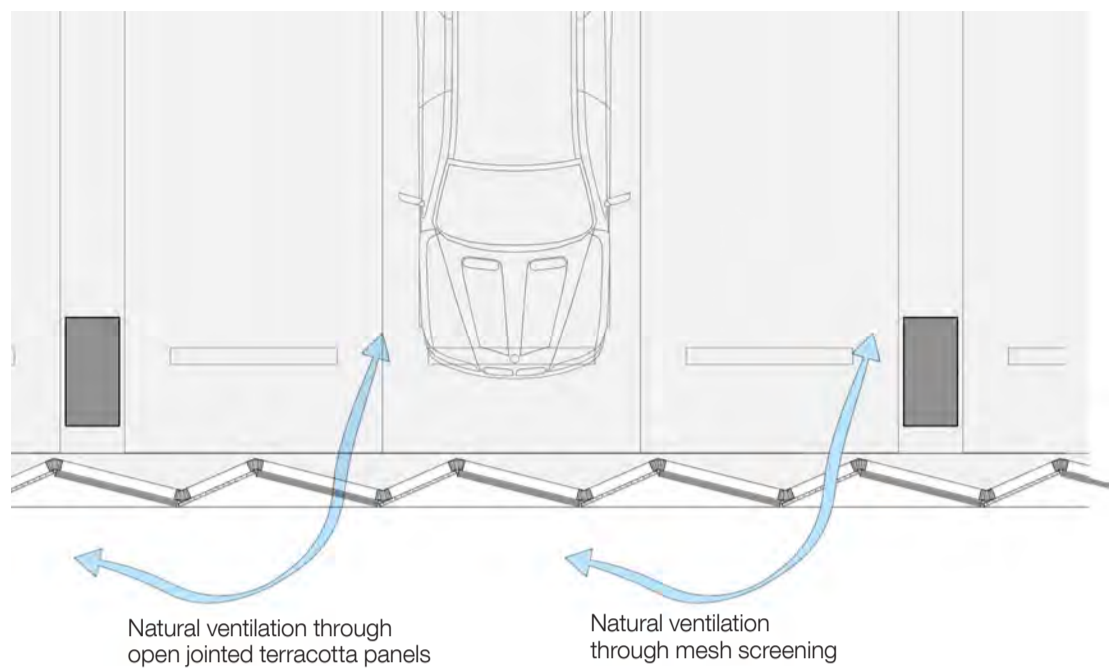
The zigzag façade, with its alternating panels of terracotta and glass, has been designed to minimise solar heat gain while maximising outlook. The wider glass panels are orientated southwards to reduce solar gain while the narrower solid panels are orientated east and west to provide effective sunshading. In some locations, the terracotta panels incorporate an operable panel at high level to assist with naturally ventilated night purge of the office.

The expressed slab edge is proposed with a concrete or aluminium finish.



### 6.4 CARPARK FACADE

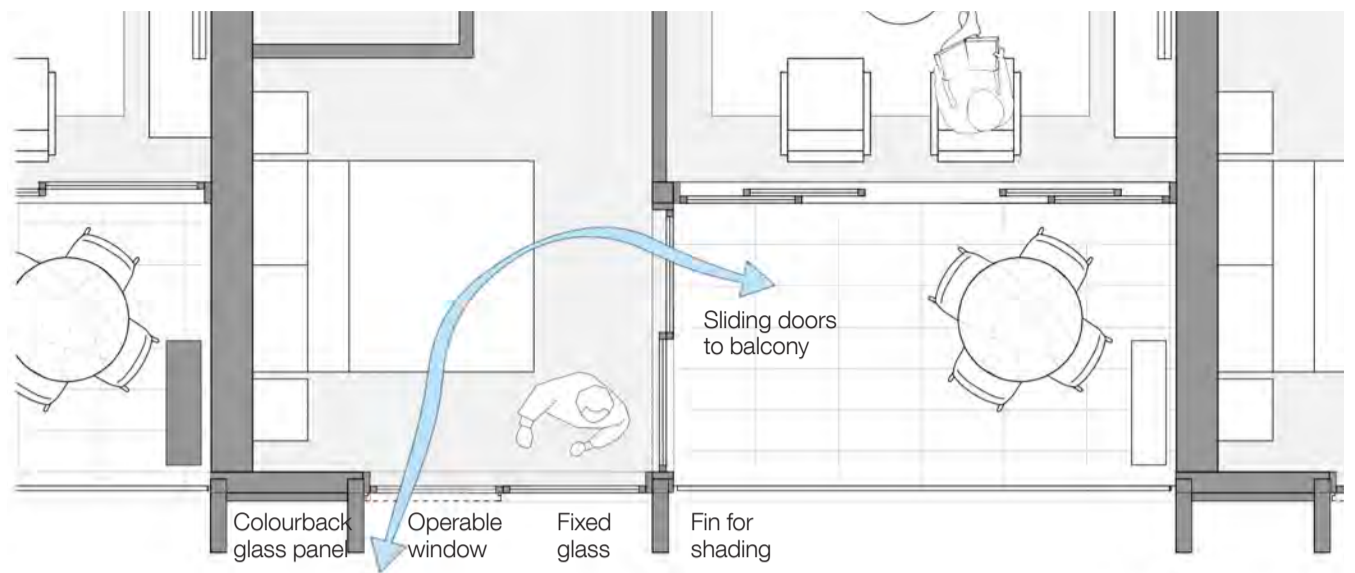
The zigzag façade has an alternating pattern of terracotta and aluminium mesh panels. The façade is designed to effectively conceal the car park while maintaining its ability to be naturally ventilated. The terracotta panels have open joints to allow for air movement. They are separated by panels of aluminium mesh which read as 'voids' while providing screening and accommodating air movement.



**6.5 RESIDENTIAL FACADE**

A series of projecting vertical fins combine with expressed slab edges to provide a unifying texture to the residential façade and shading from the high summer sun. The fins are arranged in a 2:1 rhythm, combined with a staggered window arrangement to provide animation and movement to the façade.

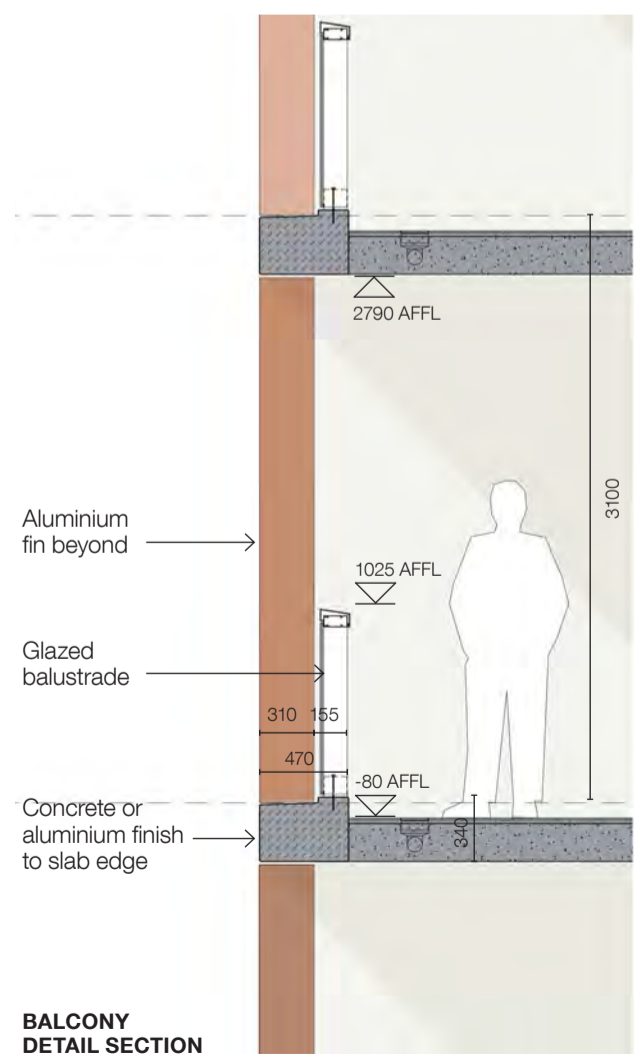
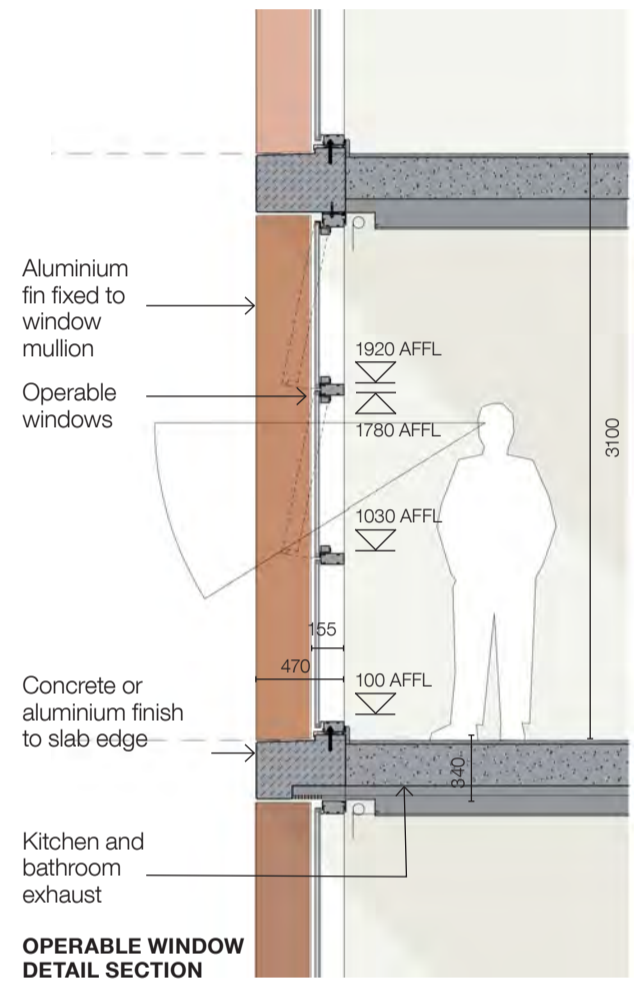
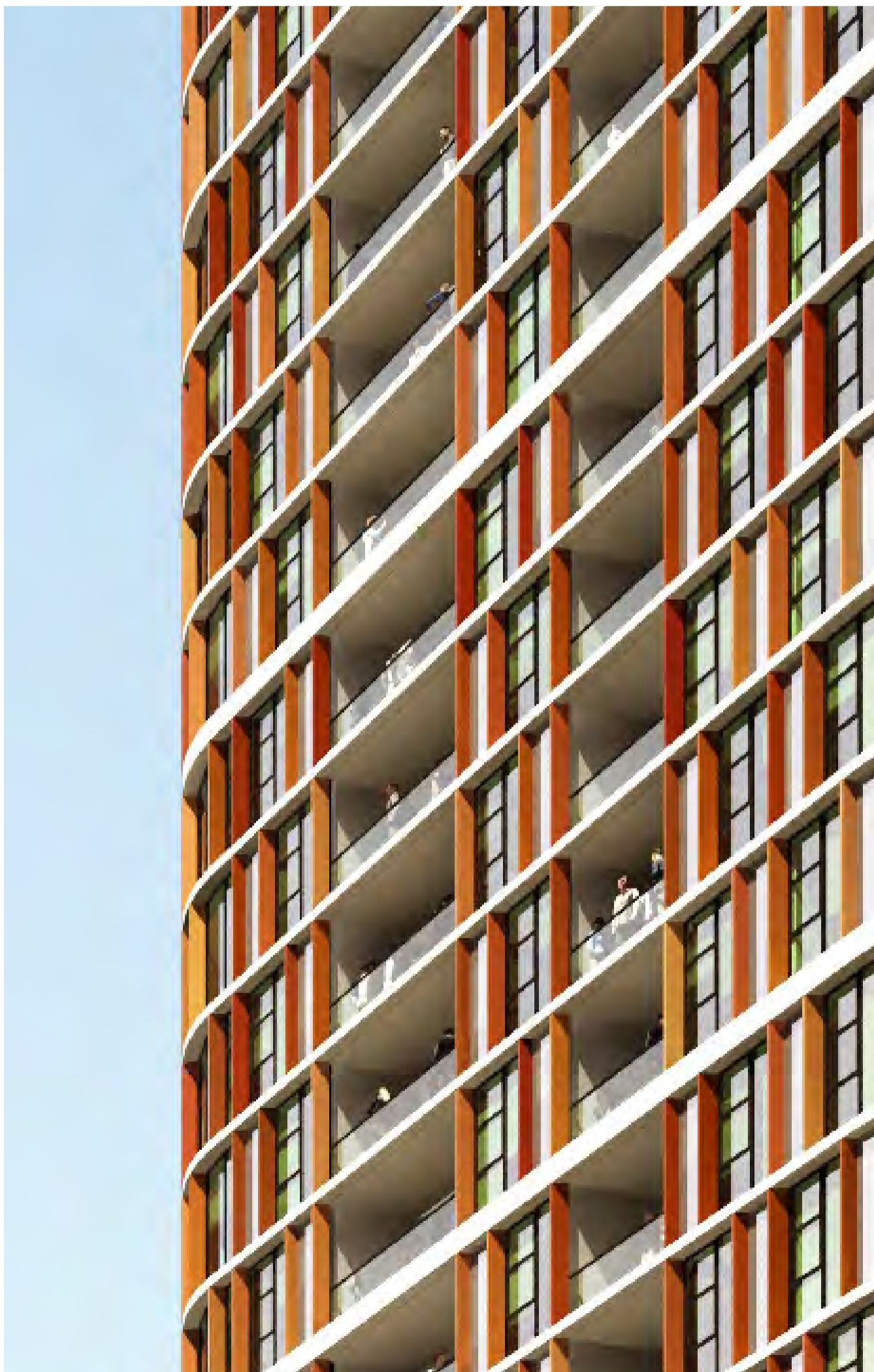
Where the residential mix and balcony positions change, the expressed slab is increased in thickness to subtly reinforce sense of the tower as a series of multistorey volumes.



**FLAT FACADES**

Bedrooms located at the façade line are divided into three panels approximately 1m wide: a full height fixed window, an operable window broken into three vertical panels, and a colourback glass panel providing some solidity and reducing heat gain.

Recessed living rooms have full width glazing with sliding doors opening out onto north and northeast facing balconies.



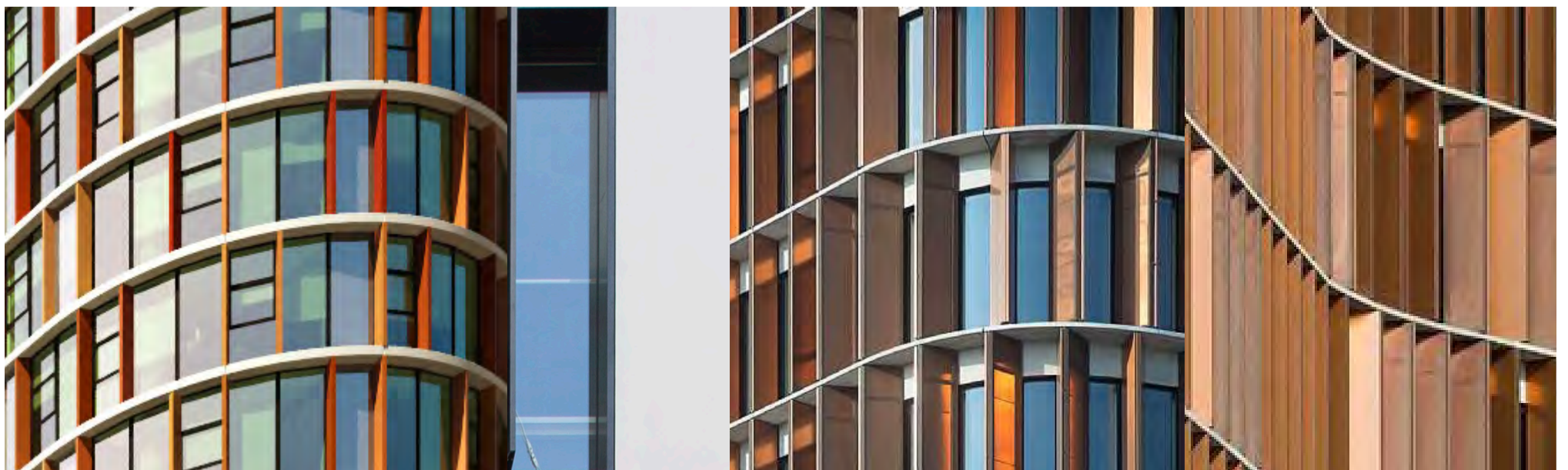
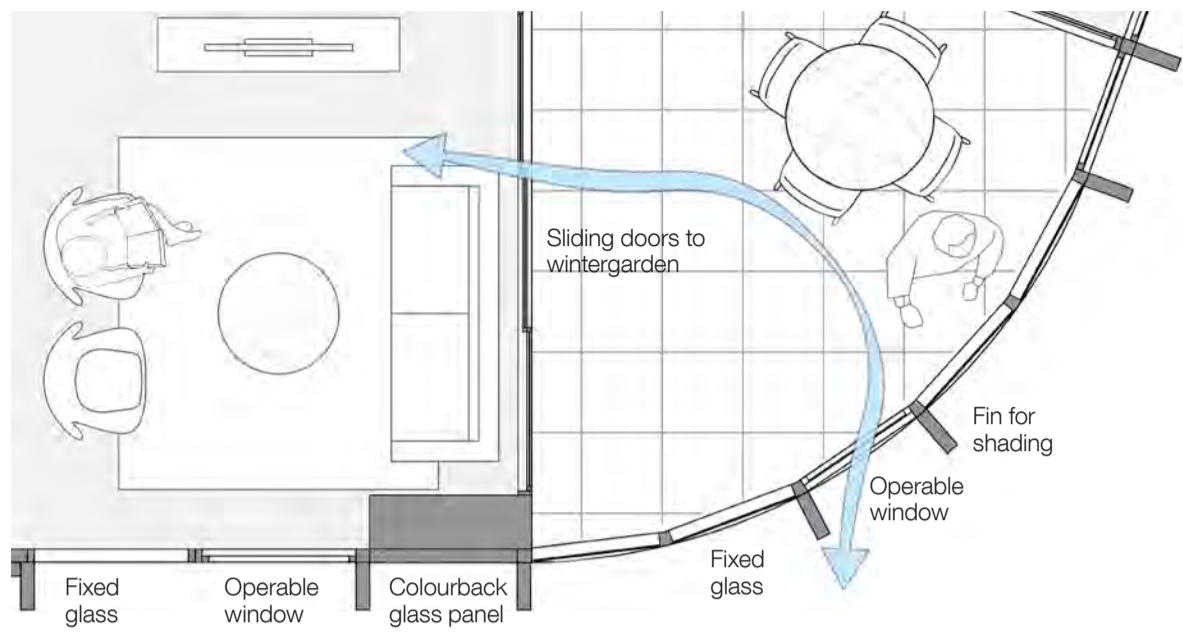
**CORNER FACADES**

At the three corners of the building, balconies are proposed to be enclosed as wintergardens, providing outdoor space which is sheltered from the increased wind speeds.

The façade turns the corner in 1m wide bays, with the alternating pattern of fins combining with the curved slab edge to minimise the perception of faceting.

Each wintergarden is provided with at least two large operable windows to provide natural ventilation

All living rooms which have access to wintergardens also have direct access to natural ventilation via an operable window at the façade line.

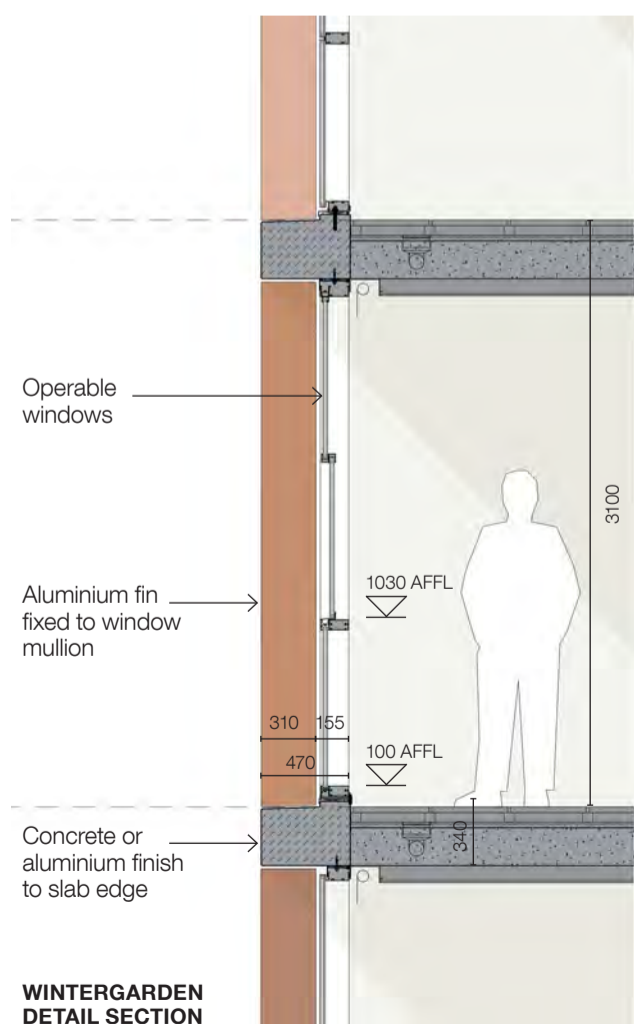
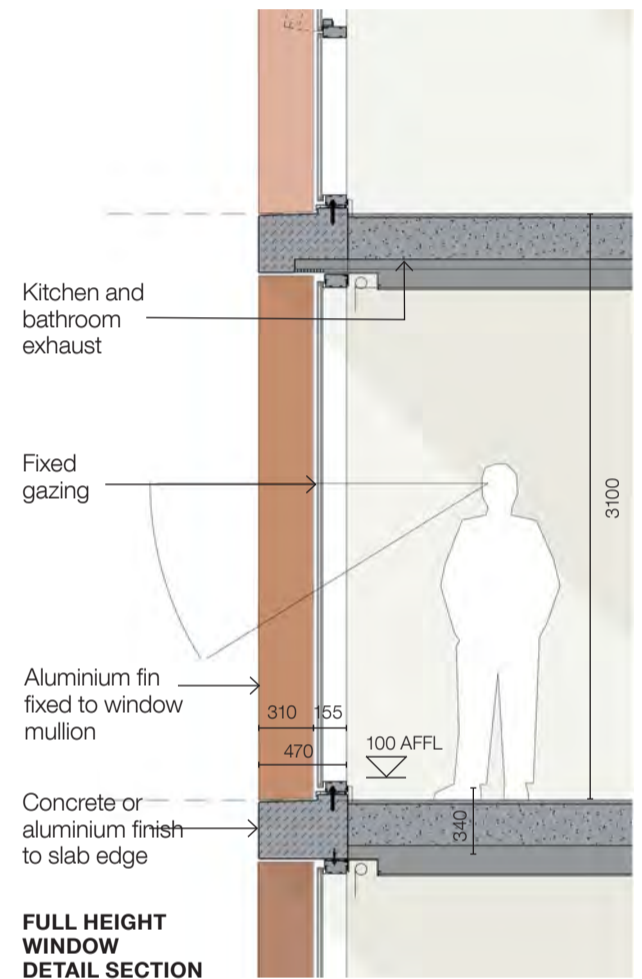


**SOUTH FACADE**

On the southern façade, the staggered fins continue in front of the lift lobby glazing which provides panoramic views from the lift waiting area. Adjacent to this, the stair core is clad in 1m wide panels which shift in depth to mimic the patterning of the fins. Further south, the fin pattern is reinstated to conceal the weatherproof louvres which enclose the AC condenser room.

At the top of the building, the fins extend upward by one level to form a perimeter crown which conceals the rooftop plant, lift overrun and level 39 penthouse, all of which are setback from the tower edge. Fixed clear glazed panels will be installed between the fins to serve as a windbreak and fall barrier to the roof whilst maintaining a visually open perimeter to the crown. The crown is proposed to have feature lighting.

A building signage zone is proposed on the top three levels of the south western façade in front of the lifts.



# 8.0 ENVIRONMENTALLY SUSTAINABLE DESIGN

## *Principle 4: Sustainability*

*Good design combines positive environmental, social and economic outcomes.*

*Good sustainable design includes use of natural cross ventilation and sunlight for the amenity and liveability of residents and passive thermal design for ventilation, heating and cooling reducing reliance on technology and operation costs. Other elements include recycling and reuse of materials and waste, use of sustainable materials and deep soil zones for groundwater recharge and vegetation.*

Sydney Olympic Park sets high sustainability requirements through their 2030 Master Plan. In response, we have proposed a mixed-use development that both integrates the SOPA design guidelines, and in part exceeds its proposed benchmarks. The design team believe that the sustainability strategy developed for Site 9 adds value by balancing initial capital outlays against long term environmental benefits and operational costs. The table below details how the Ecove proposal compares to the design brief.

Requirement	Ecove
SOPA 2030 Master Plan	Fully compliant
NABERS Energy	Targeting to exceed 5 star NABERS Energy for base building
Green Star	Proposed 6 star Green Star rating for office fitout (under separate DA)
Energy offset	Photovoltaic panels proposed on adjacent carpark to provide energy for office (under separate DA)
ESD Consultant	Consultant engaged from inception to assist in concept development

## **OVERVIEW**

The proposed development will be climatically responsive and designed to promote environmentally sustainable development. The key sustainability measures are integral to the design of the building rather than consisting of a series of optional 'add-ons'.

## **ENERGY**

The design of the office base building is based on achieving a 6 Star Green Star rating for the commercial office fitout (under a separate development application).

The energy requirements for the commercial offices will be offset by a 100kW photovoltaic array installed as a shade structure to the adjacent car park, to be submitted as part a separate development application. The system is modular and may be expanded over time – potentially achieving a carbon neutral outcome for the commercial offices.

## **VENTILATION**

A high efficiency air conditioning system is proposed for the commercial offices. This is coupled with air inlets at the façade line and a central relief air stack to provide night purge and potential for mixed mode ventilation, providing energy savings and improved indoor air quality.

The tower provides natural ventilation through lift lobby and common areas. Residential windows have been designed in a range of formats to maximise opportunities for natural ventilation.

The car park is naturally ventilated with fresh air supply to all sides.

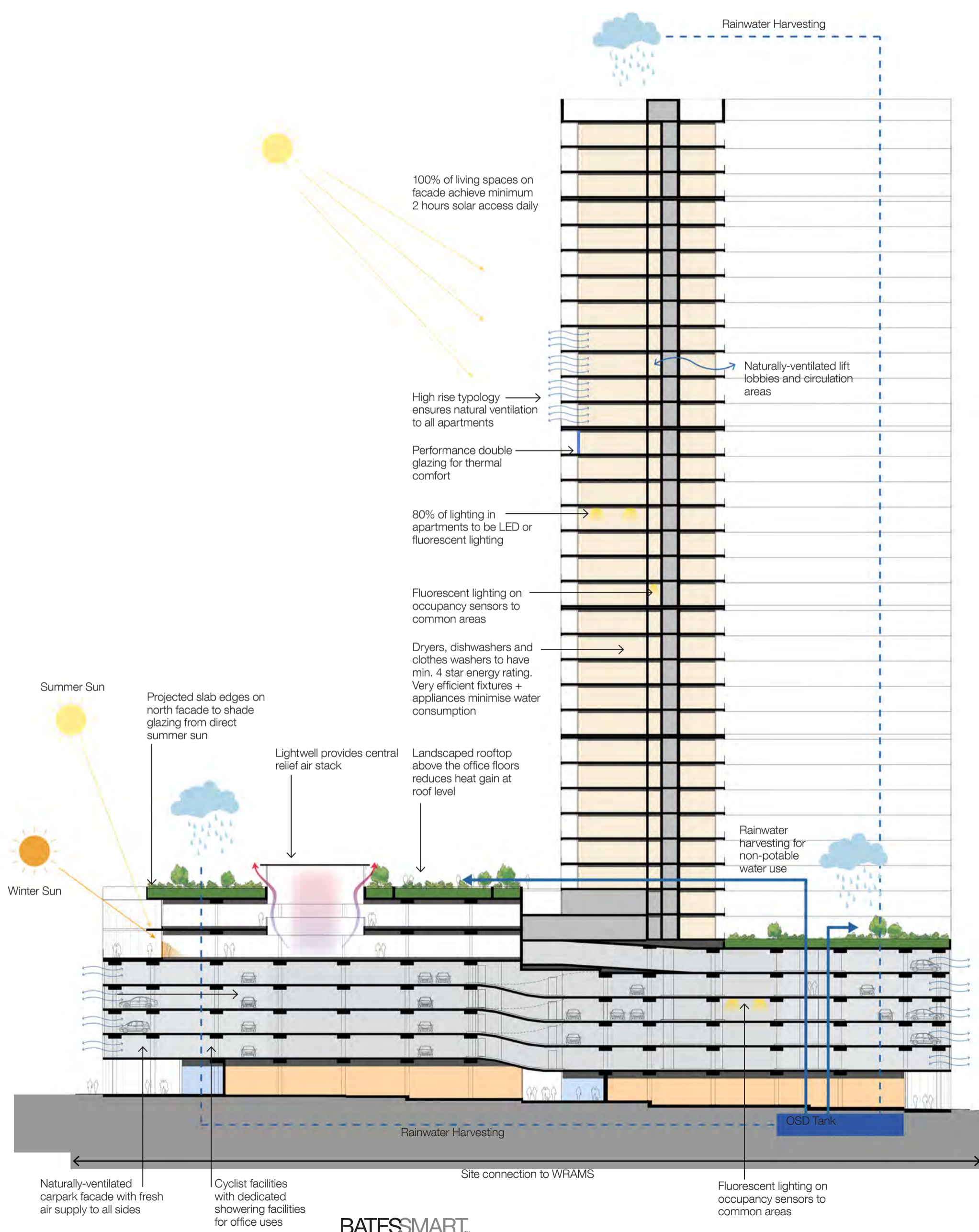
## **WATER**

Efficient fixtures and fittings will be incorporated into all the apartments; 3 star WELS shower heads, 3 star WELS toilets, 3 star WELS kitchen taps and 3 star WELS bathroom taps.

The building's stormwater and sewerage will be connected to Sydney Olympic Parks WRAMS water recycling system.

## **ECOLOGY**

The landscaped podium rooftop will provide a natural environment which can be enjoyed by residents. Biodiversity is encouraged on the roof terrace which is be planted with a range of trees, shrubs, grasses and herbs to offer a variety of spaces and help to reduce heat gain at roof level.



# 8.0 DENSITY + YIELD

## *Principle 3: Density*

*Good design achieves a high level of amenity for residents and each apartment, resulting in a density appropriate to the site and its context.*

*Appropriate densities are consistent with the area's existing or projected population. Appropriate densities can be sustained by existing or proposed infrastructure, public transport, access to jobs, community facilities and the environment.*

## *Principle 8: Housing diversity and social interaction*

*Good design achieves a mix of apartment sizes, providing housing choice for different demographics, living needs and household budgets.*

*Well designed apartment developments respond to social context by providing housing and facilities to suit the existing and future social mix.*

*Good design involves practical and flexible features, including different types of communal spaces for a broad range of people and providing opportunities for social interaction among residents.*

### 8.1 DENSITY

The Sydney Olympic Park Masterplan 2030 (MP 2030) requires a unit mix comprising a minimum 15% of units to be studio or 1 bedroom units and a minimum of 14% of units to be 3+ bedrooms. The proposed development is consistent with the overall yield required by the MP 2030.

### 8.2 DWELLING SIZE AND MIX

The application proposes the following mix of dwelling types:

Unit Type	No	Mix	Size Range
1 Bed	58	25%	50-58 m <sup>2</sup>
2 Bed	129	57%	70-93 m <sup>2</sup>
3 Bed	30	13%	106-108 m <sup>2</sup>
4 Bed	12	5%	148-270 m <sup>2</sup>

The mix provides a range of unit sizes and types to meet the needs of a diverse range of future residents. A detailed area schedule is included in the appendices of this report.

### 8.3 PARKING

All tenant and resident parking is located in the secure carpark podium. Car parking rates have been calculated at the rate of one space for each 1 bedroom and 2 bedroom apartment, and two spaces for each 3 and 4 bedroom apartment. The total number of parking spaces provided is within the limits outlined by MP 2030 maximum controls.

Accessible spaces have been provided at a rate of 10% of the total unit number plus 1 visitor space. Visitor spaces have been provided at a rate of 0.14 per residential dwelling. The proposed parking provisions are:

Use	No.
Residential	272
Residential Visitors	32
Commercial	34
Northern Retail	3
Retail / Club	12
Total Provided	353

A total of 278 bicycle parking spaces are provided within the development at both ground level, within the carpark podium and in a communal storeroom located on Level 9 of the tower. A detailed breakdown of vehicle and bicycle parking provision by use is contained within the accompanying Traffic Report prepared by Parking and Traffic Consultants.

### 8.4 APARTMENT MIX AND AFFORDABILITY

The proposal will provide an increase in the residential housing available in Sydney Olympic Park, consistent with SOPA's vision for the redevelopment area. The buildings will contain a broad range of apartment types and sizes with the aim being to create a socially diverse neighbourhood. To cater for single occupiers, couples, sharers and families, the apartment mix includes 1, 2, 3 and 4 bedroom units.

The development contributes to housing affordability by providing a range of different apartment sizes and configurations. The different apartment types have been distributed according to affordability, with the larger apartments located at the higher levels whilst the smaller, more affordable apartments are located at the lower levels.

### 8.5 MIXED USE

The inclusion of commercial and retail uses within the proposal will help foster a sense of local community and activation within the development.



# APPENDIX A

# BATES SMART

# DRAWINGS



# BAT ESS MART™

Site 9, Sydney Olympic Park

S11890

Drawing Number	Drawing Title	Current Revision
<b>DA00 TITLES</b>		
DA00.000	Cover Sheet and Drawing List	B
<b>DA01 SITE</b>		
DA01.001	Site Plan	B
DA01.002	Site Plan + Building Envelope	B
DA01.003	Aerial Photograph	B
<b>DA02 KEY</b>		
DA02.001	Ground	B
DA02.002	Level 02	B
DA02.003	Level 03	B
DA02.004	Level 04	B
DA02.005	Level 05	B
DA02.006	Level 06	B
DA02.007	Level 07	B
DA02.008	Level 08	B
DA02.009	Level 09	B
DA02.010	Level 10, 12, 14	B
DA02.011	Level 11, 13	B
DA02.015	Level 15, 17, 19	B
DA02.016	Level 16, 18	B
DA02.020	Level 20, 22, 24, 26	B
DA02.021	Level 21, 23, 25	B
DA02.022	Level 27, 29, 31, 33, 35	B
DA02.028	Level 28, 30, 32, 34	B
DA02.036	Level 36-37	B
DA02.038	Level 38	B
DA02.039	Level 39	B
DA02.040	Roof Plan	A
<b>DA07 ELEVATIONS</b>		
DA07.001	Building Elevations Southwest	B
DA07.002	Building Elevations NorthEast	B
DA07.003	Building Elevations Northwest & Southeast	B
<b>DA08 SECTIONS</b>		
DA08.001	Building Sections A-A	B
DA08.002	Building Sections B-B, C-C	B
<b>DA10 FACADE DETAILS</b>		
DA10.001	Tower Facade Conditions 01-04 - Indicative Detail Sections	B
<b>DA50 SHADOW STUDY</b>		
DA50.001	Shadow Diagrams Winter Solstice June 21	B

Check all dimensions and site conditions prior to commencement of any work, the drawings shall be used as a guide only. The contractor shall be responsible for the preparation of shop drawings and the fabrication of any components. On-site checks shall be undertaken frequently. Any discrepancies shall immediately be referred to the architect for clarification. All drawings may not be reproduced or distributed without prior permission from the architect.

**Notes - Construction General (BASIX)**

**Glazing**

**Window Windows:**

- Aluminium framed **single clear** glazing to internal windows that open to wintergardens  
U-Value: 6.6 (equal to or lower than)  
SHGC: 0.69 (+ or - 10%)
- Aluminium framed **double clear** glazing to curtain walls & glazing to balconies  
U-Value: 4.4 (equal to or lower than)  
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

**Roof/Ceiling insulation**

Concrete roof - No insulation

Default Colour modelled

**Ceiling:**

Concrete ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all down lights are proposed at a later stage. BCA loss of insulation calculations will be required.

**Wall/Floor Insulation**

**External Wall:**  
Lightweight cladding to all external walls with R1.5 bulk insulation. No colour nominated.

**Internal walls within units:**  
Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**  
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.21 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

**Floors:**

Concrete - R2.1 insulation to all units in level 7 with car park below.

Concrete - no insulation required between units

**Floor coverings:**

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans  
All 3 & 4 bed apartments tiled throughout

**Central hot water system**

Central gas-fired boiler with R1.0 (-38mm) insulation to ringmain and supply risers.

**Recirculated alternative water:**

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building

**Alternative energy:**

Not required by BASIX

B	20.07.16	Amended DA Issue	JS	CP
Revision	Date	Description	By	Checked
01.03.16	20.07.16	Development Application	JS	CP

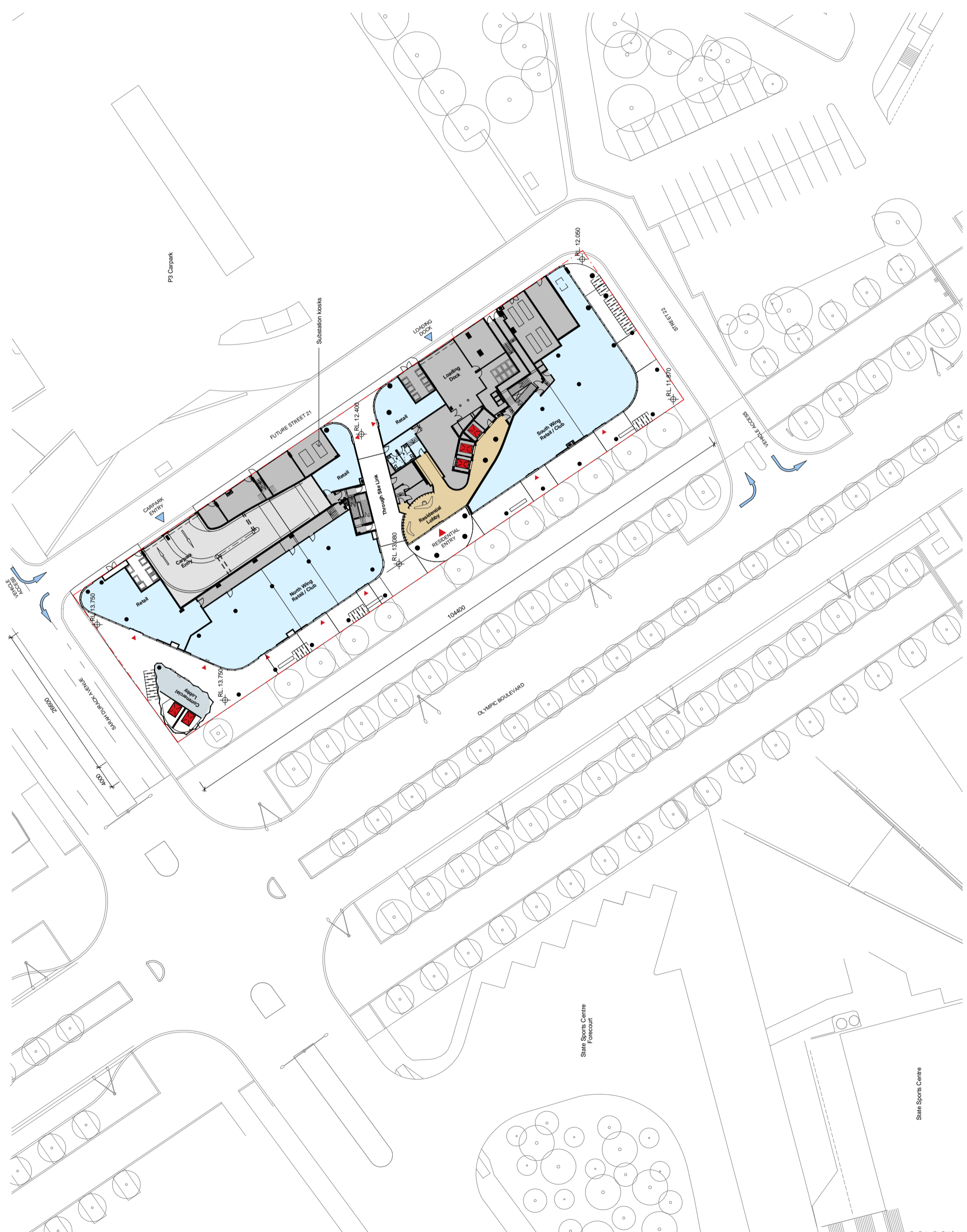


**Site Plan**



Status	Development Application
Scale	1:300 @ A1
Drawn	Author
Project No.	S11890
Plot Date	20/07/2016 2:54:48 PM
Plot File	

Revision	
DA01.001	B
Melbourne 1 Nicholson Street Melbourne VIC 3000 Australia T 03 9594 6200 F 03 9594 6300 www.batesmart.com.au http://www.batesmart.com.au	
Sydney 43 Brisbane Street Sydney Hills NSW 2010 Australia T 02 8354 5100 F 02 8354 5199 www.batesmart.com.au http://www.batesmart.com.au	
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Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.  
All drawings may not be reproduced or distributed without prior permission from the architect.

**Notes - Construction General (BASIX)**

**Glazing**  
**Window windows:**  
- Aluminium framed **single clear** glazing to internal windows that open to wintergardens  
U-Value: 6.6 (equal to or lower than)  
SHGC: 0.69 (+ or - 10%)  
- Aluminium framed **double clear** glazing to curtain walls & wintergardens  
U-Value: 4.4 (equal to or lower than)  
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

**Roof / Ceiling Insulation**

Concrete roof - No insulation  
Default Colour modelled

**Ceiling:**  
Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.25% of the total ceiling area. If ceiling penetrations are a later stage, BCA loss of insulation calculations will be required.

**Wall / floor insulation**

**External Wall:**  
Lightweight cladding to all external walls with R1.5 bulk insulation No colour nominated

**Internal walls within units:**  
Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**  
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

**Floors:**  
Concrete - R2.1 insulation to all units in level 7 with car park below  
Concrete - no insulation required between units

**Floor coverings:**  
1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans  
All 3 & 4 bed apartments tiled throughout

**Central hot water system**

Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

**Reticulated alternative water**

Alternative water supply available from Sydney Olympic Park Authority (to be under the irrigation of all landscaping & all toilets within the building) for BASIX compliance (No rainwater tank required for BASIX compliance)

**Alternative energy**

Not required by BASIX

Revision	Date	Description	Prep	Checked
B	20.07.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP

Client: Ecove



**Site 9, Sydney Olympic Park  
3 Olympic Boulevard**

Proximity to Rail Corridor  
Site Plan + Building Envelope



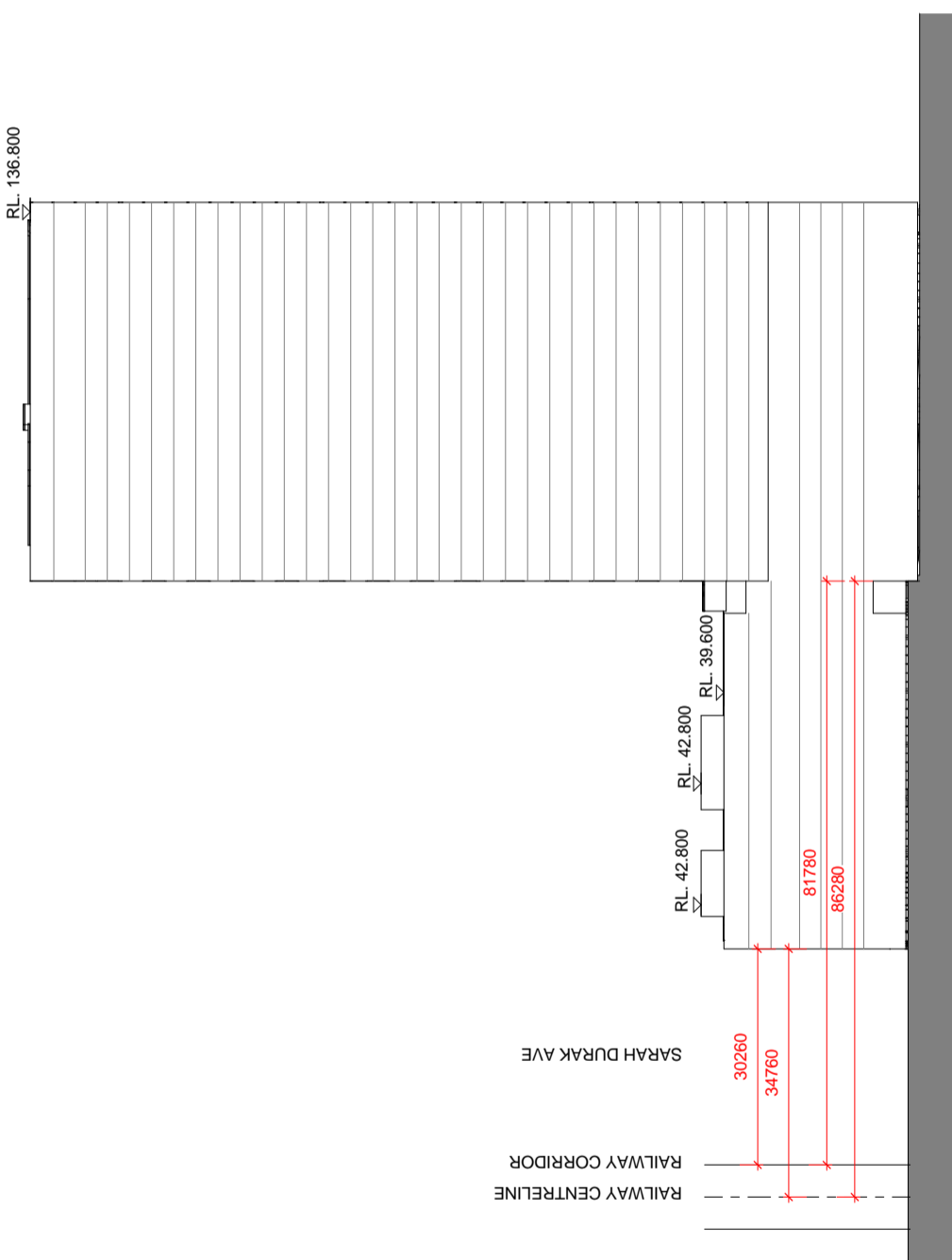
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Scale	As Indicated @ A1
Drawn	Author
Project No.	S11890
Plot Date	20/07/2016 2:26:40 PM
Plot File	
Drawing no.	Revision
<b>DA01.002</b>	<b>B</b>

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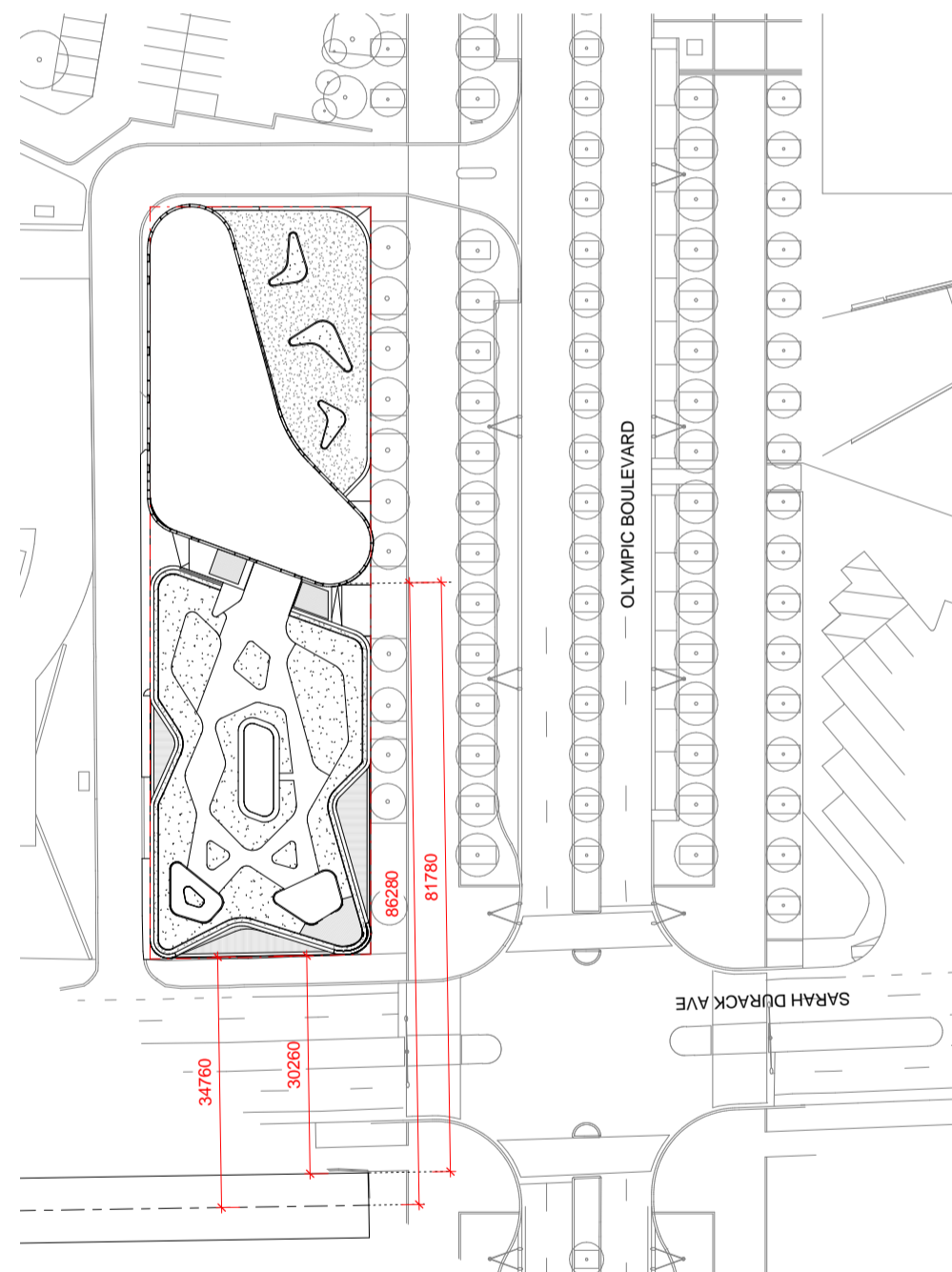
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**BATESSMART™**



2 Building Envelope 1:500



1 Site Plan 1:500

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Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

All drawings may not be reproduced or distributed without prior permission from the architect.

**Notes - Construction General (BASIX)**

**Glazing**

**Double Glazing Windows:**  
 - Aluminium framed **single clear** glazing to internal windows that open to wintergardens  
 Uj-value: 6.6 (equal to or lower than)  
 SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear** glazing to curtain walls & glass walls  
 Uj-value: 4.4 (equal to or lower than)  
 SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

**Roof/Ceiling Insulation**

Concrete roof - No insulation  
 Default Colour modelled

**Ceiling:**

Plasterboard ceiling - R3.0 bulk insulation to selected units (84.01 and 84.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are greater than 0.5% a later stage, BCA loss of insulation calculations will be required.

**Wall/Floor Insulation**

**External Wall:**  
 Lightweight cladding to all external walls with R1.5 bulk insulation  
 No colour nominated

**Internal walls within units:**

Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

**Floors:**

Concrete - R2.1 insulation to all units in level 7 with car park below  
 Concrete - no insulation required between units

**Floor coverings:**

1 & 2 bed apartments - tiles to wetts areas, carpet to bedrooms and living areas as per plans  
 All 3 & 4 bed apartments tiled throughout

**Central hot water system**

Central gas-fired boiler with R1.0 (-38mm) insulation to ringmain and supply risers.

**Reticulated alternative water**

Alternative water supply available from Sydney Olympic Park Water Tower for the irrigation of all landscaping & all toilets within the building.  
 (No rainwater tank required for BASIX compliance)

**Alternative energy**

Not required by BASIX

B	20.07.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	Date	Description	Drawn	Checked



**Site 9, Sydney Olympic Park  
 3 Olympic Boulevard**

Proximity to Rail Corridor  
 Aerial Photograph



Status	Development Application
Scale	As indicated @ A1
Drawn	Author
Project No.	S11890
Plot Date	20/07/2016 2:26:14 PM
Plot File	

Drawing no.	Revision
<b>DA01.003</b>	<b>B</b>

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Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.  
All drawings may not be reproduced or distributed without prior permission from the architect.

**Notes - Construction General (BASIX)**

**Glazing windows:**

- Aluminium framed **single clear glazing** to internal windows that open to wintergardens
- U-Value: 6.6 (equal to or lower than)
- SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear glazing** to curtain walls & external windows
- U-Value: 4.4 (equal to or lower than)
- SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

**Roof / Ceiling Insulation**

- Concrete roof - No insulation
- Concrete - Default Colour modelled

**Ceiling:**

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are greater than this at a later stage, BCA loss of insulation calculations will be required.

**Wall / floor insulation**

**External Wall:**  
Lightweight cladding to all external walls with R1.5 bulk insulation  
No colour nominated

**Internal walls within units:**  
Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**  
75mm nebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm nebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

**Floors:**  
Concrete - R2.1 insulation to all units in level 17, with car park below  
Concrete - no insulation required between units

**Floor coverings:**  
1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans  
All 3 & 4 bed apartments tiled throughout

**Central hot water system**  
Central gas-fired boiler with R1.0 (~39mm) insulation to ringmain and supply risers.

**Reticulated alternative water:**

Alternative water supply available from Sydney Olympic Park (No rainwater tank required for irrigation of all landscaping & all toilets within the building for BASIX compliance)  
(No rainwater tank required for BASIX compliance)

**Alternative energy**

Not required by BASIX

Revision	Date	Description	Prep	Checked
B	2007.16	Amended DA Issue	JS	CP
A	07.03.16	Development Application	JS	CP

Client: Ecove



**Site 9, Sydney Olympic Park  
3 Olympic Boulevard**

**General Arrangement Plan  
Ground**

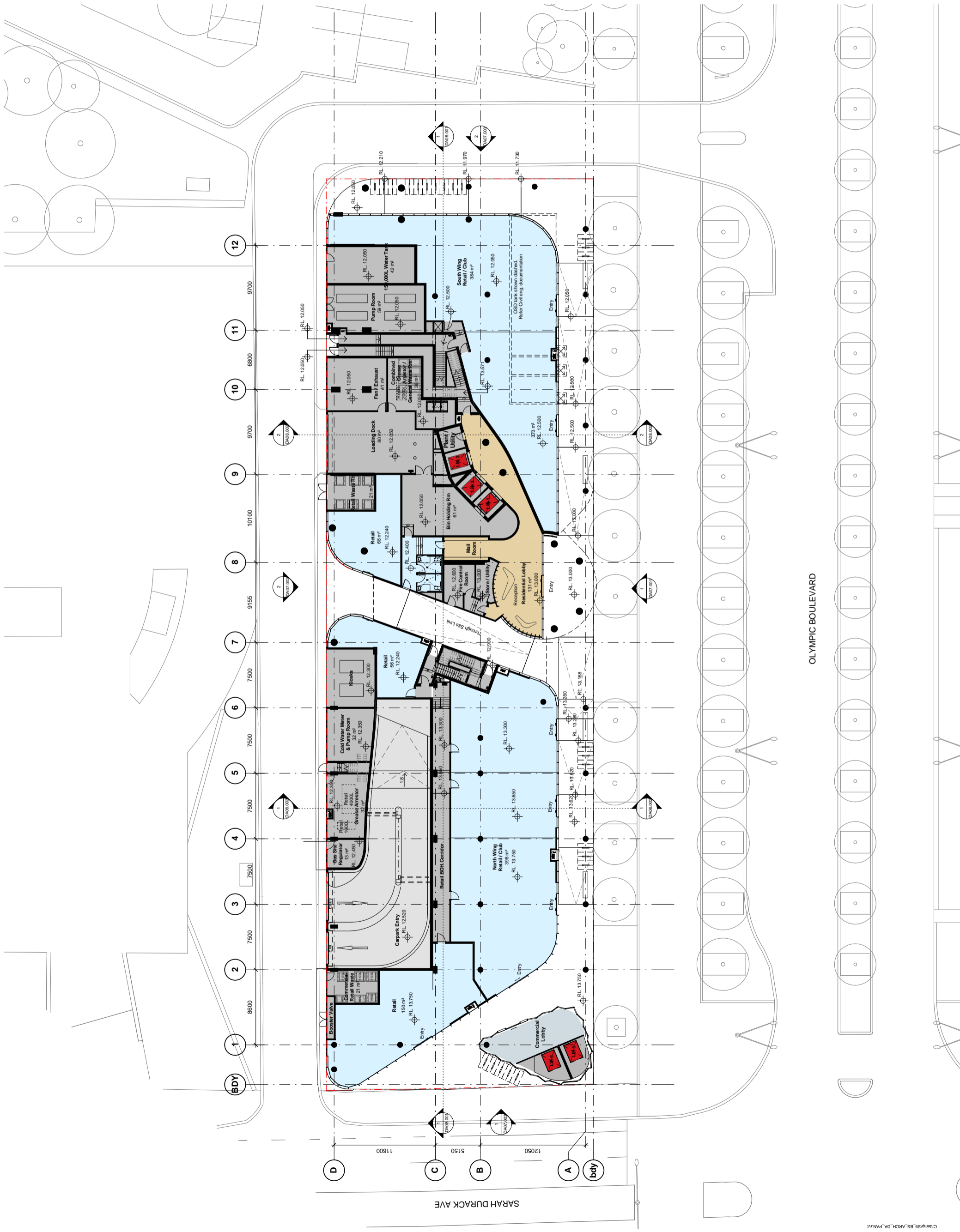


Status	Development Application
Scale	1: 200 @ A1
Drawn	JS
Checked	CP
Project No.	S11690
Plot Date	20/07/2016 2:26:40 PM
Plot File	

Drawing no.	Revision
DA02.001	B

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OLYMPIC BOULEVARD

**Legend - General**  
 BC Bulky Goods  
 Storage Cage

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 Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.  
 All drawings may not be reproduced or distributed without prior permission from the architect.

**Notes - Construction General (BASIX)**

**Glazing**  
**Double Glazing Windows:**  
 - Aluminium framed **single clear** glazing to internal windows that open to wintergardens  
 U-V value: 6.6 (equal to or lower than)  
 SHGC: 0.69 (+ or - 10%)  
 - Aluminium framed **double clear** glazing to curtain walls & wintergardens  
 U-V value: 4.4 (equal to or lower than)  
 SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values  
**Roof / Ceiling Insulation**  
 Concrete roof - No insulation  
 Default Colour modelled

**Ceiling:**  
 Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.  
 Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If this is not the case, please refer to a later stage. BCA loss of insulation calculations will be required.

**Wall / floor Insulation**  
**External Wall:**  
 Lightweight cladding to all external walls with R1.5 bulk insulation  
 No colour nominated

**Internal walls within units:**  
 Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**  
 75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

**Floors:**  
 Concrete - R2.1 insulation to all units in level 7 with car park below  
 Concrete - no insulation required between units

**Floor coverings:**  
 1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans  
 All 3 & 4 bed apartments tiled throughout

**Central hot water system**  
 Central gas-fired boiler with R1.0 (-39mm) insulation to ringmain and supply risers.

**Reticulated alternative water**  
 Alternative water supply available from Sydney Olympic Park Authority for the irrigation of all landscaping & all tables within the building.  
 (No rainwater tank required for BASIX compliance)

**Alternative energy**  
 Not required by BASIX

B	20.07.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	Date	Description	Drawn	Checked



**Site 9, Sydney Olympic Park  
 3 Olympic Boulevard**

General Arrangement Plan  
 Level 02

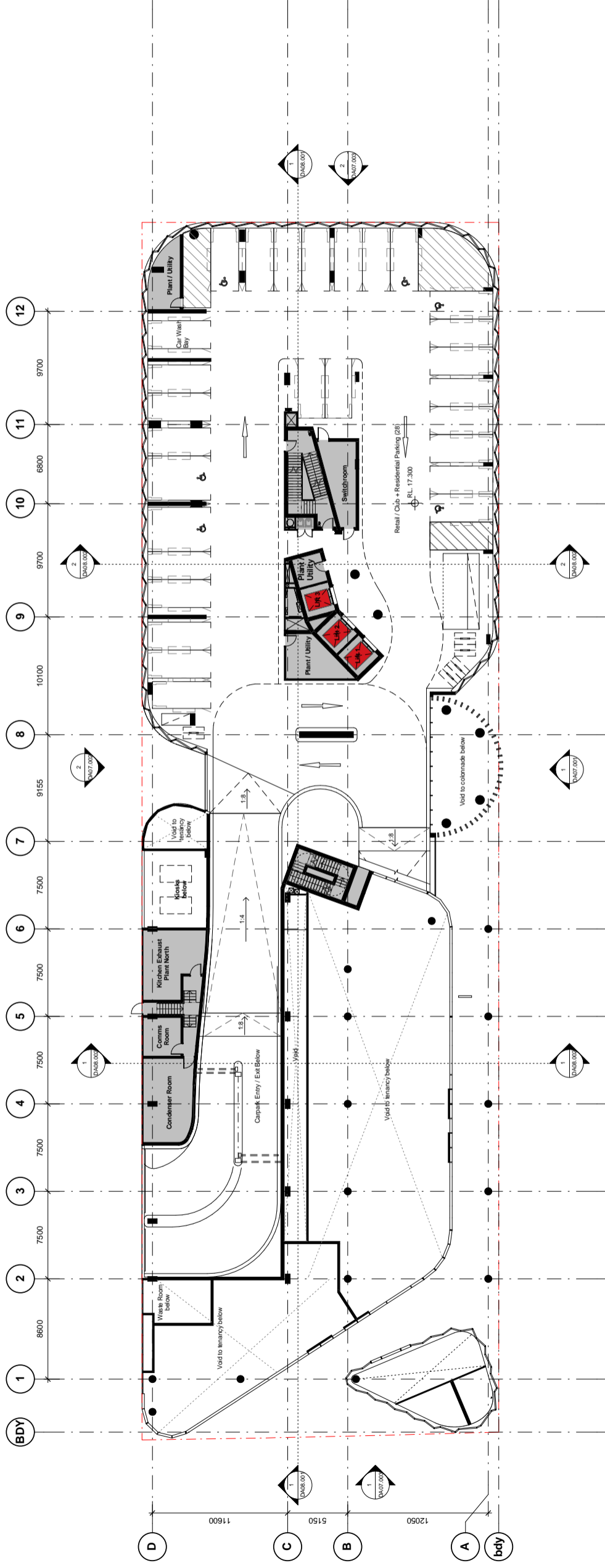
Status	Development Application
Scale	1 : 200 @ A1
Drawn	Author
Project No.	S11890
Plot Date	20/07/2016 2:57:01 PM
Plot File	

Drawing no.	Revision
<b>DA02.002</b>	<b>B</b>

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**Legend - General**  
 BG Bulky Goods  
 Storage Cage

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 Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.  
 All drawings may not be reproduced or distributed without prior permission from the architect.

**Notes - Construction General (BASIX)**

**Glazing**  
**Window windows:**  
 - Aluminium framed single clear glazing to internal windows that open to wintergardens  
 U-Value: 6.6 (equal to or lower than)  
 SHGC: 0.69 (+ or - 10%)  
 - Aluminium framed double clear glazing to curtain walls & wintergardens  
 U-Value: 4.4 (equal to or lower than)  
 SHGC: 0.5 (+ or - 10%)  
 Given values are NFRC, total window values

**Roof / ceiling insulation**  
 - Concrete roof - No insulation  
 - Concrete - No insulation  
 - Default Colour modelled

**Ceiling:**  
 Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.  
 Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.25% of the total ceiling area. If ceiling penetrations are more than 0.25% of the total ceiling area, BCA loss of insulation calculations will be required.

**Wall / floor insulation**  
**External Wall:**  
 Lightweight cladding to all external walls with R1.5 bulk insulation  
 No colour nominated

**Internal walls within units:**  
 Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**  
 75mm nebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

**Floors:**  
 Concrete - R2.1 insulation to all units in level 7, with car park below  
 Concrete - no insulation required between units

**Floor coverings:**  
 1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans  
 All 3 & 4 bed apartments tiled throughout

**Central hot water system**  
 Central gas-fired boiler with R1.0 (-39mm) insulation to ringmain and supply risers.

**Reticulated alternative water:**  
 Alternative water supply available from Sydney Olympic Park Water Main for the irrigation of all landscaping & all toilets within the building  
 (No rainwater tank required for BASIX compliance)

**Alternative energy**  
 Not required by BASIX

B 2007.16 Amended DA Issue JS CP  
 A 01.03.16 Development Application JS CP  
 Revision Date Description Final Checked



**Site 9, Sydney Olympic Park  
 3 Olympic Boulevard**

General Arrangement Plan  
 Level 03

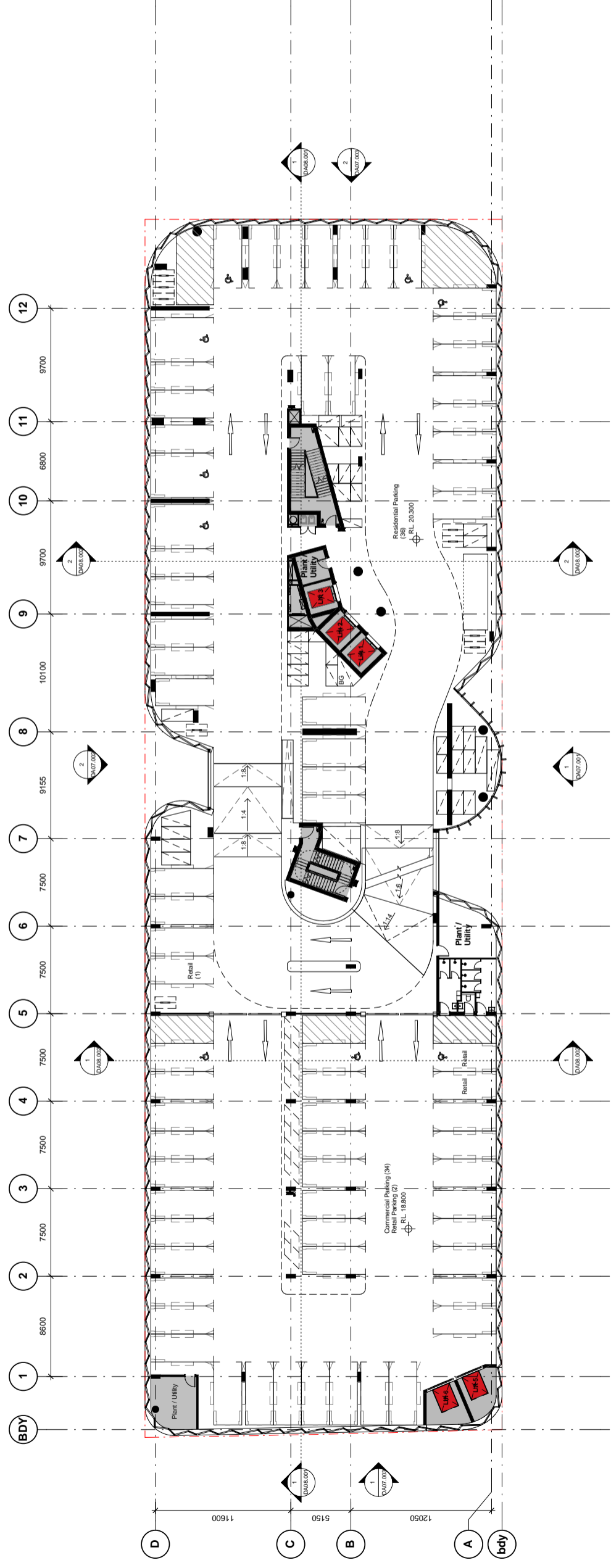


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Scale	1:200 @ A1
Drawn	Author
Project No.	S11890
Plot Date	2007/2016 2:57:29 PM
Plot File	

Drawing no.	Revision
<b>DA02.003</b>	<b>B</b>

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**Legend - General**  
 BG Bulky Goods Storage Cage

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 All drawings may not be reproduced or distributed without prior permission from the architect.

**Notes - Construction General (BASIX)**

**Glazing**  
**Window windows:**  
 - Aluminium framed **single clear** glazing to internal windows that open to wintergardens  
 U-Value: 6.6 (equal to or lower than)  
 SHGC: 0.69 (+ or - 10%)  
 - Aluminium framed **double clear** glazing to curtain walls & wintergardens  
 U-Value: 4.4 (equal to or lower than)  
 SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values  
**Roof / ceiling insulation**  
 Concrete roof - No insulation  
 Default Colour modelled

**Ceiling:**  
 Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.  
 Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.25% of the total ceiling area. If ceiling penetrations are a later stage, BCA loss of insulation calculations will be required.

**Wall / floor insulation**  
**External Wall:**  
 Lightweight cladding to all external walls with R1.5 bulk insulation  
 No colour nominated

**Internal walls within units:**  
 Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**  
 75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

**Floors:**  
 Concrete - R2.1 insulation to all units in level 7, with car park below  
 Concrete - no insulation required between units

**Floor coverings:**  
 1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans  
 All 3 & 4 bed apartments tiled throughout

**Central hot water system**  
 Central gas-fired boiler with R1.0 (-39mm) insulation to risermain and supply risers.

**Reticulated alternative water:**  
 Alternative water supply available from Sydney Olympic Park (No rainwater tank required for BASIX compliance) (No rainwater tank required for BASIX compliance)

**Alternative energy**  
 Not required by BASIX

B	2007.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	Date	Description	Prep	Checked
Client: Ecove				



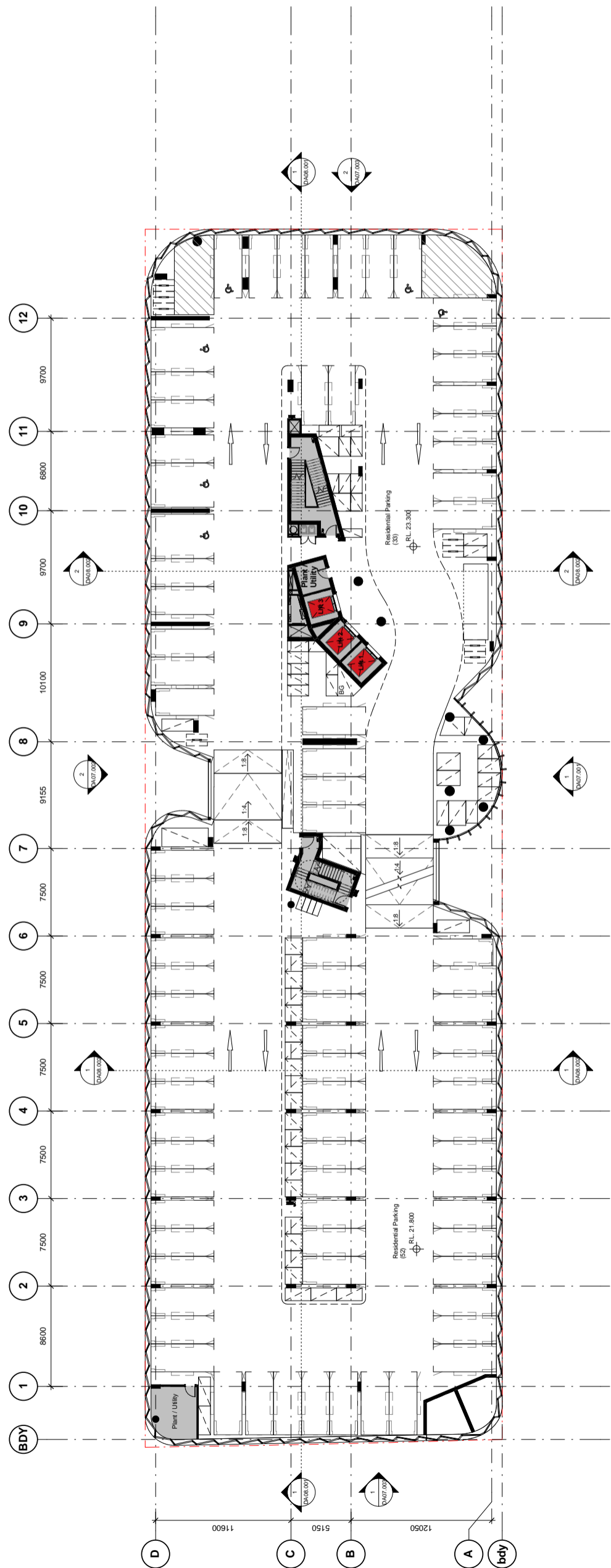
**Site 9, Sydney Olympic Park  
 3 Olympic Boulevard**

General Arrangement Plan  
 Level 04

Status	Development Application
Scale	1:200 @ A1
Drawn	Author
Project No.	S11890
Plot Date	2007/2016 2:57:38 PM
Plot File	
Drawing no.	Revision
<b>DA02.004</b>	<b>B</b>

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**Legend - General**  
 BG Bulky Goods  
 Storage Cage

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**Notes - Construction General (BASIX)**

**Glazing**

- Aluminium framed, single clear glazing to internal windows that open to wintergardens  
 U-Value: 6.6 (equal to or lower than)  
 SHGC: 0.69 (+ or - 10%)
- Aluminium framed, double clear glazing to curtain walls & wintergardens  
 U-Value: 4.4 (equal to or lower than)  
 SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

**Roof / Ceiling Insulation**

- Concrete roof - No insulation
- Default Colour modelled

**Ceiling**

- Plasterboard ceiling - R2.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.
- Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If this is not the case, please refer to a later stage. BCA loss of insulation calculations will be required.

**Wall / Floor Insulation**

- External Wall: Lightweight cladding to all external walls with R1.5 bulk insulation. No colour nominated

**Internal walls within units:**

- Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**

- 75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)
- 75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

**Floors:**

- Concrete - R2.1 insulation to all units in level 7 with car park below
- Concrete - no insulation required between units

- Floor coverings:** 1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans  
 All 3 & 4 bed apartments tiled throughout

**Central hot water system**

- Central gas-fired boiler with R1.0 (-38mm) insulation to ringmain and supply risers.

**Reticulated alternative water**

- Alternative water supply available from Sydney Olympic Park Authority (SOPA) for the irrigation of all landscaping & all balconies within the building.
- (No rainwater tank required for BASIX compliance)

**Alternative energy**

Not required by BASIX

B 20.07.16 Amended DA Issue JS CP  
 A 01.03.16 Development Application JS CP  
 Revision Date Description Initial Checked

Client: Ecove



**Site 9, Sydney Olympic Park  
 3 Olympic Boulevard**

**General Arrangement Plan  
 Level 05**



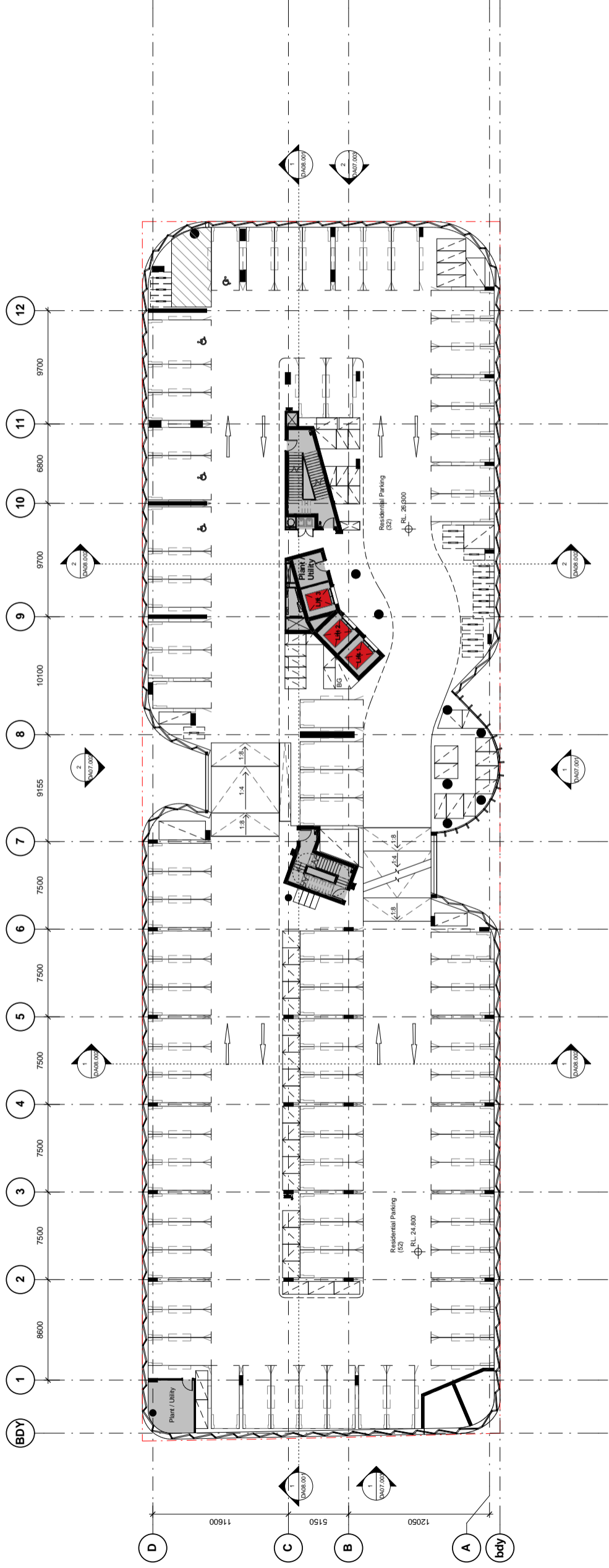
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Scale	1 : 200 @ A1
Drawn	Author
Project No.	S11890
Plot Date	20/07/2016 2:57:58 PM
Plot File	

Drawing no.	Revision
<b>DA02.005</b>	<b>B</b>

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**Legend - General**  
 BG Bulky Goods  
 Storage Cage

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 All drawings may not be reproduced or distributed without prior permission from the architect.

**Notes - Construction General (BASIX)**

**Glazing**  
**Window windows:**  
 - Aluminium framed **single clear** glazing to internal windows that open to wintergardens  
 U-Value: 6.6 (equal to or lower than)  
 SHGC: 0.69 (+ or - 10%)  
 - Aluminium framed **double clear** glazing to curtain walls & wintergardens  
 U-Value: 4.4 (equal to or lower than)  
 SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

**Roof / Ceiling Insulation**

Concrete roof - No insulation  
 Default Colour modelled

**Ceiling:**  
 Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.25% of the total ceiling area. If ceiling penetrations are a later stage, BCA loss of insulation calculations will be required.

**Wall / floor insulation**

**External Wall:**  
 Lightweight cladding to all external walls with R1.5 bulk insulation  
 No colour nominated

**Internal walls within units:**

Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

**Floors:**

Concrete - R2.1 insulation to all units in level 7, with car park below  
 Concrete - no insulation required between units

**Floor coverings:**  
 1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans  
 All 3 & 4 bed apartments tiled throughout

**Central hot water system**

Central gas-fired boiler with R1.0 (~39mm) insulation to risermain and supply risers.

**Reticulated alternative water**

Alternative water supply available from Sydney Olympic Park (No hot water) for the irrigation of all landscaping & all toilets within the building (No rainwater tank required for BASIX compliance)

**Alternative energy**

Not required by BASIX

Revision	Date	Description	Prep	Checked
B	2007.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	JS



**Site 9, Sydney Olympic Park  
 3 Olympic Boulevard**

General Arrangement Plan  
 Level 06

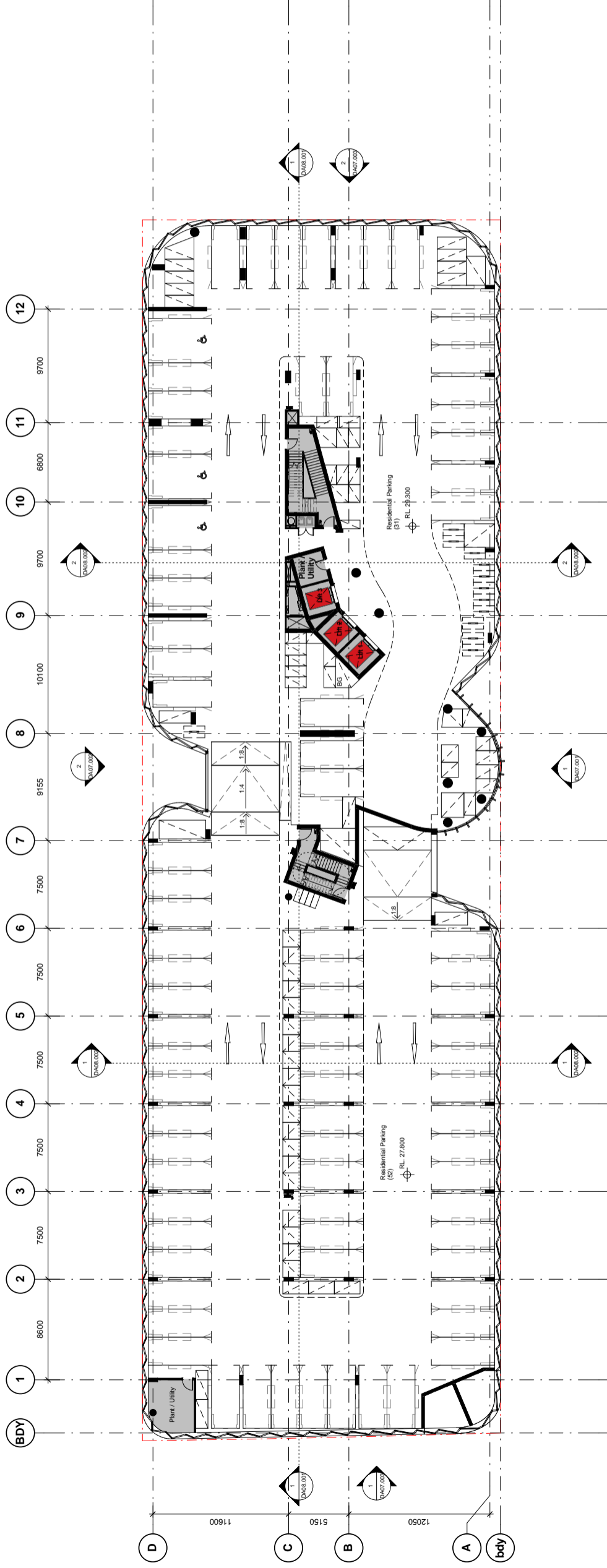


Status	Development Application
Scale	1:200 @ A1
Drawn	Author
Project No.	S11690
Plot Date	2007/2016 2:28:17 PM
Plot File	

Drawing no.	Revision
DA02.006	B

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All drawings may not be reproduced or distributed without prior permission from the architect.

**Notes - Construction General (BASIX)**

**Glazing**

- **Double Glazing Windows:**
- Aluminium frames, **single clear glazing** to internal windows that open to wintergardens
- U-Value: 6.6 (equal to or lower than)
- SHGC: 0.69 (+ or - 10%)

- Aluminium frames, **double clear glazing** to curtain walls & wintergardens
- U-Value: 4.4 (equal to or lower than)
- SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

**Roof / Ceiling Insulation**

- Concrete roof - No insulation
- Default Colour modelled

**Ceiling:**

Plasterboard ceiling - R2.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slit areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If this is not the case, please contact the architect at a later stage. BCA loss of insulation calculations will be required.

**Wall / floor Insulation**

**External Wall:**  
Lightweight cladding to all external walls with R1.5 bulk insulation  
No colour nominated

**Internal walls within units:**

Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**  
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

**Floors:**

Concrete - R2.1 insulation to all units in level 7 with car park below  
Concrete - no insulation required between units

**Floor coverings:**  
1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans  
All 3 & 4 bed apartments tiled throughout

**Central hot water system**

Central gas-fired boiler with R1.0 (-38mm) insulation to ringmain and supply risers.

**Reticulated alternative water**

Alternative water supply available from Sydney Olympic Park Authority for the irrigation of all landscaping & all balconies within the building.  
(No rainwater tank required for BASIX compliance)

**Alternative energy**

Not required by BASIX

B	20.07.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	Date	Description	Drawn	Checked



**Site 9, Sydney Olympic Park  
3 Olympic Boulevard**

**General Arrangement Plan  
Level 07**

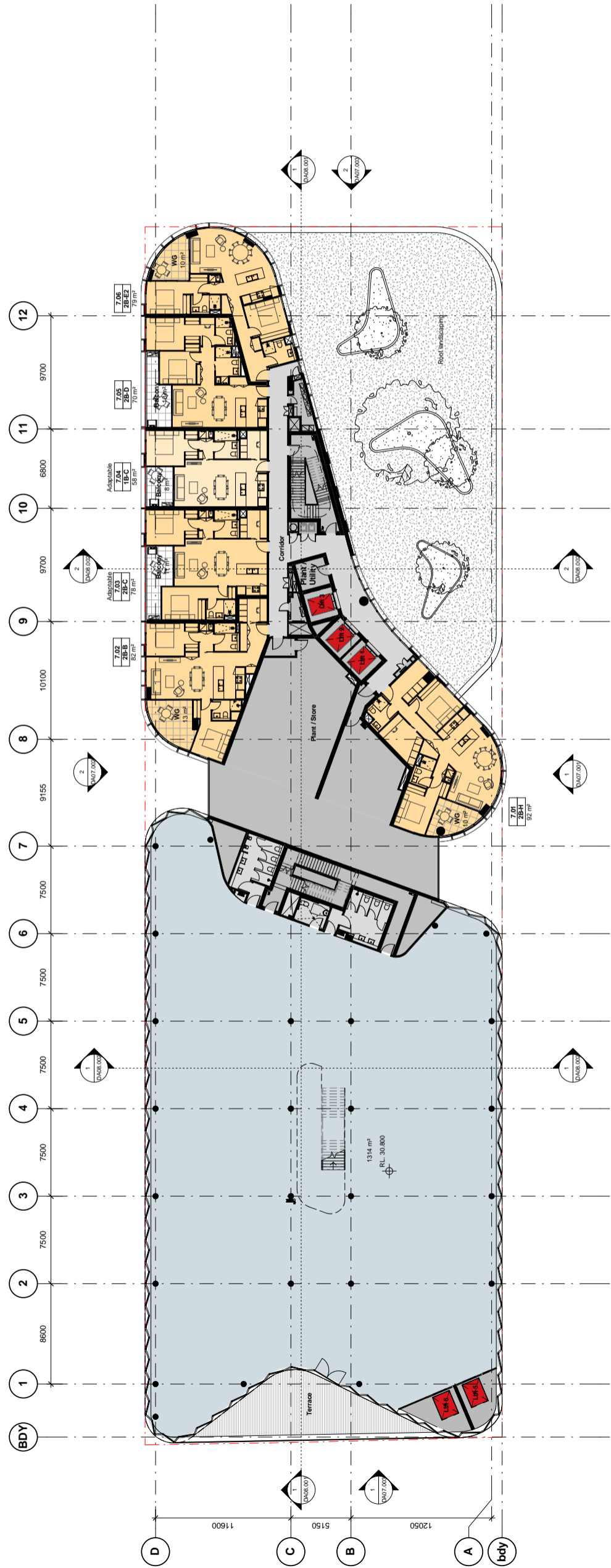


Status	Development Application
Scale	1 : 200 @ A1
Drawn	Author
Project No.	S11890
Plot Date	20/07/2016 4:17:43 PM
Plot File	

Drawing no.	Revision
<b>DA02.007</b>	<b>B</b>

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**Notes - Construction General (BASIX)**

**Glazing**

**Window windows:**  
- Aluminium framed **single clear glazing** to internal windows that open to wintergardens  
U-Value: 6.6 (equal to or lower than)  
SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear glazing** to curtain walls & wintergardens  
U-Value: 4.4 (equal to or lower than)  
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

**Roof / ceiling insulation**

Concrete roof - No insulation  
Default Colour modelled

**Ceiling:**

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.25% of the total ceiling area. If ceiling penetrations are a later stage, BCA loss of insulation calculations will be required.

**Wall / floor insulation**

**External Wall:**  
Lightweight cladding to all external walls with R1.5 bulk insulation  
No colour nominated

**Internal walls within units:**

Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**  
75mm nebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm nebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

**Floors:**

Concrete - R2.1 insulation to all units in level 7, with car park below  
Concrete - no insulation required between units

**Floor coverings:**

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans  
All 3 & 4 bed apartments tiled throughout

**Central hot water system**

Central gas-fired boiler with R1.0 (-39mm) insulation to risermain and supply risers.

**Reticulated alternative water:**

Alternative water supply available from Sydney Olympic Park Authority (No rainwater tank required for BASIX compliance) & all toilets within the building for the irrigation of all landscaping & all

**Alternative energy**

Not required by BASIX

B	2007.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	Date	Description	Prep	Checked
Client: Ecove				



**Site 9, Sydney Olympic Park  
3 Olympic Boulevard**

**General Arrangement Plan  
Level 08**



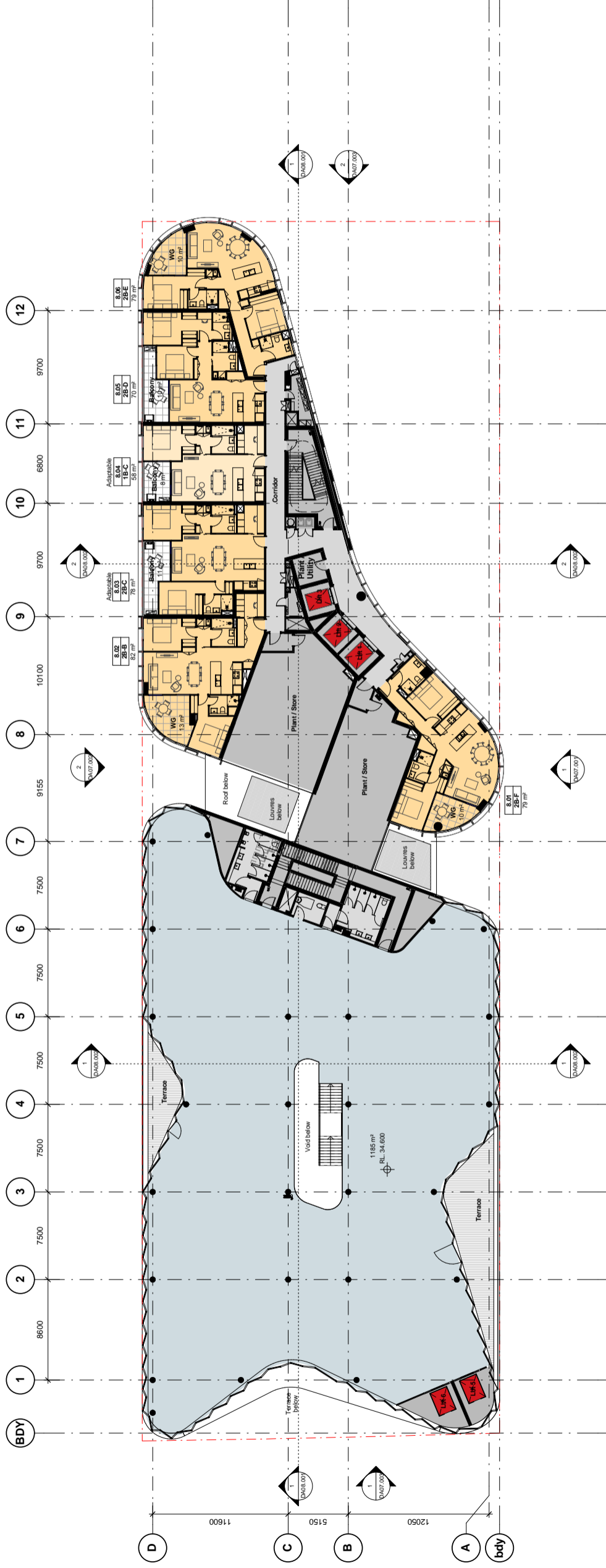
Status	Development Application
Scale	1:200 @ A1
Drawn	Author
Project No.	S11690
Plot Date	20/07/2016 2:28:01 PM
Plot File	

Drawing no.	Revision
<b>DA02.008</b>	<b>B</b>

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**Notes - Construction General (BASIX)**

**Glazing**

**Window windows:**

- Aluminium framed **single clear glazing** to internal windows that open to wintergardens
- U-Value: 6.6 (equal to or lower than)
- SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear glazing** to curtain walls & external windows
- U-Value: 4.4 (equal to or lower than)
- SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

**Roof / ceiling insulation**

- Concrete roof - No insulation
- Default Colour modelled

**Ceiling:**

- Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.25% of the total ceiling area. If this is not the case, a later stage, BCA loss of insulation calculations will be required.

**Wall / floor insulation**

- External Wall:** Lightweight cladding to all external walls with R1.5 bulk insulation. No colour nominated

**Internal walls within units:**

- Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:** 75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

**Floors:**

- Concrete - R2.1 insulation to all units in level 7, with car park below
- Concrete - no insulation required between units

**Floor coverings:**

- 1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
- All 3 & 4 bed apartments tiled throughout

**Central hot water system**

Central gas-fired boiler with R1.0 (-39mm) insulation to ringmain and supply risers.


**Reticulated alternative water**

Alternative water supply available from Sydney Olympic Park (No rainwater tank required for BASIX compliance) & all toilets within the building for the irrigation of all landscaping & all (No rainwater tank required for BASIX compliance)

**Alternative energy**

Not required by BASIX

B	2007.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	Date	Description	Prep	Checked

Client: Ecove  


**Site 9, Sydney Olympic Park  
3 Olympic Boulevard**

**General Arrangement Plan  
Level 09**



Status	Development Application
Scale	1:200 @ A1
Drawn	Author
Project No.	S11890
Plot Date	20/07/2016 2:28:31 PM
Plot File	

Drawing no.	Revision
<b>DA02.009</b>	<b>B</b>

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