

SYDNEY OLYMPIC PARK SITE 9

STATE SIGNIFICANT DEVELOPMENT APPLICATION
DESIGN REPORT
PREPARED FOR ECOVE GROUP

DOCUMENT NO. S11890-002

REVISION A
MARCH 2016

CLIENT

Ecove Group



ecove®

CONSULTANTS

Accessibility	Accessibility Solutions
Acoustic	Renzo Tonin
Arborist	Stuart Pittendrigh T/A Norcue
BCA	McKenzie Group
Electrical	Haron Robson
Environment	DLA Environmental
ESD / BASIX	ARUP
Facade	Surface Design
Fire	Defire
Geotech	Douglas Partners
Heritage	Artefact
Landscape	Turf Design Studio
Planning	JBA Urban
QS	Slattery
Rail	Cardno
Services	Insync Services
Structure	MPN
Vertical Transportation	ARUP
Traffic	Parking and Traffic Consultants
Stormwater	AJ Whipps
Waste	Elephants Foot
Wind	CPP Wind Engineering

PROJECT NUMBER

S11890

BATESSMART™

ARCHITECTURE INTERIOR DESIGN URBAN DESIGN STRATEGY

MELBOURNE

1 Nicholson Street Melbourne
Victoria 3000 Australia
T +61 3 8664 6200
F +61 3 8664 6300

SYDNEY

43 Brisbane Street
Surry Hills New South Wales
2010 Australia
T +61 2 8354 5100
F +61 2 8354 5199

WWW.BATESSMART.COM

DISCLAIMER

The Scheme (drawings documents information and materials) contained within this brochure have been prepared by Bates Smart Pty Ltd Architects solely for the purpose of providing information about potential schemes.

The materials should not be considered to be error free or to include all relevant information.

Nothing in this brochure in any way constitutes advice or a representation by Bates Smart nor does the transmission or sending of these materials create any contractual relationship.

Neither Bates Smart nor any of its officers, employees, agents or contractors, will be liable for any direct or indirect loss or damage you may suffer or incur arising directly or indirectly from the use of any materials from this brochure.

Bates Smart retains copyright and all present and future moral rights in all intellectual property in all the materials authored by it and in any works executed from these drawings and documents.

Note: All area calculations are advisory only and all figures should be checked and verified by a licensed surveyor.

	CONTENTS	
1.0	INTRODUCTION	04
2.0	SITE + CONTEXT	06
	2.1 Existing Context	07
	2.2 Future Context	07
	2.3 The Site	08
	2.4 SOPA Masterplan	08
	2.5 Solar Access and Wind	09
	2.6 Views	09
3.0	SCHEME OVERVIEW	10
	3.1 Issues with Masterplan massing	10
	3.2 Split Block	10
	3.3 Residential Floorplate	11
	3.4 100% Solar access	11
	3.5 Curved Tower Form	12
	3.6 Tower Comes to Ground	12
	3.7 Commercial Office	13
	3.8 Shaped to maximise amenity	13
	3.9 Active Ground Plan	14
	3.10 Collection of Forms	14
4.0	PROJECT DESCRIPTION	16
	4.1 Ground level interface	17
	4.2 Parking Podium	20
	4.3 Workplace	22
	4.4 Apartment Tower	24
5.0	LANDSCAPE + PUBLIC REALM	32
	4.1 Public Domain	32
	4.2 Tree Removal	33
	4.3 Communal Open Space	35
6.0	FACADE + MATERIALS	36
	6.1 Facade Approach	36
	6.2 Material concept	38
	6.3 Office facade	40
	6.4 Carpark facade	41
	6.5 Residential facade	42
7.0	ENVIRONMENTALLY SUSTAINABLE DESIGN	46
8.0	DENSITY + YIELD	48
	APPENDICES	
	Appendix 1: Bates Smart Drawings	49
	Appendix 2: SEPP65 & ADG Compliance Checklist	81
	Appendix 3: Apartment Area and Storage Schedule	97
	Appendix 4: Materials Sample Board	105
	INDEX OF SEPP65 ISSUES	
	Principle 1: Context + Neighbourhood Character	06
	Principle 2: Built Form and Scale	10
	Principle 3: Density	48
	Principle 4: Sustainability	46
	Principle 5: Landscape	34
	Principle 6: Amenity	25
	Principle 7: Safety	33
	Principle 8: Housing Diversity + Social Interaction	48
	Principle 9: Aesthetics	37



1.0 INTRODUCTION

Our vision is for an integrated mixed-use development which provides Sydney Olympic Park Authority with a sustainable office premises and a strong sense of identity. The residential tower has been designed to maximise amenity and contributes to SOPA's vision for Olympic Boulevard of widely spaced slender towers above a consistent street wall and activated ground plane.



DEVELOPMENT SUMMARY

Floor Space

Site Area for GFA Calculation	4,071m ²
Total GFA	25,130m ²
Residential GFA	21,640m ²
Commercial GFA	2,540m ²
Retail/Club GFA	790m ²
Retail GFA	160m ²

Residential Mix

Dwellings	229 units
Comprising	58 one bedroom apartments 130 two bedroom apartments 30 three bedroom apartments 11 four bedroom apartments

Parking

Car spaces:	353 spaces
Bicycle spaces:	201 spaces

This Design Report has been prepared by Bates Smart on behalf of Ecove Group and forms part of a State Significant Development Application to be submitted to the Department of Planning.

It describes the proposed urban design, landscape and architectural response for a site known as Site 9, Sydney Olympic Park and which is identified as Site 9 within Part Lot 2004 in DP 1192085. The proposal has been developed with consideration to the Site 9 Site Development Guidelines.

In summary the development proposes:

- / The construction of a single residential tower comprising 32 residential floors
- / The construction of a single podium comprising ground level retail tenancies, 5 carpark floors and 2 commercial floors
- / Podium roof landscaping including a single communal rooftop garden for residential use
- / Ground level public domain comprising retail colonnade and through-site link

We confirm that Mr Guy Lake of Bates Smart directed the design of the enclosed Development Application and that Mr. Lake is registered as an architect in accordance with the Architects Act 1921.

We confirm that in our professional opinion the proposed design is capable of achieving the design principles set out in State Environmental Planning Policy 65 - Design Quality of Residential Flat Development and has been designed with regard to the publication Apartment Design Guide (ADG).



2.0 SITE + CONTEXT

Principle 1: Context and neighbourhood character
 Good design responds and contributes to its context. Context is the key natural and built features of an area, their relationship and the character they create when combined. It also includes social, economic, health and environmental conditions. Responding to context involves identifying the desirable elements of an area's existing or future character. Well designed buildings respond to and enhance the qualities and identity of the area including the adjacent sites, streetscape and neighbourhood.
 Consideration of local context is important for all sites, including sites in established areas, those undergoing change or identified for change.



SITE PLAN





2.1 EXISTING CONTEXT

The site is prominently located at the south-eastern corner of the intersection of Olympic Boulevard and Sarah Durack Avenue in Sydney Olympic Park, approximately 18km west of the Sydney CBD. The site allotment is rectangular and measures approximately 104m by 30m, with a site area totalling 4,071m². The primary street frontages are to Sarah Durack Avenue and Olympic Boulevard.

To the east is an existing four storey carpark known as P3 Carpark and to the southeast is the GWS Giants training facility. As part of the Sydney Olympic Park Masterplan 2030 (MP 2030), new access streets are proposed along the eastern and southern boundaries of the site which will separate the site from these adjacent uses.

The northern side of Sarah Durack Avenue accommodates low rise commercial buildings. A railway line is located to the north of Sarah Durack Avenue with a distance of approximately 30.2m to the site boundary. This railway line serves as the main outbound train route for trains departing Olympic Park Station towards the CBD.

To the west, across Olympic Boulevard, lies the State Sports Centre and Netball Centre with a forecourt angled to the street grid.

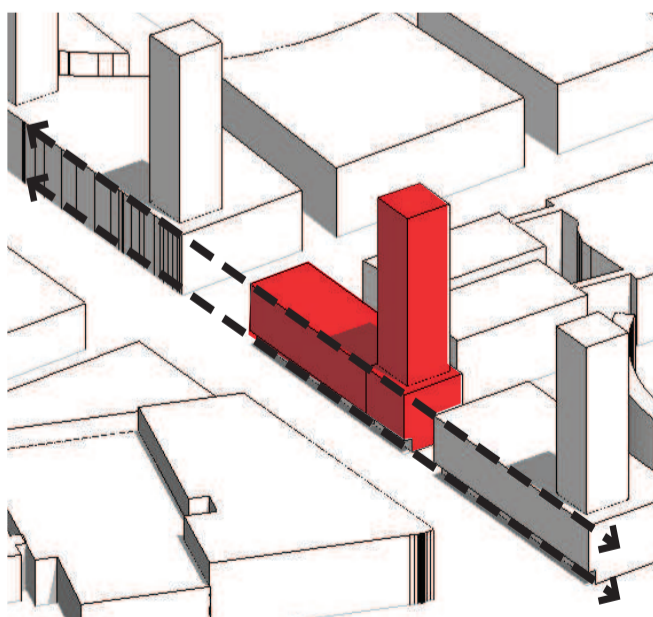
An allotment known as "Site 12" is located to the south of the site and is zoned for future mixed use development under the MP 2030.

2.2 FUTURE CONTEXT

Under the MP 2030 Olympic Boulevard is to be defined by a consistent 6-8 storey high street wall height to the podium with slender towers above.

The Site 9 Development Guidelines identifies Site 50 to the northern side of Sarah Durack Avenue and Site 12 to the south of the site as future mixed use development. Sites 12 and 50 will both have podia built to the boundary with slender towers above.

The Site 9 Development Guidelines identifies Site 25, located to the northwest of the intersection, as future sport / education uses. Both Site 25 and Site 13, on the west of Olympic Boulevard, will have a 6-8 storey street wall.

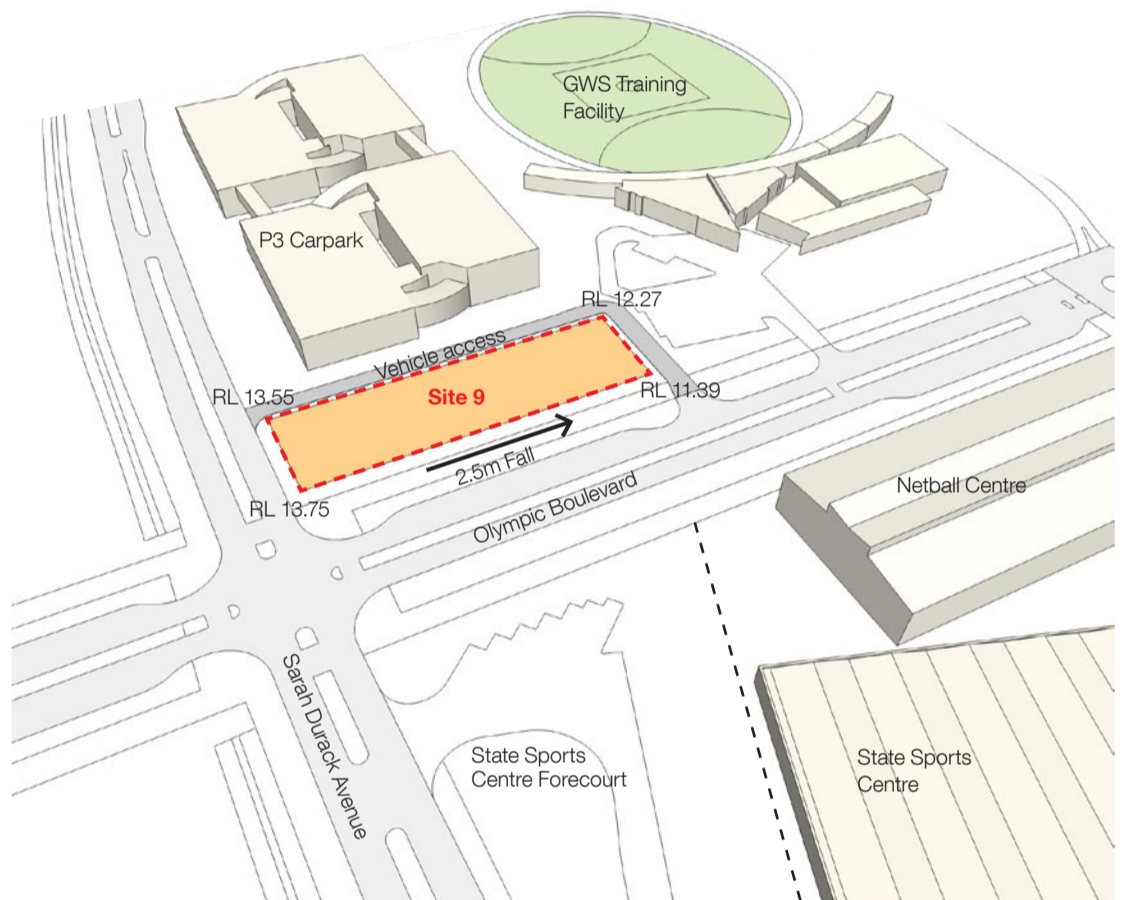


PICTURED

- 1/ Looking east towards the Olympic Boulevard from the current driveway on sites 9
- 2/ Looking north along the Olympic Boulevard towards the Pullman Hotel, from the current driveway on site 9
- 3/ Looking across the site from the corner of Olympic Boulevard and Sarah Durack Ave towards P3 Carpark.
- 4/ Looking east from the southern corner of Olympic Boulevard and Sarah Durack Ave, showing 'green finger' tree planting and the P3 Carpark.
- 5/ Looking north along future Street 21 towards Sarah Durack Ave.
- 6/ Looking south along the Olympic Boulevard towards the Tennis Centre, from the current driveway on site 9

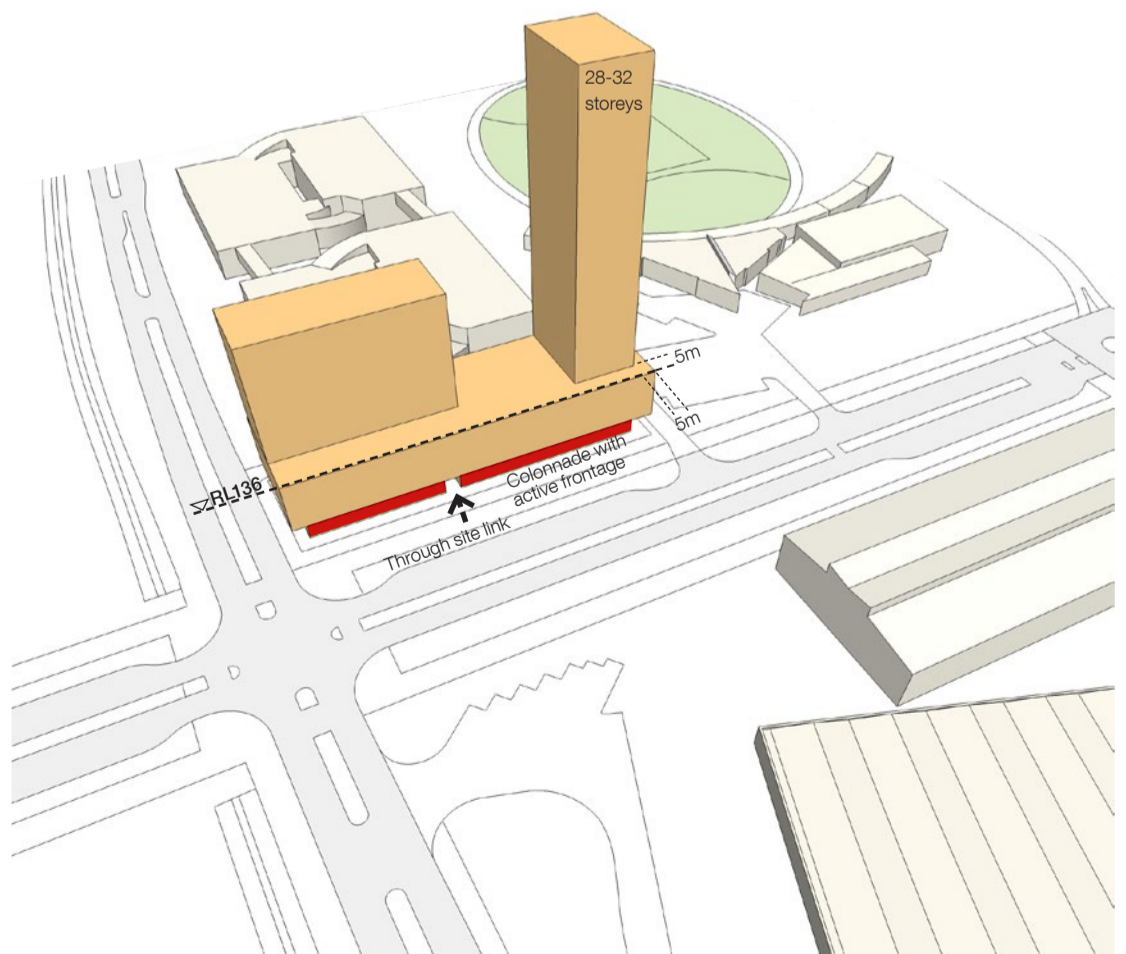
2.3 THE SITE

The site is located on the south-eastern corner of the intersection of Olympic Boulevard and Sarah Durack Avenue. To the east is an existing four storey carpark and to the south east is the GWS Giants training facility. A new street is proposed along the eastern and southern boundaries of the site which will separate the site from these adjacent uses. To the west, across Olympic Boulevard, is the State Sports centre with its forecourt angled to the street grid.



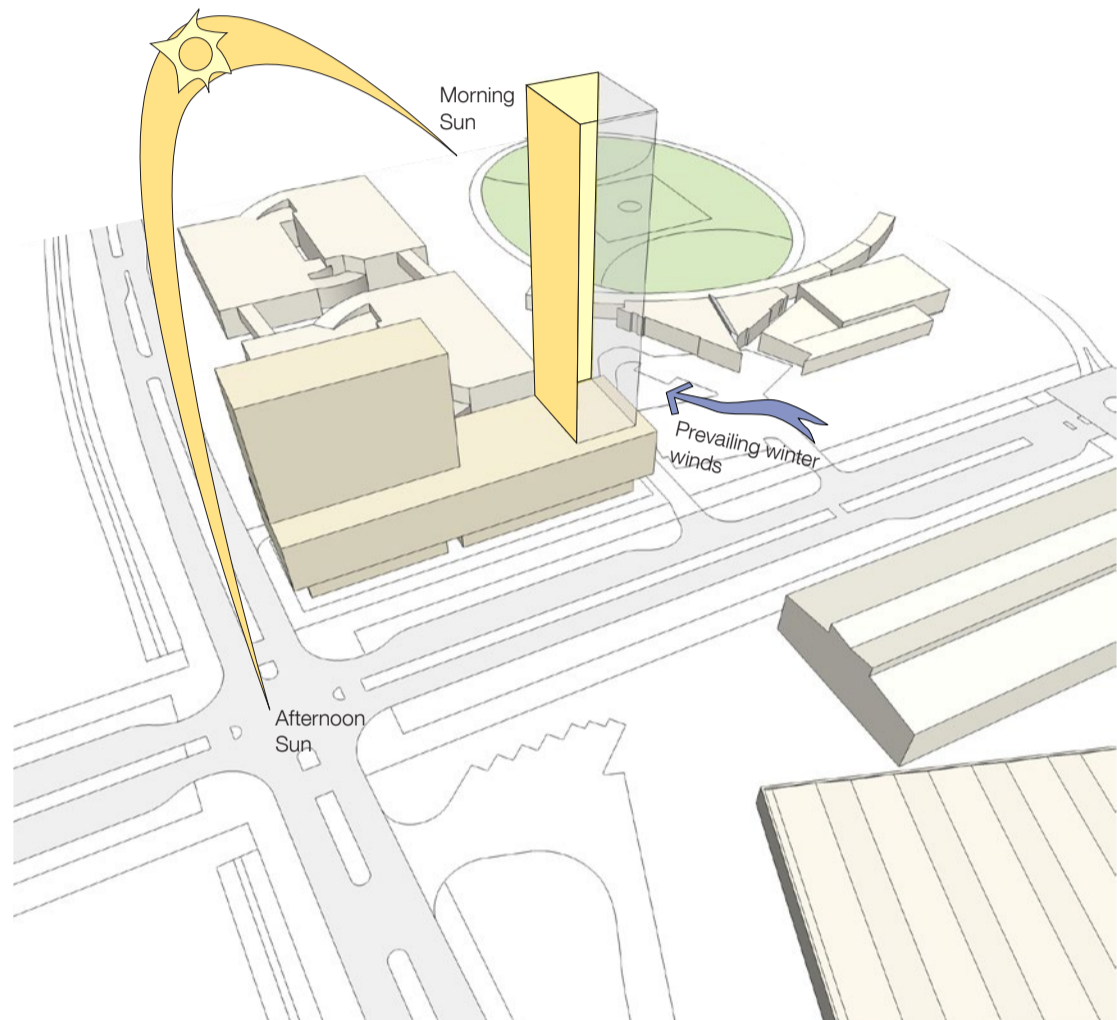
2.4 SOPA MASTERPLAN

The site development guidelines propose envelopes which comprises two towers of up to 32 storeys above a continuous podium. The podium height at RL36m frames the Athletics Centre and defines a continuous street wall. The ground level is setback to create a continuous colonnade and a through site link breaks down the length of the block at ground level. Towers are required to be set back 5m from the southern and western frontages.



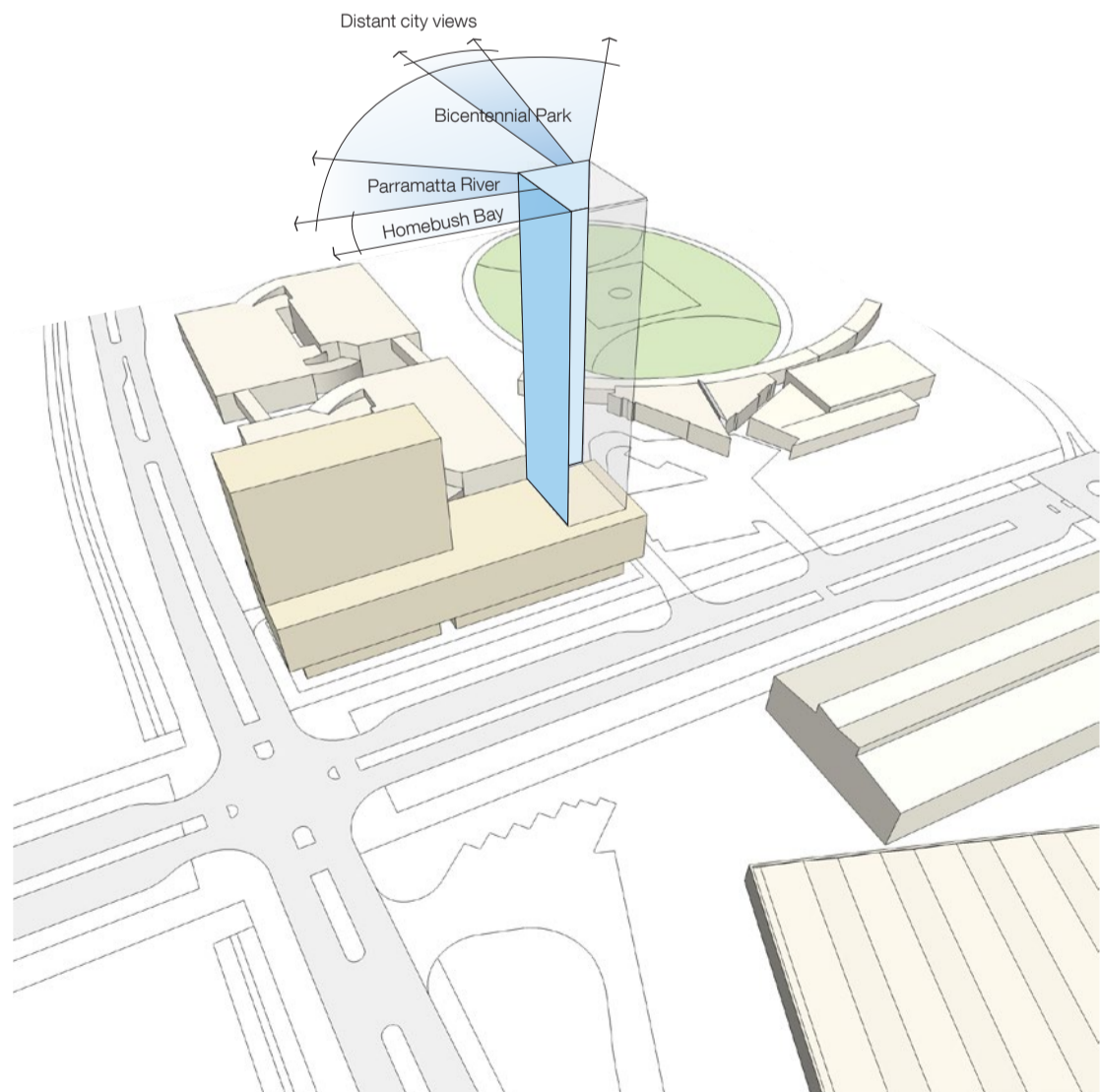
2.5 SOLAR ACCESS AND WIND

The rectangular site is oriented with the Olympic Boulevard frontage facing 30 degrees south of west. The eastern and northern frontages will receive 3 hours sunlight on the winter solstice. The prevailing winter wind direction requires that any tower forms be set back from the street wall on the southern and eastern sides.



2.6 VIEWS

The site benefits from panoramic views to the east and north. There are magnificent views across Bicentennial Park to the CBD and Sydney Harbour from the south to the north east; and views to Homebush Bay and the Parramatta River from the north east to the north.



3.0 SCHEME OVERVIEW

Principle 2: Built form and scale

Good design achieves a scale, bulk and height appropriate to the existing or desired future character of the street and surrounding buildings.

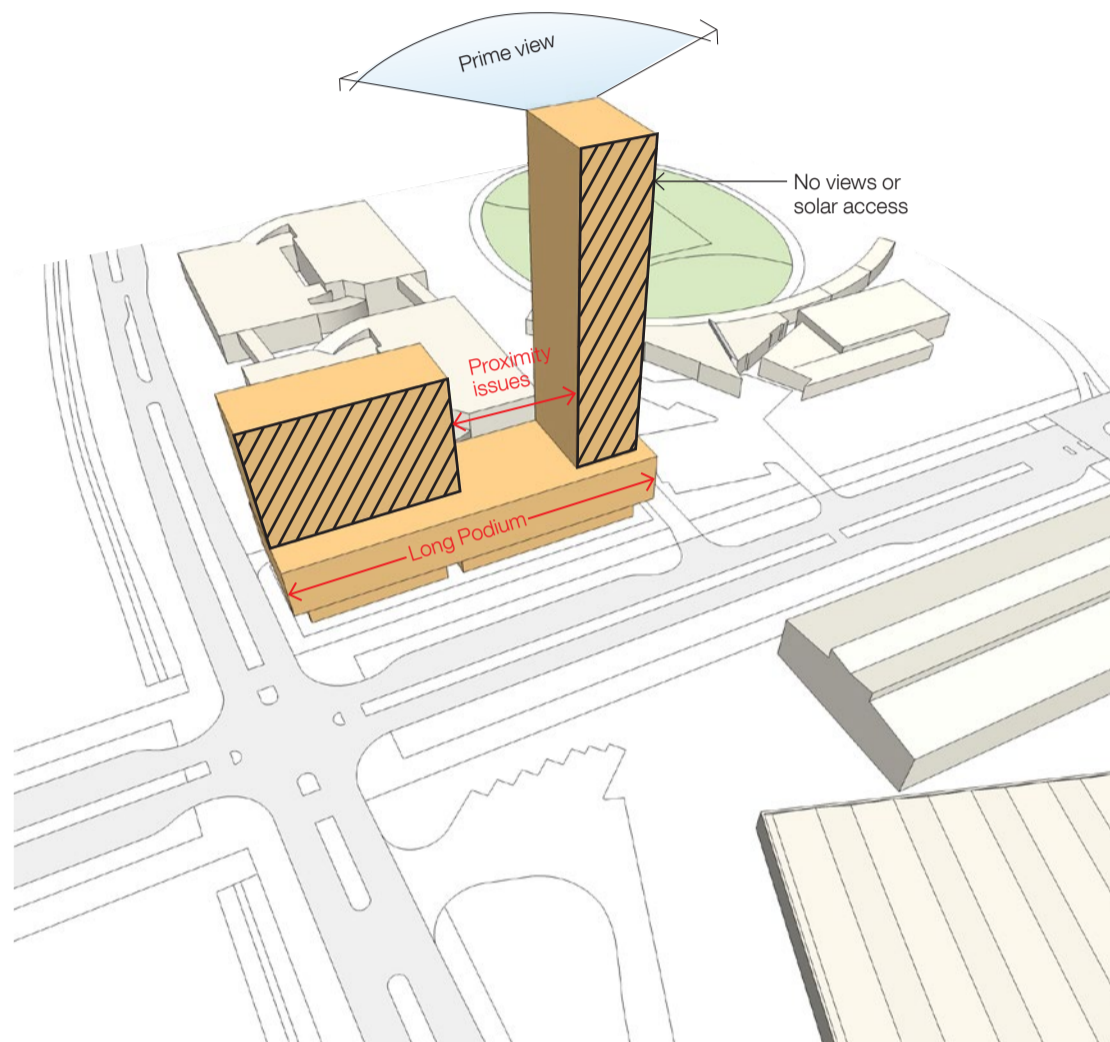
Good design also achieves an appropriate built form for a site and the building's purpose in terms of building alignments, proportions, building type, articulation and the manipulation of building elements.

Appropriate built form defines the public domain, contributes to the character of streetscapes and parks, including their views and vistas, and provides internal amenity and outlook.

3.1 ISSUES WITH MASTERPLAN MASSING

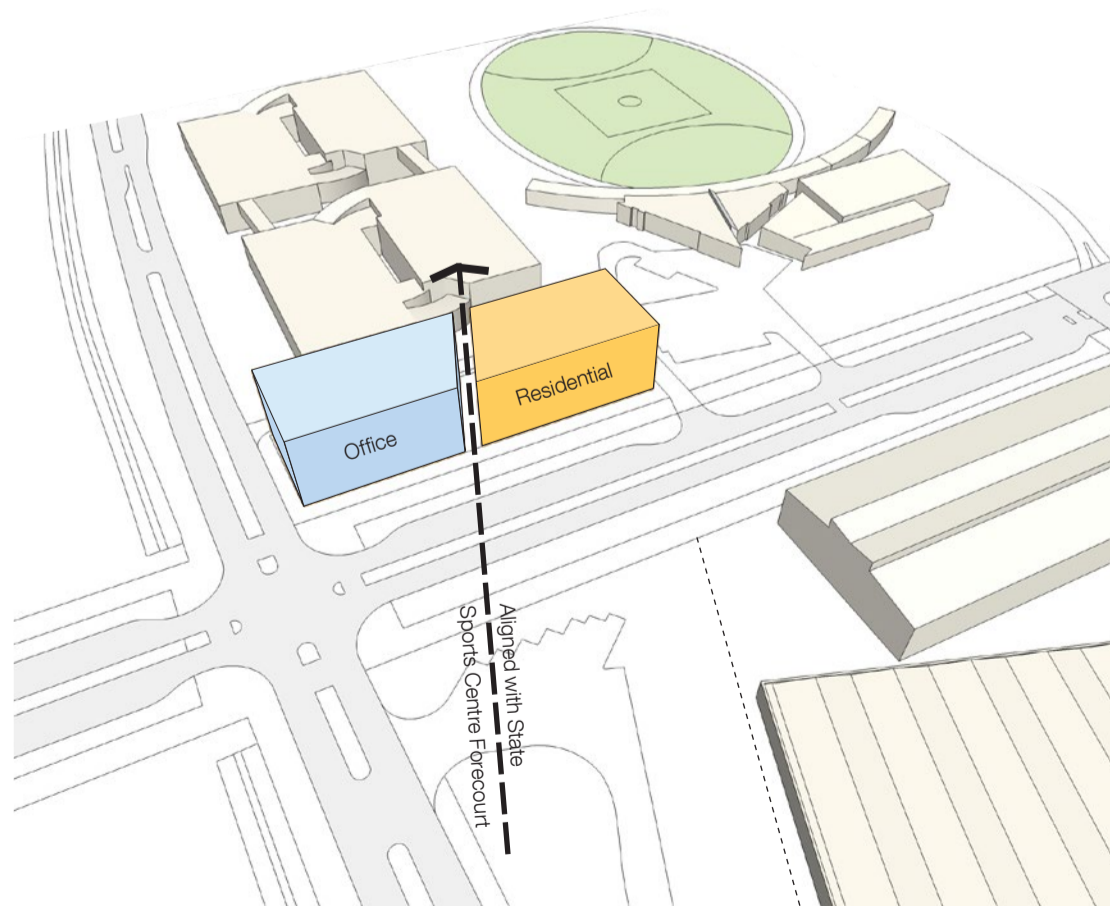
The masterplan massing proposes two towers above a consistent podium. This massing has several issues, the response to which forms the basis of our design response.

- / An 104m long podium creates an imposing presence on Olympic Boulevard
- / Two tower forms could create proximity issues and weakens the reading of Olympic Boulevard as a consistent street wall with separated towers above
- / Only half the tower floorplates benefit from prime views and optimum solar orientation.



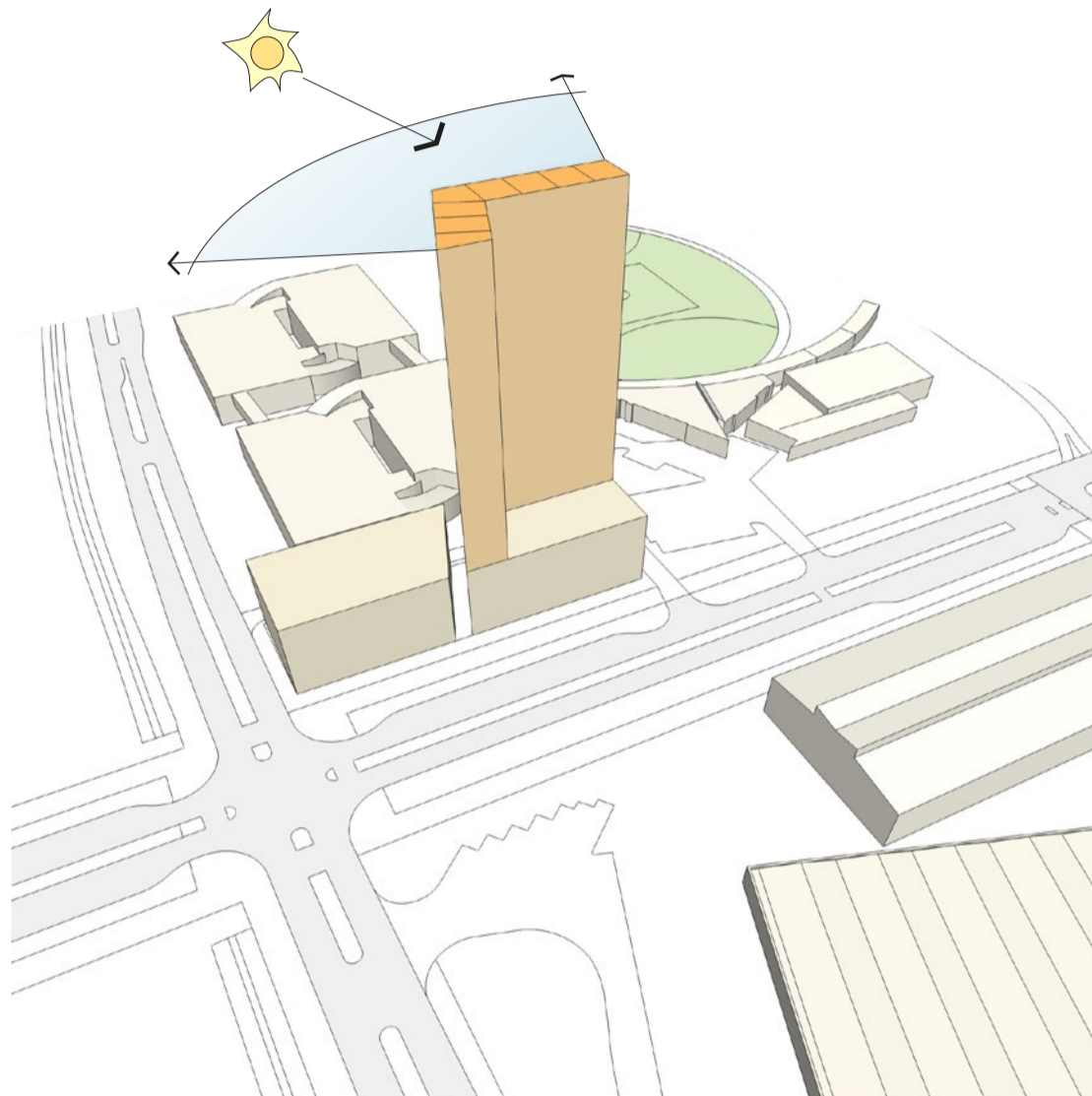
3.2 SPLIT BLOCK

The site has been split to create a through site link aligned with geometry of the State Sports Centre Forecourt. This breaks down the length of the podium and provides the office building and the residential building with separate identities



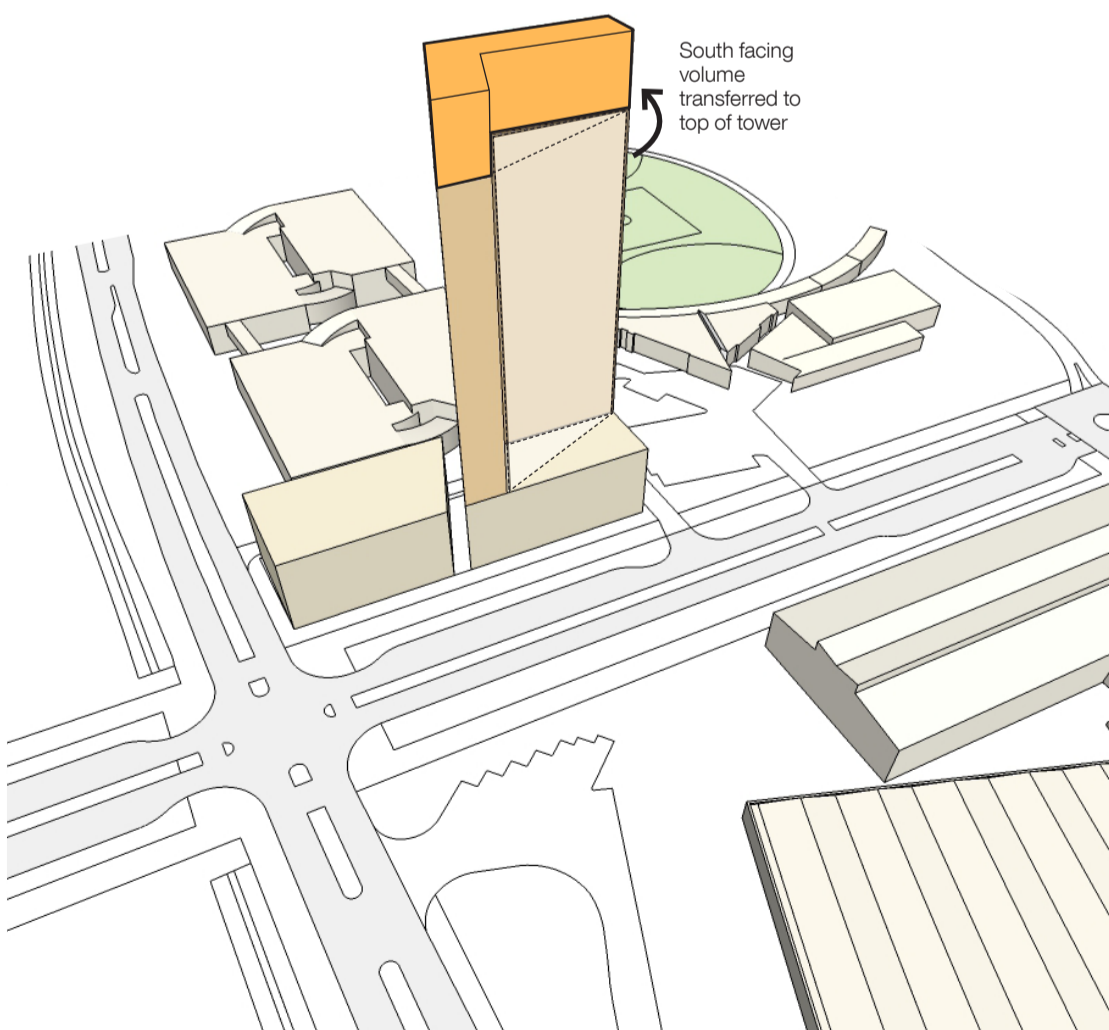
3.3 RESIDENTIAL FLOORPLATE

Apartments have been oriented within a single tower to optimise solar orientation and maximise the number of apartments with prime views. The tower is located at the south end of the site to minimise the visual impact and reflected heat of the adjacent car park.



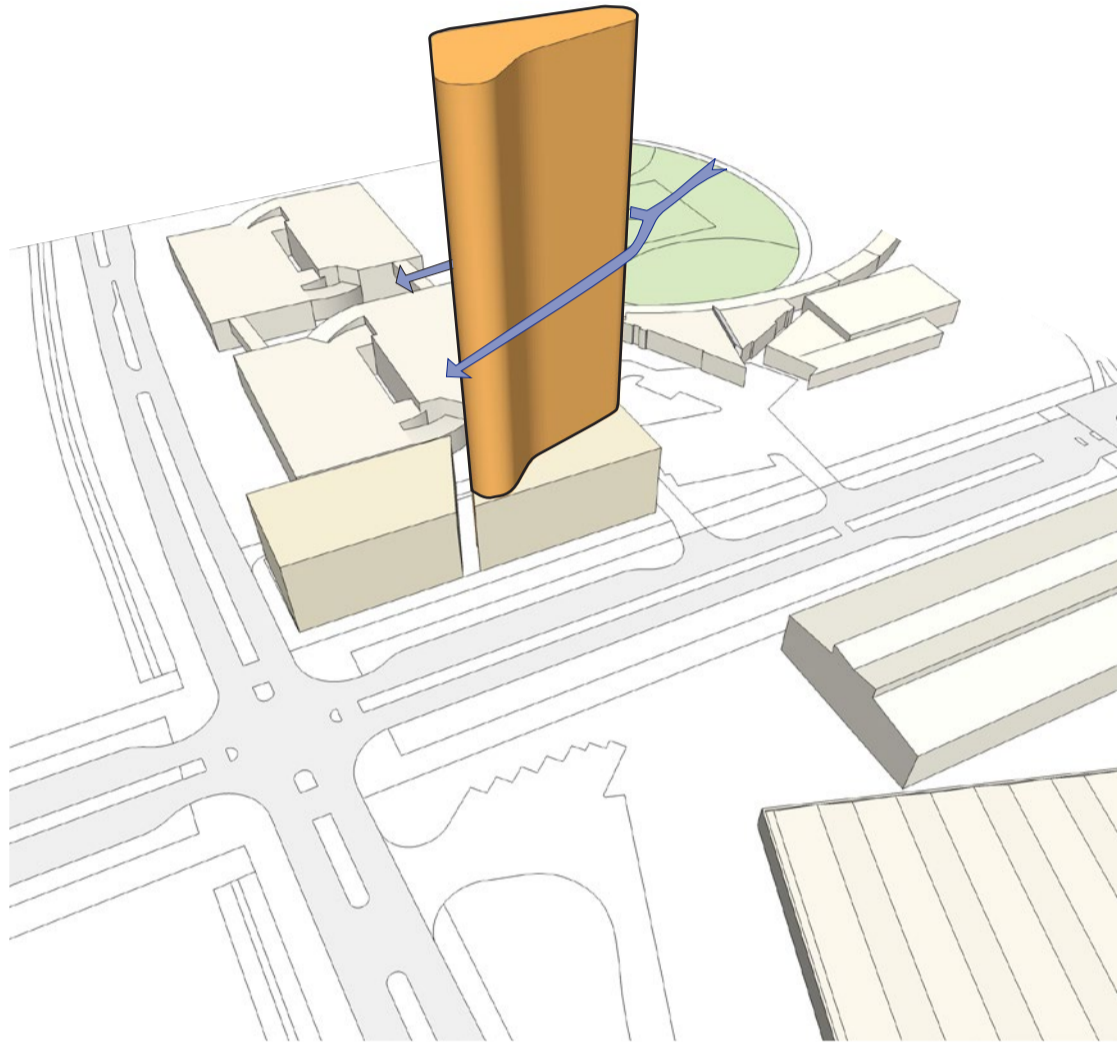
3.4 100% SOLAR ACCESS

Southwest facing floor area which would otherwise receive limited solar access has been transferred to the top of the tower, creating a smaller floorplate which achieves 100% of apartments with 2 hours solar access at midwinter.



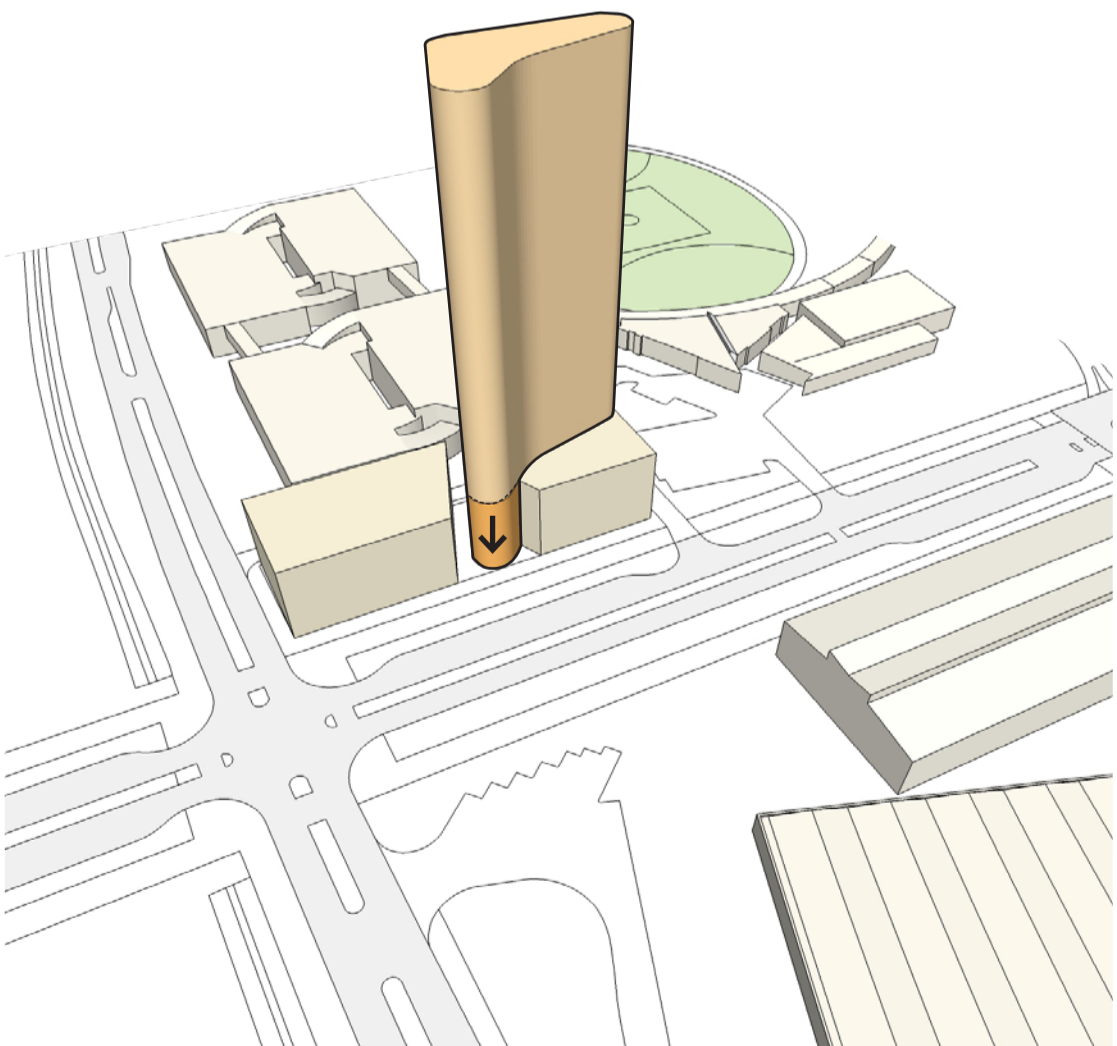
3.5 CURVED TOWER FORM

The boomerang shaped form has been curved at the corners to minimise downdraft and wind impact to the public domain.



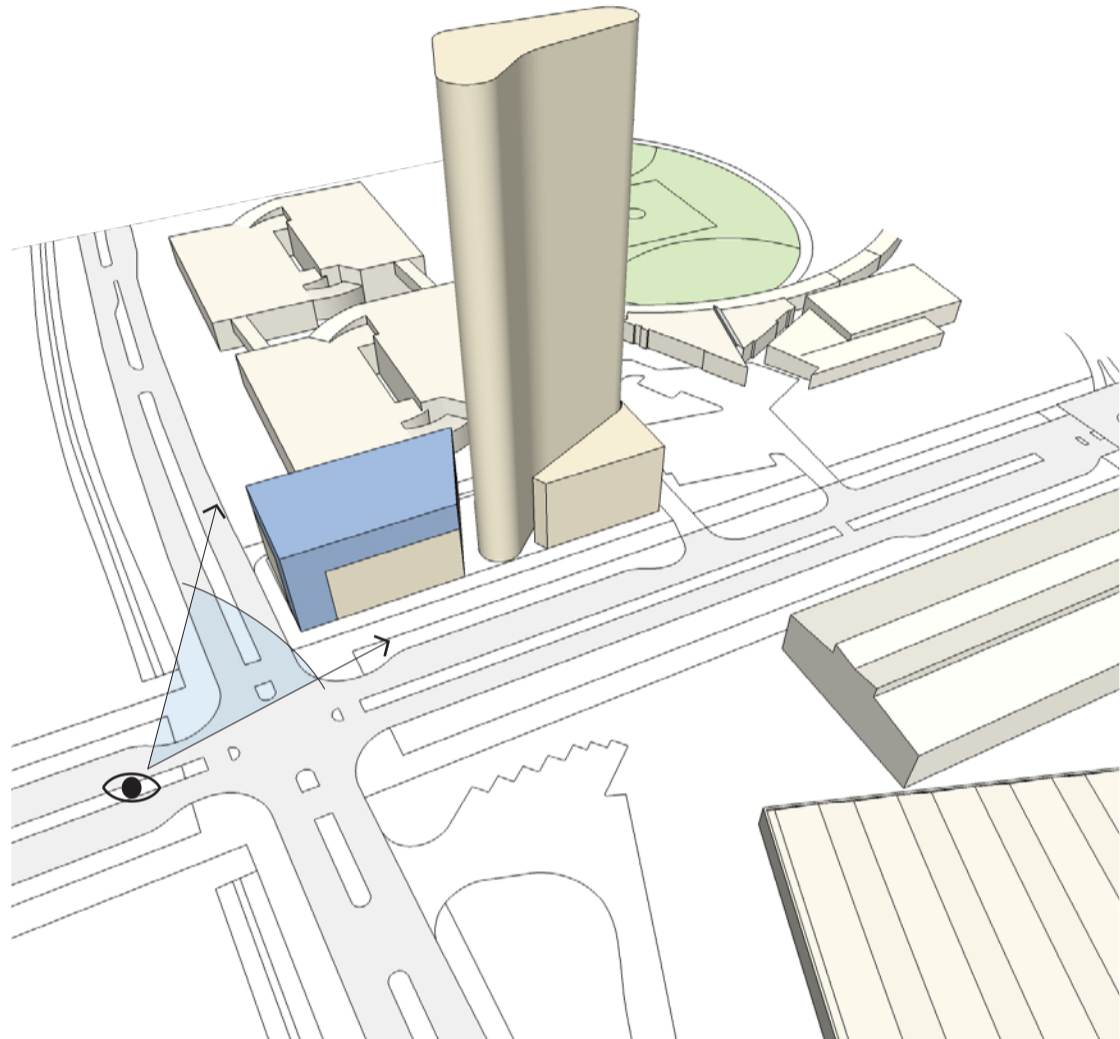
3.6 TOWER COMES TO GROUND

The tower form comes down to ground to reduce the scale of the podium, enhance the identity of the tower, and define the entry to the tower.



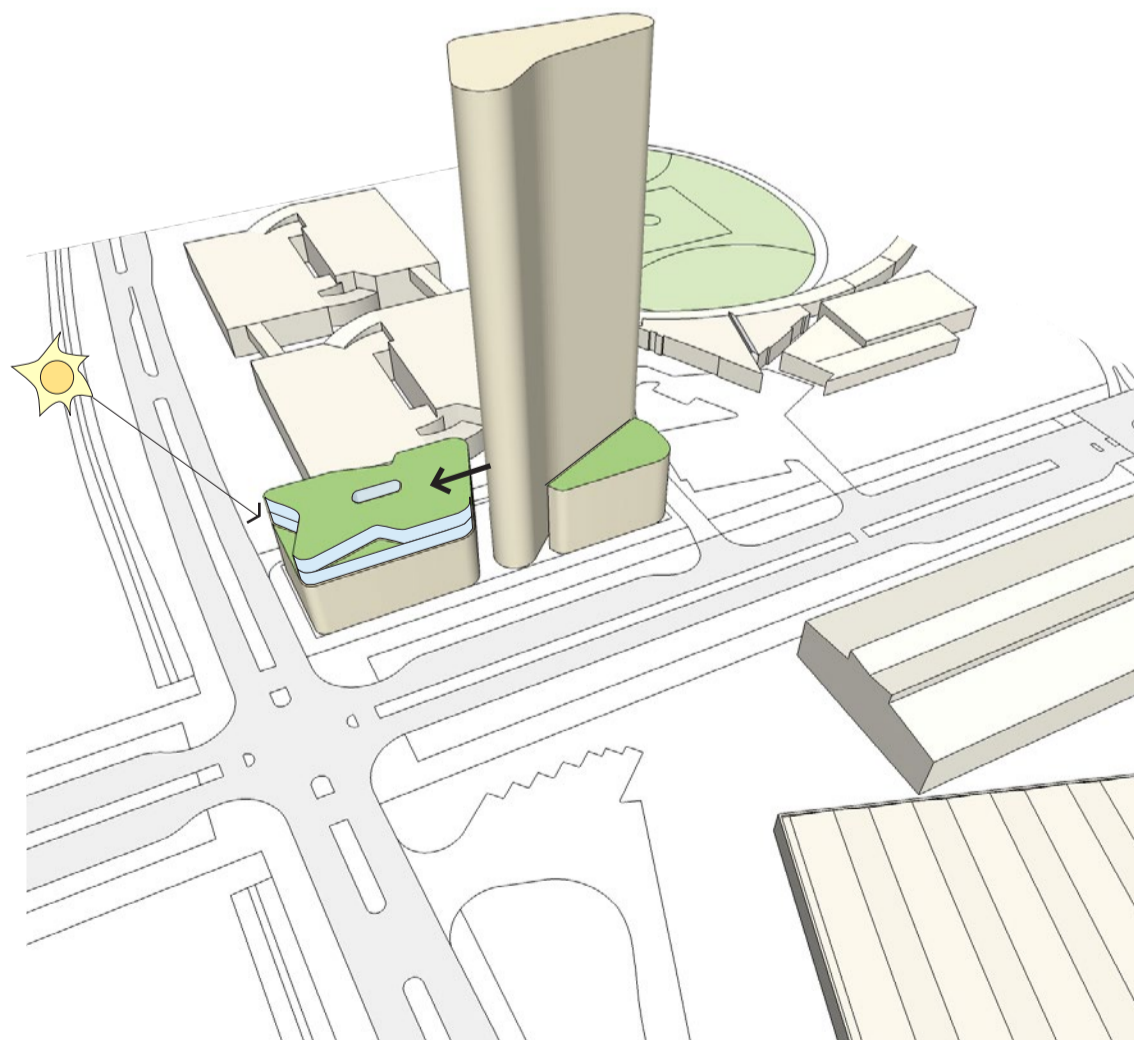
3.7 COMMERCIAL OFFICE

The visual prominence of the commercial office is enhanced by being located on the primary street corner at the top of the building.



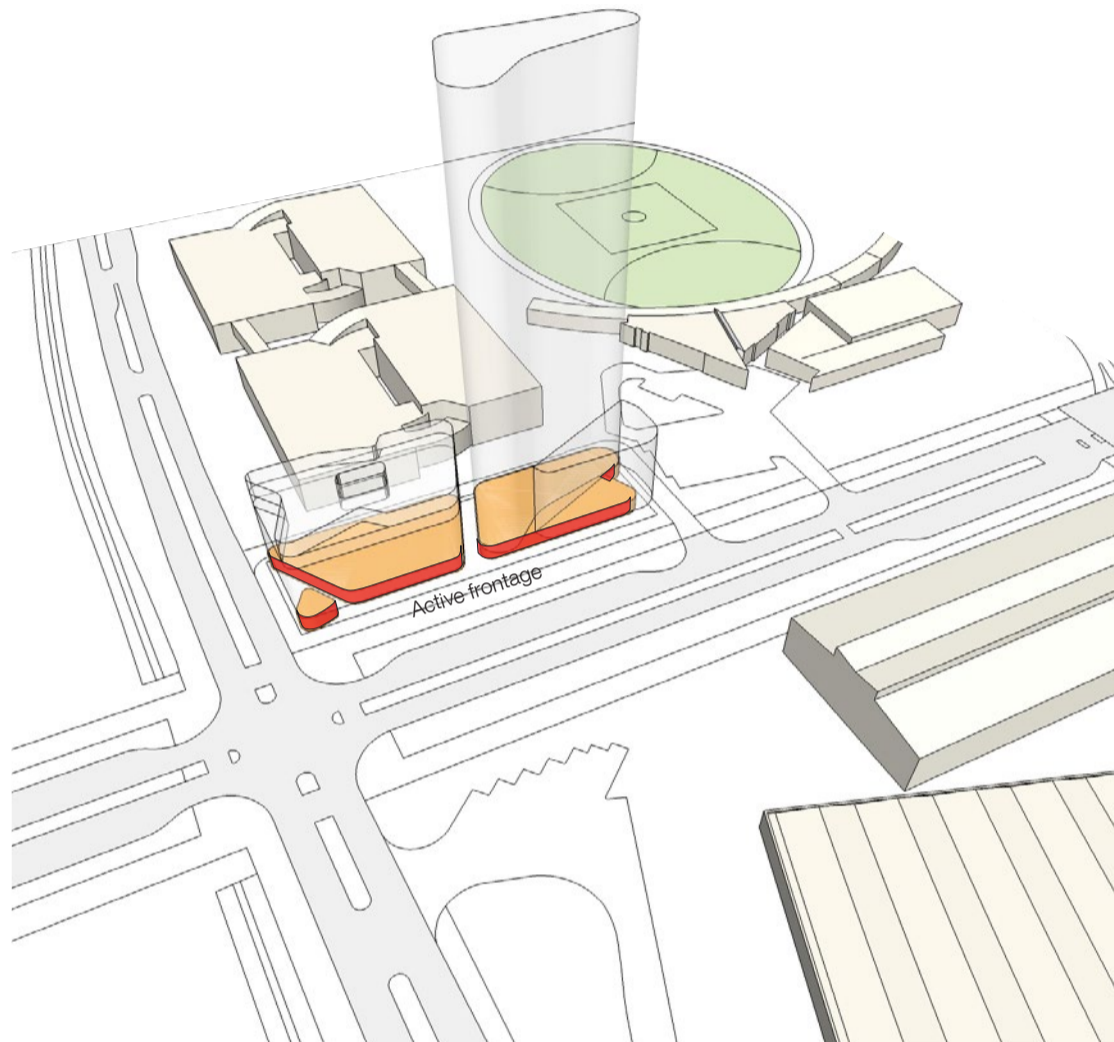
3.8 SHAPED TO MAXIMISE AMENITY

The office floors have been shaped to maximise amenity. To the north, east and west they accommodate outdoor terraces with views of the park and its surrounds. A central atrium ensures that the entire floorplate has access to natural light. The office roof is connected to the residential tower and provides a landscaped garden for residents.



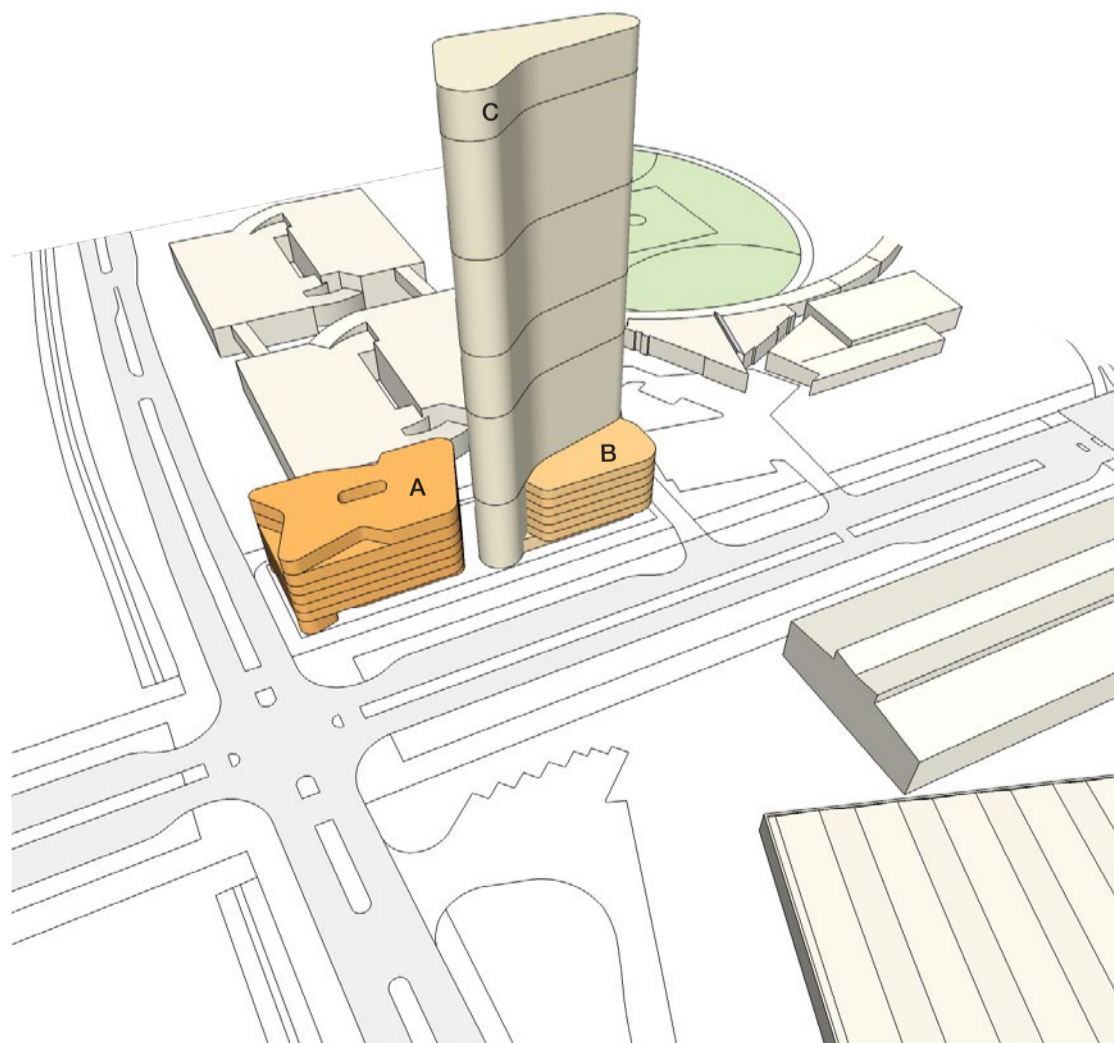
3.9 ACTIVE GROUND PLANE

Lobbies and retail uses are provided in a colonnade at ground level to activate the frontages to Olympic Boulevard and Sarah Durack Avenue.



3.10 COLLECTION OF FORMS

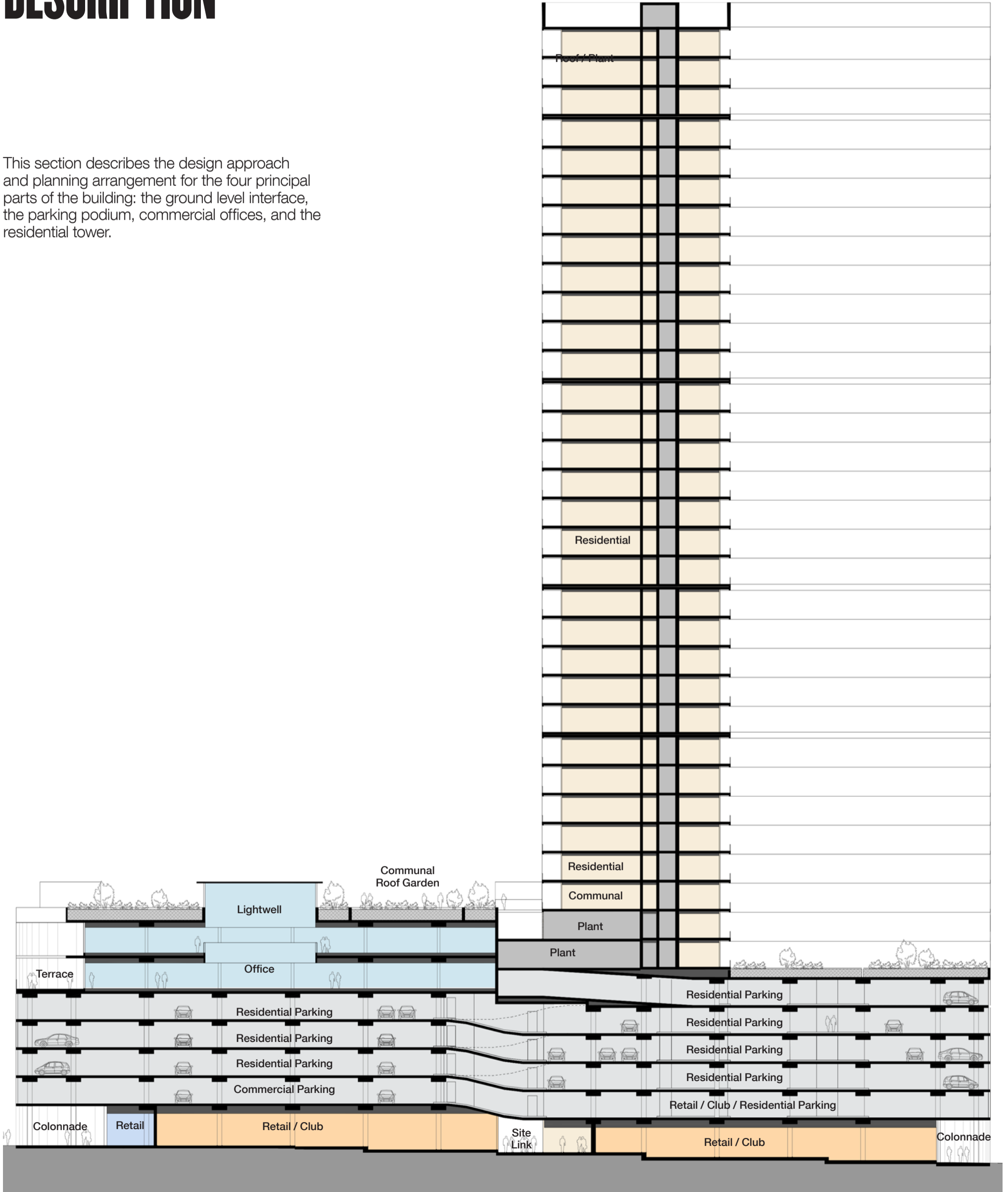
The proposed massing has been arranged as three interlocking objects representing the three primary uses on the site: office, retail and residential. The façade design is developed to reinforce the identity of these separate uses.





4.0 PROJECT DESCRIPTION

This section describes the design approach and planning arrangement for the four principal parts of the building: the ground level interface, the parking podium, commercial offices, and the residential tower.



4.1 GROUND LEVEL INTERFACE

The proposed ground level uses provide active frontages to Sarah Durack Avenue, Olympic Boulevard and the new street on the southern boundary. These three pedestrian frontages propose a 4m deep colonnade which is consistent with the requirements of the Site 9 Development Guidelines and the future alignment of site 12 colonnade. Vehicle entries and service areas are collocated on the eastern frontage.

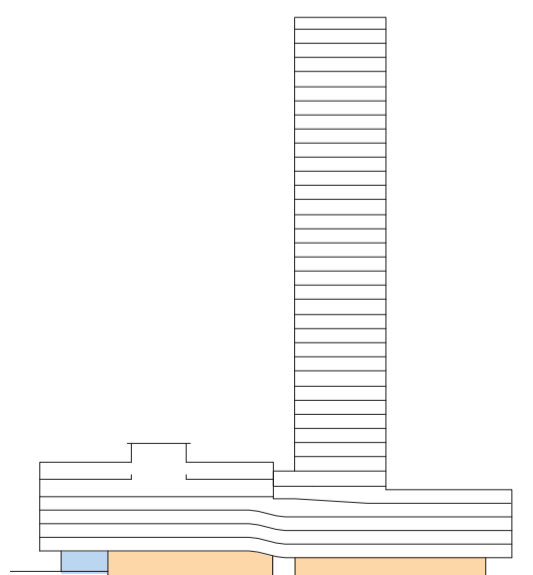
The continuous colonnade cuts across the northwest corner of the site allowing the glazed lifts for the commercial offices to come to ground as a standalone feature.

The main building is split into two wings either side of a publically accessible through site link which is 4.5m wide as required by the Site 9 Development Guidelines. North of the link, five retail/club tenancies line the western and northern colonnade.

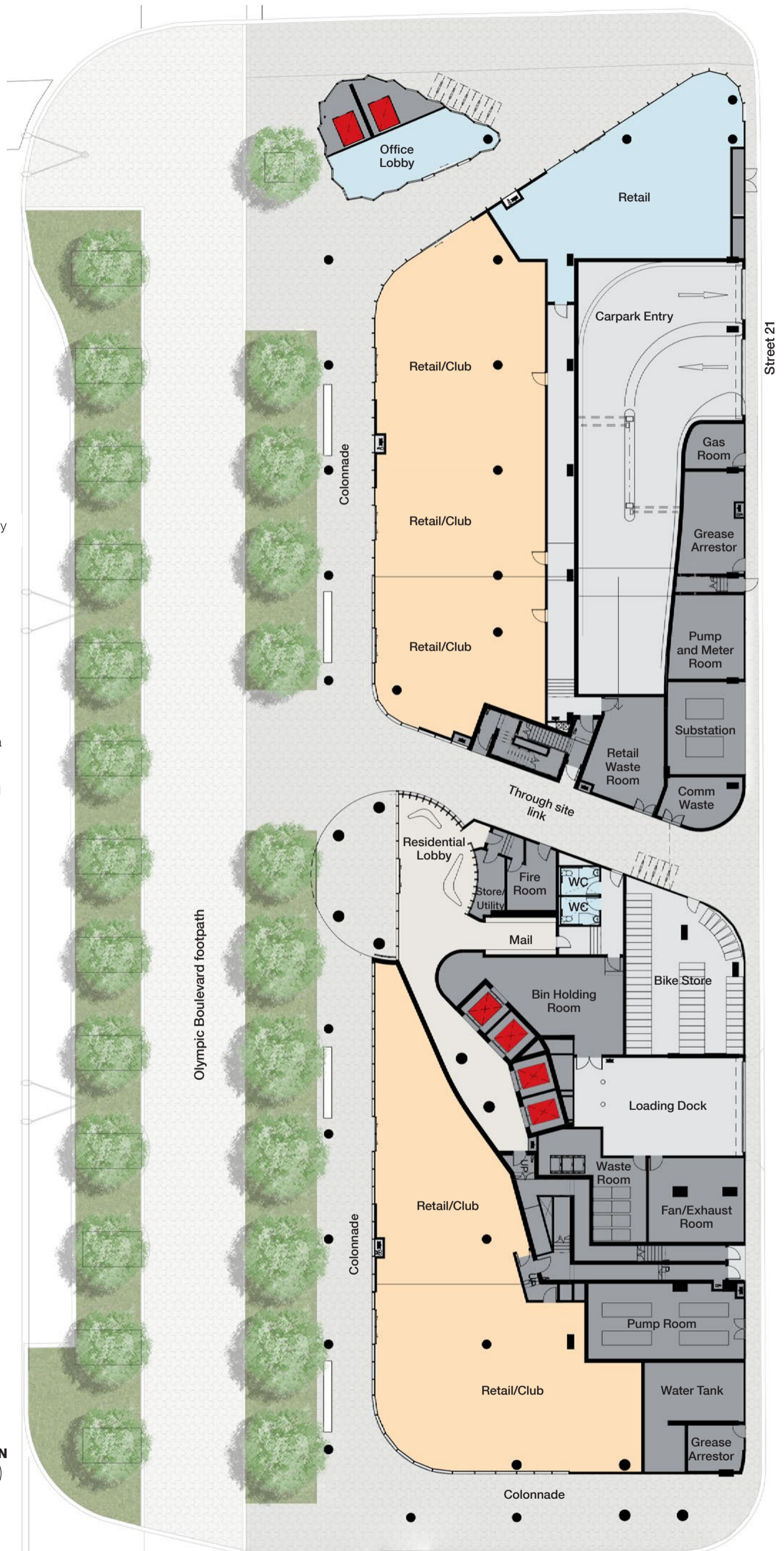
Immediately south of the link, fronting Olympic Boulevard, the residential entrance is defined by the curved form of the residential tower breaking the length of the podium. Additional retail/club tenancies line the western and southern frontages of the southern wing. The internal floor levels step gradually down the site providing regular entries into the tenancies.

Street 21, located to the east of the site, provides carpark and service access. A combined carpark entry is located at the northern end of the street alongside a services zone which includes two kiosk substations and waste rooms servicing the commercial and retail facilities. South of the through site link is a loading dock, residential waste room, and fire services.

The through site link provides access to WCs for retail patrons and a large bicycle storage room for commercial and residential visitor use.



KEY SECTION



OFFICE ENTRY

In the northwest corner of the site is a glazed lobby with glass lifts that provide access to the commercial offices on levels seven and eight.

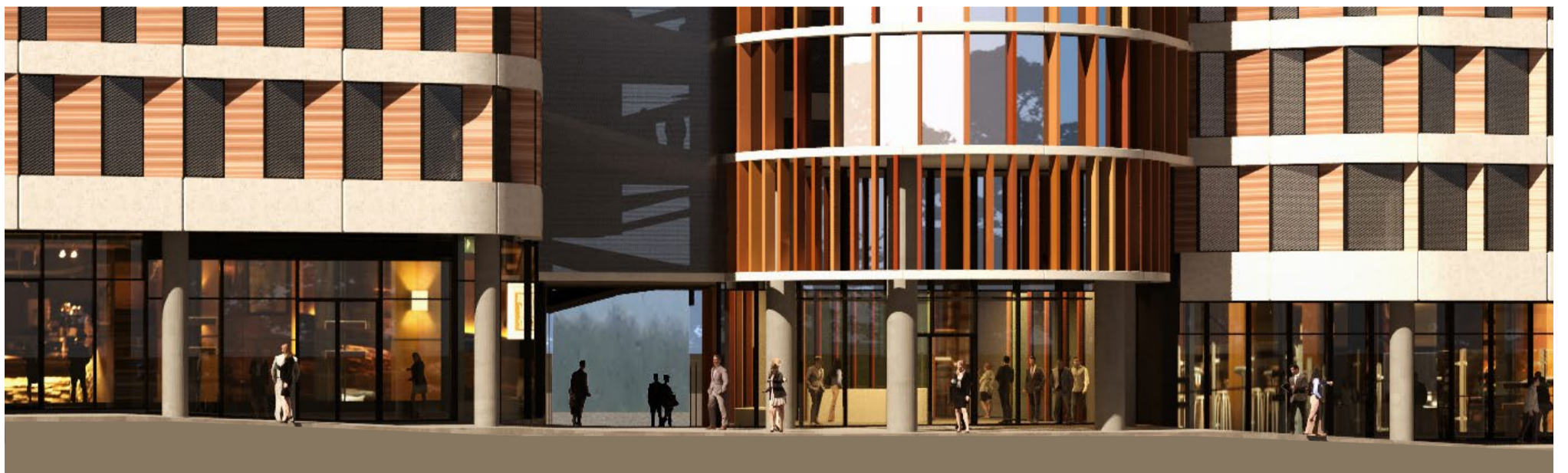
Rather than following the edge of the site, the continuous colonnade cuts in from the corner to provide a pedestrian short cut and to define the commercial lobby as a standalone feature. The lobby is accessed from within the colonnade providing good protection from wind and rain.

The north facing colonnade is activated by retail space with excellent solar access making it ideal for outdoor dining.



RESIDENTIAL ENTRY

Fronting Olympic Boulevard, alongside the through site link, is a double height residential lobby located under the tower form. The southern podium volume curves in from the western boundary, enabling the tower form to come to ground and break down the length of the podium.



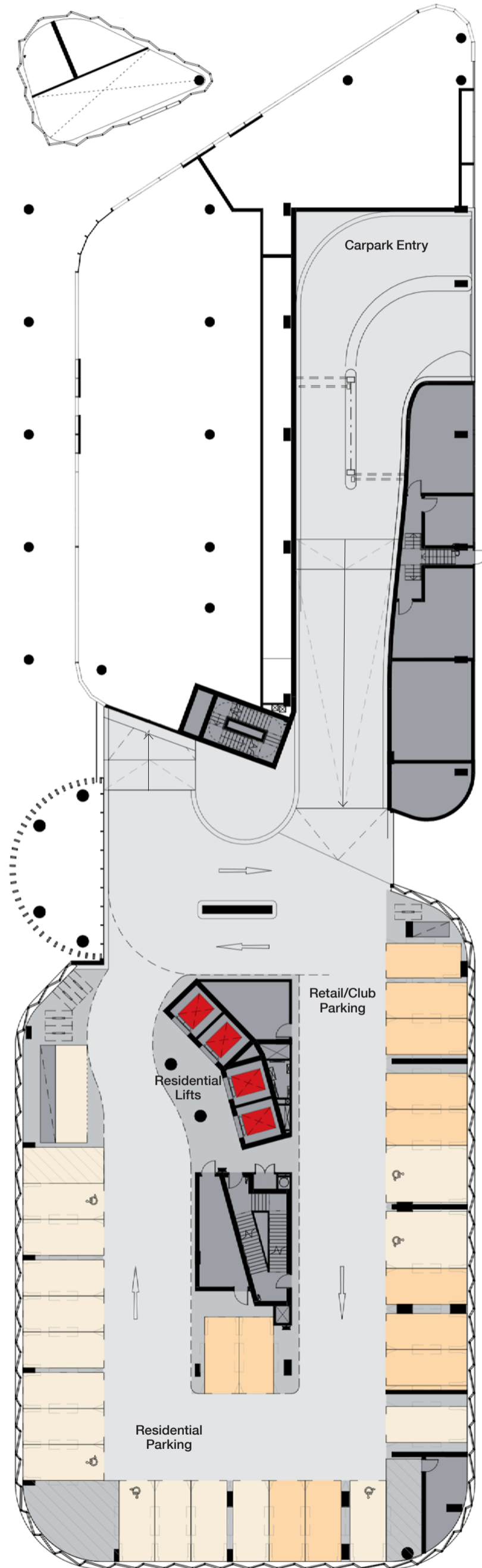
4.2 CARPARK PODIUM

Above ground parking is arranged over four and half levels within the podium structure. The two podium volumes are separated by half level ramps enabling traffic to circulate continuously.

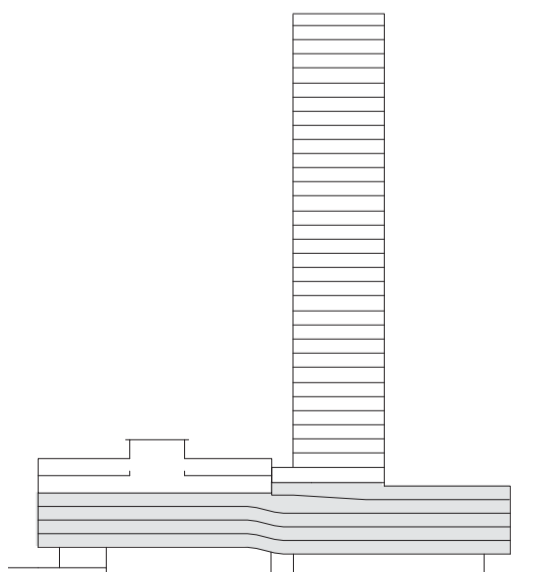
The office parking is located in a secure zone on level three. A bypass ramp is provided on level two to allow continuous circulation to the secure zone. Access to the office is via the lifts in the northwest corner of the carpark.

Parking for the retail/club employees is accommodated on level two in the southern wing. Access to the retail/club tenancies will be shared with the residential lifts through a secure swipe system.

The remaining areas are allocated to residential parking, with accessible parking spaces for adaptable apartments located close to the lift core. Residents and visitors have controlled access into the residential lifts.

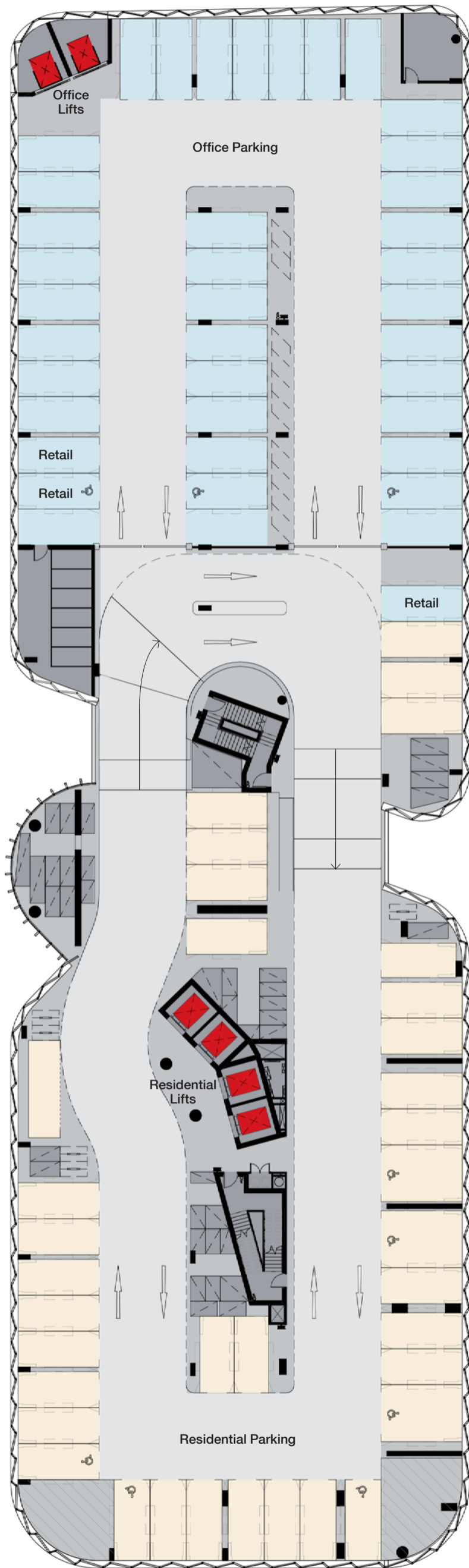


LEVEL 2 PLAN

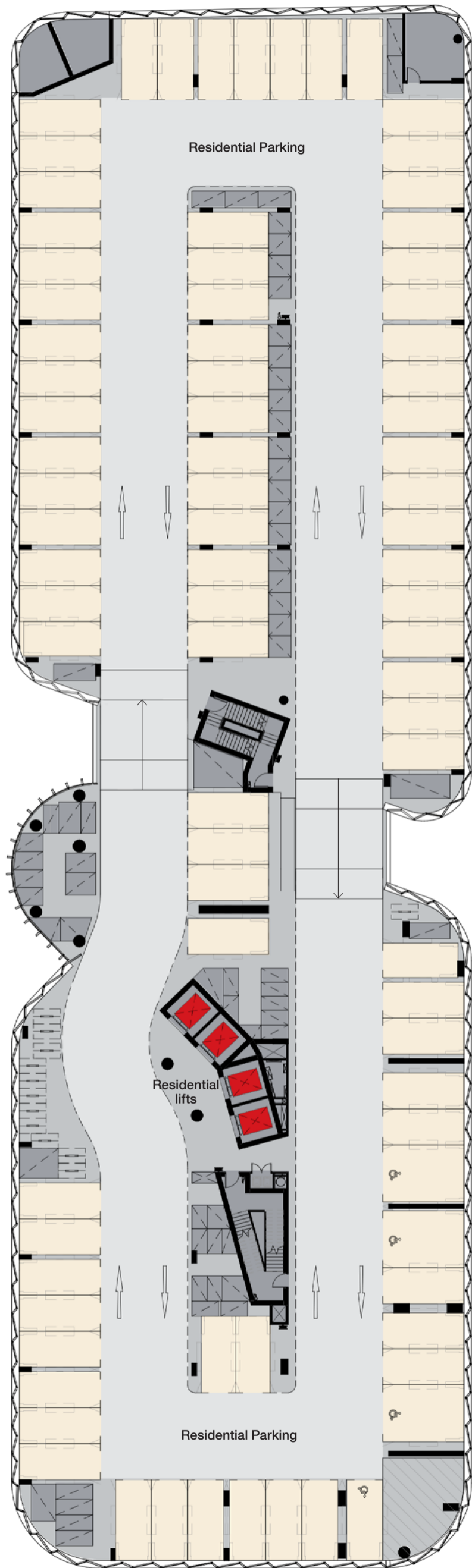


KEY SECTION

- Commercial
- Retail
- Club
- Residential



LEVEL 3 PLAN



LEVEL 4/5 PLAN