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Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

All drawings may not be reproduced or distributed without prior permission from the architect.

Notes - Construction General (BASIX)

Glazing

Doors / windows:

- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear** glazing to curtain walls & glazing to balcony edge.
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

- Roof:**
Concrete roof - No Insulation
Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:

Lightweight cladding to all external walls with R1.5 bulk insulation

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete – R2.1 insulation to all units in level 7 with car park below

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Floor coverings:
1 & 2 bed apartments - tiles to wets areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

Revision	Date	Description	Initial	Checked
B	2007.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP

Client: Ecove



Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 08



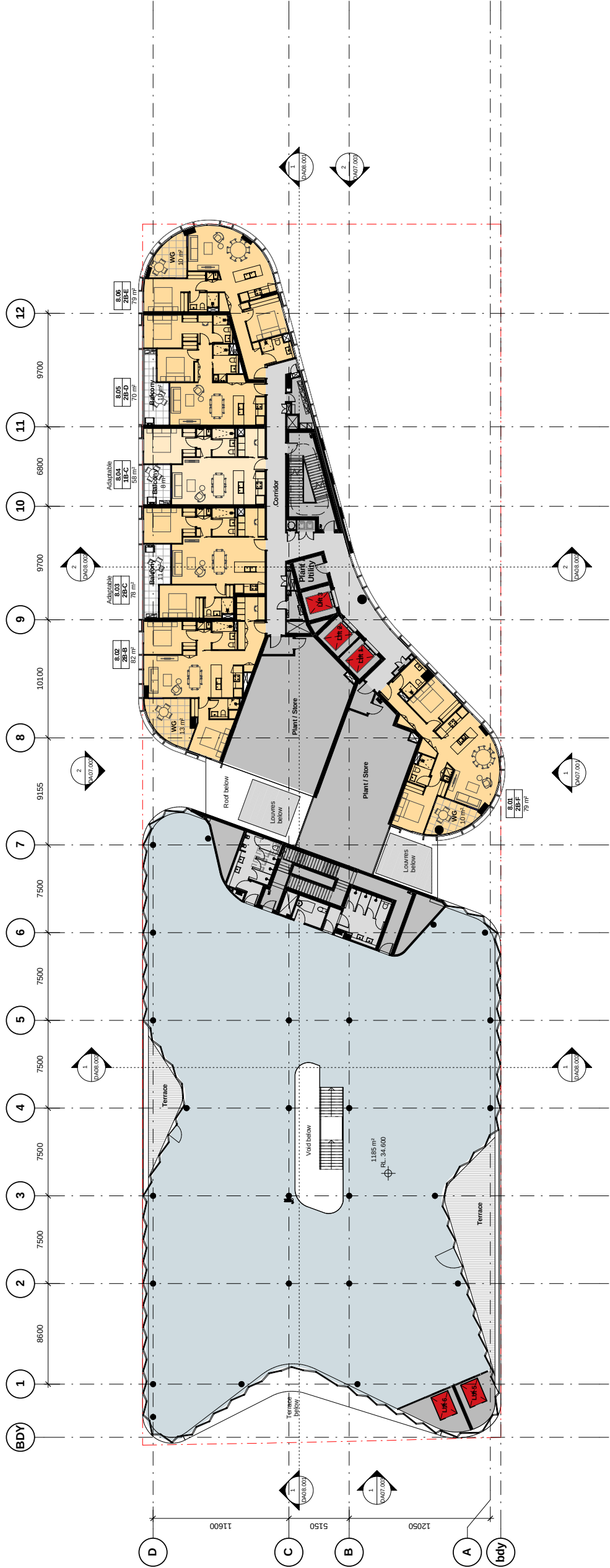
Status	Development Application		
Scale	1 : 200	@ A1	
Drawn	Author	Checked	Checker
Project No.	S11890		
Plot Date	2007/2006 2:59:01 PM		
Plot File			

Drawing no.	DA02.008	Revision	B
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Notes - Construction General (BASIX)

Glazing

Window windows:

- Aluminium framed single clear glazing to internal windows that open to wintergardens
- U-Value: 5.6 (equal to or lower than)
- SHGC: 0.69 (+ or - 10%)

- Aluminium framed double clear glazing to curtain walls & wintergardens
- U-Value: 4.4 (equal to or lower than)
- SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

- Plasterboard
- Concrete roof - No insulation
- Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & sit areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are greater than a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:
75mm helix power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm helix power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wets areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (~39mm) insulation to ringmain and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

C	24.01.17	Amended DA Issue	JS	MA
B	20.07.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	DATE	Description	Drawn	Checked

Client: Ecove



Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 09



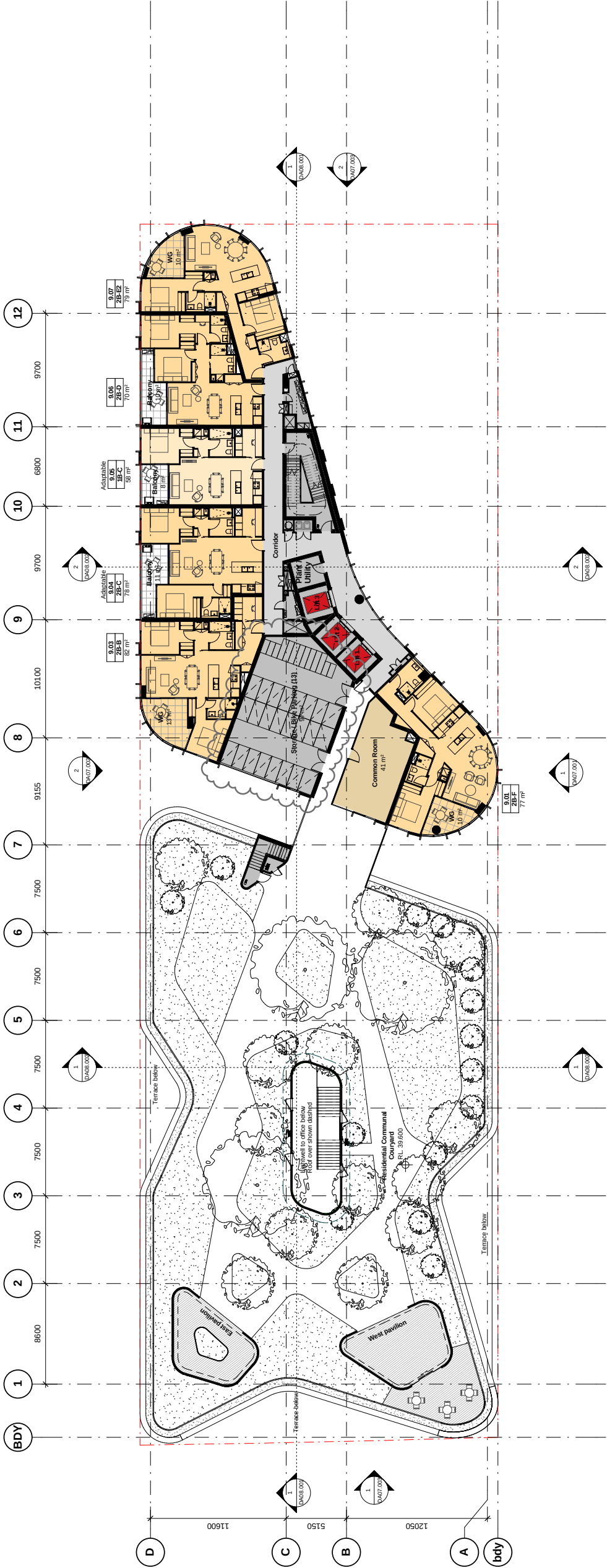
Status	Development Application
Scale	1: 200 @ A1
Drawn	Author
Project No.	S11890
Plot Date	24/01/2017 11:52:01 AM
Plot File	

Drawing no.	Revision
DA02.009	C

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Notes - Construction General (BASIX)

- Glazing**
Roof windows:
- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 5.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)
- Aluminium framed **double clear** glazing to curtain walls & wintergardens
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)
Given values are NFRC, total window values

- Roof / ceiling insulation**
Roof:
Concrete roof - No insulation
Default Colour modelled

- Ceiling:**
Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.
Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are more than 0.5% a later stage, BCA loss of insulation calculations will be required.

- Wall / floor insulation**
External Wall:
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

- Internal walls within units:**
Plasterboard on studs - no insulation

- Inter-tenancy walls / corridor:**
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

- 75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

- Floors:**
Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

- Floor coverings:**
1 & 2 bed apartments - tiles to wets areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

- Central hot water system**
Central gas-fired boiler with R1.0 (~39mm) insulation to ringmain and supply risers.

- Reticulated alternative water**
Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building.
(No rainwater tank required for BASIX compliance)

- Alternative energy**
Not required by BASIX

B	2007.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	DATE	Description	Revised	Checked



Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 10, 12, 14



Status	Development Application
Scale	1 : 100 @ A1
Drawn	Author
Project No.	S11890
Plot Date	20/07/2014 2:59:53 PM
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Drawing no.	Revision
DA02.010	B

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Notes - Construction General (BASIX)

- Glazing**
Roof windows:
- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 5.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)
- Aluminium framed **double clear** glazing to curtain walls & wintergardens
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)
Given values are NFRC, total window values

- Roof / ceiling insulation**
Roof:
Concrete roof - No insulation
Default Colour modelled

- Ceiling:**
Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.
Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are more than 0.5% at a later stage, BCA loss of insulation calculations will be required.

- Wall / floor insulation**
External Wall:
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

- Internal walls within units:**
Plasterboard on studs - no insulation

- Inter-tenancy walls / corridor:**
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

- 75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

- Floors:**
Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

- Floor coverings:**
1 & 2 bed apartments - tiles to wets areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

- Central hot water system**
Central gas-fired boiler with R1.0 (~39mm) insulation to ringmain and supply risers.

- Reticulated alternative water**
Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building.
(No rainwater tank required for BASIX compliance)

- Alternative energy**
Not required by BASIX

B	2007.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	DATE	Description	Drawn	Checked



Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 11, 13



Status	Development Application
Scale	1 : 100 @ A1
Drawn	Author
Project No.	S11890
Plot Date	20/07/2016 3:09:12 PM
Plot File	

Drawing no.	Revision
DA02.011	B

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Notes - Construction General (BASIX)

Glazing

Double Glazed Windows:

- Aluminium framed **single clear** glazing to internal windows that open to watergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear** glazing to curtain walls & glass balustrades
U-Value: 5.7 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / Ceiling Insulation

Plasterboard on studs - No insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are more than 0.5% then a later stage, BCA loss of insulation calculations will be required.

Wall / Floor Insulation

External Wall:

Lightweight cladding to all external walls with R1.5 bulk insulation No colour nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wetts areas, carpet to bedrooms and living areas as per plans

All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas fired boiler with R1.0 (-38mm) insulation to riser/main and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building.

(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

B	20.07.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	Date	Description	Initial	Checked

Client: Ecove



Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 15, 17, 19



Status	Development Application			
Scale	1 : 100	@	A1	
Drawn	Author	Checked	Checker	
Project No.	S11890			
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Plot File				

Drawing no.	Revision
DA02.015	B

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Notes - Construction General (BASIX)

Glazing

Roof / ceiling windows:

- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 5.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear** glazing to curtain walls & wintergardens
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

- Concrete roof - No insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & sit areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are more than 0.5% of the total ceiling area, calculations will be required.

Wall / floor insulation

External Wall:
Lightweight cladding to all external walls with R1.5 bulk insulation No colour nominated

Internal walls within units:
Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:
Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

Floor coverings:
1 & 2 bed apartments - tiles to wets areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building.
(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

B	2007.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	DATE	Description	Initial	Checked



Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 16, 18



Status	Development Application
Scale	1 : 100 @ A1
Drawn	Author
Project No.	S11890
Plot Date	20/07/2016 3:05:55 PM
Plot File	

Drawing no.	Revision
DA02.016	B

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Notes - Construction General (BASIX)

Glazing

Roof / ceiling windows:

- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 5.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)
- Aluminium framed **double clear** glazing to curtain walls & glazing to wintergardens
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

- Plasterboard - No insulation
- Concrete roof - No insulation
- Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.
Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are more than 0.5% at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (~39mm) insulation to ringmain and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building.
(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

B	2007.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	DATE	Description	Revised	Checked



Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 20, 22, 24, 26



Status	Development Application
Scale	1 : 100 @ A1
Drawn	Author
Project No.	S11890
Plot Date	20/07/2016 3:01:17 PM
Plot File	

Drawing no.	Revision
DA02.020	B

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Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
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Notes - Construction General (BASIX)

Glazing

Roof windows:

- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 5.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)
- Aluminium framed **double clear** glazing to curtain walls & wintergardens
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Plasterboard

Concrete roof - No insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are more than 0.5% of the total ceiling area, calculations will be required.

Wall / floor insulation

External Wall:

Lightweight cladding to all external walls with R1.5 bulk insulation No colour nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans

All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building.

(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

B 2007.16 Amended DA Issue JS CP
A 01.03.16 Development Application JS CP

Revision Date Description Initial Checked

Client: Ecore



Site 9, Sydney Olympic Park
3 Olympic Boulevard



General Arrangement Plan
Level 27, 29, 31, 33, 35

Status	Development Application
Scale	1: 100 @ A1
Drawn	Author
Project No.	S11890
Plot Date	20/07/2016 3:02:03 PM
Plot File	

Drawing no.	Revision
DA02.027	B

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All drawings may not be reproduced or distributed without prior permission from the architect.

Notes - Construction General (BASIX)

Glazing

- Double Glazed Windows:**
- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)
 - Aluminium framed **double clear** glazing to curtain walls & wintergardens
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)
- Given values are NFRC, total window values

Roof / ceiling insulation

- Roof:**
Concrete roof - No insulation
Default Colour modelled

Ceiling:

- Plasterboard ceiling - R2.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.
Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are more than 0.5% of the total ceiling area, calculations will be required.

Wall / floor insulation

- External Wall:**
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:

- Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

- 75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

- 75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

- Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

Floor coverings:

- 1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

- Central gas fired boiler with R1.0 (-38mm) insulation to risermain and supply risers.

Reticulated alternative water

- Alternative water supply available from Sydney Olympic Park Authority (SOPA) for use in the irrigation of all landscaping & all toilets within the building.
(No rainwater tank required for BASIX compliance)

Alternative energy

- Not required by BASIX

B	20.07.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP

Revision	Date	Description	Initial	Checked
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Client: Ecove

ecove

Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 28, 30, 32, 34



Status	Development Application			
Scale	1 : 100	@ A1		
Drawn	Author	Checked	Checker	
Project No.	S11890			
Plot Date	20/07/2016 3:02:24 PM			
Plot File				

Drawing no.	Revision
DA02.028	B

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Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.

Notes - Construction General (BASIX)

Glazing

Window windows:

- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 5.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear** glazing to curtain walls & wintergardens
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof:

Concrete roof - No insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & sit areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are more than 0.5% a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:

Lightweight cladding to all external walls with R1.5 bulk insulation No other nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wets areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (~39mm) insulation to ringmain and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

B	2007.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	Date	Description	Initial	Checked



Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 36-37



Status	Development Application
Scale	1: 100 @ A1
Drawn	Author
Project No.	S11890
Plot Date	20/07/2016 3:02:40 PM
Plot File	

Drawing no.	Revision
DA02.036	B

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Notes - Construction General (BASIX)

Glazing

- Double windows:**
- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)
 - Aluminium framed **double clear** glazing to curtain walls & wintergardens
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)
- Given values are NFRC, total window values

Roof / ceiling insulation

- Roof:**
Concrete roof - No insulation
Default Colour modelled

Ceiling:

- Plasterboard ceiling - R2.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.
Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are more than 0.5% of the total ceiling area, BCA calculations will be required.

Wall / floor insulation

- External Wall:**
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:

- Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

- 75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

- 75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

- Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

Floor coverings:

- 1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

- Central gas-fired boiler with R1.0 (-38mm) insulation to risermain and supply risers.

Reticulated alternative water

- Alternative water supply available from Sydney Olympic Park Authority (SOPA) for use in the irrigation of all landscaping & all toilets within the building.
(No rainwater tank required for BASIX compliance)

Alternative energy

- Not required by BASIX

B	20.07.16	Amended DA Issue	JS	CP
A	03.03.16	Development Application	JS	CP

Revision	Date	Description	Initial	Checked
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Client: Ecove

ecove

Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 38



Status	Development Application			
Scale	1 : 100 @ A1			
Drawn	Author	Checked	Checker	
Project No.	S11890			
Plot Date	20/07/2016 4:17:59 PM			
Plot File				

Drawing no.	Revision
DA02.038	B

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Notes - Construction General (BASIX)

Glazing

Roof / Floor Insulation

Roof / Ceiling Insulation

Roof / Floor Insulation

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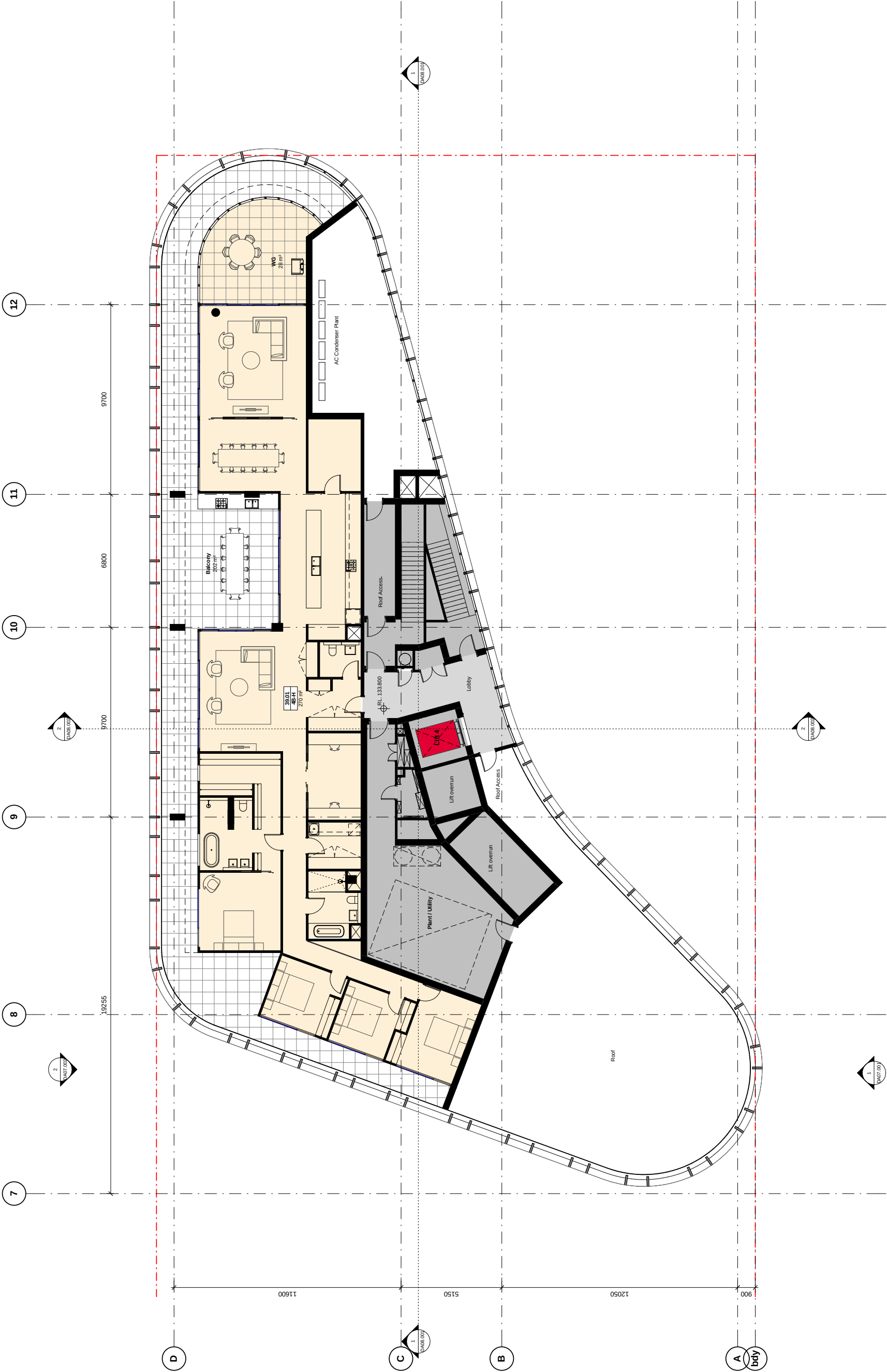
Roof / Ceiling Insulation

Roof / Floor Insulation

Roof / Ceiling Insulation

Roof / Floor Insulation

Roof / Ceiling Insulation



B	2007.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	Date	Description	Initial	Checked



Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 39



Status	Development Application
Scale	1: 100 @ A1
Drawn	Author
Project No.	S11890
Plot Date	20/07/2014 4:18:09 PM
Plot File	

Drawing no.	Revision
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