

Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

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Glazing
Doors / windows:
- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminum framed **double clear** glazing to curtain walls & glazing to balcony edge.
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof:
Concrete roof - No insulation

Default Colour modelled

Ceiling:
Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

External Wall:
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:
Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:
Concrete – R2.1 insulation to all units in level 7 with car park below
Concrete – no insulation required between units

Floor coverings:
1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms
and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system
Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

Reticulated alternative water
Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy
Not required by BASIX

B	24.01.17	Amended DA issue	JS	MA
C	25.08.16	Revisions as closed	CP	MA
B	20.07.16	Attended DA issue	JS	CP
A	01.05.16	Development Application	JS	CP
Revision	Date	Description	Initial	Checked

Client: Ecove



Site 9, Sydney Olympic Park
3 Olympic Boulevard

Site Plan



Status	Development Application		
Scale	1 : 300	@ A1	
Drawn	Author	Checked	Check
Project No.	S11890		
Plot Date	24/01/2017 11:51:19AM		
Plot File			

Drawing no.	Revision
DA01.001	D

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Notes - Construction General (BASIX)

Glazing
Doors / windows:
- Aluminium framed single clear glazing to internal windows that open to wintergardens
U-Value: 6.5 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed double clear glazing to curtain walls & glazing to balcony edge
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation
Roof:
Concrete roof - No insulation

Default Colour modelled

Ceiling:
Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation
External Wall:
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:
Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:
Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

Floor coverings:
1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system
Central gas-fired boiler with R1.0 (~38mm) insulation to riser/main and supply risers.

Retained alternative water
Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy
Not required by BASIX

20.07.16

Amended DA Issue

JS

CP

01.03.16

Development Application

JS

CP

Revision Date Description Initial Checked

Client: Ecove



ecove

Site 9, Sydney Olympic Park
3 Olympic Boulevard

Proximity to Rail Corridor
Site Plan + Building Envelope

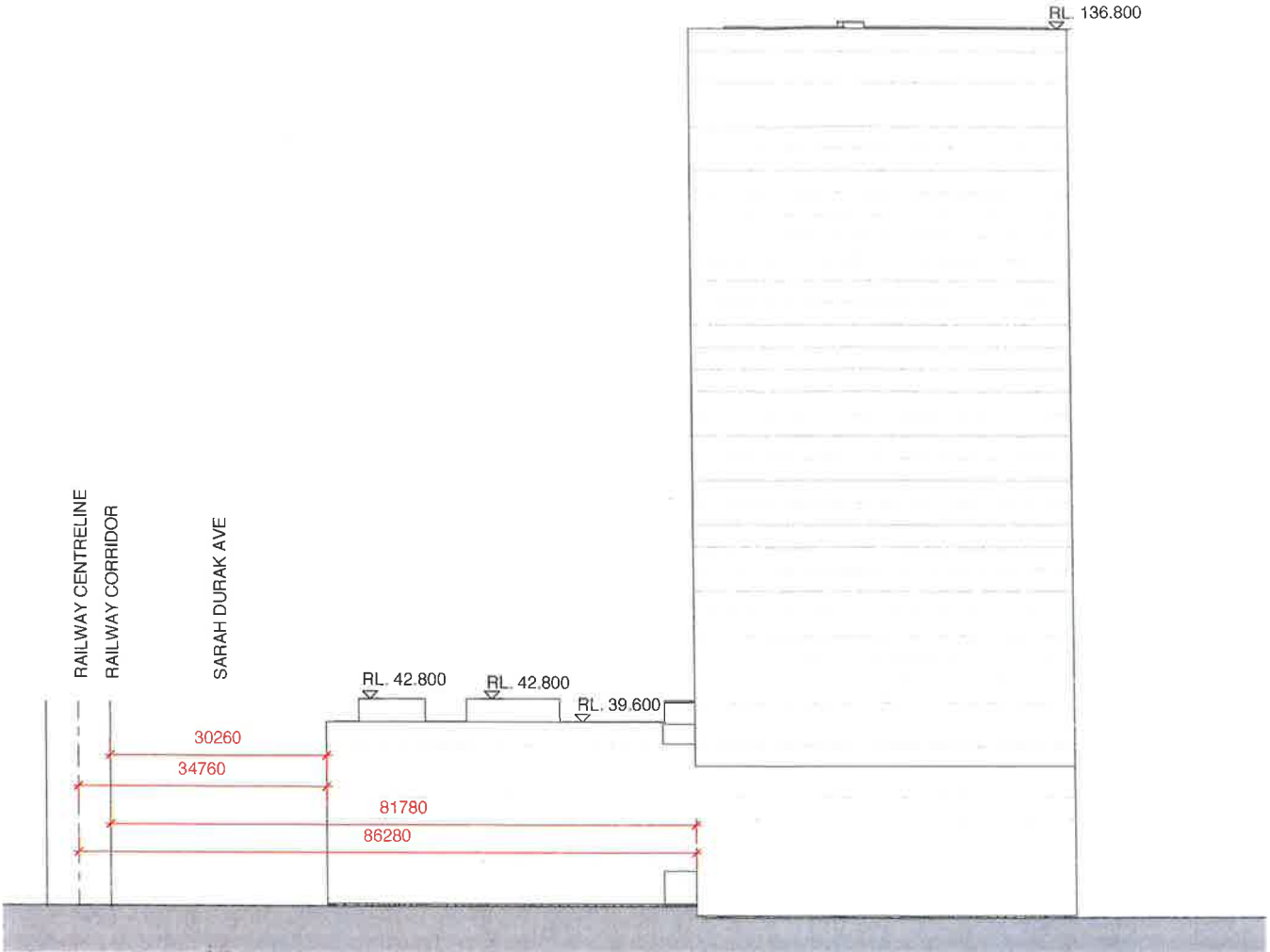
Status	Development Application		
Scale	As Indicated	@	A1
Drawn	Author	Checked	Checker
Project No.	S11890		
Plot Date	20/07/2016 2:55:40 PM		
Plot File			
Drawing no.	Revision		
DA01.002	B		

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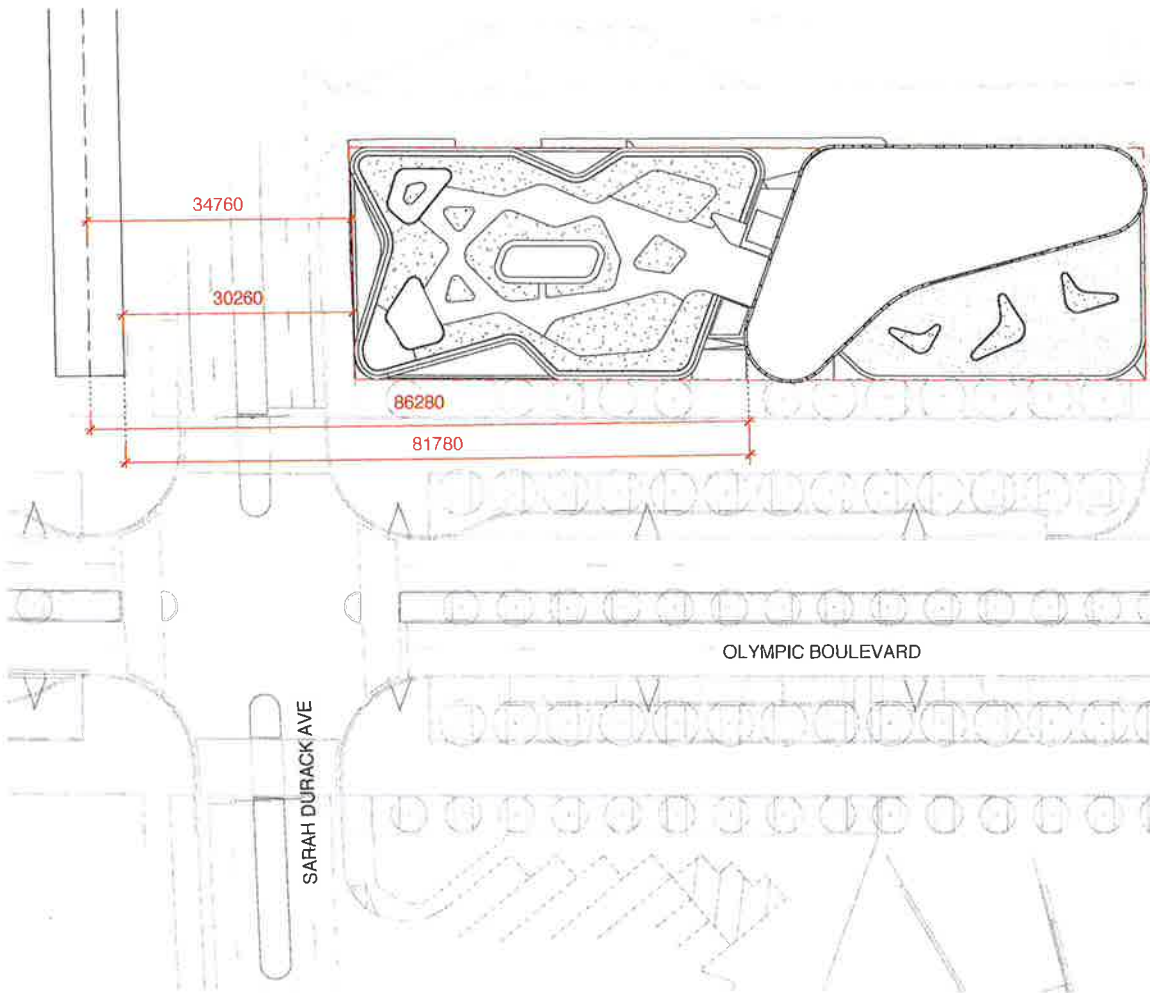
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2 Building Envelope 1 : 500



1 Site Plan 1 : 500



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Planning

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Approved Application No. SSD 7445

granted on the 28 April 2017

Signed [Signature]

Sheet No. 2 of 46

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Notes - Construction General (BASIX)

Glazing

Doors / Windows:

- Aluminium framed single clear glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.66 (+ or - 10%)

- Aluminium framed double clear glazing to curtain walls & glazing to balcony edge.
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFFRC, total window values

Roof / ceiling insulation

Roof:

Concrete roof - No Insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:

Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (-38mm) insulation to ringmain and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

Revision	Date	Description	Initial	Checked
A	01/05/16	Development Application	JS	CP

Client: Ecove



Site 9, Sydney Olympic Park 3 Olympic Boulevard

Proximity to Rail Corridor
Aerial Photograph



Status	Development Application
Scale	As Indicated @ A1
Drawn	Author Checked Checker
Project No.	S11890
Plot Date	20/07/2016 2:56:14 PM
Plot File	

Drawing no.	Revision
DA01.003	B

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NSW GOVERNMENT
Planning

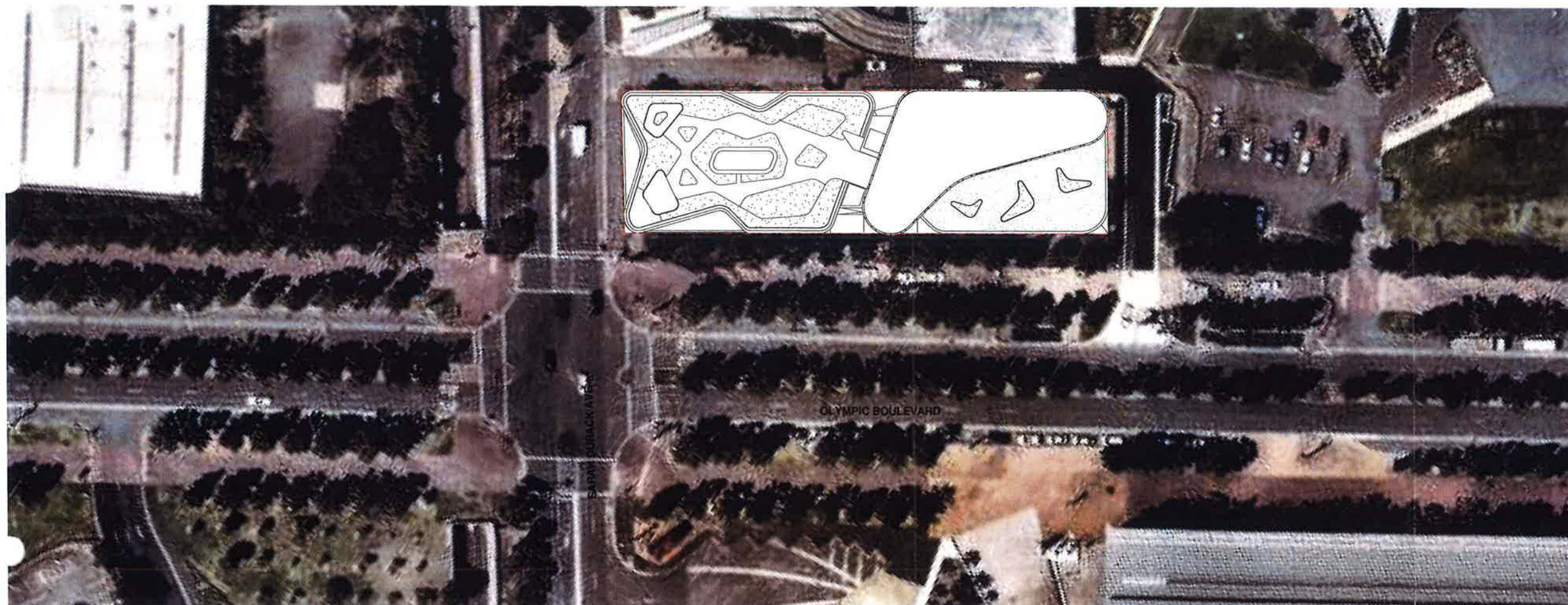
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Sheet No 3 of 46



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Notes - Construction General (BASIX)

Glazing

Doors/windows:
- Aluminium framed single clear glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed double clear glazing to curtain walls & glazing to balcony edge
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof:

Concrete roof - No insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:

Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 6.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (~38mm) insulation to risermain and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

Revision	Date	Description	Initial	Checked
D	24.01.17	Amended DA Issue	JS	MA
C	20.06.16	Revisions as circled	CP	MA
B	20.07.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP

Client: Ecode



ecode

Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Ground



Status	Development Application
Scale	1 : 200 @ A1
Drawn	JS Checked CP
Project No	S11890
Plot Date	24/01/2017 2:10:47 PM
Plot File	

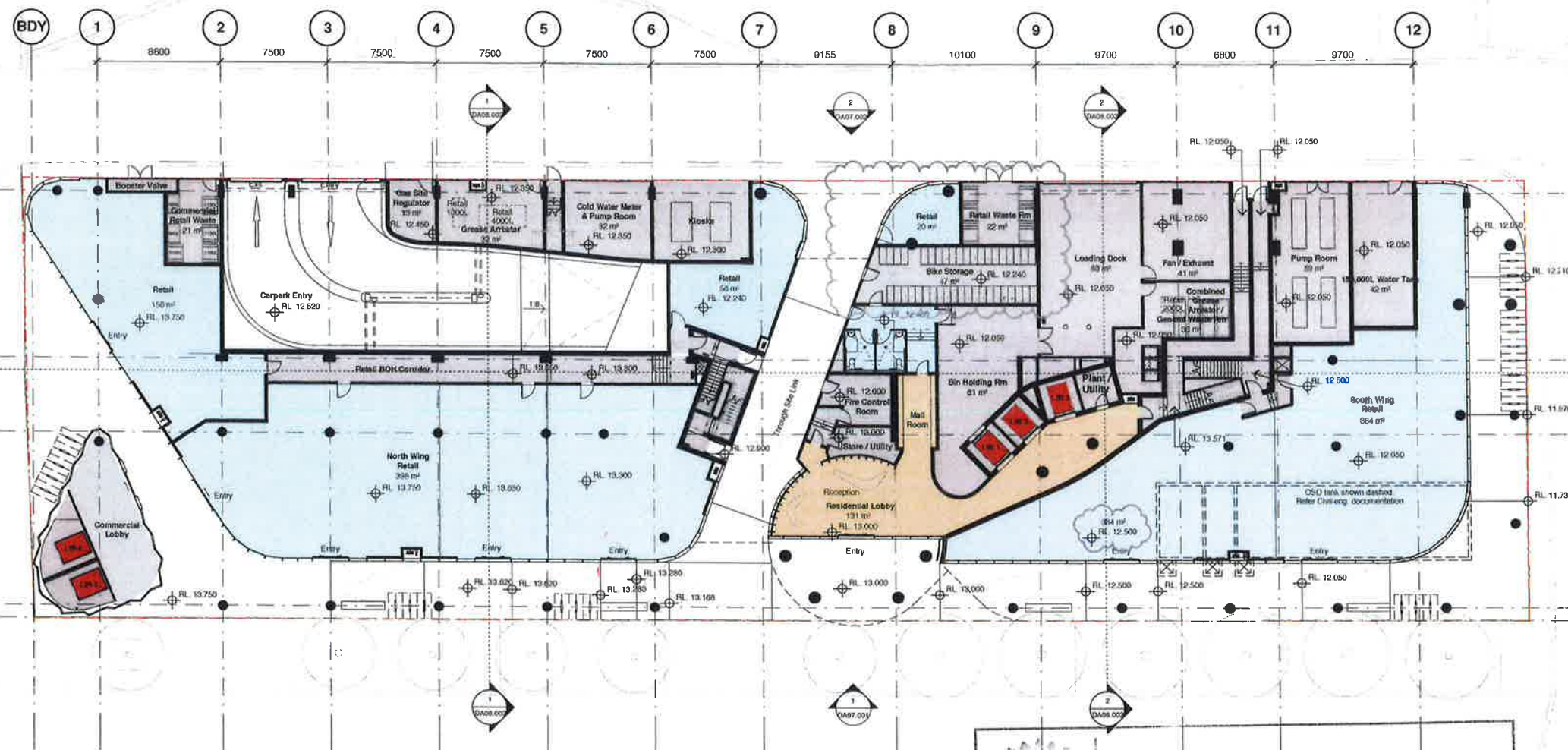
Drawing no.	Revision
DA02.001	D

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Planning

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Approved Application No. **SSD 74445**

granted on the **28 April 2017**

Signed:

Sheet **4** of **46**

Legend - General
 BG Bulky Goods
 Storage Cage

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Notes - Construction General (BASIX)

Glazing
 Doors / windows:
 - Aluminium framed single clear glazing to internal windows that open to wintergardens
 U-Value: 6.6 (equal to or lower than)
 SHGC: 0.89 (+ or - 10%)

- Aluminium framed double clear glazing to curtain walls & glazing to balcony edge
 U-Value: 4.4 (equal to or lower than)
 SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof:
 Concrete roof - No insulation

Default Colour modelled

Ceiling:
 Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:
 Lightweight cladding to all external walls with R1.5 bulk insulation
 No colour nominated

Internal walls within units:
 Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:
 75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:
 Concrete - R2.1 insulation to all units in level 7 with car park below
 Concrete - no insulation required between units

Floor coverings:
 1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
 All 3 & 4 bed apartments tiled throughout

Central hot water system
 Central gas-fired boiler with R1.0 (~38mm) insulation to risers and supply risers

Reticulated alternative water
 Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
 (No rainwater tank required for BASIX compliance)

Alternative energy
 Not required by BASIX

Revision	Date	Description	Initial	Checked
C	25.08.16	Revisions as detailed	CP	MA
B	20.07.16	Amended DA issue	JS	CP
A	01.03.16	Development Application	JS	CP

Client: Ecove



Site 9, Sydney Olympic Park
 3 Olympic Boulevard

General Arrangement Plan
 Level 02

Status	Development Application
Scale	1 : 200 @ A1
Drawn	Author Checked Checker
Project No.	S11890
Plot Date	25/08/2016 5:03:59 PM
Plot File	
Drawing no.	Revision
DA02.002	C

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NSW GOVERNMENT
 Planning

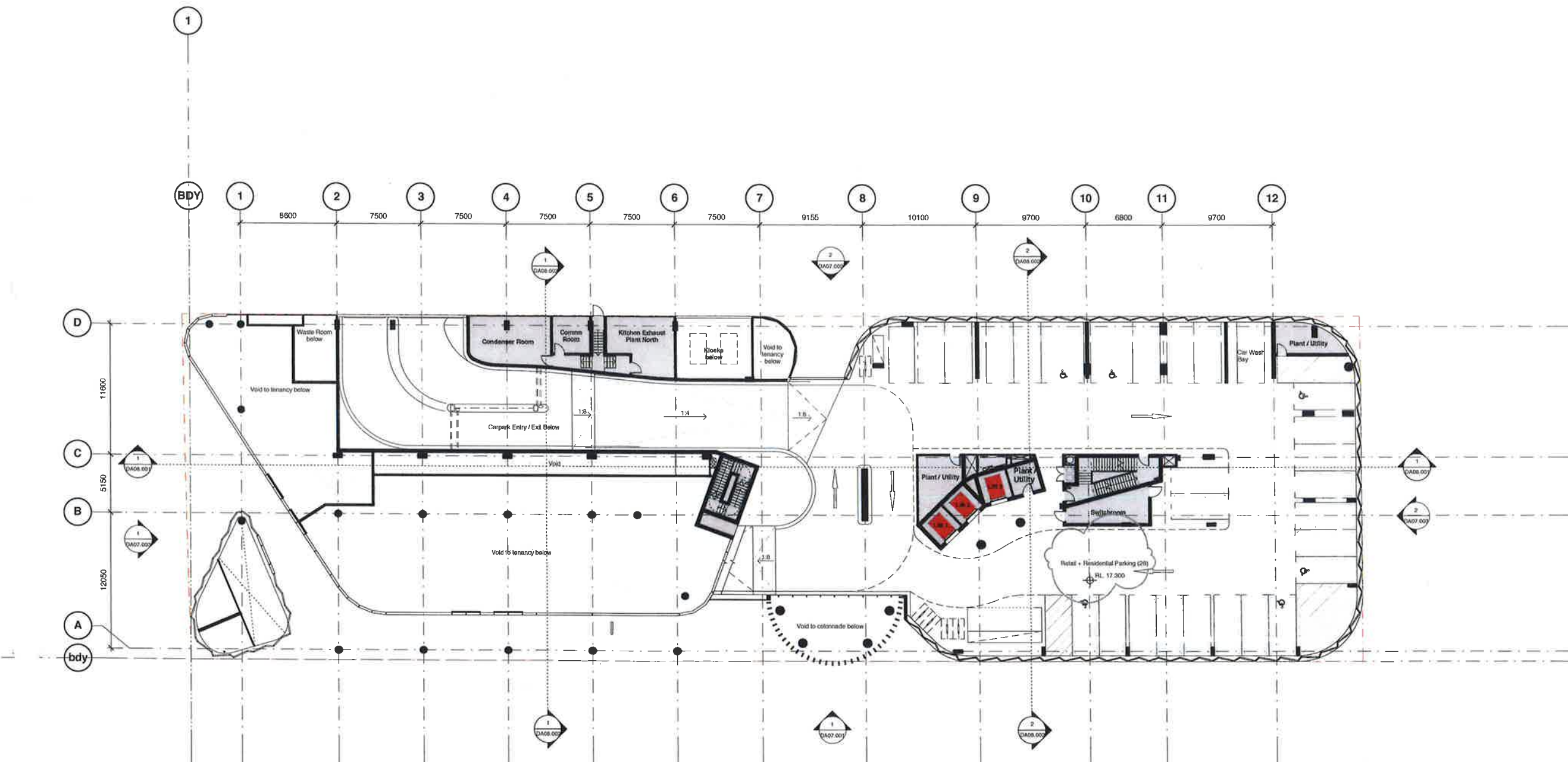
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Approved Application No. SSD 7445

granted on the 28 April 2017

Signed [Signature]

Sheet No. 5 of 46



Revision	Date	Description	Initial	Checked
Client: <u>Example</u>				

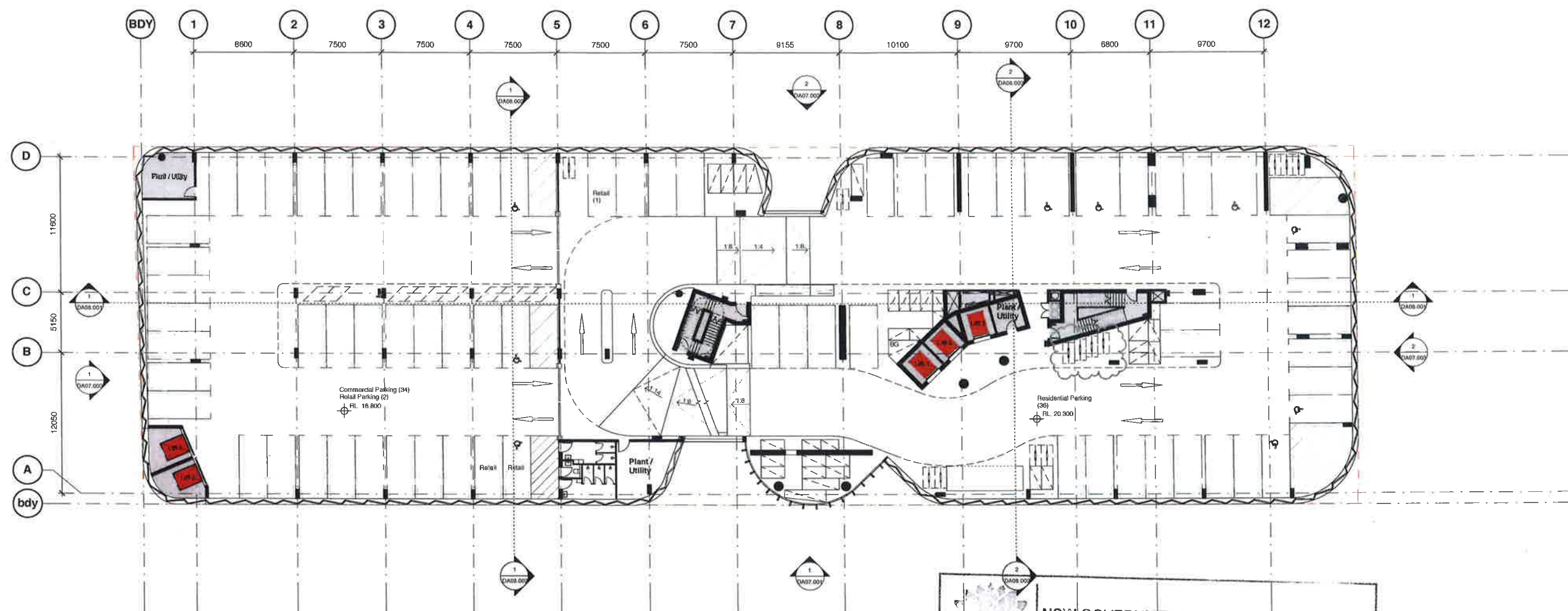
General Arrangement Plan
Level 03

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Planning

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Approved Application No. SSD 7445

granted on the 28 April 2017

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Sheet No. 6 of 46

Legend - General
 BG Bulky Goods
 Storage Cage

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Notes - Construction General (BASIX)

Glazing
Doors / windows:
 - Aluminium framed single clear glazing to internal windows that open to wintergardens
 U-Value: 6.6 (equal to or lower than)
 SHGC: 0.69 (+ or - 10%)

- Aluminium framed double clear glazing to curtain walls & glazing to balcony edge
 U-Value: 4.4 (equal to or lower than)
 SHGC: 0.5 (+ or - 10%)

Given values are NFRIC, total window values

Roof / ceiling insulation
Roof:
 Concrete roof - No insulation

Default Colour modelled

Ceiling:
 Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: it has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:
 Lightweight cladding to all external walls with R1.5 bulk insulation
 No colour nominated

Internal walls within units:
 Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:
 75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:
 Concrete - R2.1 insulation to all units in level 7 with car park below
 Concrete - no insulation required between units

Floor coverings:
 1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
 All 3 & 4 bed apartments tiled throughout

Central hot water system
 Central gas-fired boiler with R1.0 (-38mm) insulation to ringmain and supply risers.

Reticulated alternative water
 Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
 (No rainwater tank required for BASIX compliance)

Alternative energy
 Not required by BASIX

C	24.01.17	Amended DA Issue	JS	MA
B	20.07.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP

Client: Ecove



Site 9, Sydney Olympic Park
 3 Olympic Boulevard

General Arrangement Plan
 Level 04

Status	Development Application		
Scale	1 : 200	@ A1	
Drawn	Author	Checked	Checker
Project No.	S11890		
Plot Date	24/01/2017 11:51:41 AM		
Plot File			

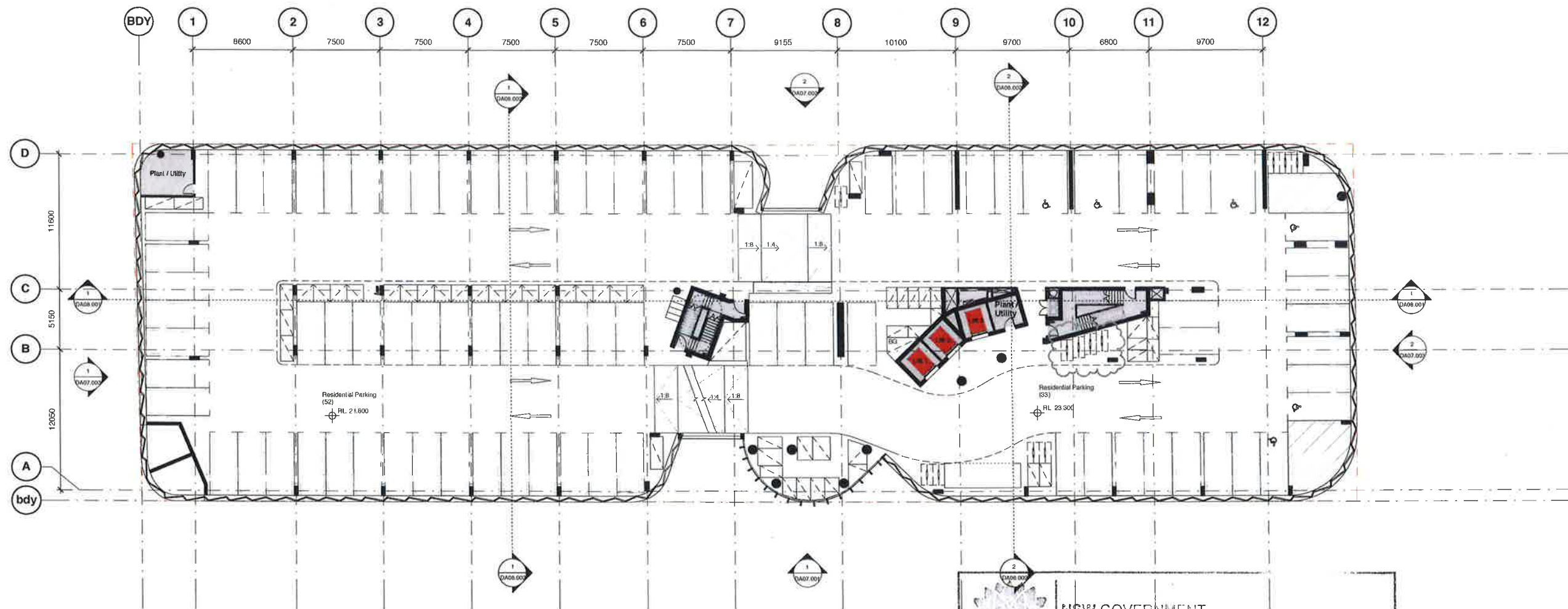
Drawing no.	Revision
DA02.004	C

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Legend - General
 BG Bulky Goods
 Storage Cage

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Notes - Construction General (BASIX)

Glazing
Doors / windows:
 - Aluminium framed single clear glazing to internal windows that open to wintergardens
 U-Value: 6.6 (equal to or lower than)
 SHGC: 0.69 (+ or - 10%)

- Aluminium framed double clear glazing to curtain walls & glazing to balcony edge
 U-Value: 4.4 (equal to or lower than)
 SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof:
 Concrete roof - No insulation

Default Colour modelled

Ceiling:
 Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slof areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:
 Lightweight cladding to all external walls with R1.5 bulk insulation
 No colour nominated

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Inter-tenancy walls / corridor:
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Floors:
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 Concrete - no insulation required between units

Floor coverings:
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 All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (-38mm) insulation to ringmain and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
 (No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

C	24.01.17	Amended DA Issue	JS	MA
B	20.07.16	Amended DA Issue	JS	CP
A	01.05.16	Development Application	JS	CP
Revision	Date	Description	Initial	Checked

Client: Ecove



ecove

Site 9, Sydney Olympic Park
 3 Olympic Boulevard

General Arrangement Plan
 Level 05

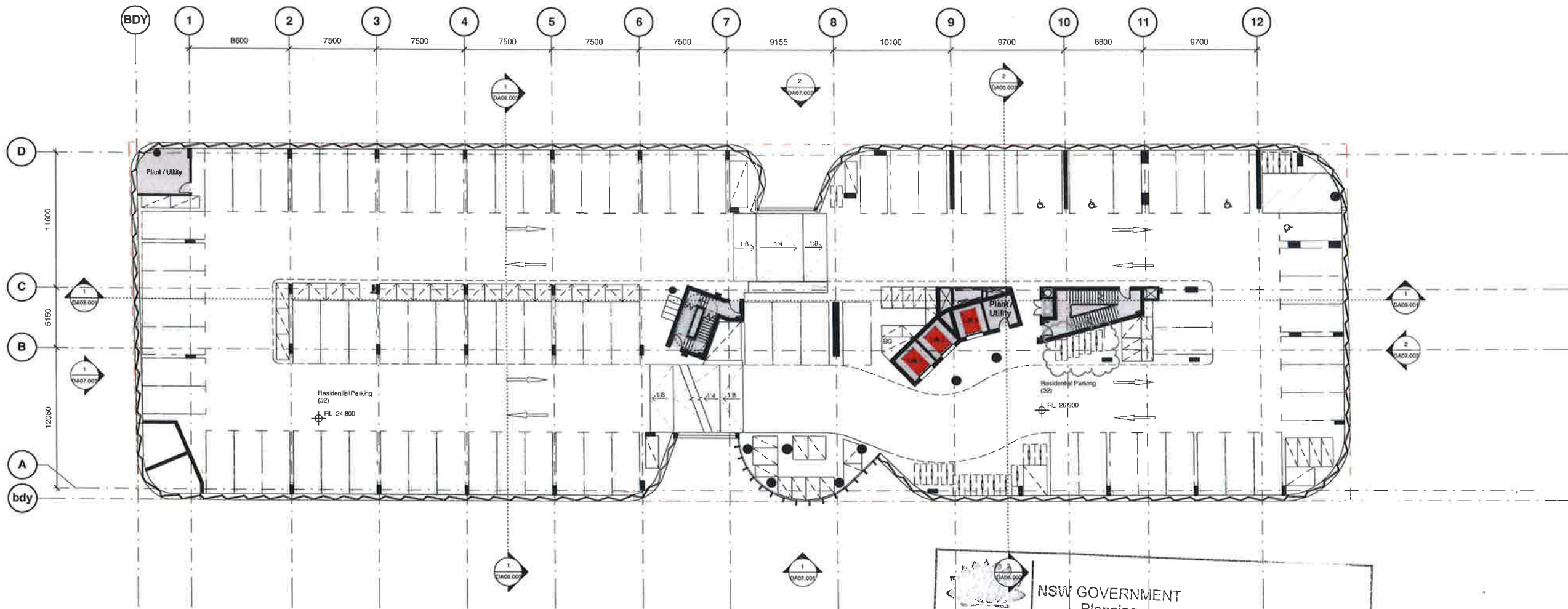


Status	Development Application
Scale	1 : 200 @ A1
Drawn	Author
Project No.	S11890
Plot Date	24/01/2017 11:51:45 AM
Plot File	
Drawing no.	Revision
DA02.005	C

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BATESSMART



NSW GOVERNMENT
 Planning

Issued under the Environmental Planning and Assessment Act

Approved Application No. SSD 7445

granted on the 28 April 2017

Signed [Signature]

Sheet No. 8 of 46

Legend - General
BG Bulky Goods
Storage Cage

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Notes - Construction General (BASIX)

Glazing

Doors / windows:
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U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear** glazing to curtain walls & glazing to balcony edge
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof:
Concrete roof - No insulation

Default Colour modelled

Ceiling:
Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:
Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only** (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:
Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

Floor coverings:
1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system
Central gas-fired boiler with R1.0 (-38mm) insulation to riser/main and supply risers.

Reticulated alternative water
Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building.
(No rainwater tank required for BASIX compliance)

Alternative energy
Not required by BASIX

C	24.01.17	Amended DA Issue	JS	MA
B	20.07.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP

Revision Data Description Initial Checked

Client: Ecove



ecove

Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 06

Status Development Application

Scale 1 : 200 @ A1

Drawn Author Checked Checker

Project No. S11890

Plot Date 24/01/2017 11:51:50 AM

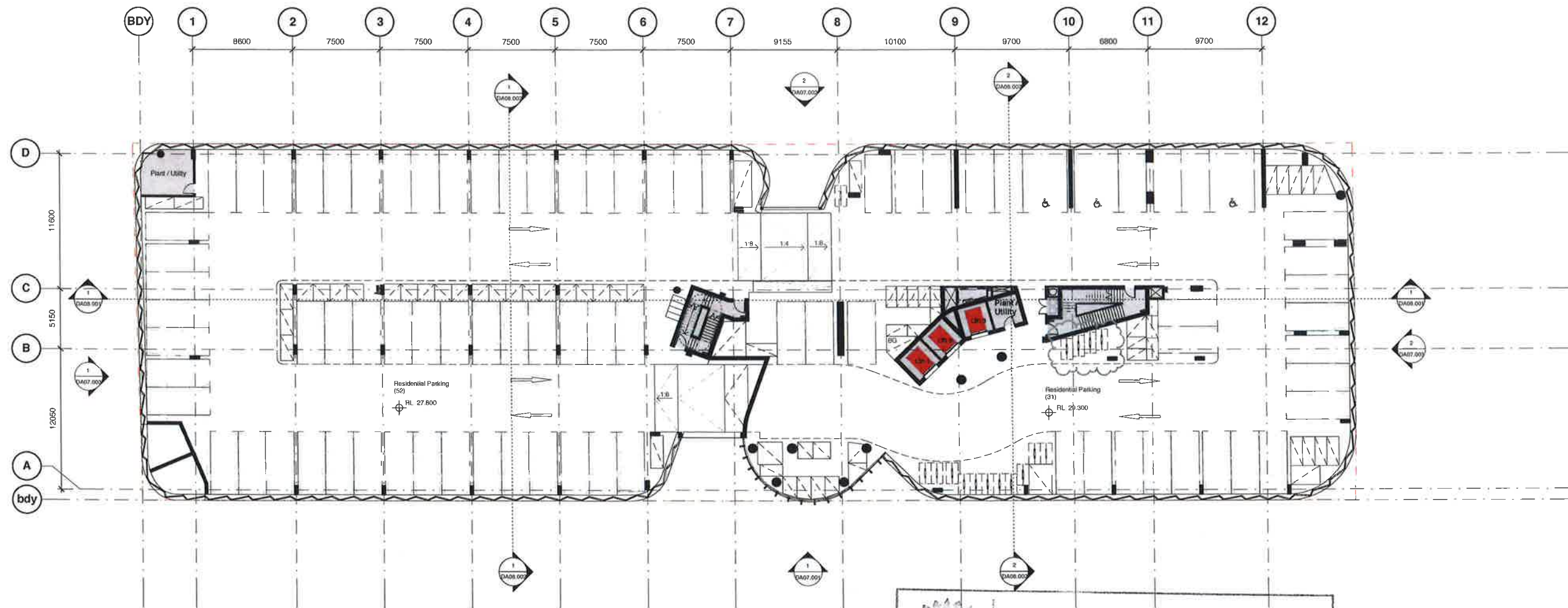
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Drawing no. DA02.006 Revision C

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Bates Smart Pty Ltd ABN 70 004 998 400



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 7445

granted on the 28 April 2017

Signed [Signature]

Sheet No. 9 of 46

BATESSMART

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Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

All drawings may not be reproduced or distributed without prior permission from the architect.

Notes - Construction General (BASIX)

Glazing
Doors / windows:
- Aluminium framed single clear glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed double clear glazing to curtain walls & glazing to balcony edge.
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof:
Concrete roof - No insulation

Default Colour modelled

Ceiling:
Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:
Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 6.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:
Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

Floor coverings:
1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system
Central gas-fired boiler with R1.0 (~38mm) insulation to risermain and supply risers.

Reticulated alternative water
Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy
Not required by BASIX

B	20.07.16	Amended DA Issue	J5	CP
A	01.03.16	Development Application	J5	CP
Revision	Date	Description	Initial	Checked



Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 07

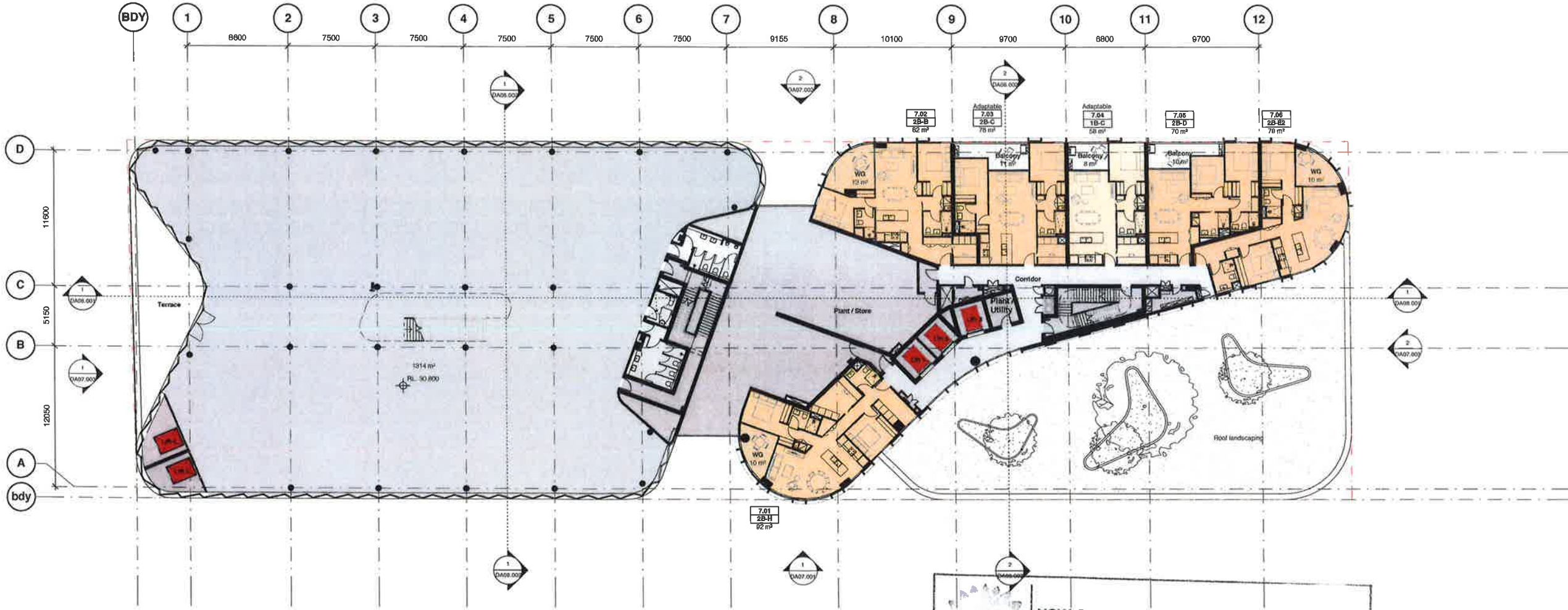
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Development Application			
Scale	1 : 200	@	A1
Drawn	Author	Checked	Checker
Project No.	S11890		
Plot Date	20/07/2016 4:17:43 PM		
Plot File			

Drawing no. **DA02.007** Revision **B**

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Bates Smart Pty Ltd ABN 70 004 999 400



NSW GOVERNMENT
Planning

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Approved Application No. SSD 7445

granted on the 28 April 2017

Signed [Signature]

Sheet No. 10 of 46

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.

Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

All drawings may not be reproduced or distributed without prior permission from the architect.

Notes - Construction General (BASIX)

Glazing

Doors / windows:
- Aluminium framed single clear glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.89 (+ or - 10%)

- Aluminium framed double clear glazing to curtain walls & glazing to balcony edges.
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof:
Concrete roof - No insulation

Default Colour modelled

Ceiling:
Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:
Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:
Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

Floor coverings:
1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (-38mm) insulation to risermain and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building (No rainwater tank required for BASIX compliance)

Alternative energy
Not required by BASIX

Revision	Date	Description	Initial	Checked
A	01.03.16	Development Application	JS	CP

Client: Ecove



ecove

Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 08

Status: Development Application

Scale: 1 : 200 @ A1

Drawn: Author Checked: Checker

Project No: S11880

Plot Date: 20/07/2016 2:59:01 PM

Plot File:

Drawing no. Revision

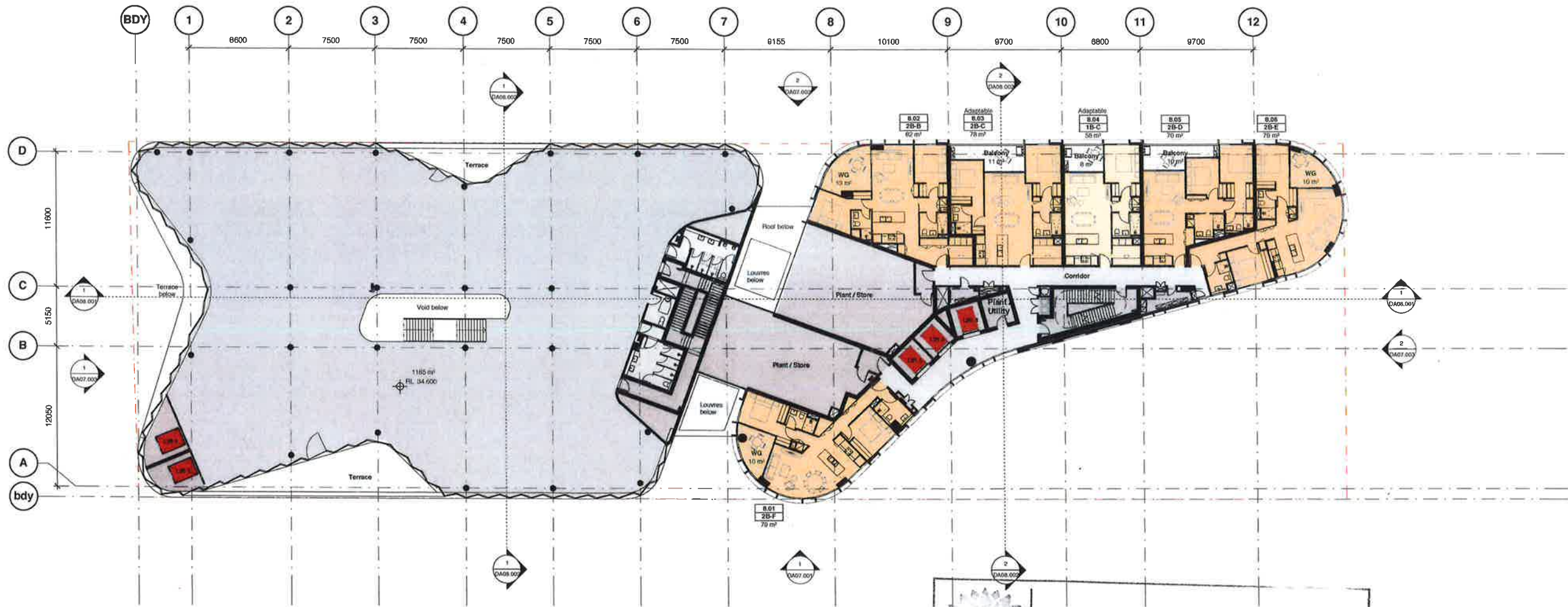
DA02.008 B

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Bates Smart Pty Ltd ABN 70 004 999 400

BATESSMART



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act

Approved Application No. SSD 7445

granted on the 28 April 2017

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Sheet No. 11 of 46

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.

Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

All drawings may not be reproduced or distributed without prior permission from the architect.

Notes - Construction General (BASIX)

Glazing

Doors / windows:
- Aluminium framed single clear glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed double clear glazing to curtain walls & glazing to balcony edge
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof:

Concrete roof - No insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:

Lightweight cladding to all external walls with R1.5 bulk insulation. No colour nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (-38mm) insulation to riser/main and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

Revision	Date	Description	Initial	Checked
C	24.01.17	Amended DA issue	JS	MA
B	20.07.16	Amended DA issue	JS	CP
A	01.03.16	Development Application	JS	CP

Client: Ecove



ecove

Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 09

Status:	Development Application
Scale:	1 : 200 @ A1
Drawn:	Author
Project No:	S11890
Plot Date:	24/01/2017 11:52:01 AM
Plot File:	

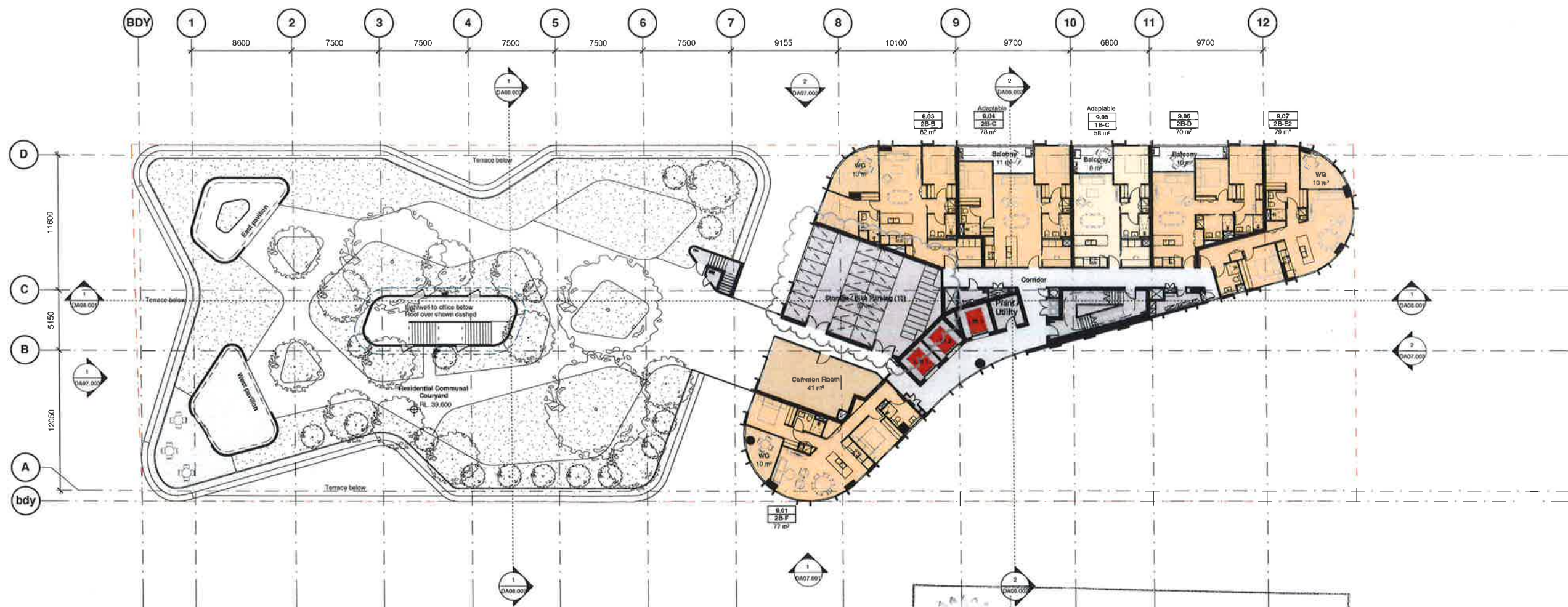
Drawing no:	Revision
DA02.009	C

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NSW GOVERNMENT
Planning

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Approved Application No. SSD 74415

granted on the 28 April 2017

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Sheet No. 12 of 46

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Notes - Construction General (BASIX)

Glazing

Doors / windows:
- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear** glazing to curtain walls & glazing to balcony edge.
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof:

Concrete roof - No insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:

Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (~38mm) insulation to risermain and supply risers.

Retculated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

B	20.07.16	Amended DA Issue	25	CP
A	01.03.16	Development Application	25	CP
Revision	Date	Description	Initial	Checked

Client: Ecove



ecove

Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 10, 12, 14

Status	Development Application		
Scale	1 : 100	@ A1	
Drawn	Author	Checked	Checker
Project No.	S11890		
Plot Date	20/07/2016 2:59:51 PM		
Plot File			

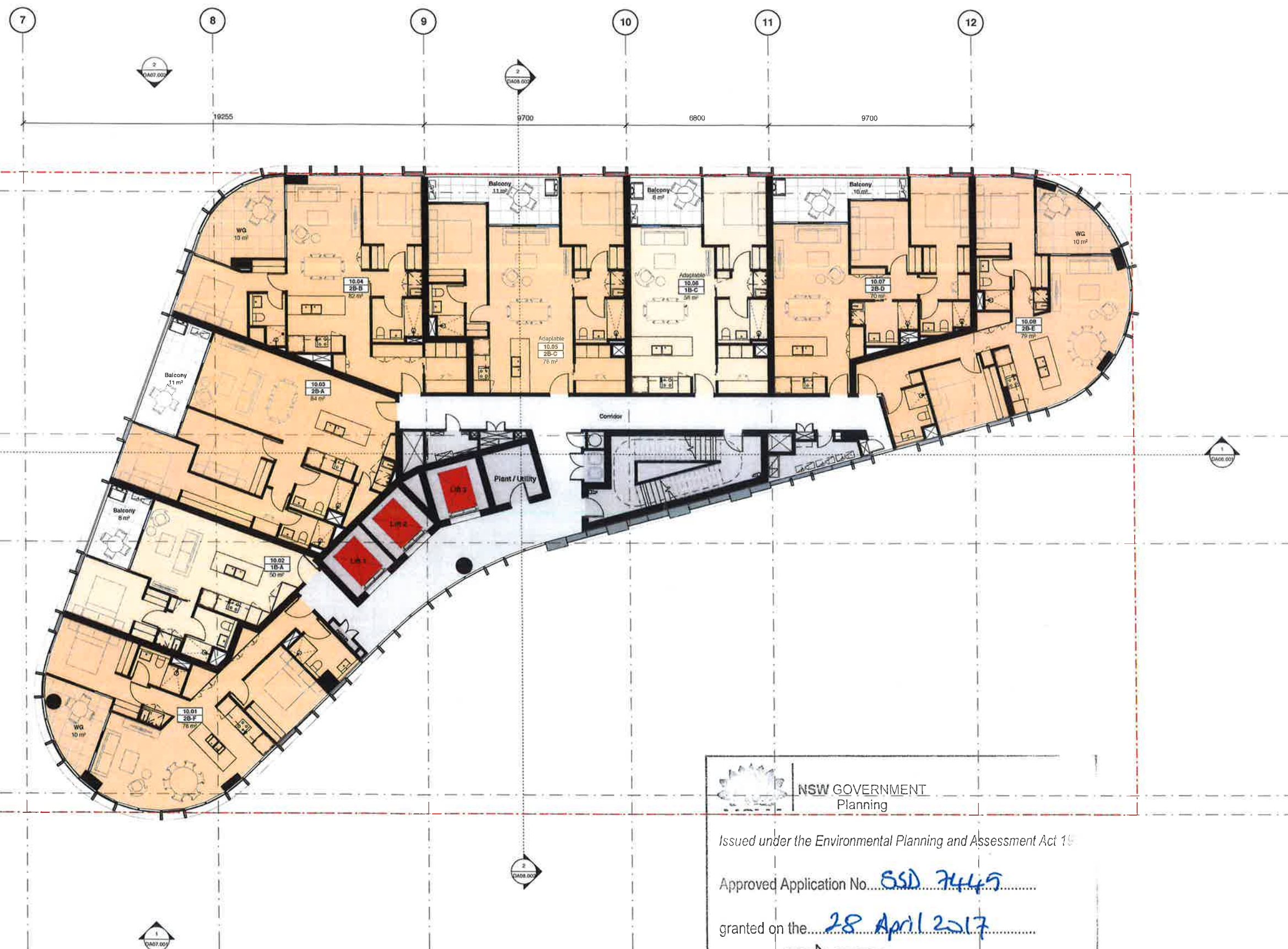
Drawing no.	Revision
DA02.010	B

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BATESSMART



NSW GOVERNMENT
Planning

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Approved Application No. 85D 7445

granted on the 28 April 2017

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Sheet No. 13 of 46

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Notes - Construction General (BASIX)

Glazing

Doors / windows:
- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear** glazing to curtain walls & glazing to balcony edges.
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof:

Concrete roof - No insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:

Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (~38mm) insulation to risermain and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

B	20.07.16	Amended DA Issue	JS	CP
A	05.03.16	Development Application	JS	CP
Revision	Date	Description	Initial	Checked

Client: Ecove



ecove

Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 11, 13



Status	Development Application		
Scale	1 : 100	@ A1	
Drawn	Author	Checked	Checker
Project No.	S11890		
Plot Date	20/07/2016 3:00:12 PM		
Plot File			

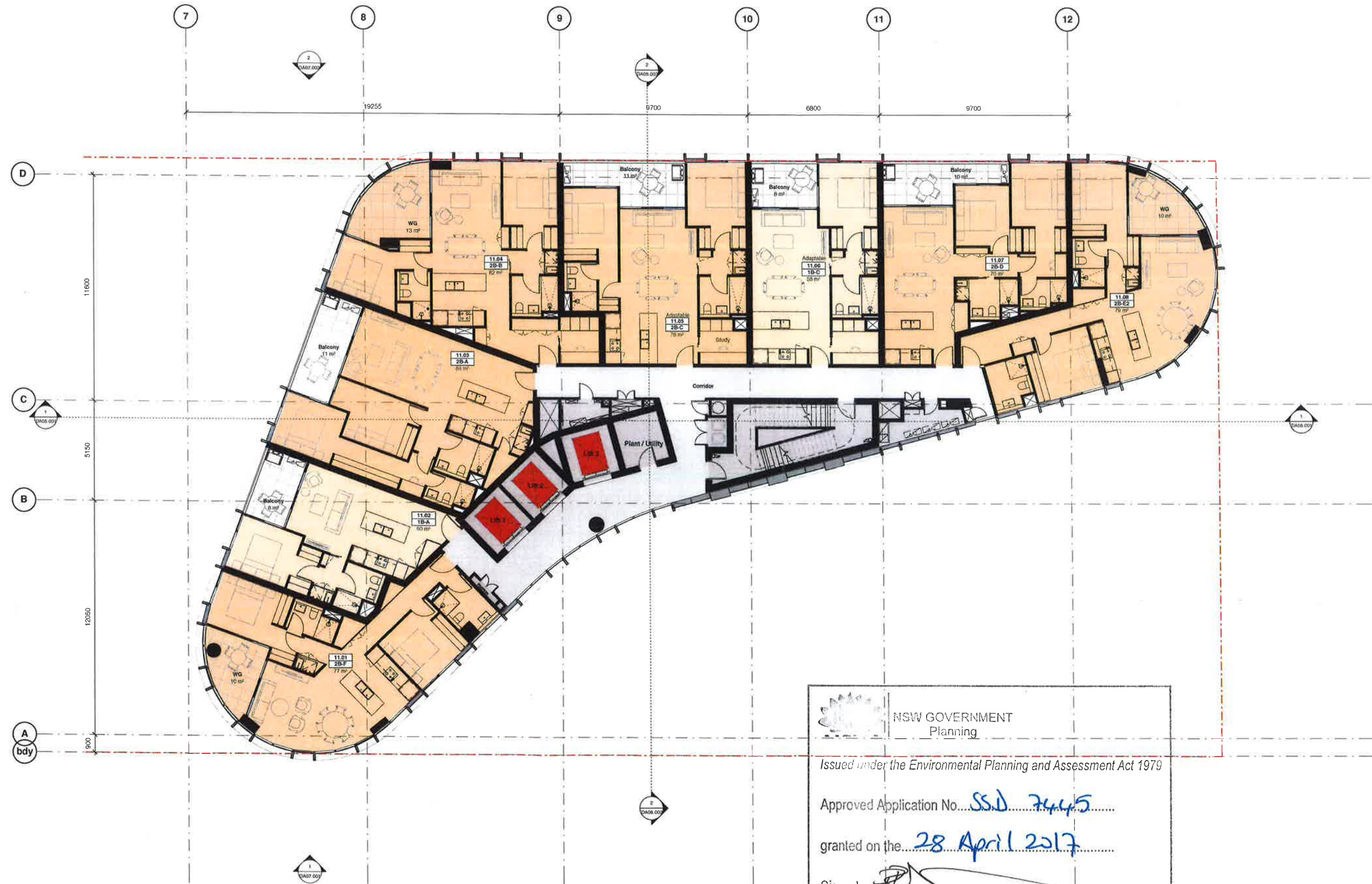
Drawing no.	Revision
DA02.011	B

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Bates Smart Pty Ltd ABN 70 004 999 400

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Notes - Construction General (BASIX)

Glazing

Doors / windows:

- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear** glazing to curtain walls & glazing to balcony edge.
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof:

Concrete roof - No insulation
Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:

Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only** (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (-38mm) insulation to risermain and supply risers

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

B	20.07.16	Amended DA Issue	J5	CP
A	01.03.16	Development Application	J5	CP
Revision	Date	Description	Initial	Checked

Client: Ecove



ecove

Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 15, 17, 19

Status	Development Application		
Scale	1 : 100	@ A1	
Drawn	Author	Checked	Checker
Project No.	S11890		
Plot Date	20/07/2016 3:00:33 PM		
Plot File			

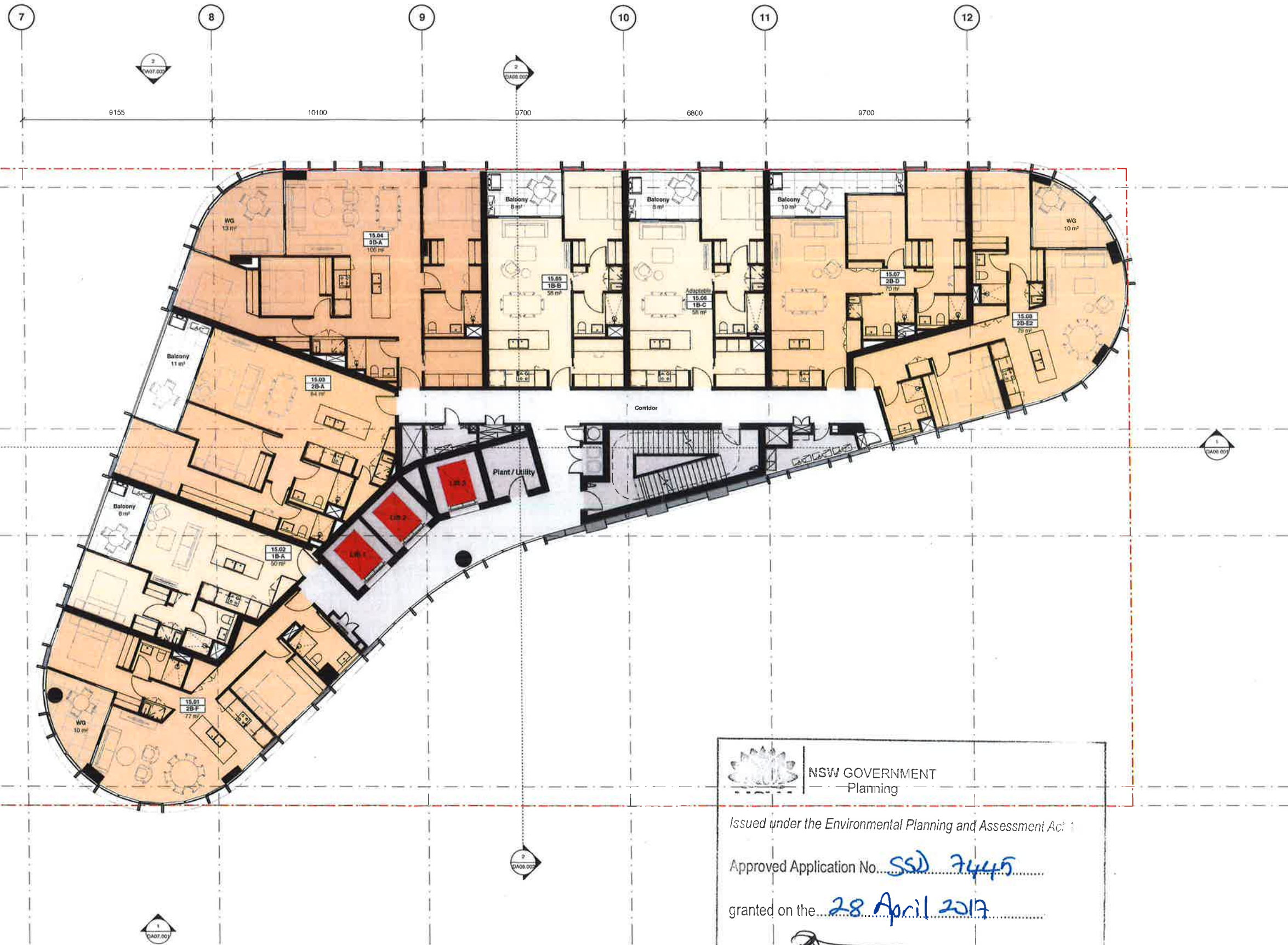
Drawing No.	Revision
DA02.015	B

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Bates Smart Pty Ltd ABN 70 004 999 400

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Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

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Notes - Construction General (BASIX)

Glazing

Doors / windows:
- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear** glazing to curtain walls & glazing to balcony edge.
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof:

Concrete roof - No insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:

Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only** (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (~39mm) insulation to risermain and supply risers.

Recirculated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

Revision	Date	Description	Initial	Checked
A	01.03.16	Development Application	JS	CP

Client: Ecove



ecove

Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 16, 18

Status	Development Application
Scale	1 : 100 @ A1
Drawn	Author Checked Checker
Project No.	S11890
Plot Date	20/07/2016 3:00:55 PM
Plot File	

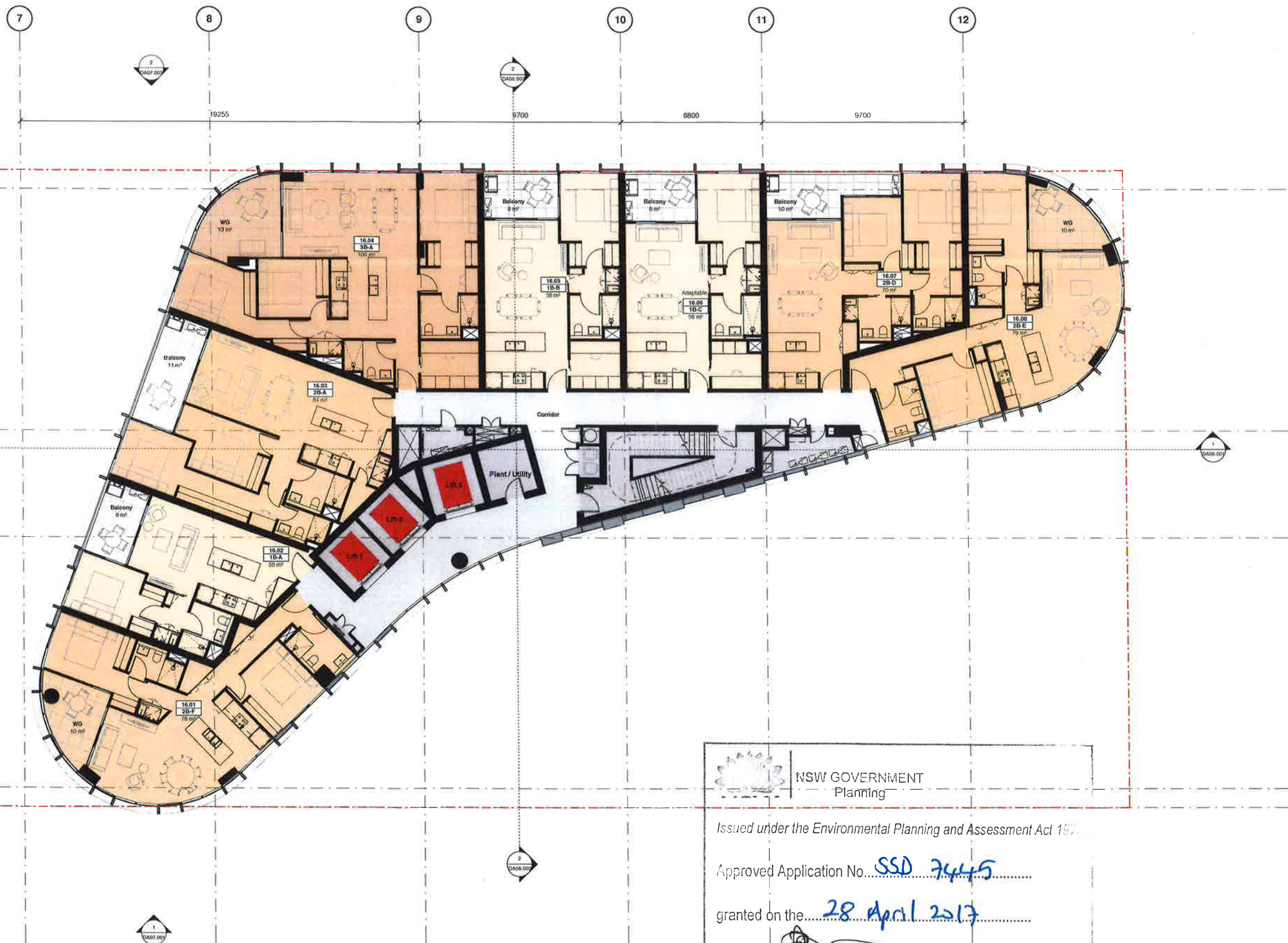
Drawing no.	Revision
DA02.016	B

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Bates Smart Pty Ltd ABN 70 004 999 400

BATESSMART



NSW GOVERNMENT
Planning

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Approved Application No. **SSD 7445**

granted on the **28 April 2017**

Signed 

Sheet No. **16** of **46**

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.

Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

All drawings may not be reproduced or distributed without prior permission from the architect.

Notes - Construction General (BASIX)

Glazing

Doors / windows:

- Aluminium framed **single clear** glazing to internal windows that open to wintergardens.
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear** glazing to curtain walls & glazing to balcony edge.
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof:

Concrete roof - No insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:

Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (-38mm) insulation to riser/main and supply risers

Retained alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

Revision	Date	Description	Initial	Checked
B	20.07.16	Amended DA Issue		
A	01.03.16	Development Application		

Client: Ecove

ecove

Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 20, 22, 24, 26

Status	Development Application
Scale	1 : 100 @ A1
Drawn	Author Checked Checker
Project No.	S11890
Plot Date	20/07/2016 3:01:17 PM
Plot File	

Drawing no.	Revision
DA02.020	B

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BATESSMART



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 7445

granted on the 28 April 2017

Signed [Signature]

Sheet No. 17 of 46

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.

Notes - Construction General (BASIX)

Glazing
Doors / windows:
- Aluminium framed single clear glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed double clear glazing to curtain walls & glazing to balcony edge
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof:
Concrete roof - No insulation

Default Colour modelled

Ceiling:
Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & sloe areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:
Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:
Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

Floor coverings:
1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (~38mm) insulation to riser and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

Revision	Date	Description	Initial	Checked
B	20.07.16	Amended DA issue	JS	CP
A	01.03.16	Development Application	JS	CP

Client: ECOPE



ecove

Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 27, 29, 31, 33, 35

Status	Development Application		
Scale	1 : 100	@ A1	
Drawn	Author	Checked	Checker
Project No.	S11890		
Plot Date	20/07/2016 3:02:01 PM		
Plot File			

Drawing no.	Revision
DA02.027	B

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Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

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Notes - Construction General (BASIX)

Glazing

Doors / windows:
- Aluminium framed single clear glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.89 (+ or - 10%)

- Aluminium framed double clear glazing to curtain walls & glazing to balcony edge
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof:
Concrete roof - No insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:
Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to selected units only (7.01 and 8.01)

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:
Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

Floor coverings:
1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (~38mm) insulation to risermain and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

B	20.07.16	Amended DA Issue	J5	CP
A	01.03.16	Development Application	J5	CP
Revision	Date	Description	Initial	Checked

Client: Ecover



Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 28, 30, 32, 34

Status	Development Application		
Scale	1 : 100	@ A1	
Drawn	Author	Checked	Checker
Project No	S11890		
Plot Date	20/07/2016 3:02:24 PM		
Plot File			

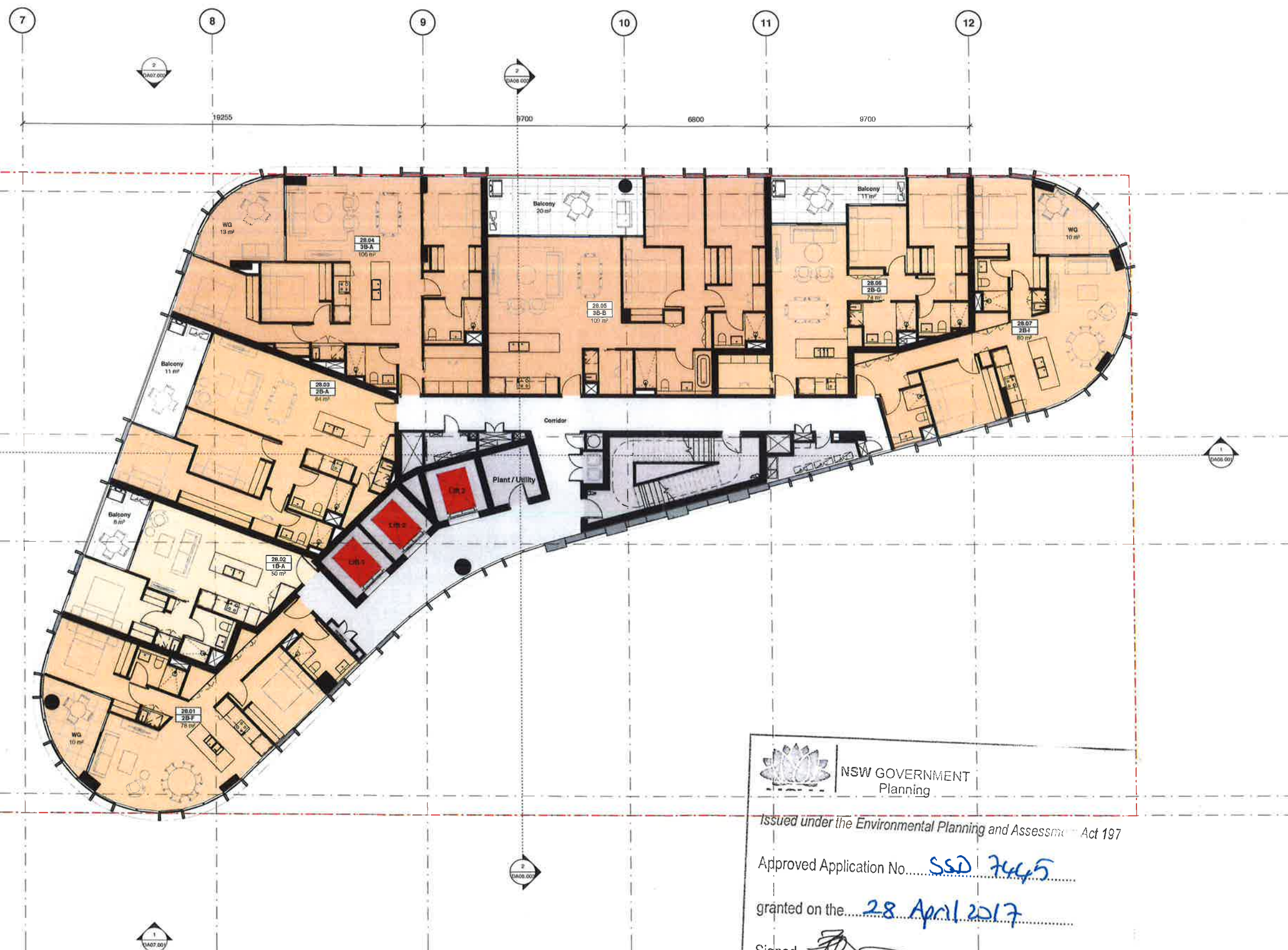
Drawing no.	Revision
DA02.028	B

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NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 197

Approved Application No. SSD 7445

granted on the 28 April 2017

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Sheet No. 20 of 46

Check all dimensions and site conditions prior to commencement of any work. The purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.

Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

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Notes - Construction General (BASIX)

Gleazing

Doors / windows:
- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear** glazing to curtain walls & glazing to balcony edge.
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof:
Concrete roof - No insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:
Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:
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Concrete - no insulation required between units

Floor coverings:
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All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (~38mm) insulation to risermain and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

B	20.07.16	Amended DA House	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	Date	Description	Initial	Checked

Client: Ecove



ecove

Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 36-37



Status	Development Application		
Scale	1 : 100	@ A1	
Drawn	Author	Checked	Checker
Project No.	S11890		
Plot Date	20/07/2016 3:02:40 PM		
Plot File			

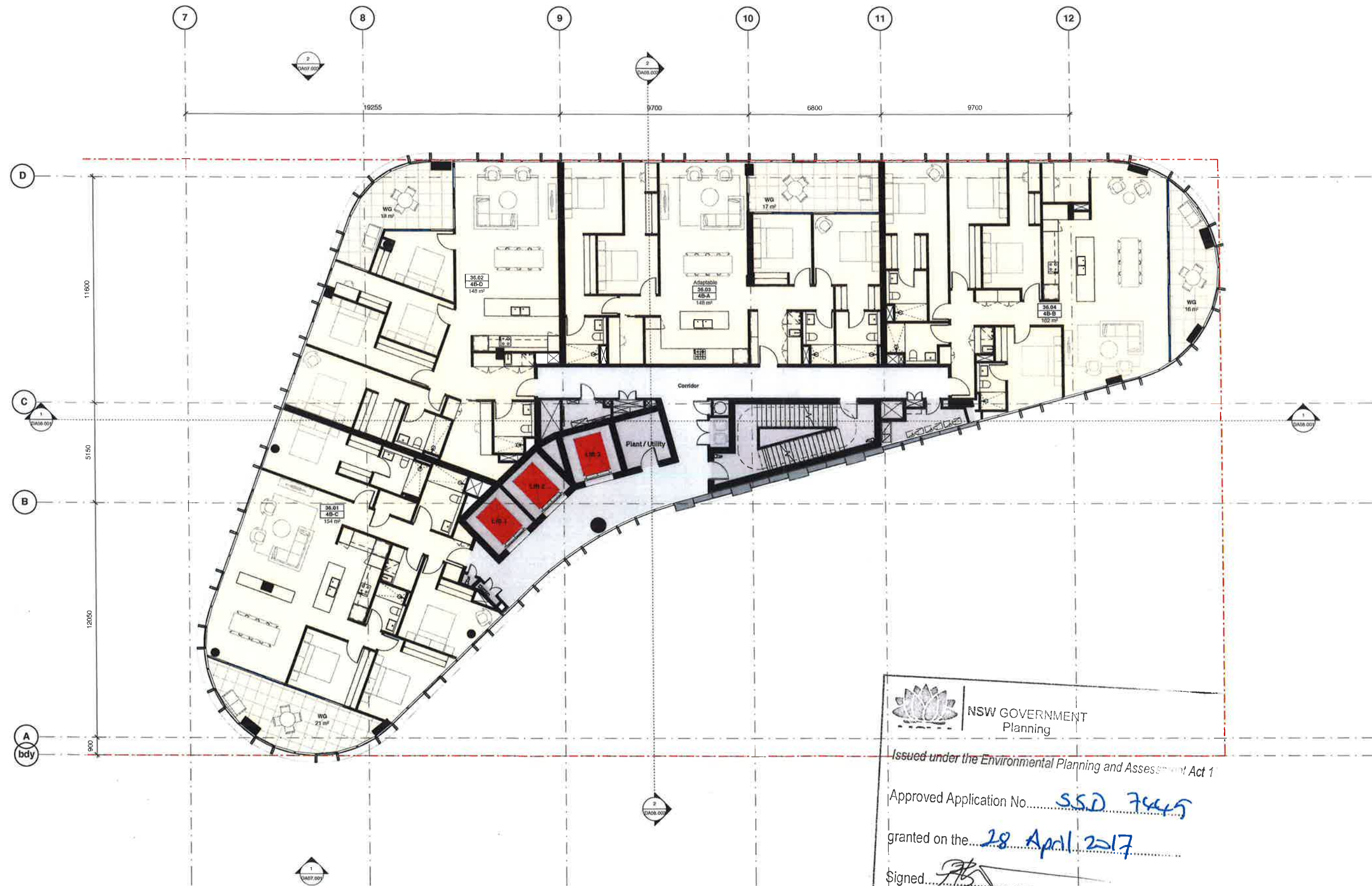
Drawing no.	Revision
DA02.036	B

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NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. 550 7445

granted on the 28 April 2017

Signed [Signature]

Sheet No. 21 of 46

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Glazing
Doors / windows:
- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear** glazing to curtain walls & glazing to balcony edge.
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof / ceiling insulation
Roof:
Concrete roof - No insulation

Default Colour modelled

Ceiling:

Ceiling:
Plasterboard ceiling - R3.0 bulk insulation to selected units
(34.01 and 34.07) with balconies above.

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Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:
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No colour nominated

Internal walls within units:

Internal walls within units:
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Inter-tenancy walls / corridor:

Inter-tenancy walls / corridor:
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Reticulated alternative water

Retculated alternative water
Alternative water supply available from Sydney Olympic Park Authority to be used for the Irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy

Alternative energy
Not required by BASIX

B	20.07.16	Amended OA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	Date	Description	Initial	Checked



Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 38

Status	Development Application		
Scale	1 : 100	@ A1	
Drawn	Author	Checked	Checked
Project No.	S11890		
Plot Date	2007/2016 4:17:58 PM		
Plot File			

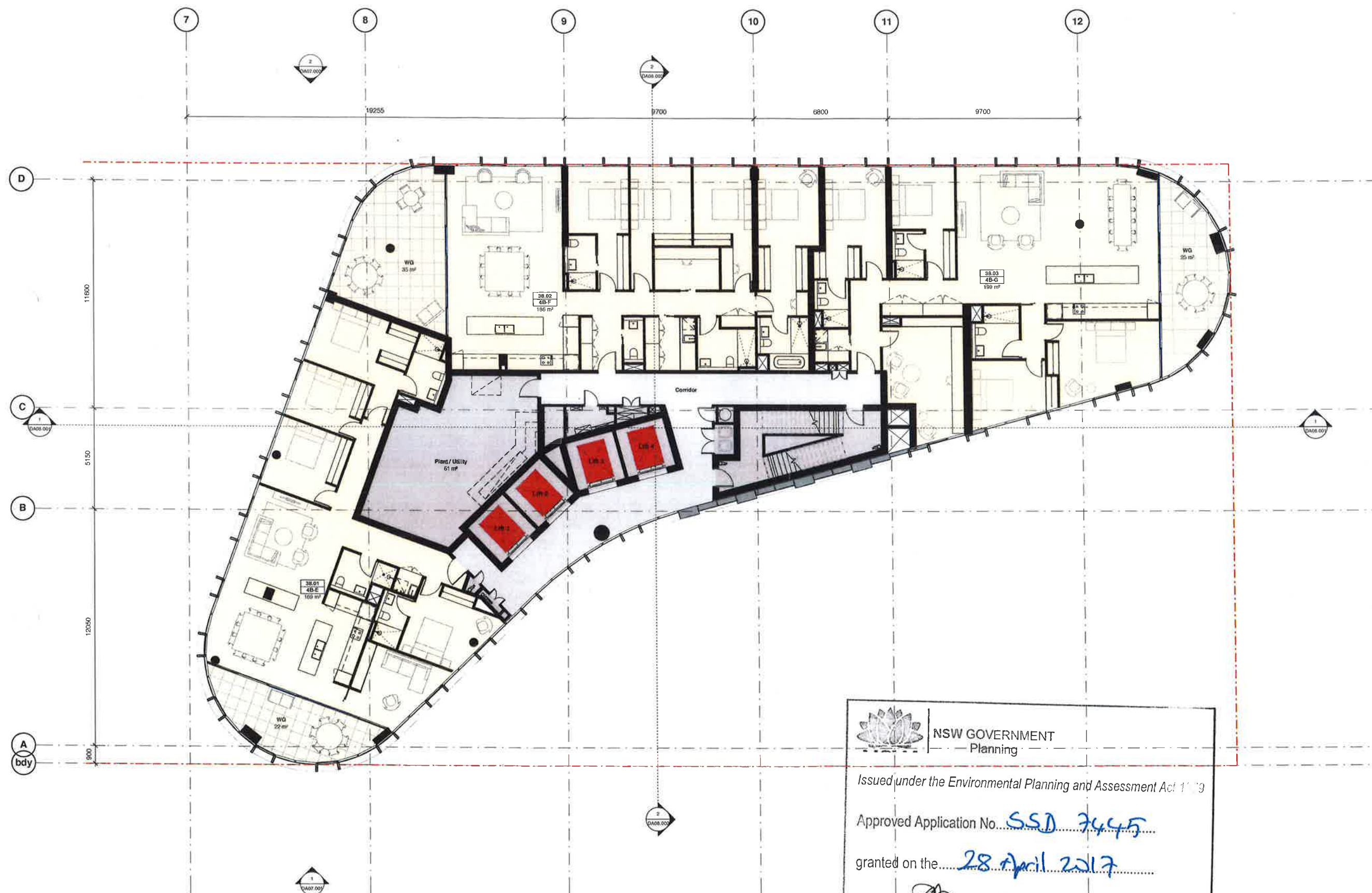
Drawing no.	Revision
DA02.038	B

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BATES SMART

NSW GOVERNMENT
— Planning —

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 7445

granted on the 28 April 2017

Signed: [Signature]

Sheet No. 22 of 46

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Notes - Construction General (BASIX)

Glazing

Doors / windows:
- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear** glazing to curtain walls & glazing to balcony edge
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof:

Concrete roof - No insulation

Default Colour modelled

Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:

Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:

Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

Floor coverings:

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system

Central gas-fired boiler with R1.0 (~38mm) insulation to risermain and supply risers.

Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy

Not required by BASIX

Revision	Date	Description	Initial	Checked
B	20.07.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP

Client: ECOPE



ecove

Site 9, Sydney Olympic Park
3 Olympic Boulevard

General Arrangement Plan
Level 39



Status	Development Application
Scale	1 : 100 @ A1
Drawn	Author Checked Checker
Project No.	S11890
Plot Date	20.07.2016 4:18:09 PM
Plot File	

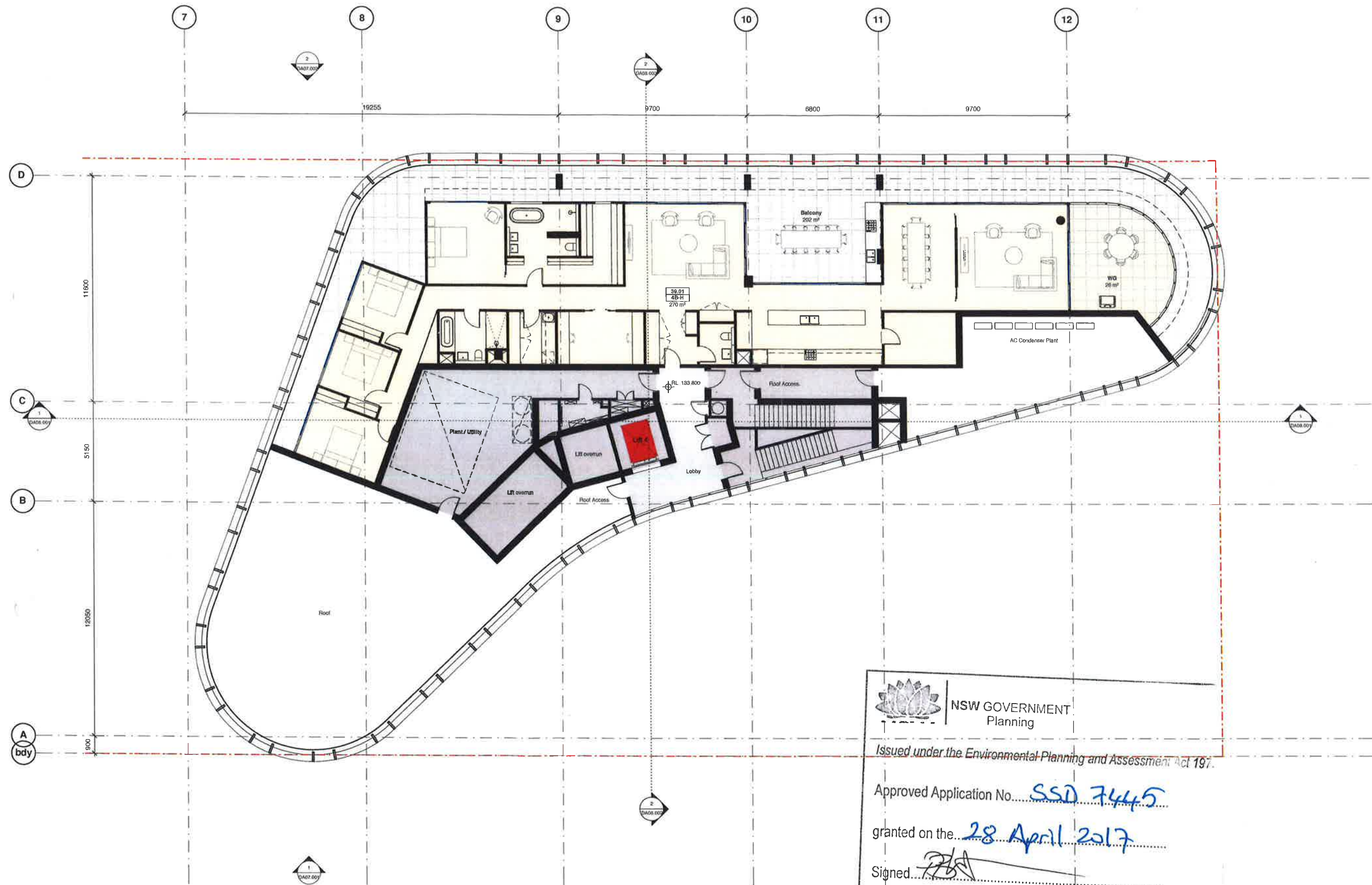
Drawing no.	Revision
DA02.039	B

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NSW GOVERNMENT
Planning

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Approved Application No. **SSD 7445**

granted on the **28 April 2017**

Signed **[Signature]**

Sheet No. **23** of **46**