



DH/AC
15756
15 July 2016

Mr Ben Lusher
Director Key Site Assessment
Department of Planning and Environment
GPO Box 39
SYDNEY NSW 2001

Attention: Mr Brendon Roberts

Dear Brendon,

**ADDITIONAL CLARIFICATIONS
AUSTRALIAN TECHNOLOGY PARK, EVELEIGH**

We write to you to formally provide a response to your email dated 4 July 2016. Provided within this letter are each of the queries raised and an individual response. On behalf of Mirvac, we trust that this information will enable the Department to finalisation of the assessment of the above State Significant Development Application (SSDA). This letter should be read in conjunction with the following additional and revised information:

- Clarification of mode share assumption, letter by GTA Consultants (**Attachment A**); and
- Updated Precinct Pedestrian Planning (Rev 7), report by ARUP (**Attachment B**).

Modal-Split

1. *Provide an updated existing / proposed modal-share tables in the same format so that a direct comparison can be made.*
2. *The GTA letter dated 15 April 2016 at Appendix N of the RtS (GTA Letter) states that there will be an increase in the percentage of car share use above 2% (page 1). However, the estimate modal-split table (page 2) indicates a reduction to 1%. Confirm the accuracy of the figures;*
3. *The modal-split tables within the GTA Letter and the Amended Precinct Pedestrian Study at Appendix O of the RtS (APPS) suggest a different public transport percentage total (80% and 81%) and different car and car share totals (7% and 6%). Confirm the accuracy of the figures;*

Response: GTA have prepared a clarification of the mode share assumptions in a separate addendum to their report – which includes a comparisons table of existing/proposed, provided at **Attachment A**. To ensure consistently, ARUP have revised their pedestrian planning report accordingly, as provided at **Attachment B**. Please refer to these respective attachments for the final mode share numbers and the rationale and assumptions used to generate these figures.

Please note that the update to the pedestrian modelling has an overall negligible impact on performance.

Bicycle Parking

4. *Confirm the total number of staff bicycle parking spaces shown on the plans and also proposed visitor bicycle parking spaces within public domain.*

Response: The proposal provides at total of 606 worker bicycle spaces across the proposed buildings and 37 visitor spaces within the public domain areas.

5. *Confirm the total number of lockers and showers shown on the plans.*

Response: The proposal provides a total of 542 lockers and 64 showers across the proposed buildings.

Public access

6. Could you confirm whether there is a public access easement over Central Plaza?

Response: The public access easement pertains only to Lot 4007, i.e. that land coloured blue in the below subdivision plan (**Figure 1**). The Village Square (Central Plaza) forms part of Lot 10 of Deposited Plan 1136859 which is under the ownership of Centuria. As evident from the below plan for Media City/Chanel 7 (**Figure 2**), this plaza area includes car parking below and therefore logically does not form part of the public domain lot – for which public access is secured through an easement.

Whilst there is not a formal public access easement in place at present, Centuria as the owner of Lot 10 has agreed to grant an easement over the plaza area, for amongst other things, access, passive recreation and fire egress. This easement will be in place prior to occupation of the new building on Lot 12.

The terms of the access easement includes a full, free and unimpeded right to enter the Village Square for the purpose of passive recreation and thoroughfare and other associated uses and to remain upon and pass and repass to, from and across the Village Square at all times.

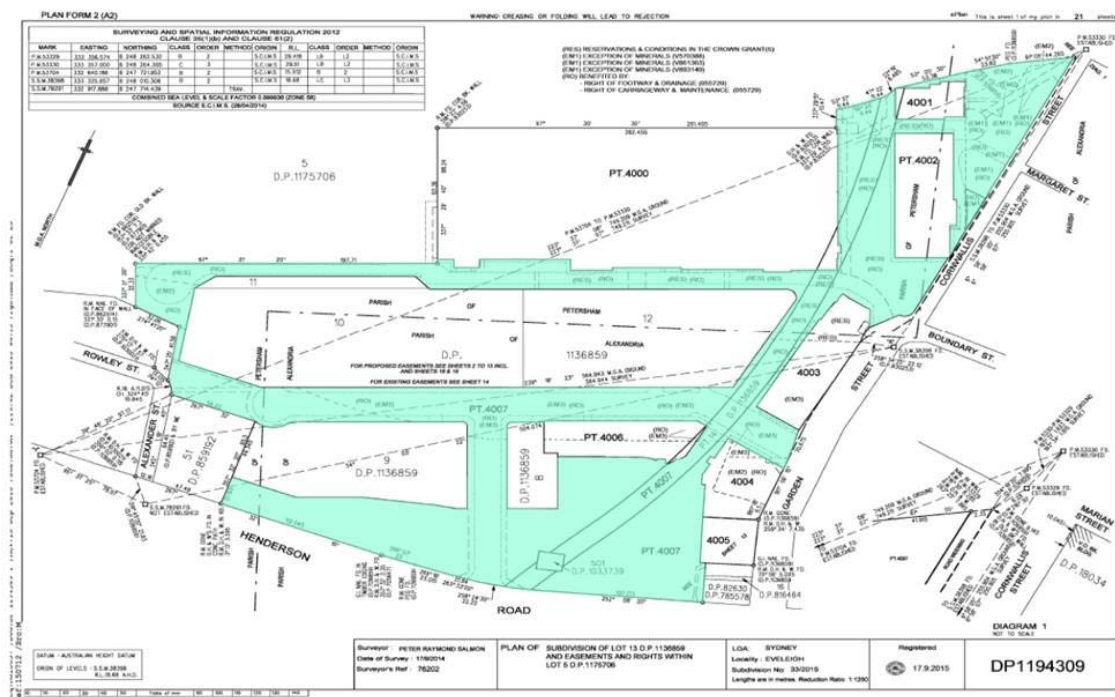


Figure 1 – Public access easement, as shown highlighted in green

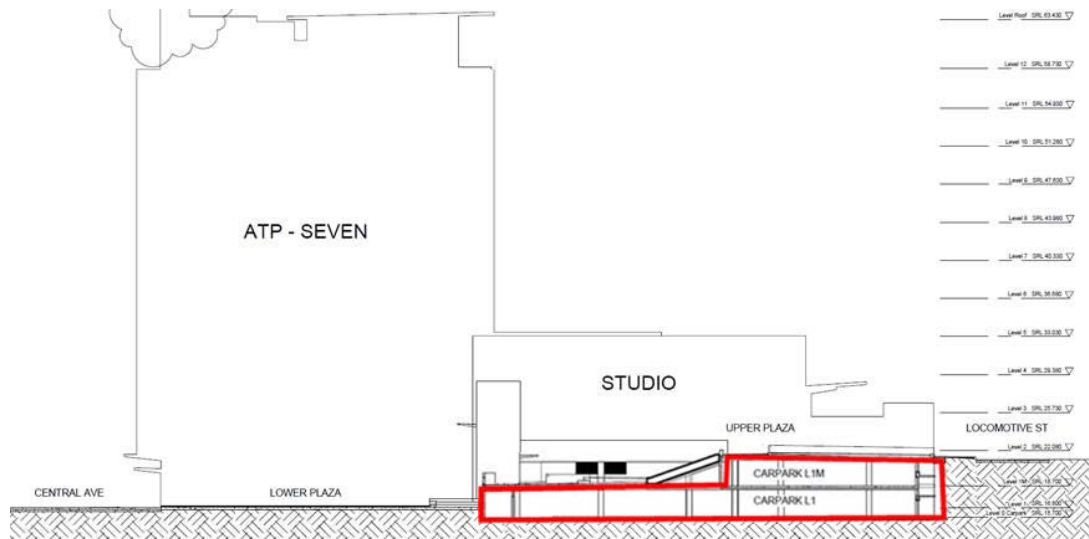


Figure 2 – Section through the existing Media City building, showing basement parking below the plaza (red outline)

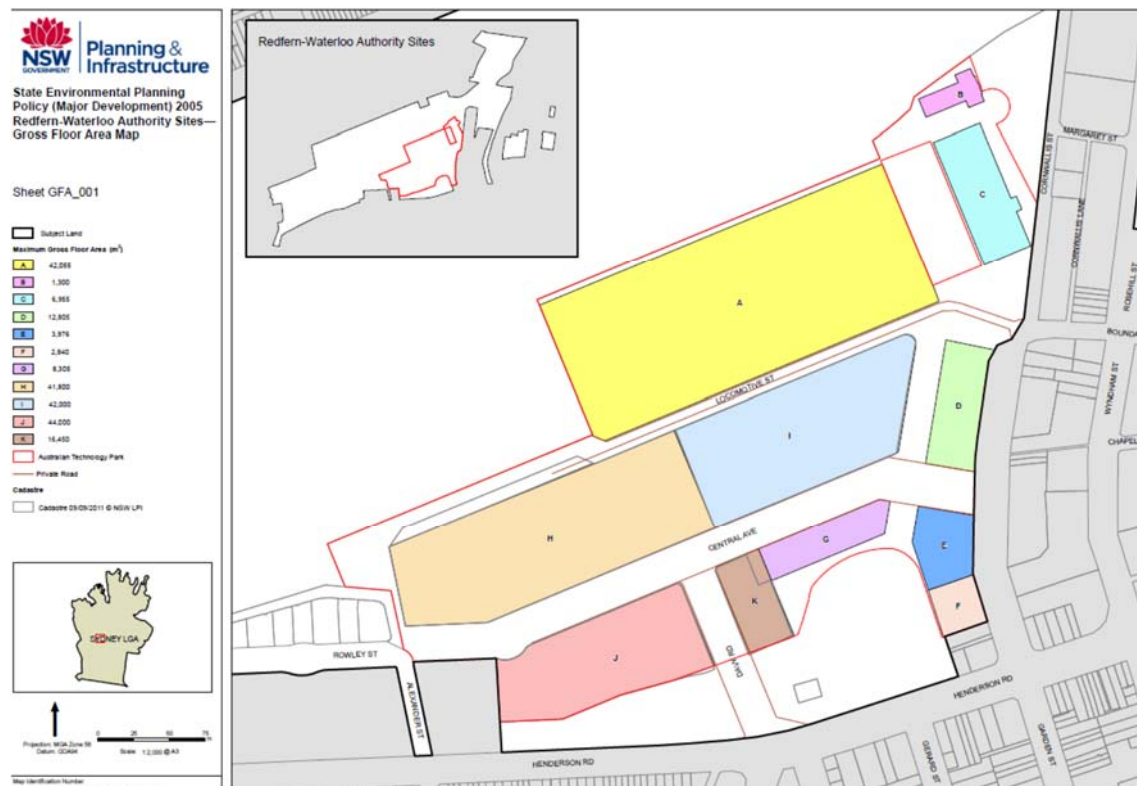
GFA / FSR

7. Could you provide additional information in relation to the overall FSR of the ATP – see the note under Clause 21(2A) of Part 5 of the SSP SEPP?

Response: A review of the history/background to this note reveals that the original floor space control within the Major Development SEPP for the Redfern-Waterloo Sites was achieved through traditional maximum FSR provisions, this included a maximum FSR of 2:1 for ATP. Refer to **Figure 3** below of the original SEPP FSR Map. An amendment to the Major Development SEPP was subsequently made (refer to **Figure 4**), whereby the site wide approach to FSR was converted to a specific development lot site maximum GFA approach. It is this maximum GFA per development site approach that applies today to the subject development application and broader ATP site.

The exercise of determining the overall FSR is apart from being an academic exercise, considered to therefore be irrelevant for the purposes of assessing the subject development application. Nonetheless, to assist the Department, a calculation of the expected overall FSR to be achieved has been undertaken (refer to **Table 1**).

Figure 3 – Original Redfern Waterloo Sites FSR Map



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Table 1 – GFA distribution and analysis

Site	State Significant Precincts SEPP Maximum GFA(m ²)	Existing/Allowable/ Proposed GFA (m ²)	Difference	Percentage change
Locomotive workshop	42,055	42,055	-	-
Internal business centre	1,300	1,300	-	-
National innovation centre	6,955	6,955	-	-
NICTA building	12,805	12,805	-	-
Transport Management Centre	3,976	3,976	-	-
Ambulance Centre	2,840	2,840	-	-
Biomedical building	8,305	8,305	-	-
Media City	41,800	41,800	-	-
Building 1	44,000	46,830	+ 2,830	+ 6.4%
Building 2	42,000	56,686	+ 14,686	+ 35%
Community Building	16,450	3,911	-12,539	- 76.2%
Total	222,486	227,463	+ 4,977	+ 2.23%

If FSR for ATP = 2:1, then the site area must logically equal the total maximum allowable GFA / 2.

$$222,486\text{sqm} / 2 = 111,243\text{sqm}$$

Site area must therefore equal approximately 111,243sqm.

With an overall GFA of 227,463sqm (existing, allowable and proposed) resulting from the subject development application, **an equivalent FSR of 2.044:1 will be achieved.**

In undertaking a broader holistic analysis of FSR/GFA across the entire ATP site, it reveals and reinforces that the proposed GFA variation (2.2% increase) associated with the subject development application is minor.

We trust that this revised and additional information is adequate and enables the assessment of the application to be finalised. Should you have any queries about this matter, please do not hesitate to contact me on (02) 9956 6962 or acella@jbaplanning.com.au.

Yours faithfully,



Alexis Cella
Associate