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Notes - Construction General (BASIX)

- Glazing**
Roof windows:
- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 5.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)
- Aluminium framed **double clear** glazing to curtain walls & wintergardens
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)
Given values are NFRC, total window values

- Roof / ceiling insulation**
Roof:
Concrete roof - No insulation
Default Colour modelled

- Ceiling:**
Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.
Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are more than 0.5% of the total ceiling area, calculations will be required.

- Wall / floor insulation**
External Wall:
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

- Internal walls within units:**
Plasterboard on studs - no insulation

- Inter-tenancy walls / corridor:**
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

- 75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

- Floors:**
Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

- Floor coverings:**
1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

- Central hot water system**
Central gas-fired boiler with R1.0 (~39mm) insulation to ringmain and supply risers.

- Reticulated alternative water**
Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building.
(No rainwater tank required for BASIX compliance)

- Alternative energy**
Not required by BASIX

B	2007.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	DATE	Description	Drawn	Checked



Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 10, 12, 14



Status	Development Application
Scale	1 : 100 @ A1
Drawn	Author
Project No.	S11890
Plot Date	20/07/2014 2:59:53 PM
Plot File	

Drawing no.	Revision
DA02.010	B

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Notes - Construction General (BASIX)

Glazing

Roofing windows:

- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 5.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear** glazing to curtain walls & wintergardens
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

- Concrete roof - No insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are more than 0.5% at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:
Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wets areas, carpet to bedrooms and living areas as per plans

All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (~39mm) insulation to ringmain and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building.

(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

B	2007.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	DATE	Description	Drawn	Checked



Site 9, Sydney Olympic Park
3 Olympic Boulevard



General Arrangement Plan
Level 11, 13

Status	Development Application
Scale	1: 100 @ A1
Drawn	Author
Project No.	S11890
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DA02.011	B

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Notes - Construction General (BASIX)

Glazing

- Double Glazed Windows:**
- Aluminium framed **single clear** glazing to internal windows that open to watergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)
 - Aluminium framed **double clear** glazing to curtain walls & glass balustrades
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / Ceiling Insulation

- Roof:**
Concrete roof - No insulation
Default Colour modelled

Ceiling:

- Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.
Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are greater than this, a later stage, BCA loss of insulation calculations will be required.

Wall / Floor Insulation

- External Wall:**
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:

- Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

- 75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

- 75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

- Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

Floor coverings:

- 1 & 2 bed apartments - tiles to wetts areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

- Central gas fired boiler with R1.0 (-38mm) insulation to riser/main and supply risers.

Reticulated alternative water

- Alternative water supply available from Sydney Olympic Park Authority. Not used for the irrigation of all landscaping & all toilets within the building.
(No rainwater tank required for BASIX compliance)

Alternative energy

- Not required by BASIX

B	20.07.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	Date	Description	Initial	Checked



Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 15, 17, 19



Status	Development Application			
Scale	1 : 100	@	A1	
Drawn	Author	Checked	Checker	
Project No.	S11890			
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Notes - Construction General (BASIX)

Glazing

Roof / ceiling windows:

- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 5.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)
- Aluminium framed **double clear** glazing to curtain walls & wintergardens
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

- R3.0
- Concrete roof - No insulation
- Default Colour modelled

Ceiling:

- Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.
- Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & sit areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are more than 0.5% of the total ceiling area, calculations will be required.

Wall / floor insulation

- **External Wall:**
Lightweight cladding to all external walls with R1.5 bulk insulation No colour nominated

Internal walls within units:

- Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

- 75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

- Concrete - R2.1 insulation to all units in level 7 with car park below
- Concrete - no insulation required between units

Floor coverings:

- 1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
- All 3 & 4 bed apartments tiled throughout

Central hot water system

- Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

Reticulated alternative water

- Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
- (No rainwater tank required for BASIX compliance)

Alternative energy

- Not required by BASIX

B	2007.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	DAW	Description	Initial	Checked



Site 9, Sydney Olympic Park
3 Olympic Boulevard



General Arrangement Plan
Level 16, 18

Status	Development Application
Scale	1 : 100 @ A1
Drawn	Author
Project No.	S11890
Plot Date	20/07/2016 3:05:55 PM
Plot File	

Drawing no.	Revision
DA02.016	B

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Notes - Construction General (BASIX)

Glazing

Roof / ceiling windows:

- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 5.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)
- Aluminium framed **double clear** glazing to curtain walls & glazing to wintergardens
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

- Plasterboard - No insulation
- Concrete roof - No insulation
- Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.
Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are more than 0.5% at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (~39mm) insulation to ringmain and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building.
(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

B	2007.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	DATE	Description	Initial	Checked



Site 9, Sydney Olympic Park
3 Olympic Boulevard



General Arrangement Plan
Level 20, 22, 24, 26

Status	Development Application
Scale	1: 100 @ A1
Drawn	Author
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Drawing no.	Revision
DA02.020	B

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Notes - Construction General (BASIX)

Glazing

Roof / floor windows:

- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 5.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear** glazing to curtain walls & wintergardens
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

- Concrete roof - No insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are more than 0.5% of the total ceiling area, calculations will be required.

Wall / floor insulation

External Wall:

Lightweight cladding to all external walls with R1.5 bulk insulation. No colour nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans

All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building.

(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

B	2007.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	DATE	Description	Revised	Checked



Site 9, Sydney Olympic Park
3 Olympic Boulevard



General Arrangement Plan
Level 21, 23, 25

Status	Development Application
Scale	1 : 100 @ A1
Drawn	Author
Project No.	S11890
Plot Date	20/07/2016 3:01:38 PM
Plot File	

Drawing no.	Revision
DA02.021	B

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Notes - Construction General (BASIX)

Glazing

Roof windows:

- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 5.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear** glazing to curtain walls & wintergardens
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Plasterboard

Concrete roof - No insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are more than 0.5% of the total ceiling area, calculations will be required.

Wall / floor insulation

External Wall:

Lightweight cladding to all external walls with R1.5 bulk insulation No colour nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wets areas, carpet to bedrooms and living areas as per plans

All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building.

(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

B	2007.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	DAW	Description	Initial	Checked



Site 9, Sydney Olympic Park
3 Olympic Boulevard



General Arrangement Plan
Level 27, 29, 31, 33, 35

Status	Development Application
Scale	1 : 100 @ A1
Drawn	Author
Project No.	S11890
Plot Date	20/07/2016 3:02:03 PM
Plot File	

Drawing no.	Revision
DA02.027	B

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Notes - Construction General (BASIX)

Glazing

- Double Glazed Windows:**
- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)
 - Aluminium framed **double clear** glazing to curtain walls & wintergardens
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)
- Given values are NFRC, total window values

Roof / ceiling insulation

- Roof:**
Concrete roof - No insulation
Default Colour modelled

Ceiling:

- Plasterboard ceiling - R2.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.
Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are more than 0.5% of the total ceiling area, calculations will be required.

Wall / floor insulation

- External Wall:**
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:

- Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

- 75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

- 75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

- Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

Floor coverings:

- 1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

- Central gas fired boiler with R1.0 (-38mm) insulation to riser/main and supply risers.

Reticulated alternative water

- Alternative water supply available from Sydney Olympic Park Authority (SOPA) for use in the irrigation of all landscaping & all toilets within the building.
(No rainwater tank required for BASIX compliance)

Alternative energy

- Not required by BASIX

B	20.07.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	Date	Description	Initial	Checked

Client: Ecove



Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 28, 30, 32, 34



Status	Development Application
Scale	1 : 100 @ A1
Drawn	Author
Project No.	S11890
Plot Date	29/07/2016 3:02:24 PM
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Drawing no.	Revision
DA02.028	B

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Notes - Construction General (BASIX)

Glazing

Double windows:

- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 5.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear** glazing to curtain walls & wintergardens
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof:

Concrete roof - No insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & 60t areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are more than 0.5% a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:

Lightweight cladding to all external walls with R1.5 bulk insulation No other nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wets areas, carpet to bedrooms and living areas as per plans

All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

B	2007.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	Date	Description	Initial	Checked



Client: Ecove

Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 36-37



Status	Development Application
Scale	1: 100 @ A1
Drawn	Author
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Drawing no.	Revision
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Notes - Construction General (BASIX)

Glazing

Double windows:

- Aluminium framed single clear glazing to internal windows that open to wintergardens
- U-Value: 6.6 (equal to or lower than)
- SHGC: 0.69 (+ or - 10%)

- Aluminium framed double clear glazing to curtain walls & wintergardens
- U-Value: 4.4 (equal to or lower than)
- SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Plasterboard

Concrete roof - No insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R2.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are more than 0.5% of the total ceiling area, BCA calculations will be required.

Wall / floor insulation

External Wall:

Lightweight cladding to all external walls with R1.5 bulk insulation No colour nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans

All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (-38mm) insulation to riser/main and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority (SOPA) for use in the irrigation of all landscaping & all toilets within the building.

(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

B	20.07.16	Amended DA Issue	JS	CP
A	03.03.16	Development Application	JS	CP
Revision	Date	Description	Initial	Checked



Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 38



Status	Development Application
Scale	1 : 100 @ A1
Drawn	Author
Project No.	S11890
Plot Date	20/07/2016 4:17:59 PM
Plot File	

Drawing no.	Revision
DA02.038	B

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Notes - Construction General (BASIX)

Glazing

- Double windows:**
- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)
 - Aluminium framed **double clear** glazing to curtain walls & glazing to wintergardens
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)
- Given values are NFRC, total window values

Roof / ceiling insulation

- Roof:**
Concrete roof - No insulation
Default Colour modelled

Ceiling:

- Plasterboard ceiling - R2.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.
Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & stair areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are greater than this, a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

- External Wall:**
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:

- Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

- 75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

- 75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

- Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

Floor coverings:

- 1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

- Central gas-fired boiler with R1.0 (~38mm) insulation to righmain and supply risers.

Reticulated alternative water

- Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building.
(No rainwater tank required for BASIX compliance)

Alternative energy

- Not required by BASIX

A	20.07.16	Amended DA Issues	Description	35	Final	CP
Revision	Date					Checked

Client Ecove



Site 9, Sydney Olympic Park
3 Olympic Boulevard



General Arrangement Plan
Roof Plan

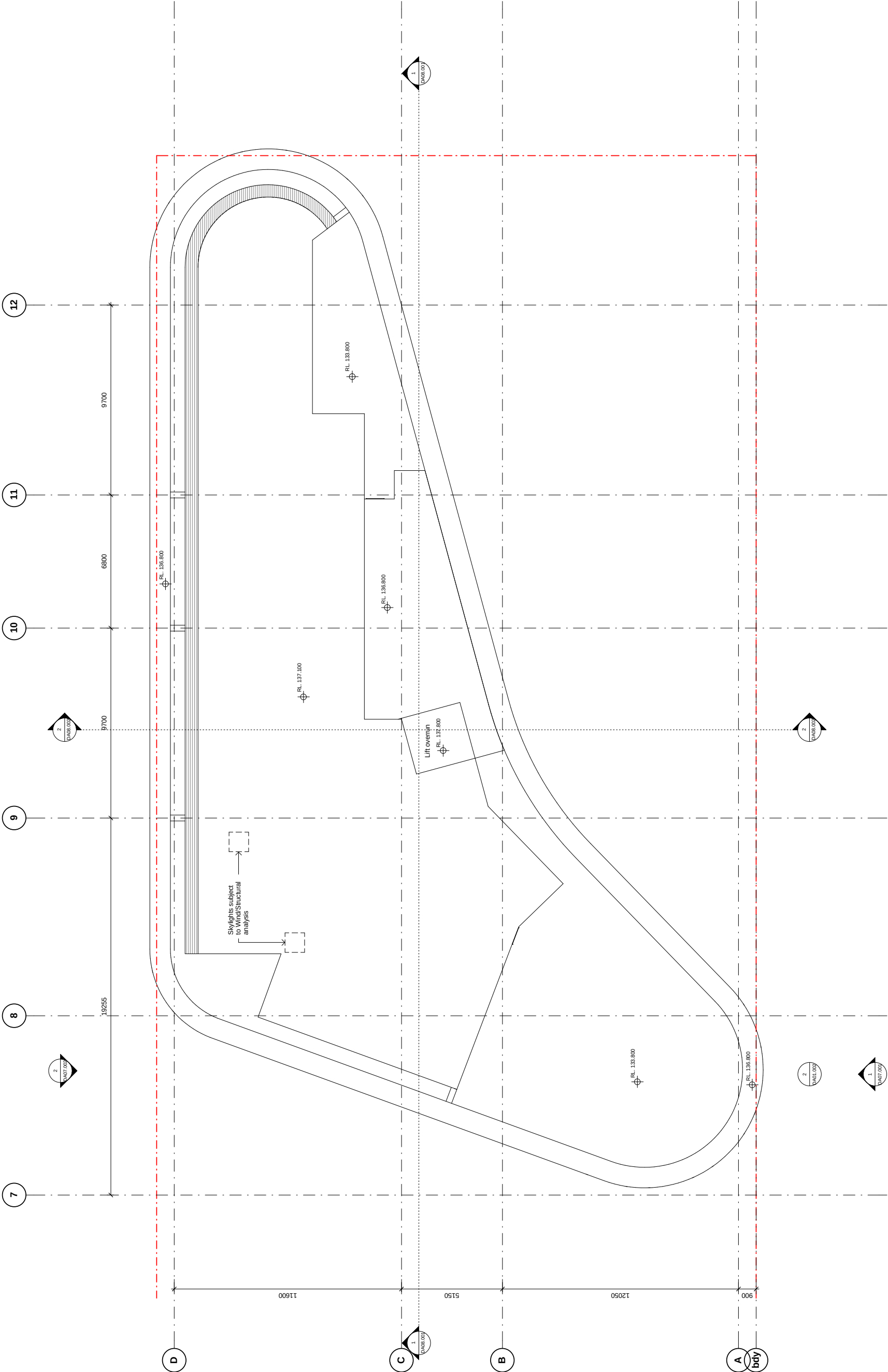
Status	Development Application			
Scale	1 : 100 @ A1			
Drawn	Author	Checked	Checker	
Project No.	S11890			
Plot Date	20/07/2016 3:03:29 PM			
Plot File				

Drawing no.	Revision
DA02.040	A

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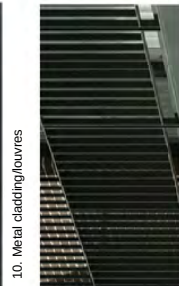
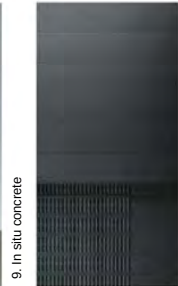
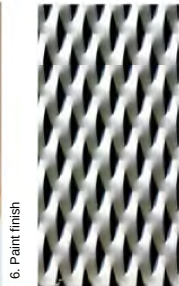
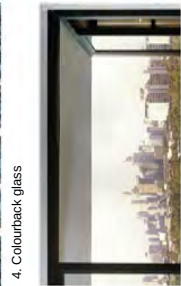
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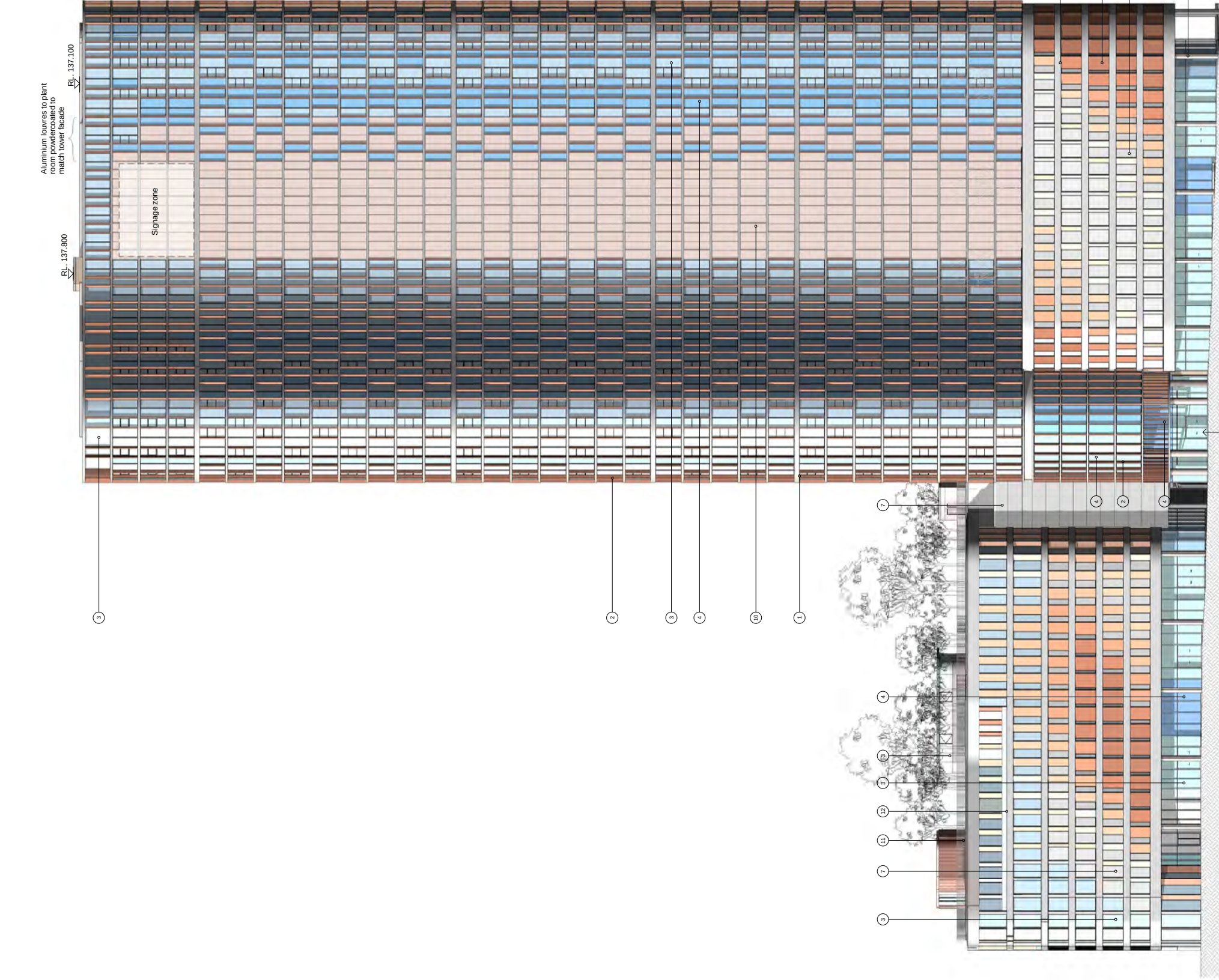




1. Concrete or aluminum facing to slab edges



12. Glazed balustrade



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Notes - Construction General (BASIX)

Glazing

- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
 - U-Value: 6.6 (equal to or lower than)
 - SHGC: 0.69 (+ or - 10%)
- Aluminium framed **double clear** glazing to curtain walls & wintergardens
 - U-Value: 4.4 (equal to or lower than)
 - SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

- Concrete roof - No insulation
- Default Colour modelled

Ceiling:

Plasterboard ceiling - R2.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are greater than 0.5% then a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:
Lightweight cladding to all external walls with RL 5 bulk insulation no colour nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with RL 5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans

All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with RL 0 (-38mm) insulation to ringmain and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Water Supply Corporation (SOPWSC) for the irrigation of all landscaping & all balconies within the building.

(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

B	20.07.16	Amended DA Issue	JS	CP
A	03.03.16	Development Application	JS	CP
Revision	Date	Description	Initial	Checked

Client: Ecove



Site 9, Sydney Olympic Park 3 Olympic Boulevard

Building Elevations Southwest

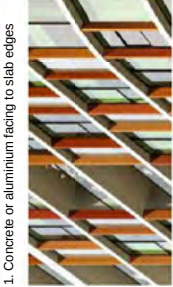
Status	Development Application			
Scale	1 : 250	@	A1	
Drawn	JS	Checked	CP	
Project No.	S11890			
Plot Date	20/07/2016 3:05:48 PM			
Plot File				

Drawing no.	Revision
DA07.001	B

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1. Concrete or aluminum facing to slab edges



2. Aluminium fins



3. Glass



4. Colourback glass



5. Metal framing



6. Paint finish



7. Aluminium mesh



8. Terracotta / Lightweight Cladding



9. In situ concrete

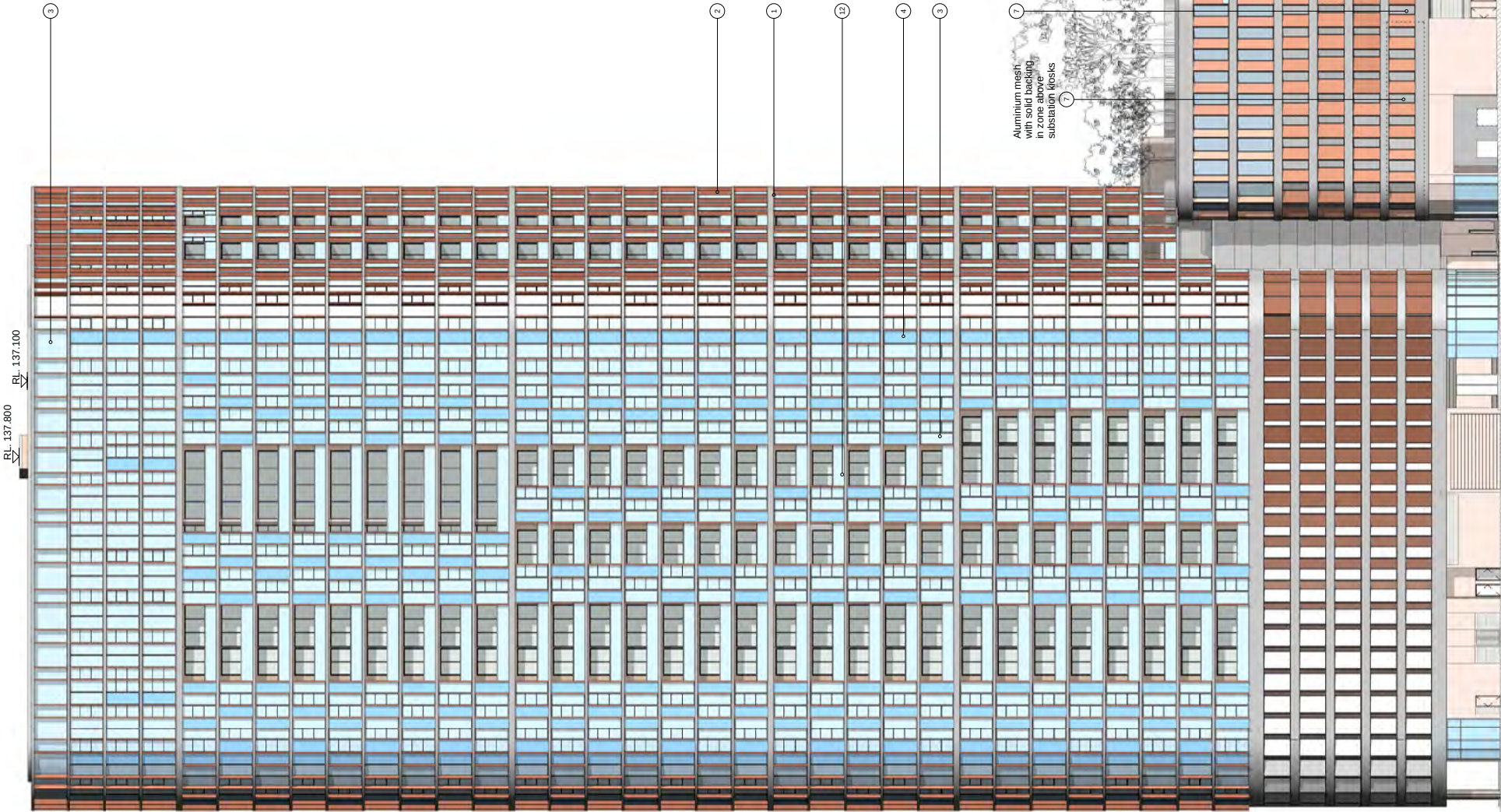


10. Metal cladding/louvers



11. Metal balustrade

12. Glazed balustrade



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Notes - Construction General (BASIX)

Glazing
Glazing windows:
- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 5.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)
- Aluminium framed **double clear** glazing to curtain walls & wintergardens
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)
Given values are NFRC, total window values

Roof / ceiling insulation
Roof:
Concrete roof - No insulation
Default Colour modelled

Ceiling:
Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.
Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If more than 0.5% is required, a later stage BCA loss of insulation calculations will be required.

Wall / floor insulation
External Wall:
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:
Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:
Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

Floor coverings:
1 & 2 bed apartments - tiles to wets areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system
Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

Reticulated alternative water
Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building.
(No rainwater tank required for BASIX compliance)

Alternative energy
Not required by BASIX

B	2007.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	DATE	Description	Revised	Checked



Site 9, Sydney Olympic Park 3 Olympic Boulevard

Building Elevations NorthEast

Status	Development Application
Scale	1: 250 @ A1
Drawn	JS Checked CP
Project No.	S11890
Plot Date	20/07/2016 3:09:31 PM
Plot File	

Drawing no.	Revision
DA07.002	B

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1. Concrete or aluminum facing to slab edges



2. Aluminium fins



3. Glass



4. Colourback glass



5. Metal framing



6. Paint finish



7. Aluminium mesh



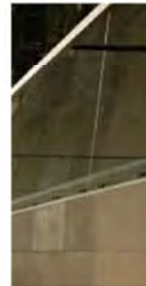
8. Terracotta



9. In situ concrete



10. Metal cladding/louvers



11. Metal balustrade

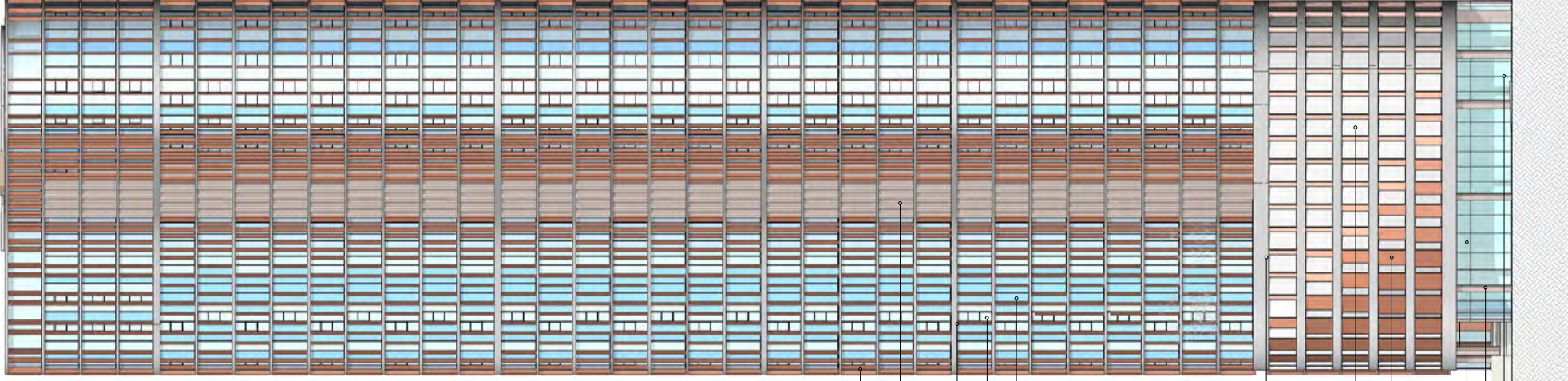
12. Glazed balustrade



1 Northwest

1 : 250

RL 136.60	Tower Edge	RL 136.60	Tower Edge
RL 136.60	Level 38	RL 136.60	Level 38
RL 130.70	Level 38	RL 130.70	Level 38
RL 127.60	Level 37	RL 127.60	Level 37
RL 124.50	Level 36	RL 124.50	Level 36
RL 121.10	Level 35	RL 121.10	Level 35
RL 118.00	Level 34	RL 118.00	Level 34
RL 114.90	Level 33	RL 114.90	Level 33
RL 111.80	Level 32	RL 111.80	Level 32
RL 108.70	Level 31	RL 108.70	Level 31
RL 105.60	Level 30	RL 105.60	Level 30
RL 102.50	Level 29	RL 102.50	Level 29
RL 99.40	Level 28	RL 99.40	Level 28
RL 96.30	Level 27	RL 96.30	Level 27
RL 92.90	Level 26	RL 92.90	Level 26
RL 89.80	Level 25	RL 89.80	Level 25
RL 86.70	Level 24	RL 86.70	Level 24
RL 83.60	Level 23	RL 83.60	Level 23
RL 80.50	Level 22	RL 80.50	Level 22
RL 77.40	Level 21	RL 77.40	Level 21
RL 74.30	Level 20	RL 74.30	Level 20
RL 70.90	Level 19	RL 70.90	Level 19
RL 67.80	Level 18	RL 67.80	Level 18
RL 64.70	Level 17	RL 64.70	Level 17
RL 61.60	Level 16	RL 61.60	Level 16
RL 58.50	Level 15	RL 58.50	Level 15
RL 55.10	Level 14	RL 55.10	Level 14
RL 52.00	Level 13	RL 52.00	Level 13
RL 48.90	Level 12	RL 48.90	Level 12
RL 45.80	Level 11	RL 45.80	Level 11
RL 42.70	Level 10	RL 42.70	Level 10
RL 39.60	Level 09	RL 39.60	Level 09
RL 36.50	Level 08 North	RL 36.50	Level 08 North
RL 30.00	Level 07 North	RL 30.00	Level 07 North
RL 27.60	Level 06 North	RL 27.60	Level 06 North
RL 24.60	Level 05 North	RL 24.60	Level 05 North
RL 21.60	Level 04 North	RL 21.60	Level 04 North
RL 18.60	Level 03 North	RL 18.60	Level 03 North
RL 14.00	Level 0 North	RL 14.00	Level 0 North



2 Southeast

1 : 250

RL 136.60	Tower Edge	RL 136.60	Tower Edge
RL 136.60	Level 38	RL 136.60	Level 38
RL 130.70	Level 38	RL 130.70	Level 38
RL 127.60	Level 37	RL 127.60	Level 37
RL 124.50	Level 36	RL 124.50	Level 36
RL 121.10	Level 35	RL 121.10	Level 35
RL 118.00	Level 34	RL 118.00	Level 34
RL 114.90	Level 33	RL 114.90	Level 33
RL 111.80	Level 32	RL 111.80	Level 32
RL 108.70	Level 31	RL 108.70	Level 31
RL 105.60	Level 30	RL 105.60	Level 30
RL 102.50	Level 29	RL 102.50	Level 29
RL 99.40	Level 28	RL 99.40	Level 28
RL 96.30	Level 27	RL 96.30	Level 27
RL 92.90	Level 26	RL 92.90	Level 26
RL 89.80	Level 25	RL 89.80	Level 25
RL 86.70	Level 24	RL 86.70	Level 24
RL 83.60	Level 23	RL 83.60	Level 23
RL 80.50	Level 22	RL 80.50	Level 22
RL 77.40	Level 21	RL 77.40	Level 21
RL 74.30	Level 20	RL 74.30	Level 20
RL 70.90	Level 19	RL 70.90	Level 19
RL 67.80	Level 18	RL 67.80	Level 18
RL 64.70	Level 17	RL 64.70	Level 17
RL 61.60	Level 16	RL 61.60	Level 16
RL 58.50	Level 15	RL 58.50	Level 15
RL 55.10	Level 14	RL 55.10	Level 14
RL 52.00	Level 13	RL 52.00	Level 13
RL 48.90	Level 12	RL 48.90	Level 12
RL 45.80	Level 11	RL 45.80	Level 11
RL 42.70	Level 10	RL 42.70	Level 10
RL 39.60	Level 09	RL 39.60	Level 09
RL 36.50	Level 08 South	RL 36.50	Level 08 South
RL 33.40	Level 07 South	RL 33.40	Level 07 South
RL 29.30	Level 06 South	RL 29.30	Level 06 South
RL 26.30	Level 05 South	RL 26.30	Level 05 South
RL 23.30	Level 04 South	RL 23.30	Level 04 South
RL 20.30	Level 03 South	RL 20.30	Level 03 South
RL 17.30	Level 02	RL 17.30	Level 02
RL 14.00	Level 0 North	RL 14.00	Level 0 North
RL 13.00	Level 0 South Residential	RL 13.00	Level 0 South Residential
RL 12.05	Level 0 South	RL 12.05	Level 0 South

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Notes - Construction General (BASIX)

Glazing

- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
 - U-Value: 6.6 (equal to or lower than)
 - SHGC: 0.69 (+ or - 10%)
- Aluminium framed **double clear** glazing to curtain walls & wintergardens
 - U-Value: 4.4 (equal to or lower than)
 - SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

- R2.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.
- Concrete roof - No insulation
- Default Colour modelled

Ceiling:

- Plasterboard ceiling - R2.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.
- Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are greater than 0.5% of the total ceiling area, BCA calculations will be required.

Wall / floor insulation

- **External Wall:** Lightweight cladding to all external walls with R1.5 bulk insulation No colour nominated

Internal walls within units:

- Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

- 75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

- 75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

- Concrete - R2.1 insulation to all units in level 7 with car park below
- Concrete - no insulation required between units

Floor coverings:

- 1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
- All 3 & 4 bed apartments tiled throughout

Central hot water system

- Central gas-fired boiler with R1.0 (-38mm) insulation to rignmain and supply risers.

Reticulated alternative water

- Alternative water supply available from Sydney Olympic Park Water Treatment Plant (SWTP) to be used for the irrigation of all landscaping & all plants within the building.
- No rainwater tank required for BASIX compliance)

Alternative energy

- Not required by BASIX

B	20.07.16	Amended DA Issue	JS	CP
A	03.03.16	Development Application	JS	CP
Revision	Date	Description	Initial	Checked

Client: Ecove



Site 9, Sydney Olympic Park 3 Olympic Boulevard

Building Elevations Northwest & Southeast

Status	Development Application
Scale	1 : 250 @ A1
Drawn	JS
Project No.	S11890
Plot Date	20/07/2016 3:12:38 PM
Plot File	

Drawing no.	Revision
DA07.003	B

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1 Northwest

1 : 250

2 Southeast

1 : 250

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Notes - Construction General (BASIX)

- Glazing**
- Double Glazed Windows:**
- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)
 - Aluminium framed **double clear** glazing to curtain walls & wintergardens
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / Ceiling Insulation

- No insulation
- Concrete roof - No insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & sitd areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are more than 0.5% of the total ceiling area, calculations will be required.

Wall / floor insulation

External Wall:
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wets areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building.

(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

B	2007.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	DATE	Description	By	Checked

Client: Ecove



Site 9, Sydney Olympic Park
3 Olympic Boulevard

Building Sections
A-A

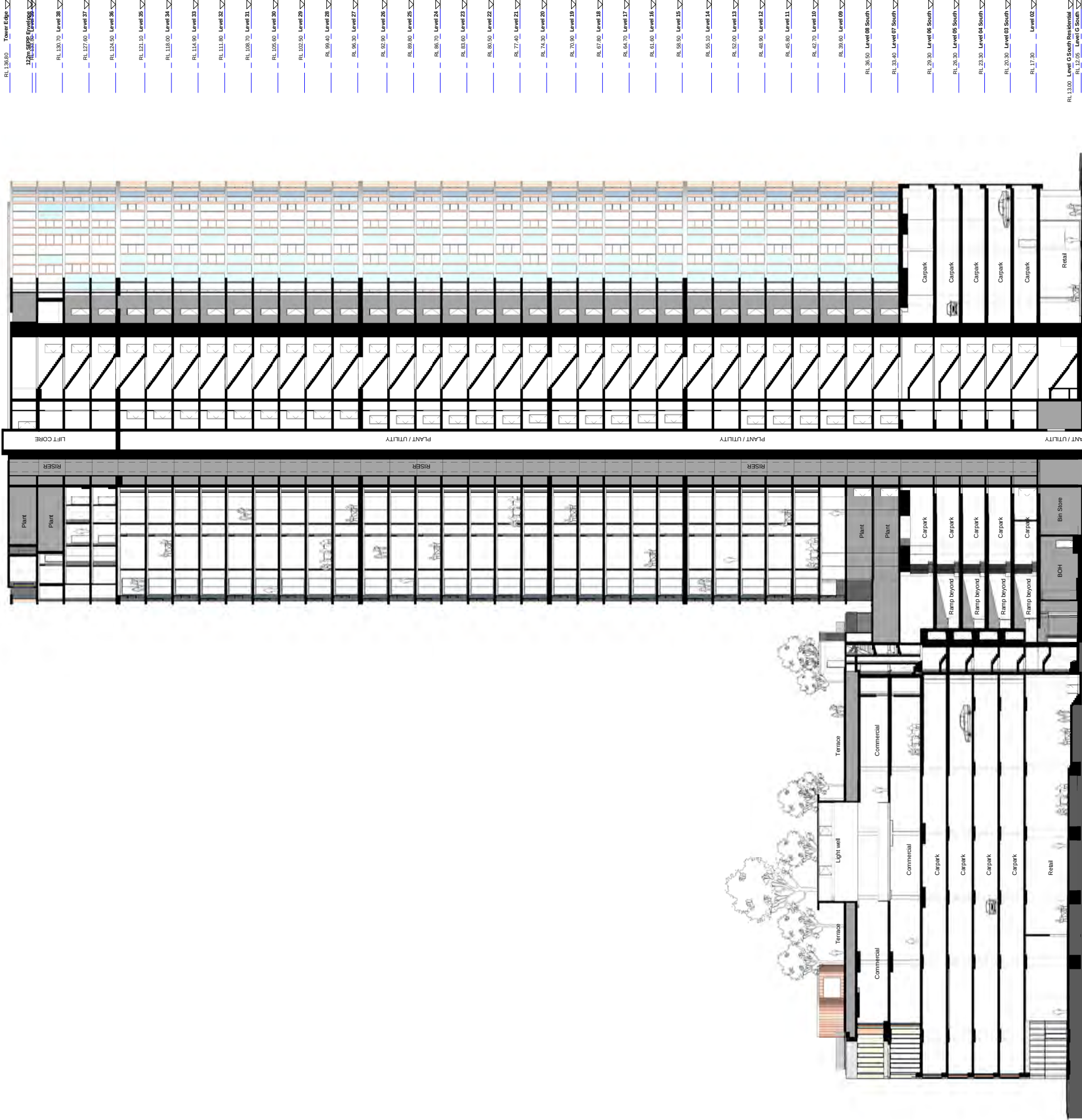
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Scale	1 : 250	@ A1		
Drawn	JS	Checked	CP	
Project No.	S11890			
Plot Date	20/07/2016 3:13:17 PM			
Plot File				

Drawing no. **DA08.001** Revision **B**

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Bates Smart Pty Ltd AEN 70 004 999 400



Roof North RL 4.00

Plant Level North RL 39.42

Level 08 North RL 34.00

Level 07 North RL 32.80

Level 06 North RL 27.80

Level 05 North RL 24.00

Level 04 North RL 21.80

Level 03 North RL 18.80

Level 02 North RL 14.00

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and of the fabrication of any components.

Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

All drawings may not be reproduced or distributed without prior permission from the architect.

Notes - Construction General (BASIX)

Glazing

- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
- U-Value: 6.6 (equal to or lower than)
- SHGC: 0.69 (+ or - 10%)
- Aluminium framed **double clear** glazing to curtain walls & wintergardens
- U-Value: 4.4 (equal to or lower than)
- SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

- R2.0 bulk insulation
- Concrete roof - No insulation
- Default Colour modelled

Ceiling:

Plasterboard ceiling - R2.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are greater than this, then a later stage BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.03)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans

All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (-38mm) insulation to ringmain and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority (SOPA) for use in the irrigation of all landscaping & all toilets within the building.

(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

B	20.07.16	Amended DA Issue	JS	CP
A	03.03.16	Development Application	JS	CP
Revision	Date	Description	Initial	Checked

Client Ecove



Site 9, Sydney Olympic Park
3 Olympic Boulevard

Building Sections
B-B, C-C

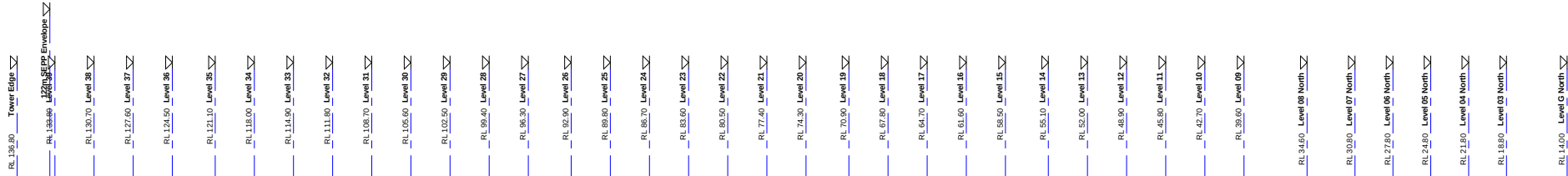
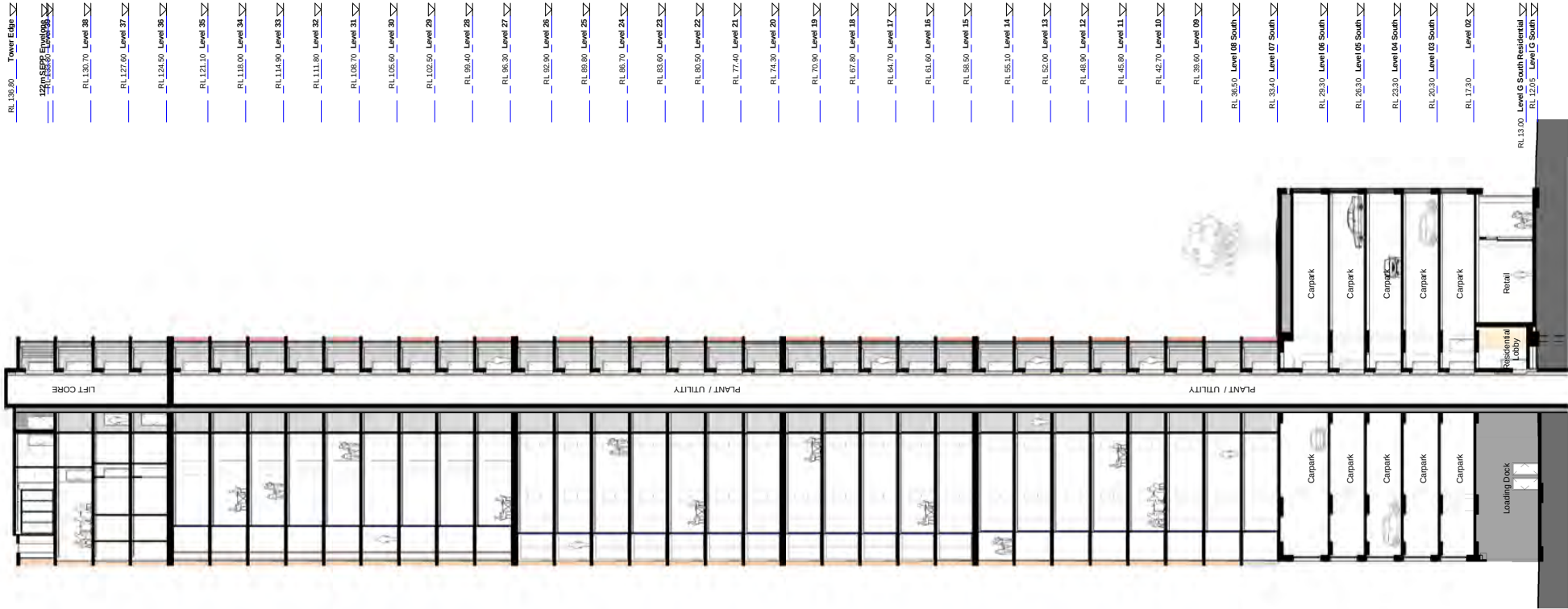
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Scale	1 : 250	@ A1	
Drawn	JS	Checked	CP
Project No.	S11890		
Plot Date	20/07/2016 3:14:04 PM		
Plot File			

Drawing no.	Revision
DA08.002	B

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1 Section B-B

2 Section C-C

1 : 250

1 : 250

