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**Notes - Construction General (BASIX)**

**Glazing**

**Window windows:**

- Aluminium framed **single clear glazing** to internal windows that open to wintergardens  
Uj Value: 6.6 (equal to or lower than)  
SHGC: 0.69 (+ or - 10%)
- Aluminium framed **double clear glazing** to curtain walls & wintergardens  
Uj Value: 4.4 (equal to or lower than)  
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

**Roof/Ceiling insulation**

Concrete roof - No insulation

Default Colour modelled

**Ceiling:**

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.  
Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If this is not the case, a later stage, BCA loss of insulation calculations will be required.

**Wall/Floor Insulation**

**External Wall:**  
Lightweight cladding to all external walls with R1.5 bulk insulation  
No colour nominated

**Internal walls within units:**  
Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**  
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)  
75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

**Floors:**  
Concrete - R2.1 insulation to all units in level 7 with car park below  
Concrete - no insulation required between units

**Floor coverings:**  
1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans  
All 3 & 4 bed apartments tiled throughout

**Central hot water system**

Central gas-fired boiler with R1.0 (-38mm) insulation to ringmain and supply risers.

**Reticulated alternative water**

Alternative water supply available from Sydney Olympic Park Authority to cater for the irrigation of all landscaping & all plants within the building.  
(No rainwater tank required for BASIX compliance)

**Alternative energy**

Not required by BASIX

Revision	Date	Description	By	CP
A	01.03.16	Development Application	SB	CP

Client: Ecove



**Site 9, Sydney Olympic Park  
3 Olympic Boulevard**

**General Arrangement Plan  
Level 15, 17, 19**

Status	Development Application
Scale	1 : 100 @ A1
Drawn	Author
Project No.	S11890
Plot Date	7/02/2016 2:51:05 PM
Plot File	
Drawing no.	Revision

<b>DA02.015</b>	<b>A</b>
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**Notes - Construction General (BASIX)**

- Glazing**  
**Window windows:**  
 - Aluminium framed single clear glazing to internal windows that open to wintergardens  
 U-Value: 6.6 (equal to or lower than)  
 SHGC: 0.69 (+ or - 10%)  
 - Aluminium framed double clear glazing to curtain walls & wintergardens  
 U-Value: 4.4 (equal to or lower than)  
 SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

**Roof / ceiling insulation**

- Asph/Flt - No insulation
- Concrete roof - No insulation
- Default Colour modelled

**Ceiling:**  
 Plasterboard ceiling - R3.0 bulk insulation to selected units (3A.01 and 3A.07) with becomes above.  
 Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.2% of the total ceiling area. If this is not the case, a later stage, BCA loss of insulation calculations will be required.

**Wall / floor insulation**

**External Wall:**  
 Lightweight cladding to all external walls with R1.5 bulk insulation No colour nominated

**Internal walls within units:**  
 Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**  
 75mm nebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm nebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

**Floors:**  
 Concrete - R2.1 insulation to all units in level 7, with car park below  
 Concrete - no insulation required between units

**Floor coverings:**  
 1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans  
 All 3 & 4 bed apartments tiled throughout

**Central hot water system**  
 Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

**Reticulated alternative water**

Alternative water supply available from Sydney Olympic Park Authority for use for the irrigation of all landscaping & all tanks within the building.  
 (No rainwater tank required for BASIX compliance)

**Alternative energy**  
 Not required by BASIX



Revision	Date	Description	By	CP
A	01/03/16	Development Application	JS	CP
			JS	CP



**Site 9, Sydney Olympic Park  
 3 Olympic Boulevard**

General Arrangement Plan  
 Level 16, 18

Status	Development Application
Scale	1:100 @ A1
Drawn	Author
Project No.	S11890
Plot Date	7/03/2016 2:51:28 PM
Plot File	

Drawing no.	Revision
DA02.016	A

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All drawings may not be reproduced or distributed without prior permission from the architect.

**Notes - Construction General (BASIX)**

- Glazing windows:**
- Aluminium framed **single clear glazing** to internal windows that open to wintergardens  
U-Value: 6.6 (equal to or lower than)  
SHGC: 0.69 (+ or - 10%)
  - Aluminium framed **double clear glazing** to curtain walls & wintergardens  
U-Value: 4.4 (equal to or lower than)  
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

**Roof / ceiling insulation**

- Concrete roof - No insulation
- Default Colour modelled

**Ceiling:**

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with becomes above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are greater than a later stage, BCA loss of insulation calculations will be required.

**Wall / floor insulation**

**External Wall:**  
Lightweight cladding to all external walls with R1.5 bulk insulation. No colour nominated

**Internal walls within units:**  
Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**  
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

**Floors:**  
Concrete - R2.1 insulation to all units in level 7, with car park below  
Concrete - no insulation required between units

**Floor coverings:**  
1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans  
All 3 & 4 bed apartments tiled throughout

**Central hot water system**  
Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

**Reticulated alternative water.**  
Alternative water supply available from Sydney Olympic Park. All units to be supplied with the irrigation of all landscaping & all toilets within the building.  
(No rainwater tank required for BASIX compliance)

**Alternative energy**  
Not required by BASIX

Revision	Date	Description	By	CP
A	01/03/18	Development Application	JS	CP
			JS	CP



**Site 9, Sydney Olympic Park  
3 Olympic Boulevard**

General Arrangement Plan  
Level 20, 22, 24, 26



Status	Development Application
Scale	1:100 @ A1
Drawn	Author
Project No.	S11890
Plot Date	7/03/2016 2:51:43 PM
Plot File	
Drawing no.	Revision
<b>DA02.020</b>	<b>A</b>

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**Notes - Construction General (BASIX)**

**Glazing windows:**

- Aluminium framed single clear glazing to internal windows that open to wintergardens
- U-Value: 6.6 (equal to or lower than)
- SHGC: 0.69 (+ or - 10%)

- Aluminium framed double clear glazing to curtain walls & wintergardens
- U-Value: 4.4 (equal to or lower than)
- SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

**Roof / ceiling insulation**

- Concrete roof - No insulation
- Default Colour modelled

**Ceiling:**

- Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with becomes above.
- Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.2% of the total ceiling area. If this is not the case, a later stage, BCA loss of insulation calculations will be required.

**Wall / floor insulation**

**External Wall:**  
Lightweight cladding to all external walls with R1.5 bulk insulation No colour nominated

**Internal walls within units:**  
Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**  
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

**Floors:**

- Concrete - R2.1 insulation to all units in level 7, with car park below
- Concrete - no insulation required between units

**Floor coverings:**

- 1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
- All 3 & 4 bed apartments tiled throughout

**Central hot water system**

Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

**Reticulated alternative water.**

Alternative water supply available from Sydney Olympic Park. All units to be under the irrigation of all landscaping & all tanks within the building.

(No rainwater tank required for BASIX compliance)

**Alternative energy**

Not required by BASIX

Revision	Date	Description	JS	CP
A	01/03/16	Development Application		
			Final	Checked

Client: Ecovive



**Site 9, Sydney Olympic Park  
3 Olympic Boulevard**

**General Arrangement Plan  
Level 21, 23, 25**



Status	Development Application
Scale	1:100 @ A1
Drawn	Author
Project No.	S11890
Plot Date	7/9/2016 2:52:01 PM
Plot File	

Drawing no.	Revision
DA02.021	A

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All drawings may not be reproduced or distributed without prior permission from the architect.

**Notes - Construction General (BASIX)**

- Glazing**  
**Window windows:**  
 - Aluminium framed single clear glazing to internal windows that open to wintergardens  
 U-Value: 6.6 (equal to or lower than)  
 SHGC: 0.69 (+ or - 10%)  
 - Aluminium framed double clear glazing to curtain walls & wintergardens  
 U-Value: 4.4 (equal to or lower than)  
 SHGC: 0.5 (+ or - 10%)  
 Given values are NFRC, total window values

- Roof / ceiling insulation**  
 - Concrete roof - No insulation  
 Default Colour modelled

- Ceiling:**  
 Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with becomes above.  
 Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If this is not the case, a later stage, BCA loss of insulation calculations will be required.

- Wall / floor insulation**  
**External Wall:**  
 Lightweight cladding to all external walls with R1.5 bulk insulation No colour nominated

- Internal walls within units:**  
 Plasterboard on studs - no insulation

- Inter-tenancy walls / corridor:**  
 75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

- Floors:**  
 Concrete - R2.1 insulation to all units in level 7, with car park below  
 Concrete - no insulation required between units

- Floor coverings:**  
 1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans  
 All 3 & 4 bed apartments tiled throughout

- Central hot water system**  
 Central gas-fired boilers with R1.0 (~38mm) insulation to ringmain and supply risers.

- Reticulated alternative water**  
 Alternative water supply available from Sydney Olympic Park Authority (to be used for the irrigation of all landscaping & all toilets within the building)  
 (No rainwater tank required for BASIX compliance)

- Alternative energy**  
 Not required by BASIX



Revision	Date	Description	JS	CP
A	01/03/16	Development Application		
			Final	Checked



**Site 9, Sydney Olympic Park  
3 Olympic Boulevard**

General Arrangement Plan  
Level 27, 29, 31, 33, 35



Status	Development Application
Scale	1:100 @ A1
Drawn	Author
Project No.	S11890
Plot Date	7/9/2016 2:57:37 PM
Plot File	

Drawing no.	Revision
DA02.027	A

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**Notes - Construction General (BASIX)**

- Glazing**  
**Double Glazing:**  
 - Aluminium framed, single clear glazing to internal windows that open to wintergardens  
 U-Value: 6.6 (equal to or lower than)  
 SHGC: 0.69 (+ or - 10%)  
 - Aluminium framed, double clear glazing to curtain walls & wintergardens  
 U-Value: 4.4 (equal to or lower than)  
 SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

**Roof / Ceiling Insulation**

- Concrete roof - No insulation
- Default Colour modelled

**Ceiling:**

Plasterboard ceiling - R2.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.  
 Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slit areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are greater than 0.5% of the total ceiling area, calculations will be required.

**Wall / Floor Insulation**

**External Wall:**  
 Lightweight cladding to all external walls with R1.5 bulk insulation  
 No colour nominated

**Internal walls within units:**

Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**  
 75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

**Floors:**

Concrete - R2.1 insulation to all units in level 7 with car park below  
 Concrete - no insulation required between units

**Floor coverings:**  
 1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans  
 All 3 & 4 bed apartments tiled throughout

**Central hot water system**

Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

**Reticulated alternative water**

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all plants within the building.

(No rainwater tank required for BASIX compliance)

**Alternative energy**

Not required by BASIX

A 01.03.16 Development Application Description  
 Revision Date  
 Client Ecove



**Site 9, Sydney Olympic Park  
 3 Olympic Boulevard**

General Arrangement Plan  
 Level 28, 30, 32, 34



Status Development Application

Scale 1 : 100 @ A1

Drawn Author Checked Checker

Project No. S11890

Plot Date 7/9/2016 2:52:33 PM

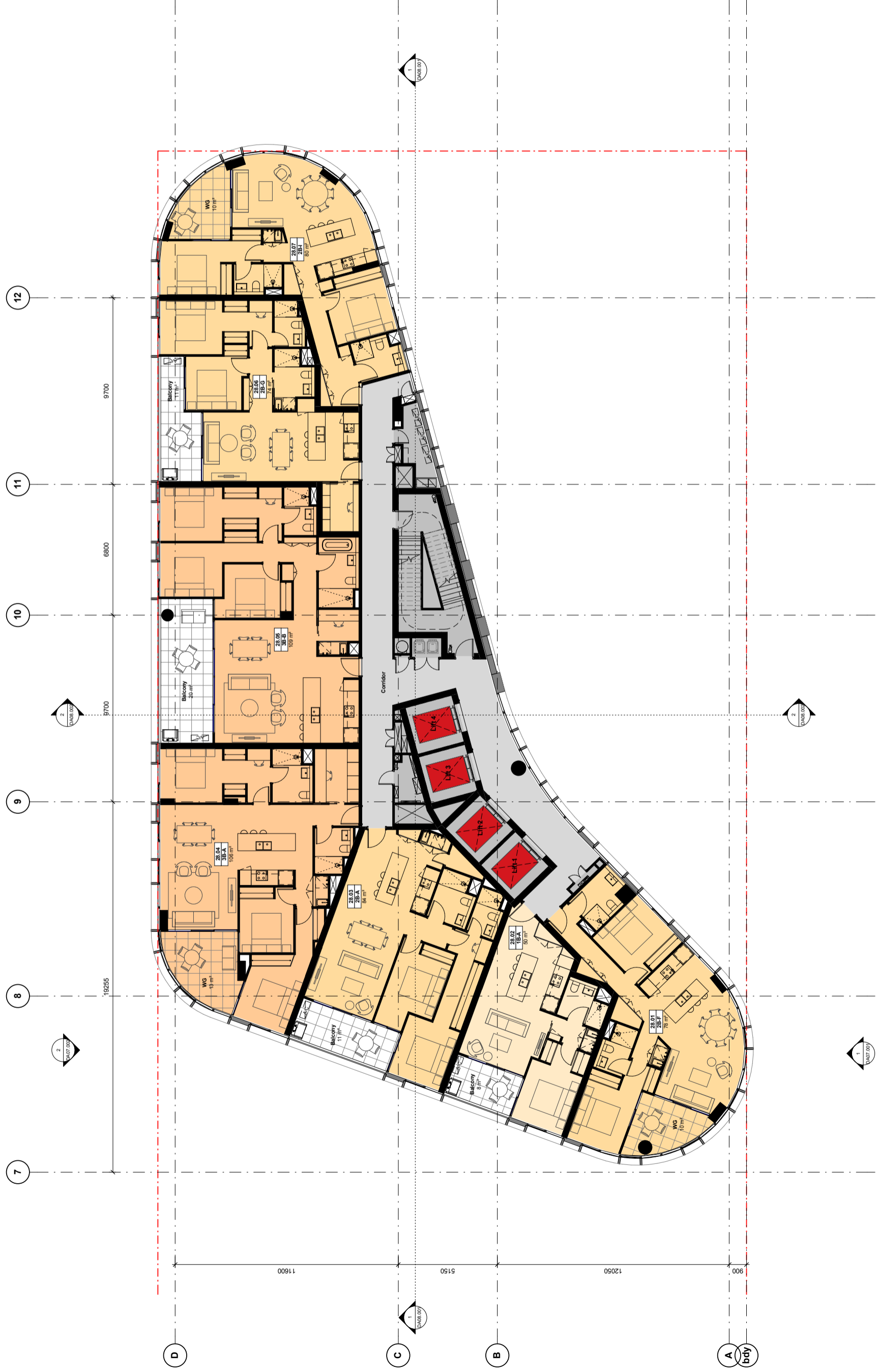
Plot File

Drawing no. Revision

**DA02.028 A**

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**Notes - Construction General (BASIX)**

**Glazing windows:**  
- Aluminium framed **single clear glazing** to internal windows that open to wintergardens  
U-Value: 6.6 (equal to or lower than)  
SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear glazing** to curtain walls & wintergardens  
U-Value: 4.4 (equal to or lower than)  
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

**Roof / ceiling insulation**  
- Concrete roof - No insulation  
Default Colour modelled

**Ceiling:**  
Plasterboard ceiling - R3.0 bulk insulation to selected units (CA 01 and CA 07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.25% of the total ceiling area. If ceiling penetrations are a later stage, BCA loss of insulation calculations will be required.

**Wall / floor insulation**

**External Wall:**  
Lightweight cladding to all external walls with R1.5 bulk insulation  
No colour nominated

**Internal walls within units:**  
Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**  
75mm nebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm nebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

**Floors:**  
Concrete - R2.1 insulation to all units in level 7, with car park below  
Concrete - no insulation required between units

**Floor coverings:**  
1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans  
All 3 & 4 bed apartments tiled throughout

**Central hot water system**  
Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

**Reticulated alternative water.**  
Alternative water supply available from Sydney Olympic Park Aqueduct for use for the irrigation of all landscaping & all toilets within the building.  
(No rainwater tank required for BASIX compliance)

**Alternative energy**  
Not required by BASIX

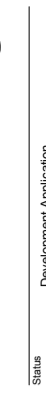
A 01/03/16 Development Application  
Revision Date Description JS CP  
Final Checked

Client: Ecovive



**Site 9, Sydney Olympic Park  
3 Olympic Boulevard**

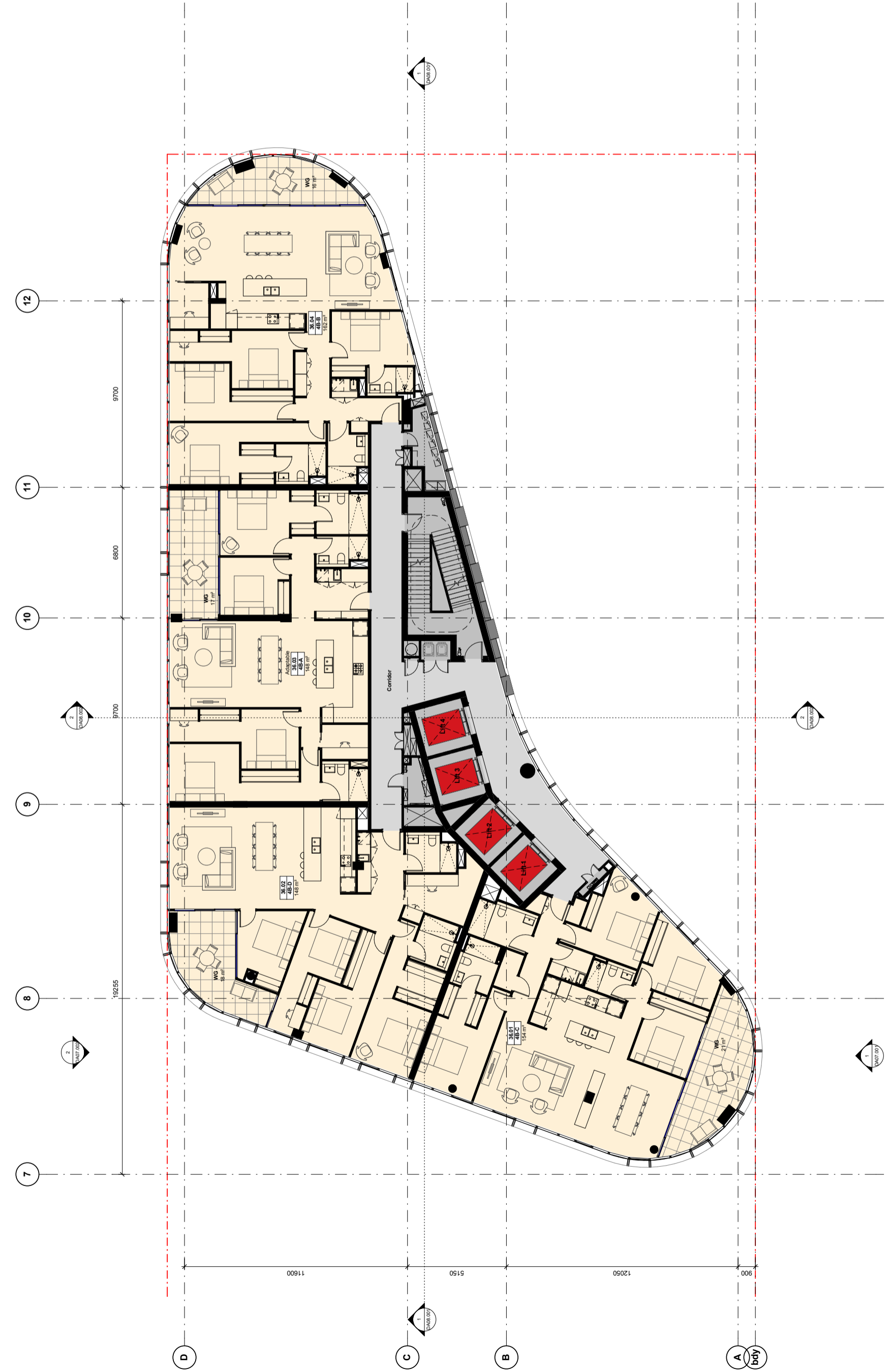
General Arrangement Plan  
Level 36-37



Status	Development Application
Scale	1:100 @ A1
Drawn	Author
Project No.	S11890
Plot Date	7/9/2016 2:52:48 PM
Plot File	
Drawing no.	Revision
<b>DA02.036</b>	<b>A</b>

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**Notes - Construction General (BASIX)**

**Glazing**

**Openable windows:**  
- Aluminium framed, single clear glazing to internal windows that open to wintergardens  
U-Value: 6.6 (equal to or lower than)  
SHGC: 0.69 (+ or - 10%)

- Aluminium framed, double clear glazing to curtain walls & glass elevators  
U-Value: 4.4 (equal to or lower than)  
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

**Roof / Ceiling Insulation**

Concrete roof - No insulation  
Default Colour modelled

**Ceiling:**

Plasterboard ceiling - R2.0 bulk insulation to selected units (3-01 and 3-07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slit areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If this is not the case, a later stage, BCA loss of insulation calculations will be required.

**Wall / floor Insulation**

**External Wall:**  
Lightweight cladding to all external walls with R1.5 bulk insulation  
No colour nominated

**Internal walls within units:**

Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7-01 and 8-01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

**Floors:**

Concrete - R2.1 insulation to all units in level 7 with car park below  
Concrete - no insulation required between units

**Floor coverings:**

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans  
All 3 & 4 bed apartments tiled throughout

**Central hot water system**

Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

**Reticulated alternative water**

Alternative water supply available from Sydney Olympic Park Authority for the irrigation of all landscaping & all balconies within the building.

**Alternative energy**

Not required by BASIX



A 01.03.16 Development Application  
Revision Date Description  
Client: Ecove



**Site 9, Sydney Olympic Park  
3 Olympic Boulevard**



General Arrangement Plan  
Level 38

Status	Development Application
Scale	1 : 100 @ A1
Drawn	Author
Project No.	S11890
Plot Date	7/9/2016 2:53:03 PM
Plot File	

Drawing no.	Revision
<b>DA02.038</b>	<b>A</b>

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Bates Smart Pty Ltd ABN 70 004 999 400



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Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.  
All drawings may not be reproduced or distributed without prior permission from the architect.

**Notes - Construction General (BASIX)**

**Glazing**

**Window windows:**

- Aluminium framed **single clear glazing** to internal windows that open to wintergardens  
U-Value: 6.6 (equal to or lower than)  
SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear glazing** to curtain walls & wintergardens  
U-Value: 4.4 (equal to or lower than)  
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

**Roof / ceiling insulation**

- Concrete roof - No insulation

Default Colour modelled

**Ceiling:**  
Plasterboard ceiling - R3.0 bulk insulation to selected units (3A-01 and 3A-07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.2% of the total ceiling area. If ceiling penetrations are greater than 0.2% at a later stage, BCA loss of insulation calculations will be required.

**Wall / floor insulation**

**External Wall:**  
Lightweight cladding to all external walls with R1.5 bulk insulation No colour nominated

**Internal walls within units:**

Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

**Floors:**

- Concrete - R2.1 insulation to all units in level 7, with car park below
- Concrete - no insulation required between units

**Floor coverings:**

- 1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
- All 3 & 4 bed apartments tiled throughout

**Central hot water system**

Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

**Reticulated alternative water**

Alternative water supply available from Sydney Olympic Park Authority (to include the irrigation of all landscaping & all tanks within the building)

(No rainwater tank required for BASIX compliance)

**Alternative energy**

Not required by BASIX

Revision	Date	Description	By	CP
A	01/03/16	Development Application	JS	CP
			JS	CP

Client: Ecovive



**Site 9, Sydney Olympic Park  
3 Olympic Boulevard**

**General Arrangement Plan  
Roof Plan**

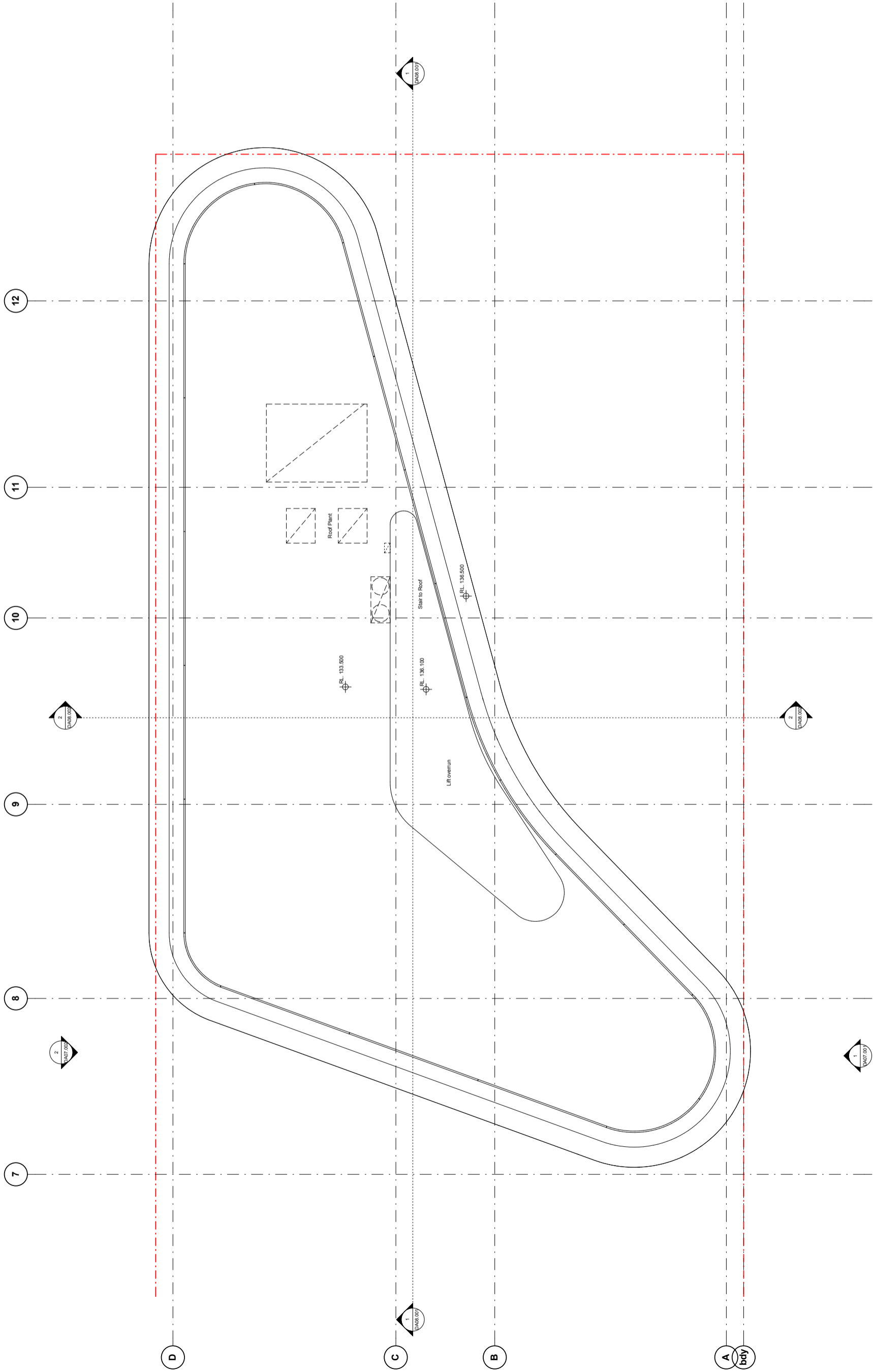


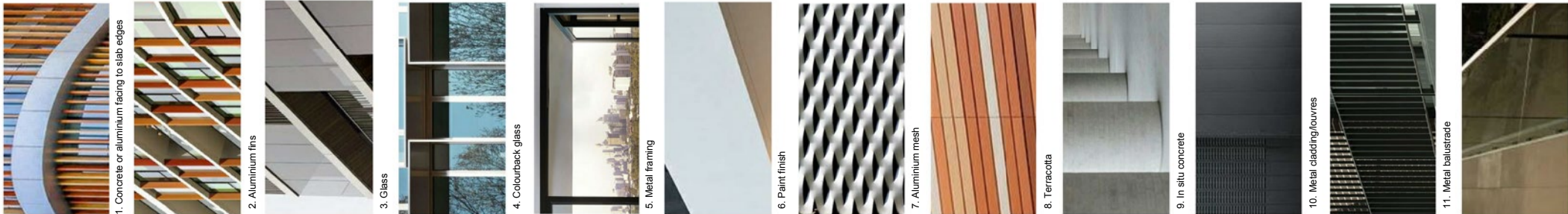
Status	Development Application		
Scale	1: 100 @ A1		
Drawn	Author	Checked	Checker
Project No.	S11890		
Plot Date	16/02/2016 3:48:38 PM		
Plot File			

Drawing no.	Revision
<b>DA02.039</b>	<b>A</b>

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1. Concrete or aluminum facing to slab edges

2. Aluminum fins

3. Glass

4. Colourback glass

5. Metal framing

6. Paint finish

7. Aluminium mesh

8. Terracotta

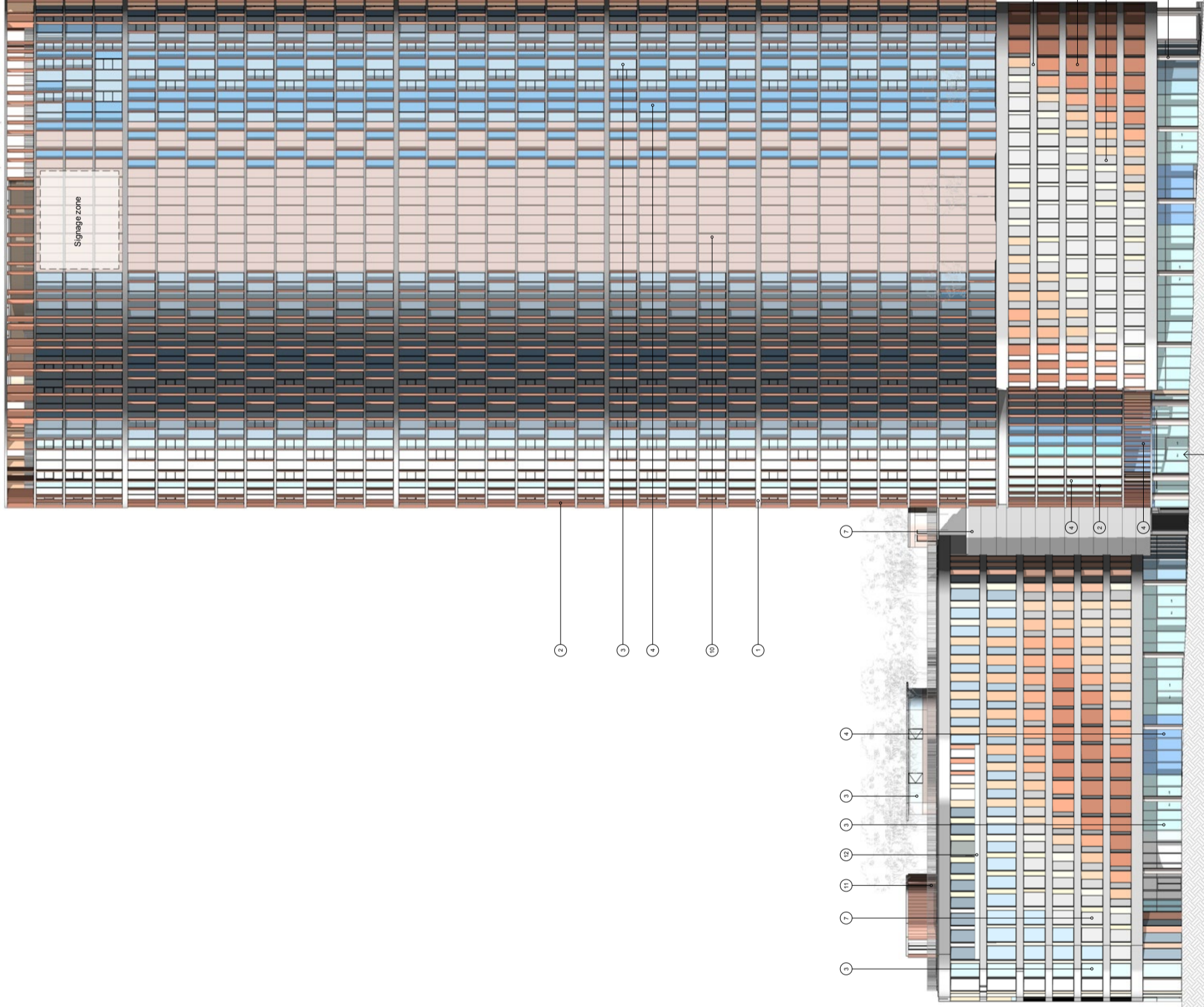
9. In situ concrete

10. Metal cladding/louvers

11. Metal balustrade

12. Glazed balustrade

Aluminium louvers to plant concrete to match tower facade



- ▽ Roof North RL 42.30
- ▽ Parapet North RL 39.12
- ▽ Level 08 North RL 34.30
- ▽ Level 07 North RL 30.00
- ▽ Level 06 North RL 27.50
- ▽ Level 05 North RL 24.50
- ▽ Level 04 North RL 21.50
- ▽ Level 03 North RL 18.50
- ▽ Level 0 North RL 14.00

1 Southwest 1:250

Circular / Straight auto louvers to future detail

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**Notes - Construction General (BASIX)**

**Glazing**  
- Aluminium framed, single clear glazing to internal windows that open to wintergardens  
U-Value: 6.6 (equal to or lower than)  
SHGC: 0.69 (+ or - 10%)  
- Aluminium framed, double clear glazing to curtain walls & wintergardens  
U-Value: 4.4 (equal to or lower than)  
SHGC: 0.5 (+ or - 10%)

Given values are NFRCC, total window values  
**Roof / ceiling insulation**  
Concrete roof - No insulation  
Default Colour modelled

**Ceiling:**  
Plasterboard ceiling - R2.0 bulk insulation to selected units (34-01 and 34-07) with balconies above.  
Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slat areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are greater than a later stage, BCA loss of insulation calculations will be required.

**Wall / floor insulation**  
**External Wall:**  
Lightweight cladding to all external walls with R1.5 bulk insulation  
No colour nominated

**Internal walls within units:**  
Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**  
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)  
75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

**Floors:**  
Concrete - R2.1 insulation to all units in level 7 with car park below  
Concrete - no insulation required between units

**Floor coverings:**  
1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans  
All 3 & 4 bed apartments tiled throughout

**Central hot water system**  
Central gas-fired boiler with R1.0 (-38mm) insulation to ringmain and supply risers.

**Reticulated alternative water**  
Alternative water supply available from Sydney Olympic Park Water Treatment Plant for the irrigation of all landscaping & all plants within the building.  
(No rainwater tank required for BASIX compliance)

**Alternative energy**  
Not required by BASIX

A 01.03.16 Development Application Description  
Revision: JS Initial Checked



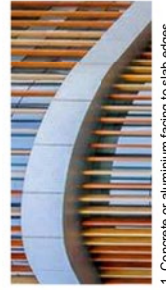
**Site 9, Sydney Olympic Park  
3 Olympic Boulevard**

**Building Elevations  
Southwest**

Status	Development Application
Scale	1:250 @ A1
Drawn	JS Checked CP
Project No.	S11880
Plot Date	4/4/2016 12:11:51 PM
Plot File	
Drawing no.	DA07.001
Revision	A

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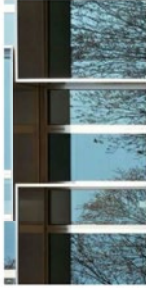
1. Concrete or aluminum facing to slab edges



2. Aluminum fins



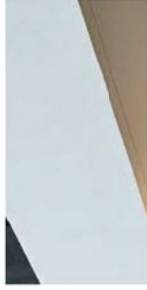
3. Glass



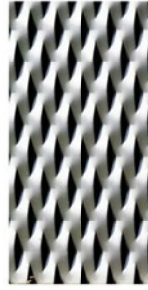
4. Colourback glass



5. Metal framing



6. Paint finish



7. Aluminium mesh



8. Terracotta / Lightweight Cladding



9. In situ concrete



10. Metal cladding/louvers

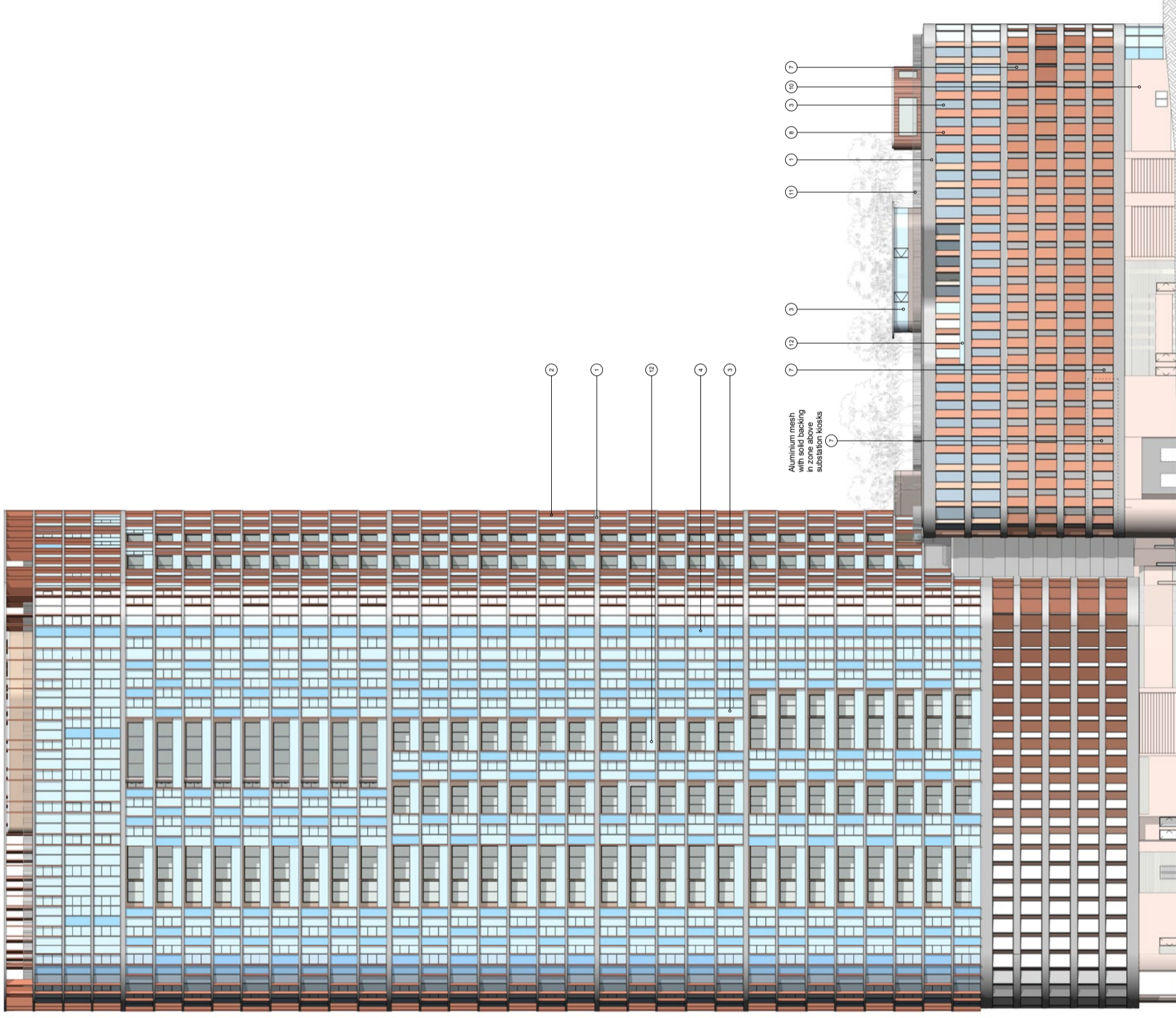


11. Metal balustrade



12. Glazed balustrade

- ▽ Top of Building RL 136.50
- ▽ 12m SFP Envelope RL 133.30
- ▽ Level 18 RL 135.40
- ▽ Level 17 RL 127.30
- ▽ Level 16 RL 124.20
- ▽ Level 15 RL 120.80
- ▽ Level 14 RL 117.70
- ▽ Level 13 RL 114.60
- ▽ Level 12 RL 111.50
- ▽ Level 11 RL 108.40
- ▽ Level 10 RL 105.30
- ▽ Level 9 RL 102.20
- ▽ Level 8 RL 99.10
- ▽ Level 7 RL 96.00
- ▽ Level 6 RL 92.90
- ▽ Level 5 RL 89.80
- ▽ Level 4 RL 86.70
- ▽ Level 3 RL 83.60
- ▽ Level 2 RL 80.50
- ▽ Level 1 RL 77.40
- ▽ Level 0 RL 74.30
- ▽ Level 19 RL 70.80
- ▽ Level 18 RL 67.50
- ▽ Level 17 RL 64.40
- ▽ Level 16 RL 61.30
- ▽ Level 15 RL 58.20
- ▽ Level 14 RL 55.10
- ▽ Level 13 RL 51.70
- ▽ Level 12 RL 48.00
- ▽ Level 11 RL 45.50
- ▽ Level 10 RL 42.40
- ▽ Level 9 RL 39.30
- ▽ Level 08 South RL 36.20
- ▽ Level 07 South RL 33.10
- ▽ Level 06 South RL 29.00
- ▽ Level 05 South RL 26.00
- ▽ Level 04 South RL 22.00
- ▽ Level 03 South RL 20.00
- ▽ Level 02 RL 17.00
- ▽ Level 0 South Residential RL 15.00
- ▽ Level 0 South RL 12.00



Aluminium mesh with solid backing. Aluminium mesh with solid backing. Substation kiosks

- RL 42.30 Roof North
- RL 39.12 Parapet North
- RL 34.30 Level 08 North
- RL 30.50 Level 07 North
- RL 27.50 Level 06 North
- RL 24.50 Level 05 North
- RL 21.50 Level 04 North
- RL 18.50 Level 03 North
- RL 14.00 Level 0 North

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Notes - Construction General (BASIX)

Glazing
- Aluminium framed single clear glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)
- Aluminium framed double clear glazing to curtain walls & wintergardens
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Roof / Ceiling Insulation
Concrete roof - No insulation
Default Colour modelled

Ceiling:
Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.
Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If more than 0.5% of the ceiling area is to be penetrated, BCA loss of insulation calculations will be required.

Wall / floor insulation
External Wall:
Lightweight cladding to all external walls with R1.5 bulk insulation No obtruded insulation

Internal walls within units:
Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

Floors:
Concrete - R2.1 insulation to all units in level 7, with car park below
Concrete - no insulation required between units

Floor coverings:
1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system
Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

Reticulated alternative water.
Alternative water supply available from Sydney Olympic Park (No rainwater tank required for BASIX compliance)
Alternative energy
Not required by BASIX

Revision table with columns: Revision, Date, Description, JS, CP, Final, Checked



Site 9, Sydney Olympic Park
3 Olympic Boulevard

Building Elevations
NorthEast

Project information table including Status, Scale, Drawn, Project No., Plot Date, Plot File

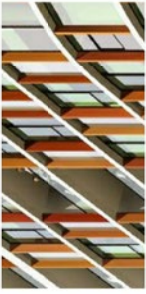
DA07.002 A

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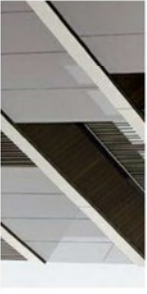
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1. Precast concrete or aluminum facing to slab edges



2. Aluminium fins



3. Glass



4. Colourback glass



5. Metal framing



6. Paint finish



7. Aluminium mesh



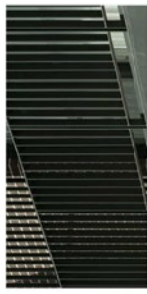
8. Terracotta



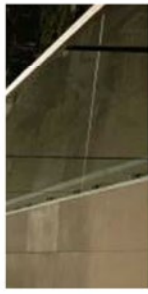
9. In situ concrete



10. Metal cladding

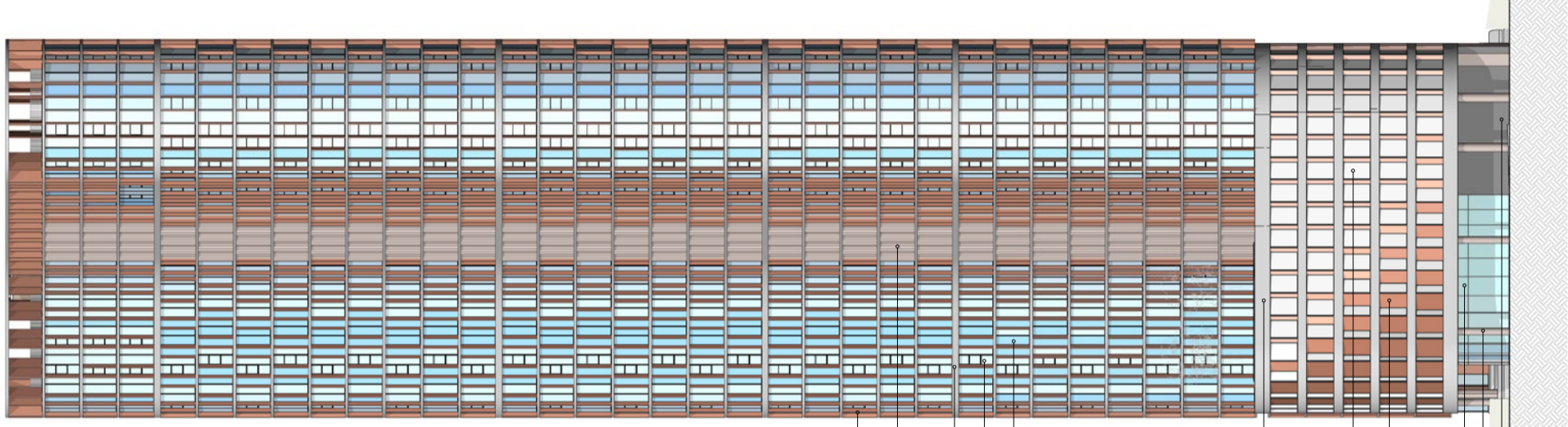


11. Metal balustrade



12. Glazed balustrade

RL 136.50	Top of Building
RL 133.50	12m SEPP Envelope
RL 133.50	Roof
RL 133.40	Level 28
RL 127.30	Level 37
RL 124.20	Level 36
RL 120.80	Level 35
RL 117.70	Level 34
RL 114.60	Level 33
RL 111.50	Level 32
RL 108.40	Level 31
RL 105.30	Level 30
RL 102.20	Level 29
RL 99.10	Level 28
RL 96.00	Level 27
RL 92.90	Level 26
RL 89.80	Level 25
RL 86.40	Level 24
RL 83.30	Level 23
RL 80.20	Level 22
RL 77.10	Level 21
RL 74.00	Level 20
RL 70.90	Level 19
RL 67.80	Level 18
RL 64.40	Level 17
RL 61.30	Level 16
RL 58.20	Level 15
RL 54.80	Level 14
RL 51.70	Level 13
RL 48.60	Level 12
RL 45.50	Level 11
RL 42.40	Level 10
RL 39.30	Level 09
RL 34.30	Level 08 North
RL 30.50	Level 07 North
RL 27.50	Level 06 North
RL 24.50	Level 05 North
RL 21.50	Level 04 North
RL 18.50	Level 03 North
RL 14.00	Level 0 North



2 Southeast

1:250

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All drawings may not be reproduced or distributed without prior permission from the architect.

**Notes - Construction General (BASIX)**

**Glazing:**

- Aluminium framed, **single clear** glazing to internal windows that open to wintergardens
- U-Value: 6.6 (equal to or lower than)
- SHGC: 0.69 (+ or - 10%)
- Aluminium framed, **double clear** glazing to curtain walls & wintergardens
- U-Value: 4.4 (equal to or lower than)
- SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

**Roof / ceiling insulation**

- No insulation
- Concrete roof - No insulation
- Default Colour modelled

**Ceiling:**

- Plasterboard ceiling - R2.0 bulk insulation to selected units (34-01 and 34-07) with balconies above.
- Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slit areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are greater than 0.5% of the total ceiling area, calculations will be required.

**Wall / floor insulation**

- **External Wall:** Lightweight cladding to all external walls with R1.5 bulk insulation No colour nominated
- **Internal walls within units:** Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**

- 75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**
- 75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

**Floors:**

- Concrete - R2.1 insulation to all units in level 7 with car park below
- Concrete - no insulation required between units

**Floor coverings:**

- 1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
- All 3 & 4 bed apartments tiled throughout

**Central hot water system**

Central gas-fired boiler with R1.0 (-38mm) insulation to ringmain and supply risers.

**Reticulated alternative water**

Alternative water supply available from Sydney Olympic Park Water Treatment Plant. The irrigation of all landscaping & all plants within the building shall be supplied from this source. (No rainwater tank required for BASIX compliance)

**Alternative energy**

Not required by BASIX

A 01.03.16 Development Application Description JS CP  
Revision Date Status Checked

Client Evoke



**Site 9, Sydney Olympic Park  
3 Olympic Boulevard**

Building Elevations  
Northwest & Southeast

Status	Development Application		
Scale	1:250 @ A1		
Drawn	JS	Checked	CP
Project No.	S11890		
Plot Date	4/3/2016 5:38:30PM		
Plot File			
Drawing no.	Revision		

**DA07.003** **A**

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1 Northwest

1:250

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**Notes - Construction General (BASIX)**

**Glazing**  
**Window windows:**  
 - Aluminium framed **single clear glazing** to internal windows that open to wintergardens  
 U-Value: 6.6 (equal to or lower than)  
 SHGC: 0.69 (+ or - 10%)  
 - Aluminium framed **double clear glazing** to curtain walls & wintergardens  
 U-Value: 4.4 (equal to or lower than)  
 SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values  
**Roof / Ceiling Insulation**  
 - Concrete roof - No insulation  
 - Default Colour modelled

**Ceiling:**  
 Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.  
 Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.25% of the total ceiling area. If ceiling penetrations are a later stage, BCA loss of insulation calculations will be required.

**Wall / floor insulation**  
**External Wall:**  
 Lightweight cladding to all external walls with R1.5 bulk insulation No colour nominated

**Internal walls within units:**  
 Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**  
 75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.  
**Floors:**  
 Concrete - R2.1 insulation to all units in level 7, with car park below  
 Concrete - no insulation required between units

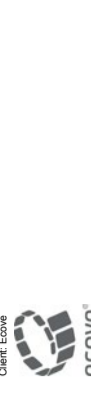
**Floor coverings:**  
 1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans  
 All 3 & 4 bed apartments tiled throughout

**Central hot water system**  
 Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

**Reticulated alternative water:**  
 Alternative water supply available from Sydney Olympic Park (NSW) to be used for the irrigation of all landscaping & all tanks within the building.  
 (No rainwater tank required for BASIX compliance)

**Alternative energy**  
 Not required by BASIX

Revision	Date	Description	JS	CP
01.03.16		Development Application		Checked



**Site 9, Sydney Olympic Park  
3 Olympic Boulevard**

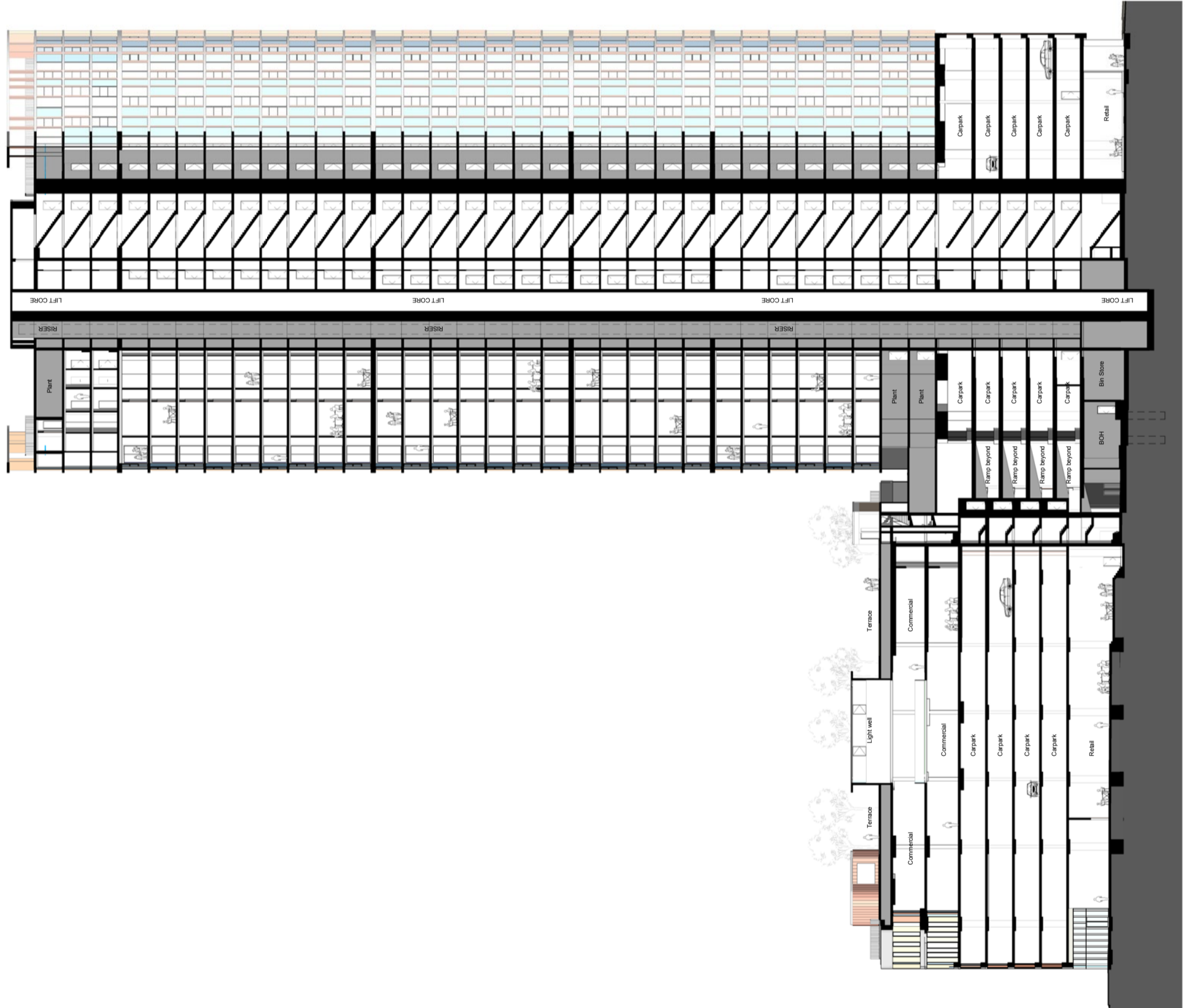
**Building Sections  
A-A**

Status	Development Application
Scale	1: 250 @ A1
Drawn	JS
Project No.	S11890
Plot Date	3/23/2016 8:18:38 PM
Plot File	
Drawing no.	Revision
<b>DA08.001</b>	<b>A</b>

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- RL 136.60 Top of Building
- RL 133.90 12m SPRY Envelope
- RL 133.90 Roof
- RL 130.40 Level 38
- RL 127.90 Level 37
- RL 124.20 Level 36
- RL 120.80 Level 35
- RL 117.70 Level 34
- RL 114.60 Level 33
- RL 111.50 Level 32
- RL 108.40 Level 31
- RL 105.30 Level 30
- RL 102.20 Level 29
- RL 99.10 Level 28
- RL 96.00 Level 27
- RL 92.90 Level 26
- RL 89.80 Level 25
- RL 86.70 Level 24
- RL 83.60 Level 23
- RL 80.50 Level 22
- RL 77.40 Level 21
- RL 74.30 Level 20
- RL 71.20 Level 19
- RL 68.10 Level 18
- RL 65.00 Level 17
- RL 61.90 Level 16
- RL 58.80 Level 15
- RL 55.70 Level 14
- RL 52.60 Level 13
- RL 49.50 Level 12
- RL 46.40 Level 11
- RL 43.30 Level 10
- RL 40.20 Level 09
- RL 37.10 Level 08 South
- RL 34.00 Level 07 South
- RL 30.90 Level 06 South
- RL 27.80 Level 05 South
- RL 24.70 Level 04 South
- RL 21.60 Level 03 South
- RL 18.50 Level 02
- RL 13.00 Level 0 South Residential
- RL 12.05 Level 0 South



- Roof North RL 42.30
- Platypus North RL 39.12
- Level 08 North RL 34.30
- Level 07 North RL 30.50
- Level 06 North RL 27.50
- Level 05 North RL 24.50
- Level 04 North RL 21.50
- Level 03 North RL 18.50
- Level 0 North RL 14.00

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**Notes - Construction General (BASIX)**

**Glazing**  
- Aluminium framed, **single clear glazing** to internal windows that open to wintergardens  
U-Value: 6.6 (equal to or lower than)  
SHGC: 0.69 (+ or - 10%)  
- Aluminium framed, **double clear glazing** to curtain walls & wintergardens  
U-Value: 4.4 (equal to or lower than)  
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values  
**Roof / ceiling insulation**  
- Concrete roof - No insulation  
- Default Colour modelled

**Ceiling:**  
Plasterboard ceiling - R2.0 bulk insulation to selected units (3-01 and 3-07) with balconies above.  
Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & sloped areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If ceiling penetrations are greater than this, a later stage BCA loss of insulation calculations will be required.

**Wall / floor insulation**  
**External Wall:**  
Lightweight cladding to all external walls with R1.5 bulk insulation  
No colour nominated

**Internal walls within units:**  
Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**  
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7-01 and 8-07)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

**Floors:**  
Concrete - R2.1 insulation to all units in level 7 with car park below  
Concrete - no insulation required between units

**Floor coverings:**  
1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans  
All 3 & 4 bed apartments tiled throughout

**Central hot water system**  
Central gas-fired boiler with R1.0 (-38mm) insulation to ringmain and supply risers.

**Retculated alternative water**  
Alternative water supply available from Sydney Olympic Park Authority for the irrigation of all landscaping & all plants within the building.  
(No rainwater tank required for BASIX compliance)

**Alternative energy**  
Not required by BASIX

A	01.03.16	Development Application	Discussions	JS	CP
		Revision	Date	Drawn	Checked

Client Ecove

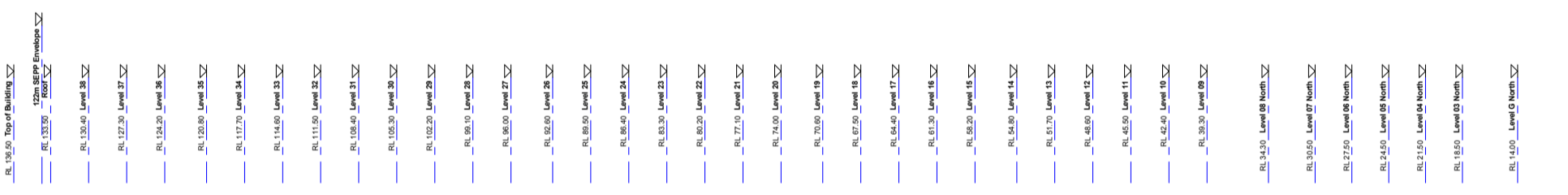
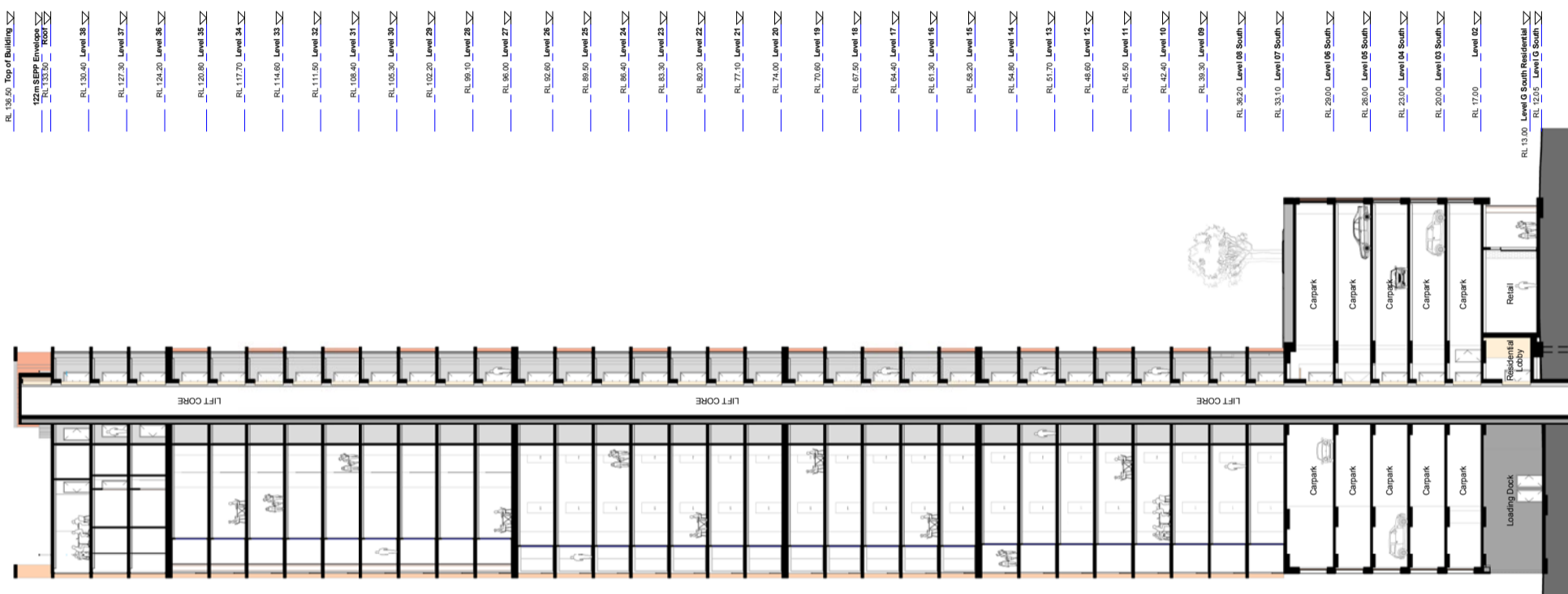


**Site 9, Sydney Olympic Park  
3 Olympic Boulevard**

**Building Sections  
B-B, C-C**

Status	Development Application
Scale	1 : 250 @ A1
Drawn	JS
Project No.	S11890
Plot Date	30/09/16 7:42:38PM
Plot File	
Drawing no.	Revision
<b>DA08.002</b>	<b>A</b>

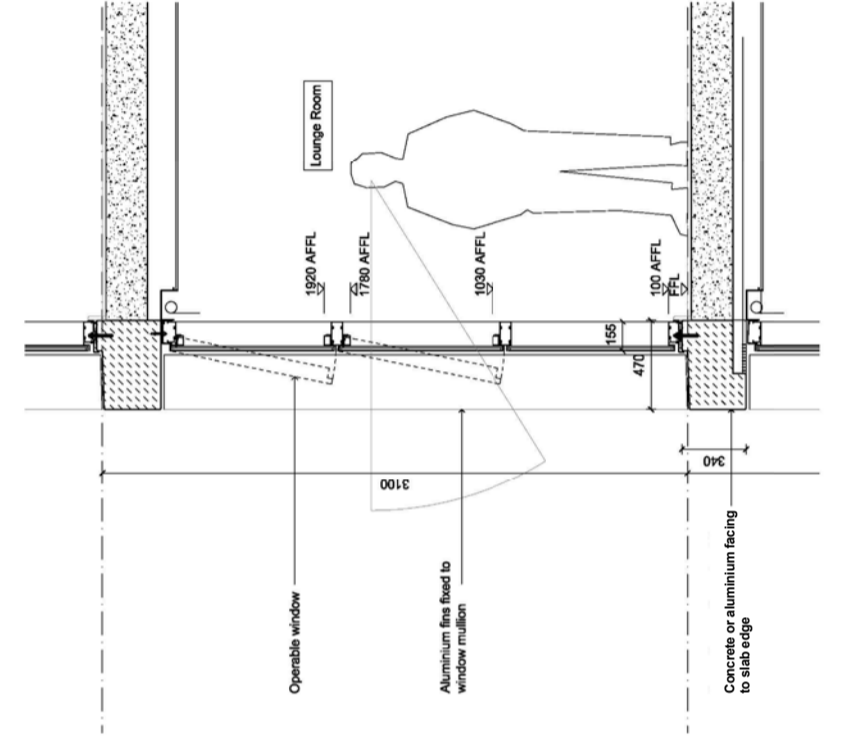
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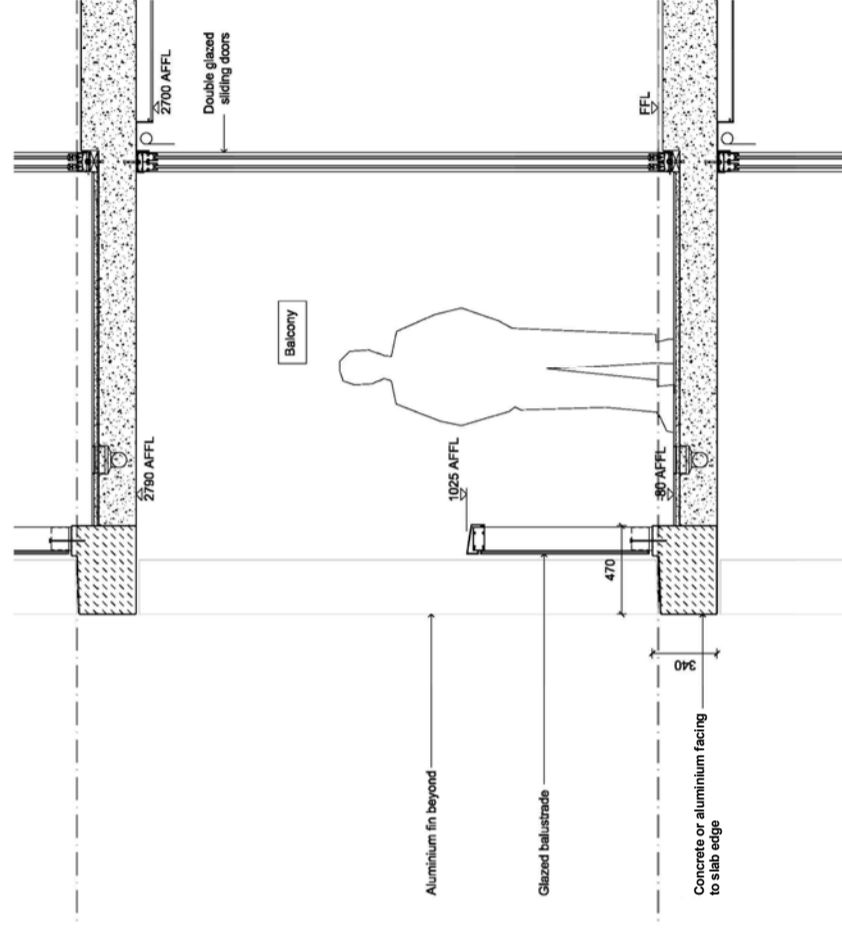
2 Section C-C 1 : 250

1 Section B-B 1 : 250

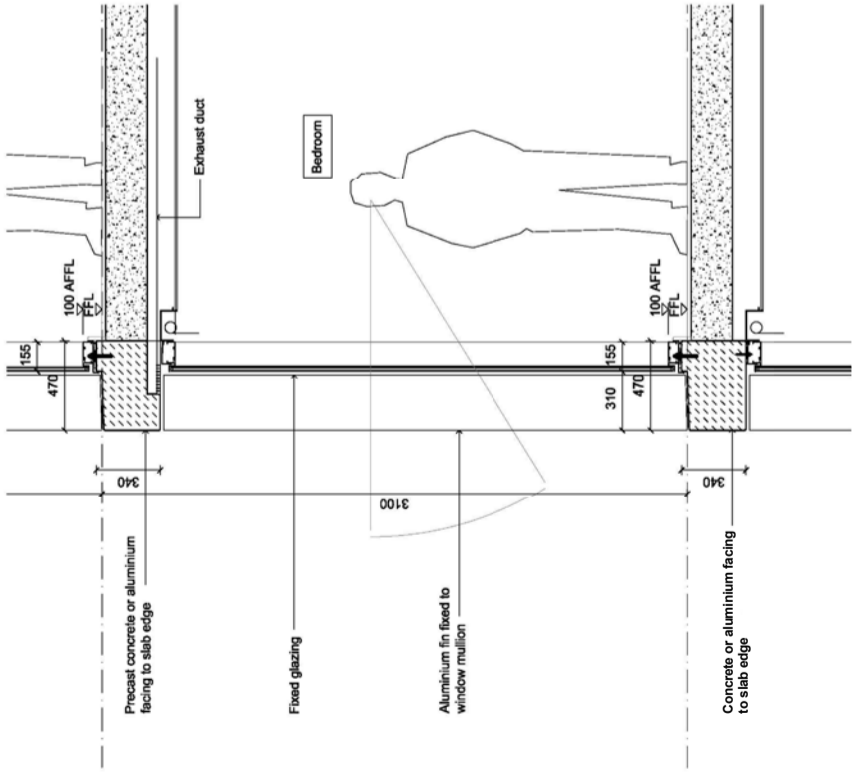
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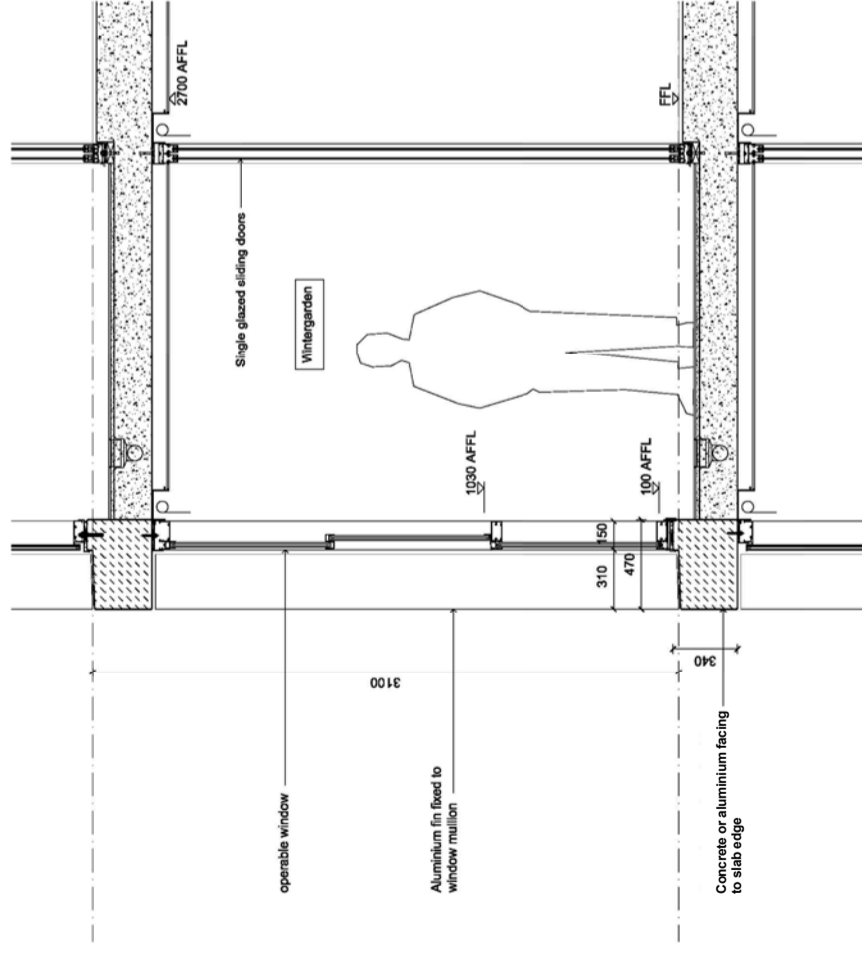
2 Condition 02 - Operable Window  
1:20



4 Condition 04 - Balcony  
1:20



1 Condition 01 - Fixed Glazing  
1:20



3 Condition 03 - Penthouse Wintergarden  
1:20

01.03.16 Development Application  
Revision Date Description Initial Checked

Client: Ecove



Site 9, Sydney Olympic Park  
3 Olympic Boulevard



Tower Facade  
Conditions 01-04 - Indicative Detail  
Sections

Status	Development Application
Scale	1:20 @ A1
Drawn	Author
Project No.	S11890
Plot Date	4/3/2016 4:28:00 PM
Plot File	

Drawing no. DA10.001  
Revision A

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Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant services or equipment and the preparation of shop drawings and/or the fabrication of any components.  
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.  
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**Notes - Construction General (BASIX)**

**Glazing**

- Aluminium framed windows:
- Aluminium framed, single clear glazing to internal windows that open to wintergardens
- U-Value: 6.6 (equal to or lower than)
- SHGC: 0.69 (+ or - 10%)

- Aluminium framed, double clear glazing to curtain walls & external windows
- U-Value: 4.4 (equal to or lower than)
- SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

**Roof / Ceiling Insulation**

- Concrete roof - No insulation
- Default Colour modelled

**Ceiling:**

Plasterboard ceiling - R2.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & sit areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If this is not the case, a separate calculation will be required.

**Wall / Floor Insulation**

**External Wall:**  
Lightweight cladding to all external walls with R1.5 bulk insulation. No colour nominated

**Internal walls within units:**

Plasterboard on studs - no insulation

**Inter-tenancy walls / corridor:**  
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

**Floors:**

Concrete - R2.1 insulation to all units in level 7 with car park below  
Concrete - no insulation required between units

**Floor coverings:**  
1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans  
All 3 & 4 bed apartments tiled throughout

**Central hot water system**

Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

**Reticulated alternative water**

Alternative water supply available from Sydney Olympic Park Authority to assist on the irrigation of all landscaping & all trees within the building.

(No rainwater tank required for BASIX compliance)

**Alternative energy**

Not required by BASIX

A 01.03.16 Development Application Description

Revision Date JS CP

Client Ecove

ecove

**Site 9, Sydney Olympic Park  
3 Olympic Boulevard**

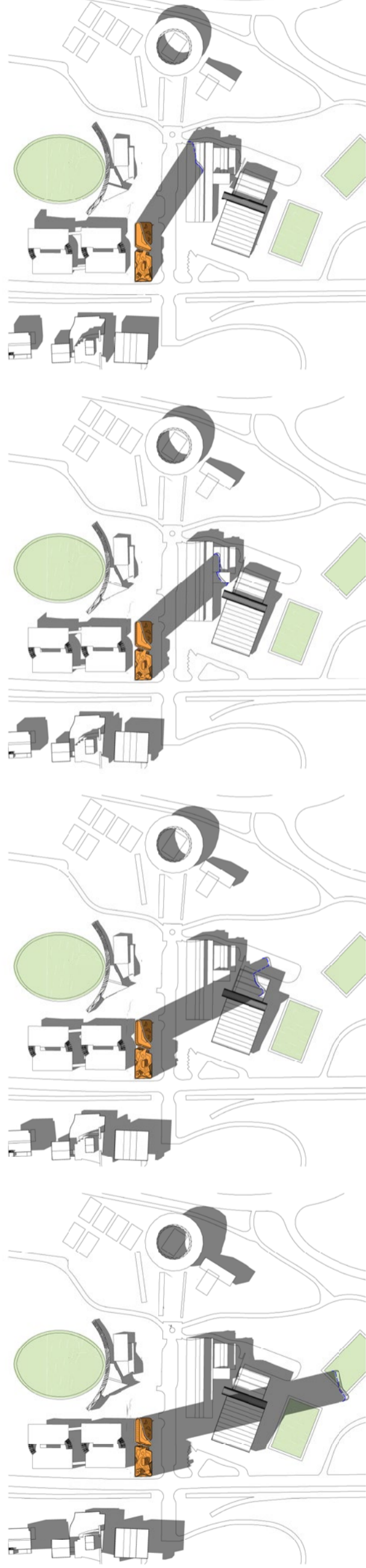
Shadow Diagrams  
Winter Solstice June 21

Status	Development Application
Scale	As Indicated @ A1
Drawn	JS
Project No.	S11890
Plot Date	30/09/16 7:51:16 PM
Plot File	

Drawing no.	Revision
<b>DA50.001</b>	<b>A</b>

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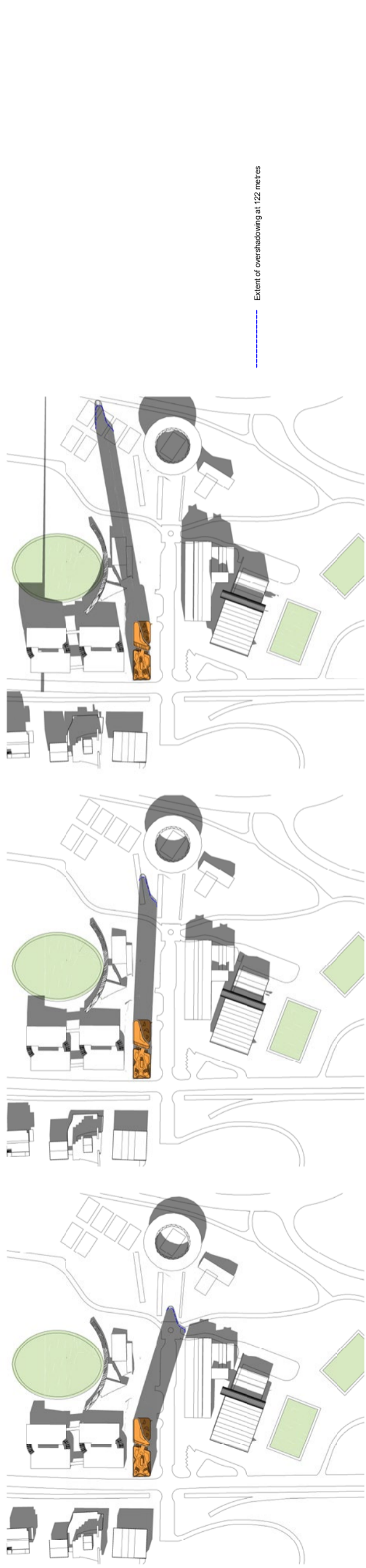


1 June 21st, 9am 1:4000

2 June 21st, 10am 1:4000

3 June 21st, 11am 1:4000

4 June 21st, 12pm 1:4000



5 June 21st, 1pm 1:4000

6 June 21st, 2pm 1:4000

7 June 21st, 3pm 1:4000

Extent of overshadowing at 122 metres



# **APPENDIX B**

# **SEPP65 & ADG**

# **COMPLIANCE**

# **CHECKLIST**