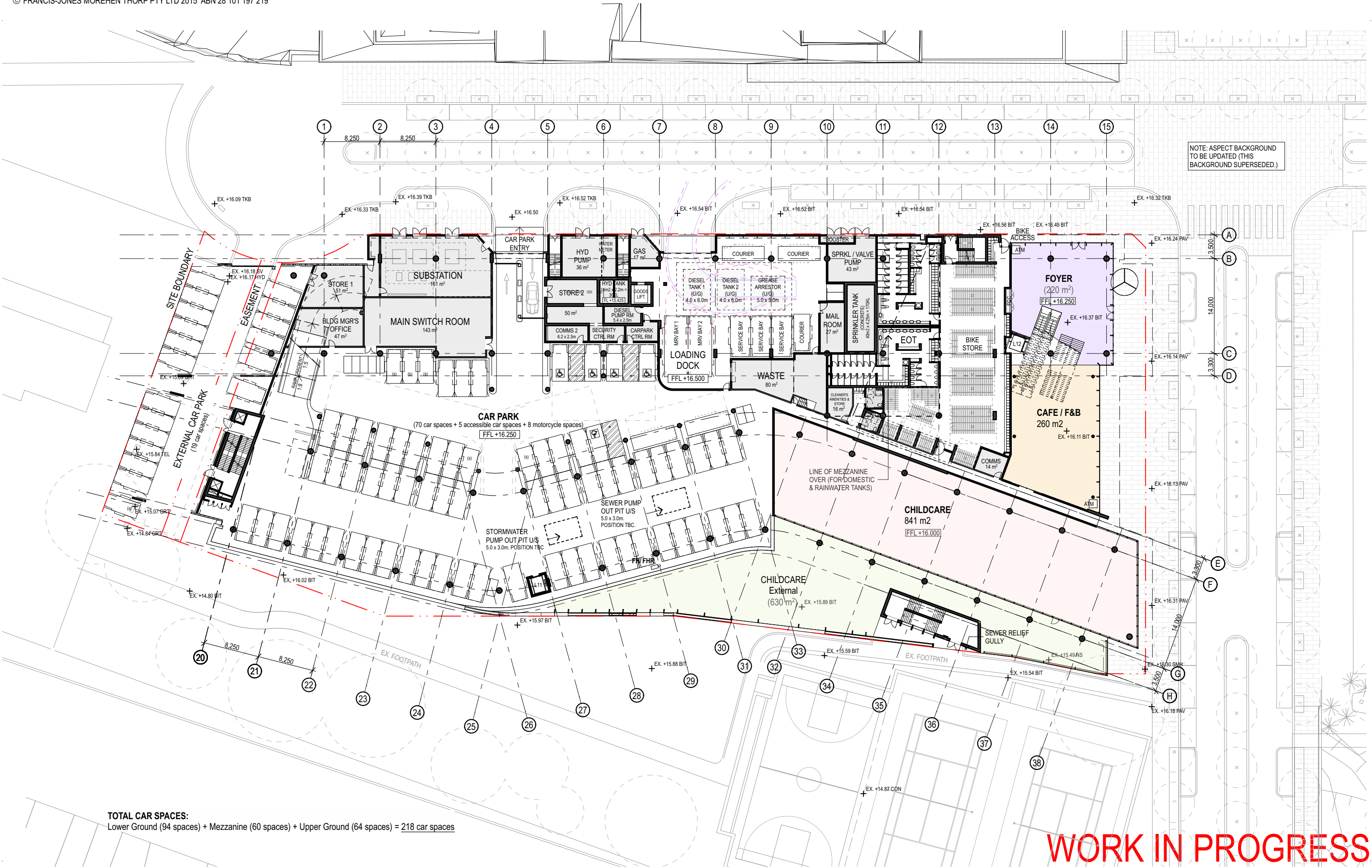
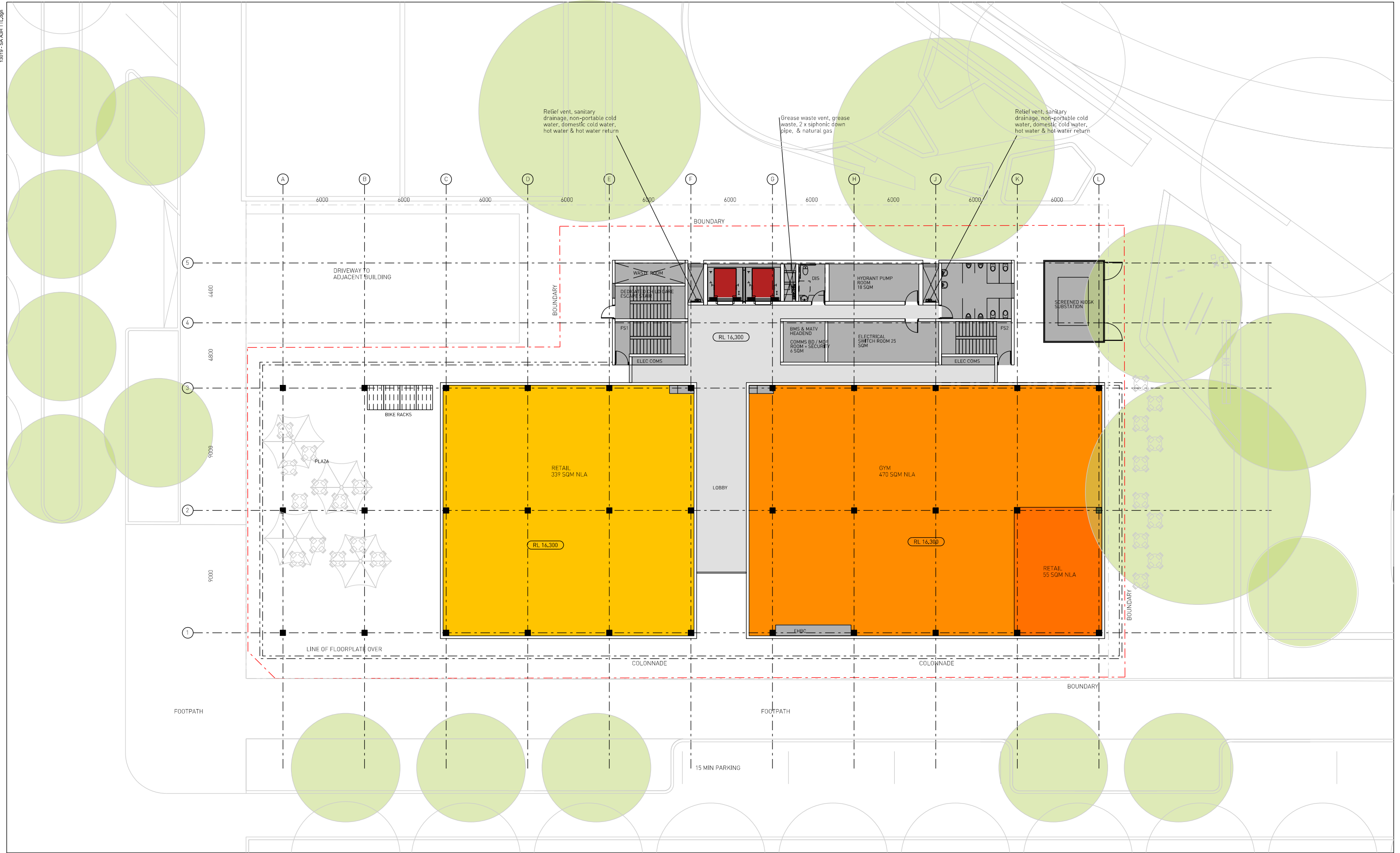


Appendix A Design Plans and Staging

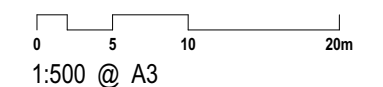




Notes All dimensions and setbacks to be verified prior to commencement on site. All omissions or discrepancies to be notified to the architect. Copyright The copyright of this drawing together with any other documents prepared by Sissons Architects (SA) remains the property of SA. SA grants licence for the use of this document for the purpose for which it is intended. The licence is not transferable without the permission of SA.	Legend GE: Gymn amenity exhaust KE: Retail kitchen exhaust G: General tenant exhaust RP: Refrigerant pipework riser FHR: Fire hydrant reel RH Riser: Fire hydrant riser SR: Sewer relief gully TE: Tenant elec distribution point TC: Tenant comms distribution point FHBC: Fire hydrant brigade booster connection	Revision	Date	Comment	Revision	Date	Comment	Revision	Date	Comment	Drawn	Checked	Created Date	Project AUSTRALIAN TECHNOLOGY PARK Redfern NSW 2015 COMMUNITY CENTRE Architect SISSONS + FJMT Studio 6, 81 Alexander St, Crows Nest, NSW 2065 Tel. 02 9460 8002	Drawing Title GROUND FLOOR PLAN CONCEPT DESIGN				Project No.	Drawing No.	Stage	Rev.	
		Client		Structurat Engineer		Services Engineer		Scale				1:250 @ A3 1:125 @ A1											
		Name		Name		Name																	
		Address		Address		Address																	
		Project Management		Principal Certifying Authority		Hydraulic Engineer																	
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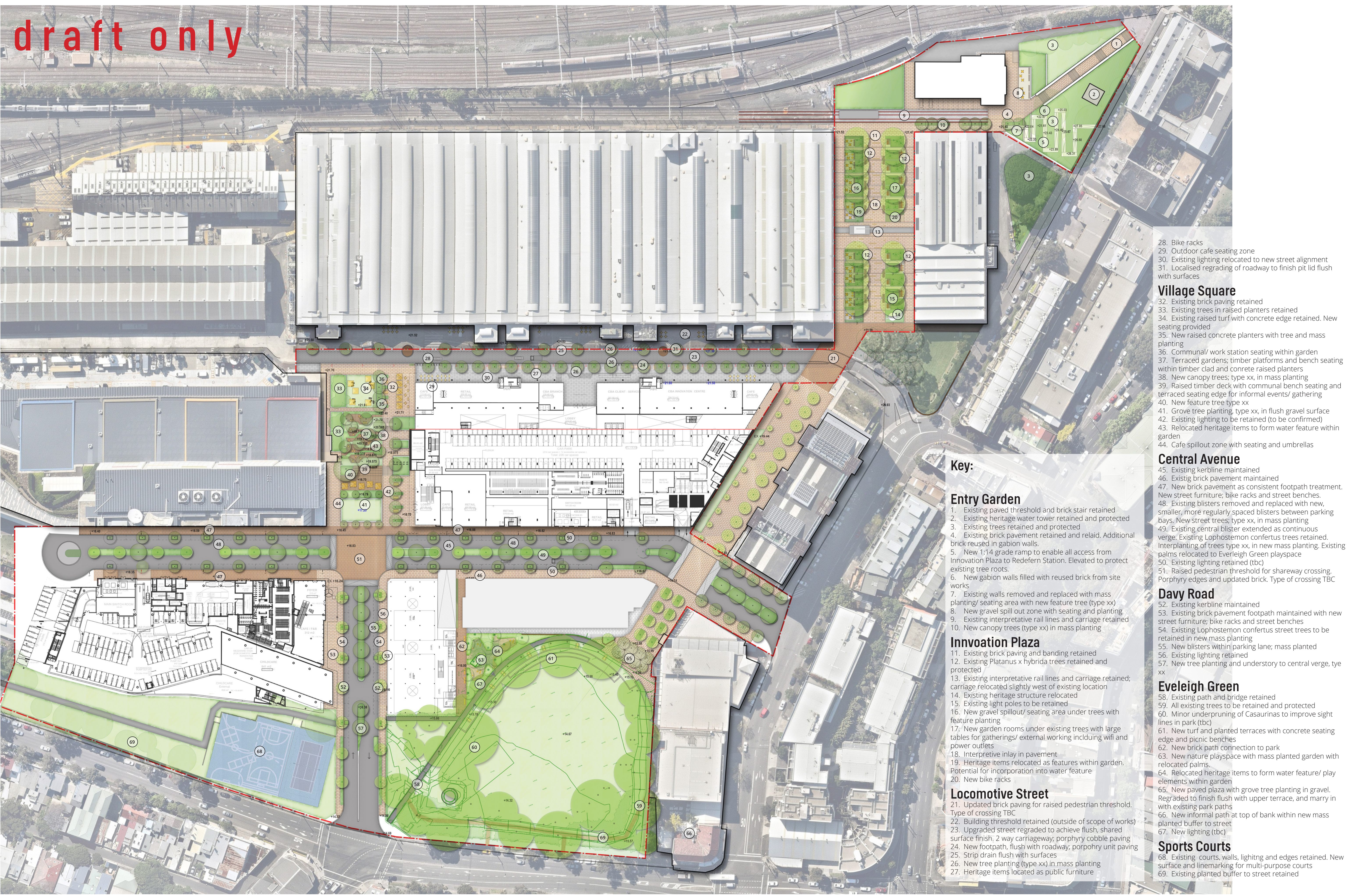
MIRVAC - AUSTRALIAN TECHNOLOGY PARK - BUILDING 2

WORK IN PROGRESS



3/12/2015

fjmt-AR-DWG-2100L_P5



draft only

- 28. Bike racks
- 29. Outdoor cafe seating zone
- 30. Existing lighting relocated to new street alignment
- 31. Localised regrading of roadway to finish pit lid flush with surfaces

Village Square

- 32. Existing brick paving retained
- 33. Existing trees in raised planters retained
- 34. Existing raised turf with concrete edge retained. New seating provided
- 35. New raised concrete planters with tree and mass planting
- 36. Communal/ work station seating within garden
- 37. Terraced gardens; timber platforms and bench seating within timber clad and concrete raised planters
- 38. New canopy trees; type xx, in mass planting
- 39. Raised timber deck with communal bench seating and terraced seating edge for informal events/ gathering
- 40. New feature tree type xx
- 41. Grove tree planting, type xx, in flush gravel surface
- 42. Existing lighting to be retained (to be confirmed)
- 43. Relocated heritage items to form water feature within garden
- 44. Cafe spillout zone with seating and umbrellas

Central Avenue

- 45. Existing kerbline maintained
- 46. Existig brick pavement maintained
- 47. New brick pavement as consistent footpath treatment. New street furniture; bike racks and street benches.
- 48. Existing blisters removed and replaced with new, smaller, more regularly spaced blisters between parking bays. New street trees; type xx, in mass planting
- 49. Existing central blister extended as continuous verge. Existing Lophostemon confertus trees retained. Interplanting of trees type xx, in new mass planting. Existing palms relocated to Everleigh Green playspace
- 50. Existing lighting retained (tbc)
- 51. Raised pedestrian threshold for shareway crossing. Porphyry edges and updated brick. Type of crossing TBC

Davy Road

- 52. Existing kerbline maintained
- 53. Existing brick pavement footpath maintained with new street furniture; bike racks and street benches
- 54. Existing Lophostemon confertus street trees to be retained in new mass planting
- 55. New blisters within parking lane; mass planted
- 56. Existing lighting retained
- 57. New tree planting and understory to central verge, tye xx

Eveleigh Green

- 58. Existing path and bridge retained
- 59. All existing trees to be retained and protected
- 60. Minor underpruning of Casaurinas to improve sight lines in park (tbc)
- 61. New turf and planted terraces with concrete seating edge and picnic benches
- 62. New brick path connection to park
- 63. New nature playspace with mass planted garden with relocated palms.
- 64. Relocated heritage items to form water feature/ play elements within garden
- 65. New paved plaza with grove tree planting in gravel. Regraded to finish flush with upper terrace, and marry in with existing park paths
- 66. New informal path at top of bank within new mass planted buffer to street
- 67. New lighting (tbc)

Sports Courts

- 68. Existing courts, walls, lighting and edges retained. New surface and linemarking for multi-purpose courts
- 69. Existing planted buffer to street retained

Key:

Entry Garden

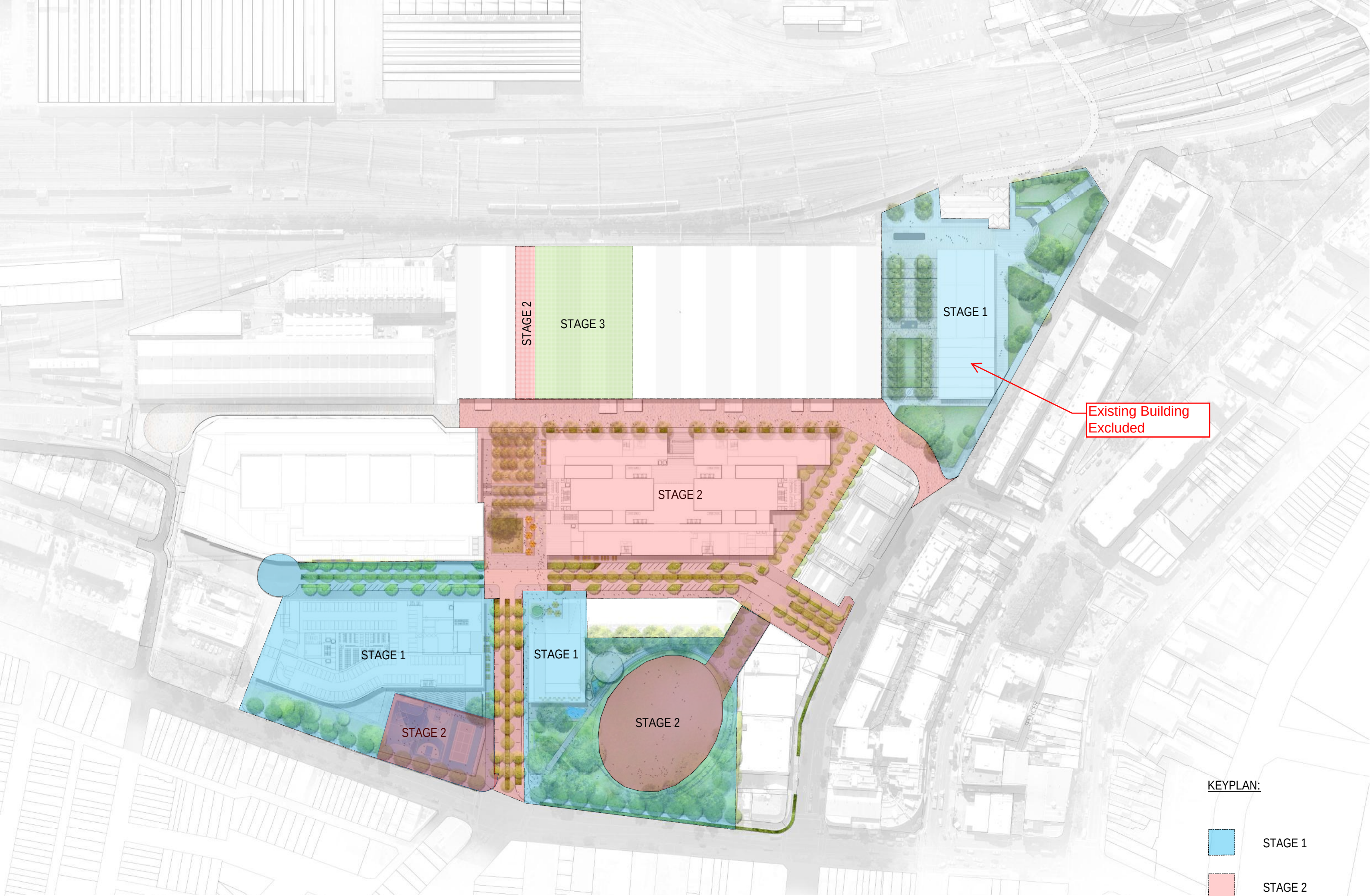
- 1. Existing paved threshold and brick stair retained
- 2. Existing heritage water tower retained and protected
- 3. Existing trees retained and protected
- 4. Existing brick pavement retained and relaid. Additional brick reused in gabion walls.
- 5. New 1:14 grade ramp to enable all access from Innovation Plaza to Redefern Station. Elevated to protect existing tree roots.
- 6. New gabion walls filled with reused brick from site works
- 7. Existing walls removed and replaced with mass planting/ seating area with new feature tree (type xx)
- 8. New gravel spill out zone with seating and planting
- 9. Existing interpretative rail lines and carriage retained
- 10. New canopy trees (type xx) in mass planting

Innvoation Plaza

- 11. Existing brick paving and banding retained
- 12. Existing Platanus x hybrida trees retained and protected
- 13. Existing interpretative rail lines and carriage retained; carriage relocated slightly west of existing location
- 14. Existing heritage structure relocated
- 15. Existing light poles to be retained
- 16. New gravel spillout/ seating area under trees with feature planting
- 17. New garden rooms under existing trees with large tables for gatherings/ external working including wifi and power outlets
- 18. Interpretive inlay in pavement
- 19. Heritage items relocated as features within garden. Potential for incorporation into water feature
- 20. New bike racks

Locomotive Street

- 21. Updated brick paving for raised pedestrian threshold. Type of crossing TBC
- 22. Building threshold retained (outside of scope of works)
- 23. Upgraded street regraded to achieve flush, shared surface finish, 2 way carriageway; porphyry cobble paving
- 24. New footpath, flush with roadway; porphory unit paving
- 25. Strip drain flush with surfaces
- 26. New tree planting (type xx) in mass planting
- 27. Heritage items located as public furniture



Existing Building
Excluded

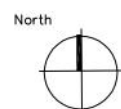
KEYPLAN:

-  STAGE 1
-  STAGE 2
-  STAGE 3



Project: AUSTRALIAN TECHNOLOGY PARK

Title: OVERALL PROJECT STAGING
REV 1 30.07.2015

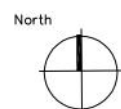


NOTE: THE LOCATION OF CONSTRUCTION PLANT,
EQUIPMENT, WORK ZONES AND ACCESS ROUTES ARE
SUBJECT TO FINAL PLANNING BY MIRVAC

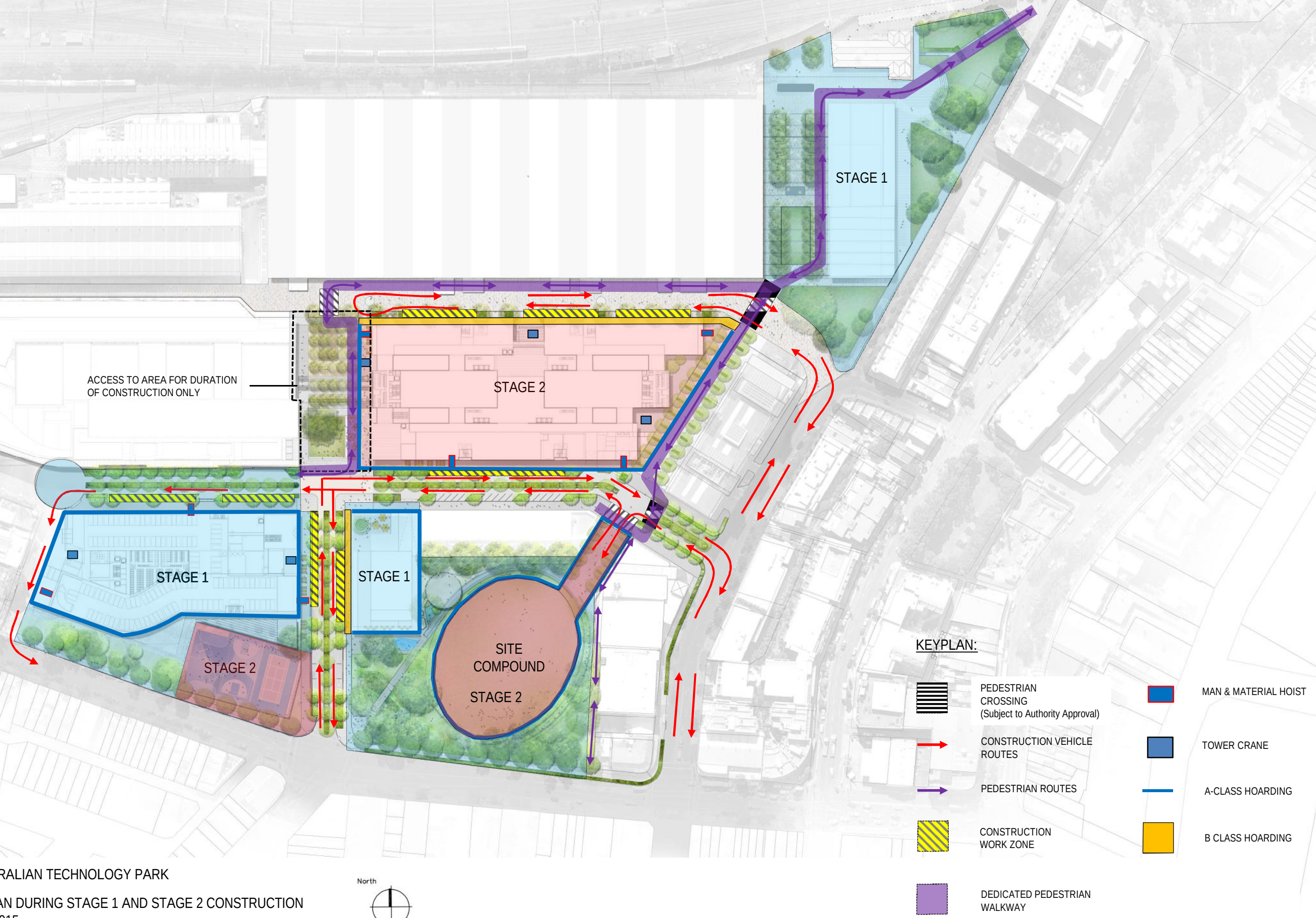


Project: AUSTRALIAN TECHNOLOGY PARK

Title: SITE PLAN DURING STAGE 1 CONSTRUCTION
REV 1 30.07.2015

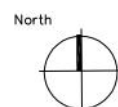


NOTE: THE LOCATION OF CONSTRUCTION PLANT,
EQUIPMENT, WORK ZONES AND ACCESS ROUTES ARE
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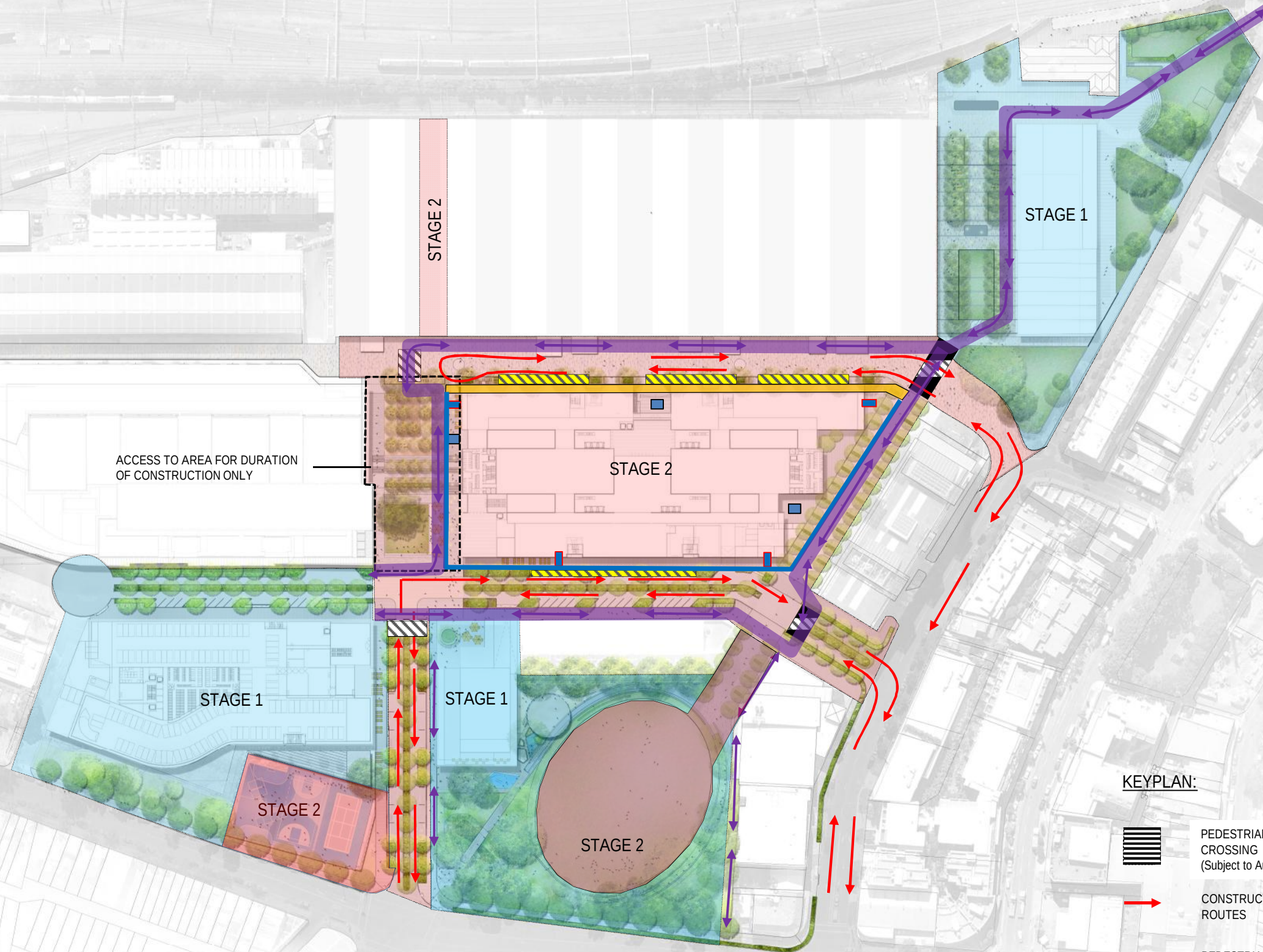


Project: AUSTRALIAN TECHNOLOGY PARK

Title: SITE PLAN DURING STAGE 1 AND STAGE 2 CONSTRUCTION
REV 1 30.07.2015



NOTE: THE LOCATION OF CONSTRUCTION PLANT, EQUIPMENT, WORK ZONES AND ACCESS ROUTES ARE SUBJECT TO FINAL PLANNING BY MIRVAC



KEYPLAN:



PEDESTRIAN CROSSING
(Subject to Authority Approval)



CONSTRUCTION VEHICLE
ROUTES



PEDESTRIAN ROUTES



CONSTRUCTION
WORK ZONE



DEDICATED PEDESTRIAN
WALKWAY



MAN & MATERIAL HOIST



TOWER CRANE



A-CLASS HOARDING



B CLASS HOARDING