



EARTHSCAPE HORTICULTURAL SERVICES
Arboricultural, Horticultural and Landscape Consultants
ABN 36 082 126 027

20th January 2017

Mr Greg Moore
Acting Manager, Campus Development Planning & Design
Program Maintenance Office
University of Technology, Sydney
PO Box 123
ULTIMO NSW 2007

Dear Mr Moore,

Addendum to Arborists Report
UTS Central – Section 96 Modification Application

I refer to the above matter your request to review the Section 96 Modification Application in relation to the UTS Central Project. I also refer to the previous Arboricultural Impact Assessment Report prepared by Earthscape (Version 5, dated 29th April 2016) submitted with the Development Application (DA) [State Significant Development 7382] and approved by the NSW Department of Planning and Environment on 23/09/2016.

It is understood that proposed modifications to the design will now necessitate the removal of T15, a *Lophostemon confertus* (Bushbox) located on the nature strip in Jones Street adjoining the site. This tree was indicated for retention on the DA drawing and the above-mentioned report. The subject tree was classified as Moderate Retention Value. The subject tree is not considered significant, but is in good health and condition and makes a fair contribution to the amenity of the streetscape. The removal of this tree is now required to accommodate proposed modifications to the Jones Street façade of the building and landscape works along Jones Street.

The removal of the subject tree is considered warranted subject to replacement planting with a new tree in an appropriate position elsewhere on the nature strip as part of the Jones Street landscape works in accordance with Section 11 of the abovementioned report. A revised Tree Protection Plan (Appendix 6) and Impact Assessment Schedule (Appendix 4) are attached.

If you require any further information regarding the above matter, please do not hesitate to contact me on 9456 4787 or 0402 947 296.

Yours sincerely,

Andrew Morton
Dip. (Arboriculture) [AQF5]
B.App.Sci (Horticulture),
A.Dip.App.Sci. (Landscape)

APPENDIX 4 - IMPACT ASSESSMENT SCHEDULE

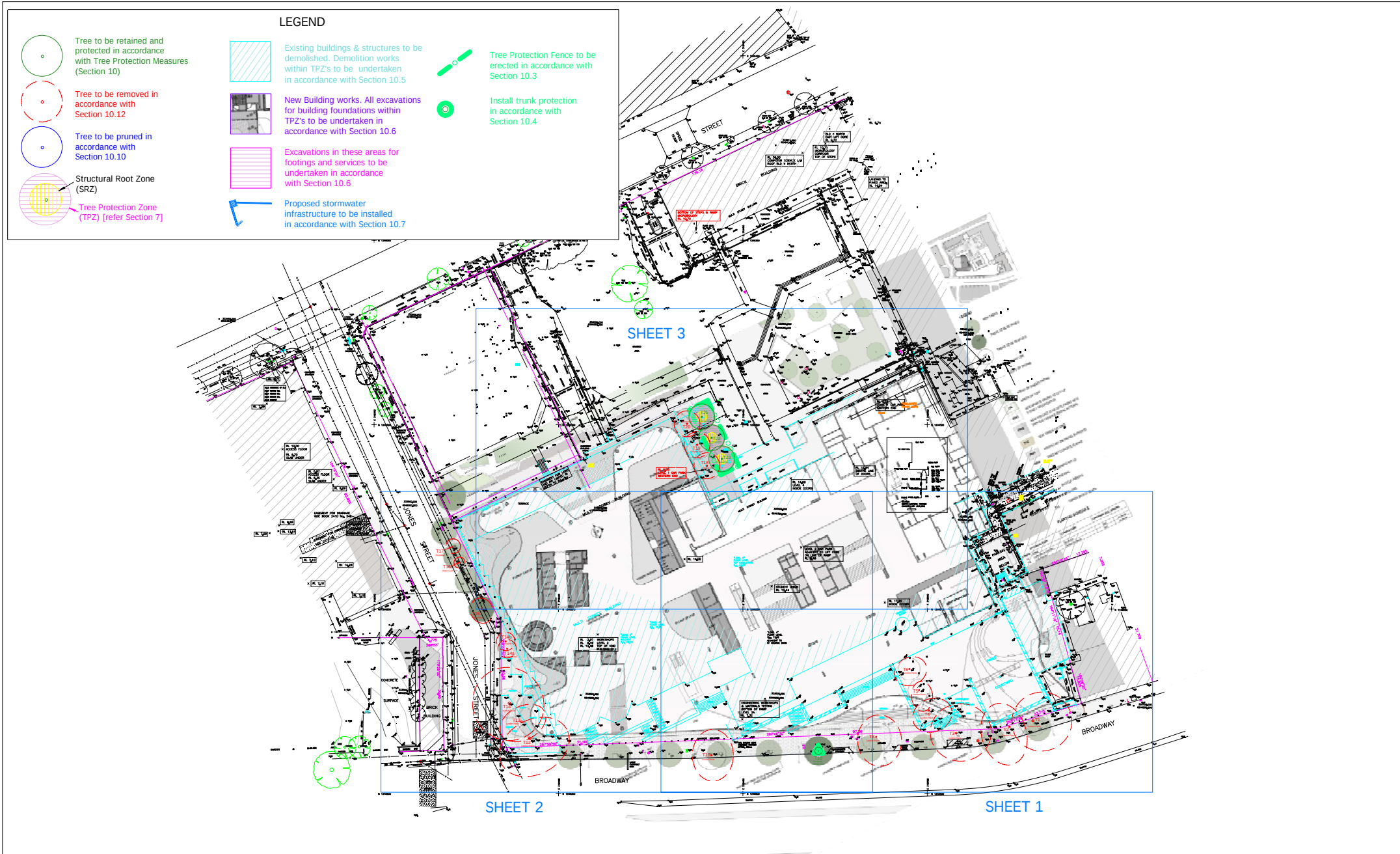
Tree Identification No.	Species	Construction Tolerance	Tree Protection Zone (m R)	Structural Root Zone (m R)	TPZ (m²)	Incursions To Root Zone &/or Canopy	Likely Impact	Recommendation
1	<i>Platanus x hybrida</i> (London Plane)	M	8.5	2.6	227.0	Existing courtyard and associated retaining wall offset 3.3 metres NW to be demolished to basement level. Existing basement on boundary (offset 0.6 metres NW). Demolition works within SRZ. Proposed new building offset 2.3 metres NW. Excavations for building foundations within SRZ. Substantial canopy pruning required to clear building envelope and temporary scaffolding.	Proposed works will necessitate removal (High Retention Value). There are no feasible alternative that would permit the retention of this tree given the proximity of the existing basement and proximity of the new building.	Undertake replacement planting elsewhere within the site to compensate for loss of amenity in accordance with Section 11.
2	<i>Platanus x hybrida</i> (London Plane)	M	8.0	2.3	201.0	Existing courtyard and associated retaining wall offset 2.1 metres NW to be demolished to basement level. Existing basement on boundary (offset 0.4 metres NW). Demolition works within SRZ. Proposed new building offset 1.9 metres NW. Excavations for building foundations within SRZ. Substantial canopy pruning required to clear building envelope and temporary scaffolding.	Proposed works will necessitate removal (High Retention Value). There are no feasible alternative that would permit the retention of this tree given the proximity of the existing basement and proximity of the new building.	Undertake replacement planting elsewhere within the site to compensate for loss of amenity in accordance with Section 11.
3	<i>Platanus x hybrida</i> (London Plane)	M	8.0	2.5	199.8	Existing steps and associated retaining walls offset 3.7 metres NW to be demolished to basement level. Existing basement on boundary (offset 0.7 metres north). Demolition works within SRZ. Proposed new building offset 2.2 metres NE. Excavations for building foundations within SRZ. Substantial canopy pruning required to clear building envelope and temporary scaffolding.	Proposed works will necessitate removal (High Retention Value). There are no feasible alternative that would permit the retention of this tree given the proximity of the existing basement and proximity of the new building.	Undertake replacement planting elsewhere within the site to compensate for loss of amenity in accordance with Section 11.
4	<i>Platanus x hybrida</i> (London Plane)	M	6.0	1.9	113.0	Located within footprint of proposed building.	Proposed works will necessitate removal.	Undertake replacement planting elsewhere within the site to compensate for loss of amenity in accordance with Section 11.

APPENDIX 4 - IMPACT ASSESSMENT SCHEDULE

Tree Identification No.	Species	Construction Tolerance	Tree Protection Zone (m R)	Structural Root Zone (m R)	TPZ (m²)	Incursions To Root Zone &/or Canopy	Likely Impact	Recommendation
5	<i>Platanus x hybrida</i> (London Plane)	M	4.5	1.7	63.6	Located within footprint of proposed building.	Proposed works will necessitate removal.	Remove tree.
6	<i>Platanus x hybrida</i> (London Plane)	M	4.5	1.6	63.6	Located within footprint of proposed building.	Proposed works will necessitate removal.	Remove tree.
8	<i>Platanus x hybrida</i> (London Plane)	M	8.0	2.1	201.0	Existing pavements to be demolished to existing basement level (offset 0.9 metres north) within SRZ. Proposed new entry stairs offset 4.1 metres north.	Proposed works will necessitate removal.	Undertake replacement planting elsewhere within the site to compensate for loss of amenity in accordance with Section 11.
10	<i>Celtis australis</i> (European Nettle Tree)	M	1.5	1.0	7.1	New street pavement treatment within TPZ.	No adverse impact.	Retain in accordance with recommended Tree Protection Measures (Section 10). Install Tree Protection Fence in accordance with Section 10.3. Undertake all demolition works within TPZ in accordance with Section 10.5 and all excavations for new pavement sub-grade in accordance with Section 10.6.
11	<i>Platanus x hybrida</i> (London Plane)	M	7.0	2.2	153.9	Existing pavements to be demolished to existing basement level (offset 4.1 metres north) within TPZ. Existing pavement within TPZ to be demolished & new pavement installed at similar level. Substantial canopy pruning required to clear building envelope and temporary scaffolding.	Proposed works will necessitate removal (High Retention Value).	Undertake replacement planting elsewhere within the site to compensate for loss of amenity in accordance with Section 11.
12	<i>Platanus x hybrida</i> (London Plane)	M	11.0	2.9	379.1	Existing landscape area to be demolished over top existing basement (tree located over existing basement).	Proposed works will necessitate removal (High Retention Value).	Undertake replacement planting elsewhere within the site to compensate for loss of amenity in accordance with Section 11.

APPENDIX 4 - IMPACT ASSESSMENT SCHEDULE								
Tree Identification No.	Species	Construction Tolerance	Tree Protection Zone (m R)	Structural Root Zone (m R)	TPZ (m ²)	Incursions To Root Zone &/or Canopy	Likely Impact	Recommendation
13	<i>Platanus x hybrida</i> (London Plane)	M	7.5	2.5	176.6	Existing landscape area to be demolished over top existing basement (tree located over existing basement).	Proposed works will necessitate removal.	Undertake replacement planting elsewhere within the site to compensate for loss of amenity in accordance with Section 11.
14	<i>Platanus x hybrida</i> (London Plane)	M	10.2	2.8	328.2	Existing landscape area to be demolished over top existing basement (tree located over existing basement).	Proposed works will necessitate removal (High Retention Value).	Undertake replacement planting elsewhere within the site to compensate for loss of amenity in accordance with Section 11.
14a	<i>Taxus baccata</i> (English Yew)	M	3.6	1.8	40.7	Located within footprint of proposed building.	Proposed works will necessitate removal.	Undertake replacement planting elsewhere within the site to compensate for loss of amenity in accordance with Section 11.
14b	<i>Taxus baccata</i> (English Yew)	M	2.7	1.6	22.9	Located within footprint of proposed building.	Proposed works will necessitate removal.	Undertake replacement planting elsewhere within the site to compensate for loss of amenity in accordance with Section 11.
15	<i>Lophostemon confertus</i> (Brushbox)	M	4.9	2.1	74.6	Located within footprint of proposed new landscape works.	Proposed works will necessitate removal.	Undertake replacement planting with a new tree elsewhere on the nature strip to compensate for loss of amenity in accordance with Section 11.
16	<i>Tristaniopsis laurina</i> (Water Gum)	M	2.1	1.4	13.9	Existing pavements within TPZ to be demolished and new pavement installed within TPZ.	Proposed to be removed to accommodate new landscape works	Remove tree.
17	<i>Lophostemon confertus</i> (Brushbox)	M	2.4	1.4	18.1	Existing pavements within TPZ to be demolished and new pavement installed within TPZ.	Proposed to be removed to accommodate new landscape works	Undertake replacement planting elsewhere within the site to compensate for loss of amenity in accordance with Section 11.
18	<i>Ulmus parvifolia</i> (Chinese Elm)	M	3.4	1.5	36.3	Located within footprint of proposed building.	Proposed works will necessitate removal	Undertake replacement planting elsewhere within the site to compensate for loss of amenity in accordance with Section 11.
19	<i>Ulmus parvifolia</i> (Chinese Elm)	M	4.4	1.5	60.8	Located within footprint of proposed building.	Proposed works will necessitate removal	Undertake replacement planting elsewhere within the site to compensate for loss of amenity in accordance with Section 11.

APPENDIX 4 - IMPACT ASSESSMENT SCHEDULE								
Tree Identification No.	Species	Construction Tolerance	Tree Protection Zone (m R)	Structural Root Zone (m R)	TPZ (m²)	Incursions To Root Zone &/or Canopy	Likely Impact	Recommendation
20	<i>Ulmus parvifolia</i> (Chinese Elm)	M	5.4	1.5	91.6	Located within footprint of proposed building.	Proposed works will necessitate removal	Undertake replacement planting elsewhere within the site to compensate for loss of amenity in accordance with Section 11.
21	<i>Ulmus parvifolia</i> (Chinese Elm)	M	6.4	1.5	128.6	No encroachment to TPZ	No adverse impact	Retain in accordance with recommended Tree Protection Measures (Section 10). Install Trunk Protection in accordance with Section 10.3.
22	<i>Ulmus parvifolia</i> (Chinese Elm)	M	7.4	1.5	171.9	No encroachment to TPZ	No adverse impact	Retain in accordance with recommended Tree Protection Measures (Section 10). Install Trunk Protection in accordance with Section 10.3.
23	<i>Ulmus parvifolia</i> (Chinese Elm)	M	8.4	1.5	221.6	No encroachment to TPZ	No adverse impact	Retain in accordance with recommended Tree Protection Measures (Section 10). Install Trunk Protection in accordance with Section 10.3.



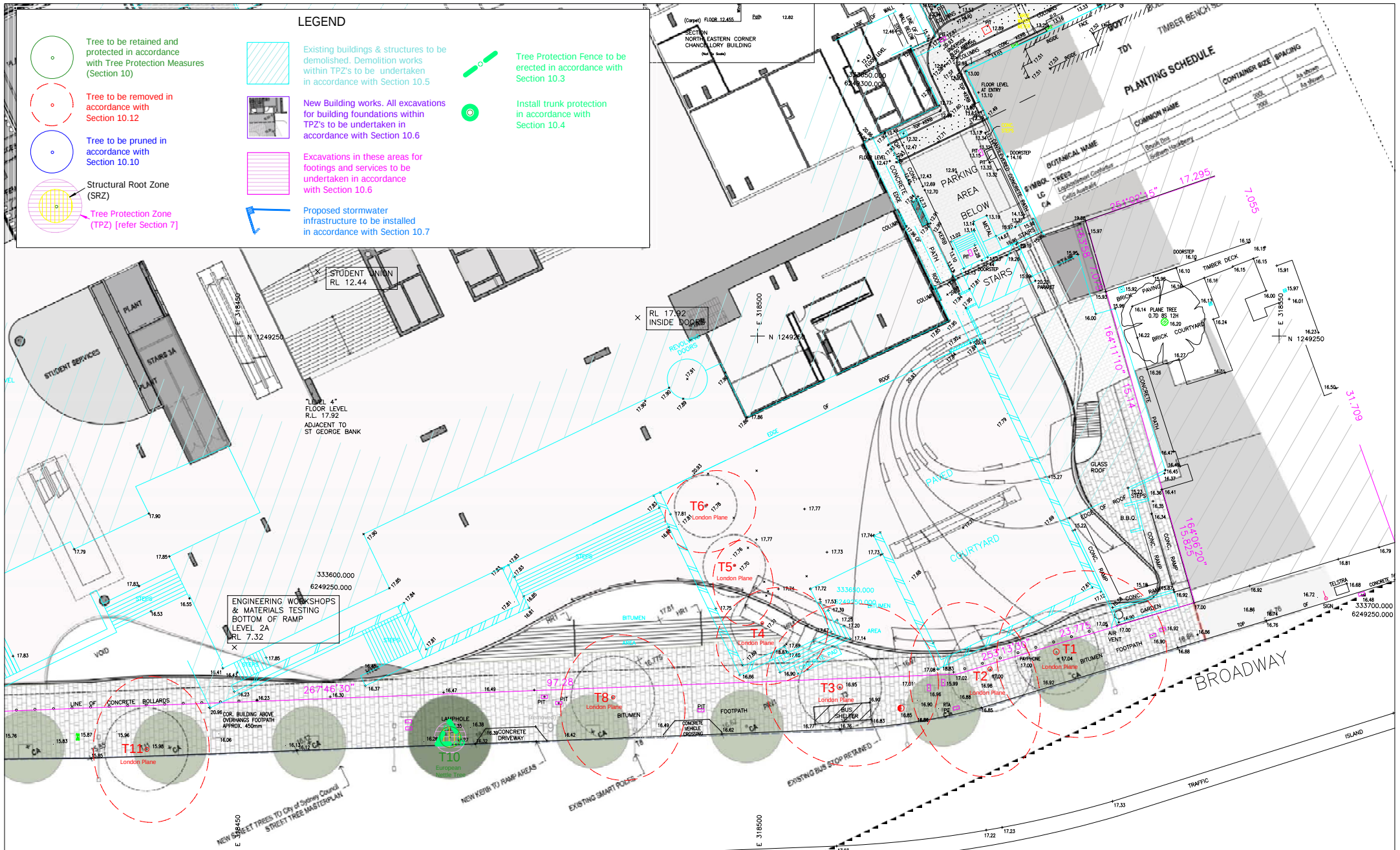
APPENDIX 6 TREE PROTECTION PLAN University of Technology, Sydney (UTS) City Campus - 15 Broadway, ULTIMO, NSW	 Earthscape Horticultural Services Arboricultural and Horticultural Consultants PO Box 364 BEROWRA NSW 2081 Ph: 02 9456 4787 Fax: 02 9456 5757 e: earthscape@iinet.net.au	Based on the Survey Drawing prepared by Rygate & Company Pty Ltd. Dwg Ref No. Dated October 2013 	DWG No. T15-051402 KEY PLAN DATE: 20/01/2017
---	---	---	--

LEGEND

-  Tree to be retained and protected in accordance with Tree Protection Measures (Section 10)
-  Tree to be removed in accordance with Section 10.12
-  Tree to be pruned in accordance with Section 10.10
-  Structural Root Zone (SRZ)
-  Tree Protection Zone (TPZ) [refer Section 7]

-  Existing buildings & structures to be demolished. Demolition works within TPZ's to be undertaken in accordance with Section 10.5
-  New Building works. All excavations for building foundations within TPZ's to be undertaken in accordance with Section 10.6
-  Excavations in these areas for footings and services to be undertaken in accordance with Section 10.6
-  Proposed stormwater infrastructure to be installed in accordance with Section 10.7

-  Tree Protection Fence to be erected in accordance with Section 10.3
-  Install trunk protection in accordance with Section 10.4



APPENDIX 6 TREE PROTECTION PLAN

University of Technology, Sydney (UTS)
City Campus - 15 Broadway, ULTIMO, NSW



Earthscape Horticultural Services
Arboricultural and Horticultural Consultants
PO Box 364
BEROWRA NSW 2081
Ph: 02 9456 4787
Fax: 02 9456 5757 e: earthscape@iinet.net.au

Based on the Survey Drawing
prepared by Rygate & Company Pty Ltd.

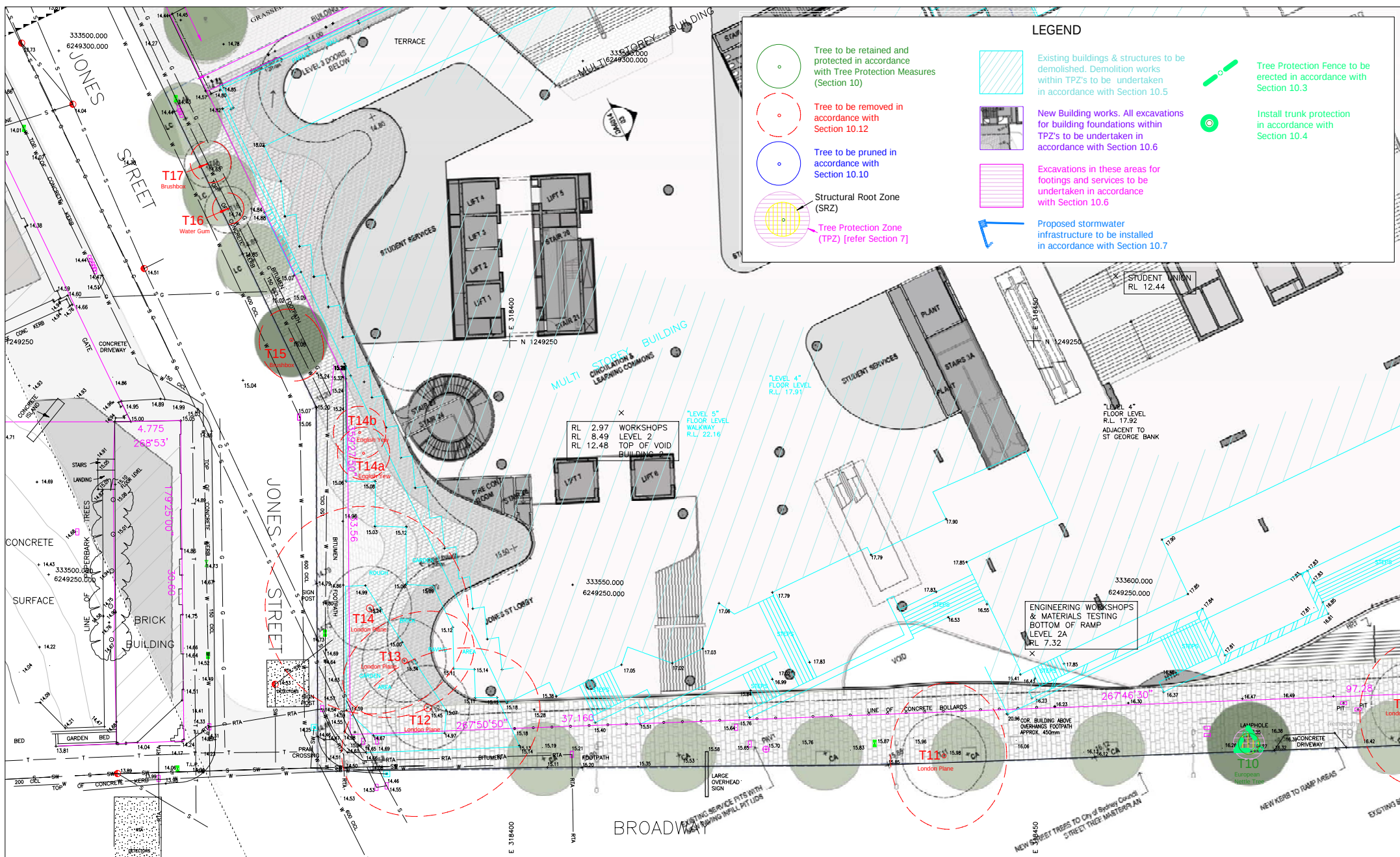
Dwg Ref No.

Dated October 2013



DWG No. T15-051402 SHEET 1

DATE: 20/01/2017



APPENDIX 6 TREE PROTECTION PLAN

University of Technology, Sydney (UTS)
City Campus - 15 Broadway, ULTIMO, NSW



Eandscape Horticultural Services
Arboricultural and Horticultural Consultants
PO Box 364
BEROWRA NSW 2081
Ph: 02 9456 4787
Fax: 02 9456 5757 e: earthscape@iinet.net.au

Based on the Survey Drawing
prepared by Rygate & Company Pty Ltd.
Dwg Ref No.
Dated October 2013



DWG No. T15-051402 SHEET 2

DATE: 20/01/2017

