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LIVING

## NatHERS and BASIX Assessment



### Chatswood Property Pty Ltd Proposed Residential Development

To be built at 57-61 Archer Street and 34 Albert Avenue, Chatswood / SP81015 and SP101358

Issue	File Ref	Description	Author	Date
A	2401067	NatHERS and BASIX Assessment	HE,AR,CC	30/09/2024
B	2401067	Update penthouse units design change	SC	01/11/2024
C	2401067	NatHERS and BASIX Assessment – Update BASIX	AR, CC	08/11/2024
D	2401067	NatHERS and BASIX Assessment – Cover sheet update	AR	02/12/2024

This report has been prepared by Efficient Living Pty Ltd on behalf of our client Chatswood Property Pty Ltd Efficient Living prepares all reports in accordance with the BASIX Thermal Comfort Protocol and is backed by professional indemnity insurance. This report takes into account our Client's instructions and preferred building inclusions.



**Sustainable Building Consultants**

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**Introduction**

Efficient Living has investigated the estimated thermal comfort, water and energy usage of the proposed development to be built at 57-61 Archer Street and 34 Albert Avenue, Chatswood / SP81015 and SP101358.

Heating and cooling loads for the development have been determined using Hero v4.1 thermal comfort simulation software. The report is based on the architectural drawings provided by Chatswood Property Pty Ltd. For further details refer to the individual BASIX Certificate(s) and Efficient Living's inclusions summary respectively.

This report is based on the floor plans, elevations and sections prepared by Woods Bagot received on 03/09/2023.

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**Analysis**

The BASIX Assessment is divided into three sections; Water, Thermal Comfort and Energy, each independently measuring the efficiency of the development.

BASIX requires a minimum target of 40% for the water section, a pass or fail for the thermal comfort section, and a minimum required target of 60% for the energy section.

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**Water**

The proposed Development has achieved the BASIX Water Target of 40%.

The water usage of the development is calculated based on the number and efficiency of permanent fixtures and appliances such as taps, showerheads and toilet, the dish washer and clothes washing machines.

The size of the rainwater tank and number of connections may have a significant impact on your water score as does the area of gardens and lawns whether or not low water plant species are incorporated.

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**Thermal Comfort**

Thermal Comfort targets are set by the Department of Planning in the form of heating and cooling caps. The buildings thermal physics are measured using Hero v4.1 Thermal Comfort Simulation Software. This calculates the expected level of energy required to heat and cool each dwelling per annum, expressed in megajoules per square metre of floor area (MJ/m<sup>2</sup>).

Each unit has individual heating and cooling caps applied. Accompanying these individual caps are average heating and cooling caps applied to the whole development. The average caps are lower, or harder to comply with than the individual unit caps.

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**Energy**

The proposed development has achieved the Energy target of 60% to pass this section.



The energy usage of the development is calculated based on the efficiency of fixed appliances that will be used. This includes the air-conditioning system, hot water system, lighting, exhaust fans, cook top, oven, and clothes drying facilities.

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### Materials

The proposed development has achieved a Materials score of -56.

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### Inclusions Summary

The inclusions as outlined below have been incorporated in each unit to allow them to reach their environmental sustainability targets.

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#### Glazing Doors / Windows

**Group A** – awning + bifold + casement windows + hinged glazed doors

U-value: 4.10 (equal to or lower than) SHGC: 0.47 (±5%)

**Group B** – sliding doors/windows + fixed glazing + louvred windows

U-value: 4.10 (equal to or lower than) SHGC: 0.52 (±5%)

#### Glazing upgrade 1

**Group A** – awning + bifold + casement windows + hinged glazed doors

U-value: 2.60 (equal to or lower than) SHGC: 0.50 (±5%)

**Group B** – sliding doors/windows + fixed glazing + louvred windows

U-value: 2.60 (equal to or lower than) SHGC: 0.53 (±5%)

#### Glazing upgrade 2

**Group A** – awning + bifold + casement windows + hinged glazed doors

U-value: 2.24 (equal to or lower than) SHGC: 0.51 (±5%)

**Group B** – sliding doors/windows + fixed glazing + louvred windows

U-value: 2.16 (equal to or lower than) SHGC: 0.52 (±5%)

#### Skylights

U-value: 4.22 (equal to or lower than) SHGC: 0.72 (±5%)

Given values are AFRC total window system values (glass and frame)

#### Window Frame Colour

Dark (SA > 0.7)

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#### Roof and Ceiling

200mm Concrete plasterboard ceiling with R2.0 insulation (insulation only value) to the soffit of concrete where balconies are above

200mm Concrete plasterboard ceiling with R3.5 insulation (insulation only value) to the soffit of concrete where roof is over



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200mm Concrete plasterboard ceiling, no insulation where neighbouring units are above

Upgrade R6.0 ceiling insulation to apartments 31.01 and 31.02

**External Colour**

Light (SA < 0.475)

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**Ceiling Penetrations**

Sealed LED downlights at a maximum of one every 2.5m<sup>2</sup>

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**Ceiling Fans**

1200mm ceiling fans to living areas

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**External Wall**

Lightweight cladding with metal frame R2.0 insulation (insulation only value) and plasterboard-lined

250mm Precast concrete panels with metal frame R2.0 insulation (insulation only value) and plasterboard-lined

Any concrete columns within the external wall envelope are assumed to have the same R2.0 insulation

Upgrade R2.7 external wall insulation throughout to apartments 31.01 and 31.02

**External Colour**

Medium (0.475 < SA < 0.7)

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**Inter-tenancy Walls**

75mm Hebel Power Panel party wall, with R1.0 insulation to one side and plasterboard lined to common halls, services and neighbours.

Minimum 150mm concrete with furring channel and plasterboard lining to all walls adjacent to lift shafts and fire stairs. No insulation required

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**Walls within Dwellings**

Plasterboard on metal studs – no insulation

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**Floors**

200mm Concrete with a minimum R1.2 insulation (insulation only value) required to units with basement carpark below

200mm Concrete with a minimum R2.0 insulation where part open subfloor is below

200mm Concrete between levels, no insulation required

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**Floor Coverings**

Carpet to bedrooms and study, tiles elsewhere

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**External Shading**

Shading as per stamped documentation

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**BASIX water inclusions**

Score 40/40

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**Fixtures within units**

Showerheads: Mid flow (>6L but ≤7.5L/min)

Toilets: 4.0 star

Kitchen taps: 6.0 star

Bathroom vanity taps: 6.0 star

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**Fixtures within common areas**

Toilets: 5.0 star

Taps: 5.0 star

Shower: 5.0 star

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**Appliances within units**

Dishwashers: 4.0 stars

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**Central rainwater storage**

No BASIX requirements

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**Fire sprinkler test water**

Two sprinkler systems nominated in BASIX: one for basement levels, one for apartment levels (Closed Loop).

Fire sprinkler test water must be contained in a closed loop system (tank required).

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**Indigenous and low water use species**

658 m<sup>2</sup> of common area planting to be Indigenous or low water use species (70%)

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**Common area swimming pools and spas**

15 KL Spa (Units 31.01 and 31.02)

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**BASIX Energy Inclusions**

Score 64/63

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**Hot water system**

Gas fired boiler and R0.6 (~25mm) insulation to ring main and supply risers

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**Lift motors**

All lifts to have gearless traction with VVVF motor with lift load capacity of ≥1,001kg to ≤1,500kg

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#### Appliances and other efficiency measures within units

Gas cooktop & electric oven

Dishwashers: 4.0 star

Clothes dryers: 2.0 star

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#### Heating and cooling within units

Central heating and cooling to all units using VRV units with electric driven compressor and air cooled condenser / air sourced evaporator with

A minimum efficiency of COP 3.5 - 5.5 is required for cooling; and

A minimum efficiency of COP 3.5 - 5.5 is required for heating

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#### Artificial lighting within units

Minimum of 80% of all light fittings within each room are to have dedicated LED fixtures installed

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#### Ventilation within units

Bathroom: individual fan, ducted to roof or façade – interlocked to light, timer off

Laundry: individual fan, ducted to roof or façade – interlocked to light.

Kitchen range hood: Individual fan, ducted to roof or façade – manual on / off switch.

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#### Ventilation to common areas

Undercover Car park area – Supply and exhaust air with a carbon monoxide monitor & VSD fan

Garbage rooms – Exhaust air only, running continuously

Nat vent Community room – No mechanical ventilation

Community room – Supply only – time clock or BMS controlled.

Nat vent plant or service rooms - No mechanical ventilation

Mec vent plant or service rooms - Supply and exhaust air, thermostatically controlled

Shared WC - Exhaust air only, interlocked to light

Storage – No mechanical ventilation

Nat vent storage/post/FCR - No mechanical ventilation

Ground floor lobbies and hallways – Airconditioned – time clock or BMS controlled

Upper and underground lobbies and hallways – Supply air only – time clock or BMS controlled

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### Artificial lighting to common areas

Lighting control system / BMS : No

Undercover Car park area – light-emitting diode – zoned switching with motion sensors

Garbage rooms - light-emitting diode – motion sensors

Nat vent Community room - light-emitting diode – motion sensors

Community room - light-emitting diode - Manual on - off

Nat vent plant or service rooms - light-emitting diode - manual on-off

Mec vent plant or service rooms -light-emitting diode - manual on-off

Shared WC - light-emitting diode - manual on-off

Storage -light-emitting diode - manual on-off

Nat vent storage/post/FCR - light-emitting diode - manual on-off

Ground floor lobbies and hallways - light-emitting diode – daylight sensors and motion sensors

Upper and underground lobbies and hallways - light-emitting diode – motion sensors

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### Alternative Energy

Photovoltaic system: rated electrical output (min.) 25 peak kW

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### Common area swimming pools and spas

Spa - Electric heat pump – controlled by a timer

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Certificate #HR-HJPY34-01

Accreditation # HERA10213

Thermal performance specifications

Unit Number	Number of Bedrooms	Floor area (m <sup>2</sup> )		Predicted loads (MJ/m <sup>2</sup> /y)		Star Rating	Thermal Comfort Upgrades
		Con.	Uncon.	Heat	Cool (Sens & Lat)		
3.01	1	66.1	0	12.2	11.7	7.6	
3.02	1	62.3	0	0.5	2.9	10	
3.03	1	67.6	0	2.6	11.1	8.8	
3.04	1	50.3	0	0.9	19.7	8	Glazing upgrade 1
3.05	1	50.5	0	0.8	10.8	9.1	
3.06	1	54.9	0	9.9	11.1	8	
3.07	1	39.7	0	4	5.6	9.4	
3.08	1	44	0	6.4	4.5	9.2	
3.09	1	57.4	0	13.4	11.9	7.4	Glazing upgrade 1
4.01	1	66.1	0	13.3	7.7	7.9	
4.02	1	62.3	0	0.9	2.8	10	
4.03	1	67.6	0	4.3	10.4	8.7	
4.04	1	50.3	0	1.4	21.1	7.8	Glazing upgrade 1
4.05	1	50.5	0	2	9.1	9.2	
4.06	1	54.9	0	19.9	7.4	7.3	
4.07	1	39.7	0	5.3	5.1	9.3	
4.08	1	44	0	8.7	4.4	8.9	
4.09	1	57.4	0	23.3	12.8	6.2	
5.01	1	66.1	0	17.3	17.3	6.4	
5.02	1	62.3	0	0.9	4.5	10	
5.03	1	67.6	0	5.2	10.8	8.4	
5.04	1	50.3	0	1.9	18.4	8.1	
5.05	1	50.5	0	2.3	9.2	9.1	
5.06	1	54.9	0	15.5	9.7	7.4	
5.07	1	39.7	0	6.4	7.5	8.8	
5.08	1	44	0	13.4	5.3	8.2	
5.09	1	57.4	0	23.8	13.8	6	
6.01	1	60.7	0	17.5	10.2	7.2	
6.02	1	51.9	0	5.5	5.3	9.2	
6.03	2	82.6	0	3.7	7.1	9.2	
6.04	1	57.5	0	6.1	7.2	8.8	
6.05	1	62.4	0	18.6	13.4	6.7	
6.06	1	56.8	0	22.3	7.5	7	Glazing upgrade 1
6.07	1	56	0	24.4	8.4	6.6	Glazing upgrade 1
7.01	1	60.7	0	17.1	10.3	7.3	

Certificate #HR-HJPY34-01

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Thermal performance specifications

Unit Number	Number of Bedrooms	Floor area (m <sup>2</sup> )		Predicted loads (MJ/m <sup>2</sup> /y)		Star Rating	Thermal Comfort Upgrades
		Con.	Uncon.	Heat	Cool (Sens & Lat)		
7.02	1	51.9	0	5.5	5.3	9.2	
7.03	2	82.6	0	3.7	8.2	9	
7.04	1	57.5	0	5.4	6	9.1	
7.05	1	62.4	0	17.7	13.5	6.9	
7.06	1	56.7	0	32.3	5.1	6.1	
7.07	1	56	0	23.9	9.1	6.6	Glazing upgrade 1
8.01	1	60.7	0	18.7	9.7	7.2	
8.02	1	56.4	0	4.9	3.3	9.6	
8.03	2	82.6	0	4.9	7.5	8.9	
8.04	1	57.5	0	6.3	5.3	9.1	
8.05	2	75	0	20.2	7.4	7.2	
8.06	1	54	0	29.9	4.5	6.4	
8.07	1	56	0	25.9	8.3	6.4	Glazing upgrade 1
9.01	1	60.7	0	19.3	9.7	7.1	
9.02	1	56.4	0	4.8	3.2	9.7	
9.03	2	82.6	0	5.1	7.3	8.9	
9.04	1	57.5	0	6.5	5.2	9	
9.05	2	75	0	20.1	7.6	7.2	
9.06	1	54	0	28.9	4.4	6.6	
9.07	1	56	0	26.1	8.3	6.4	Glazing upgrade 1
10.01	1	60.7	0	19.5	9.6	7.1	
10.02	1	56.4	0	4.9	3.4	9.6	
10.03	2	82.6	0	5.2	7.4	8.9	
10.04	1	57.5	0	6.7	5.2	9	
10.05	2	75	0	20.9	7.7	7.1	
10.06	1	54	0	29	4.5	6.6	
10.07	1	56	0	26.3	8.2	6.4	Glazing upgrade 1
11.01	2	86.4	0	13.5	10.8	7.6	
11.02	3	135	0	2.1	7.5	9.4	
11.03	1	56.4	0	4.9	11.4	8.4	
11.04	3	126.1	0	16.8	4.8	7.9	
11.05	2	83.4	0	28.8	8.1	6.1	Glazing upgrade 1
12.01	2	86.4	0	13.6	10.8	7.6	
12.02	3	135	0	2	7.5	9.4	
12.03	1	56.4	0	5	11.4	8.4	

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Thermal performance specifications

Unit Number	Number of Bedrooms	Floor area (m <sup>2</sup> )		Predicted loads (MJ/m <sup>2</sup> /y)		Star Rating	Thermal Comfort Upgrades
		Con.	Uncon.	Heat	Cool (Sens & Lat)		
12.04	3	126.1	0	16.5	4.7	7.9	
12.05	2	83.4	0	28.5	8.1	6.2	Glazing upgrade 1
13.01	2	86.4	0	13.8	10.8	7.5	
13.02	3	135	0	2	7.2	9.4	
13.03	1	56.4	0	5	11.2	8.4	
13.04	3	126.1	0	16.7	5	7.9	
13.05	2	83.4	0	28.6	7.4	6.3	Glazing upgrade 1
14.01	2	86.4	0	13.8	10.6	7.6	
14.02	3	135	0	2.1	7.7	9.4	
14.03	1	56.4	0	5.3	11.4	8.4	
14.04	3	126.1	0	16.9	4.7	7.9	
14.05	2	83.4	0	28.8	8	6.1	Glazing upgrade 1
15.01	2	86.4	0	14	10.4	7.6	
15.02	3	135	0	2.2	7.7	9.4	
15.03	1	56.4	0	5.4	11.3	8.4	
15.04	3	126.1	0	17.1	4.7	7.9	
15.05	2	83.4	0	29	8	6.1	Glazing upgrade 1
16.01	2	86.4	0	14.5	10.4	7.5	
16.02	3	135	0	2.3	7.9	9.3	
16.03	1	56.4	0	5.5	11.5	8.4	
16.04	3	126.1	0	17.2	4.7	7.9	
16.05	2	83.4	0	28.8	7.6	6.2	Glazing upgrade 1
17.01	2	86.4	0	17.8	9	7.3	
17.02	3	135	0	2.9	7.5	9.3	
17.03	1	56.4	0	8.4	5.2	8.8	
17.04	1	65.1	0	22.3	6.4	7.1	
18.01	2	86.4	0	14.4	10.4	7.5	
18.02	3	135	0	2.2	7.7	9.3	
18.03	1	56.4	0	5.6	11	8.4	
18.04	3	126.1	0	17.6	4.6	7.8	
18.05	2	83.4	0	28.7	8.2	6.1	Glazing upgrade 1
19.01	2	86.4	0	14.1	10.4	7.6	
19.02	3	135	0	2.1	7.4	9.4	
19.03	1	56.4	0	5.2	10.5	8.5	
19.04	3	126.1	0	17.3	4.5	7.9	

Certificate #HR-HJPY34-01

Accreditation # HERA10213

Thermal performance specifications

Unit Number	Number of Bedrooms	Floor area (m <sup>2</sup> )		Predicted loads (MJ/m <sup>2</sup> /y)		Star Rating	Thermal Comfort Upgrades
		Con.	Uncon.	Heat	Cool (Sens & Lat)		
19.05	2	83.4	0	29.2	7.6	6.2	Glazing upgrade 1
20.01	2	86.4	0	15.2	11.3	7.4	
20.02	4	192.5	0	3.8	7.6	9.1	
20.03	3	126.1	0	14.7	5.7	8.1	
20.04	2	83.4	0	20.1	10	6.9	Glazing upgrade 1
21.01	2	86.4	0	15.3	11.2	7.4	
21.02	4	192.5	0	3.5	7.6	9.1	
21.03	3	126.1	0	14.9	5.7	8	
21.04	2	83.4	0	20.2	9.8	7	Glazing upgrade 1
22.01	2	86.4	0	15.4	11.2	7.3	
22.02	4	192.5	0	3.6	7.6	9.1	
22.03	3	126.1	0	15	5.6	8	
22.04	2	83.4	0	20.4	10.3	6.9	Glazing upgrade 1
23.01	2	86.4	0	15.6	11.1	7.3	
23.02	4	192.5	0	3.7	7.6	9.1	
23.03	3	126.1	0	15.2	5.6	8	
23.04	2	83.4	0	20.5	10.1	6.9	Glazing upgrade 1
24.01	2	86.4	0	15.6	11.3	7.3	
24.02	4	192.5	0	3.7	7.6	9.1	
24.03	3	126.1	0	15.2	5.5	8	
24.04	2	83.4	0	20.5	10.3	6.9	Glazing upgrade 1
25.01	2	86.4	0	15.6	11.2	7.3	
25.02	4	192.5	0	3.7	7.6	9.1	
25.03	3	126.1	0	15.3	5.5	8	
25.04	2	83.4	0	20.6	9.9	6.9	Glazing upgrade 1
26.01	2	86.4	0	15.7	11.2	7.3	
26.02	4	192.5	0	3.7	7.6	9.1	
26.03	3	126.1	0	15.5	5.3	8	
26.04	2	83.4	0	20.7	9.8	6.9	Glazing upgrade 1
27.01	2	86.4	0	15.8	11.2	7.3	
27.02	4	192.5	0	3.8	7.6	9.1	
27.03	3	126.1	0	15.6	5.3	8	
27.04	2	83.4	0	20.9	9.9	6.9	Glazing upgrade 1
28.01	2	86.4	0	14.9	12.6	7.2	
28.02	4	192.5	0	4	8.3	8.9	

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Thermal performance specifications

Unit Number	Number of Bedrooms	Floor area (m <sup>2</sup> )		Predicted loads (MJ/m <sup>2</sup> /y)		Star Rating	Thermal Comfort Upgrades
		Con.	Uncon.	Heat	Cool (Sens & Lat)		
28.03	3	126.1	0	14.6	5.8	8.1	
28.04	2	83.4	0	21.6	10.5	6.7	Glazing upgrade 1
29.01	3	180.7	0	17.1	13.1	6.9	Glazing upgrade 1
29.02	3	177.3	0	5	10.3	8.6	
29.03	3	170.4	0	21.7	7.4	7.1	
30.01	3	180.7	0	17	14.8	6.8	Glazing upgrade 1
30.02	3	177.3	0	5.5	11.7	8.4	
30.03	3	170.4	0	21.5	8.2	7	
31.01	3	224.1	0	15.1	19	6.4	Glazing upgrade 2 R6.0 ceiling insulation R2.7 external walls
31.02	3	199.6	0	17.1	20.7	6	Glazing upgrade 2 R6.0 ceiling insulation R2.7 external walls

# Nationwide House Energy Rating Scheme® Class 2 Summary

## NatHERS® Certificate No. #HR-HJPY34-01

Generated on 08 Nov 2024 using Hero 4.1

### Property

Address 57-61 Archer Street, Chatswood, NSW, 2067

Lot/DP

NatHERS climate zone 56 - Mascot AMO



Accredited assessor

Name Haylea Edwards  
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Phone +61 9970 6181  
Accreditation No. 10213  
Assessor Accrediting Organisation HERA

### Verification

To verify this certificate, scan the QR code or visit <http://www.hero-software.com.au/pdf/HR-HJPY34-01>.

When using either link, ensure you are visiting <http://www.hero-software.com.au>



### National Construction Code (NCC) requirements

The NCC allows the use of NatHERS accredited software to comply with the energy efficiency requirements for houses (Class 1 buildings) and apartments (Class 2 sole-occupancy units and Class 4 parts of buildings). The applicable requirements for houses are detailed in Specification 42 of NCC Volume Two. For apartments the requirements are detailed in clauses J3D3 and J3D15 of NCC Volume One.

NCC 2022 includes enhanced thermal performance requirements for houses and apartments. It also includes a new whole-of-home annual energy use budget which applies to the major equipment in the home.

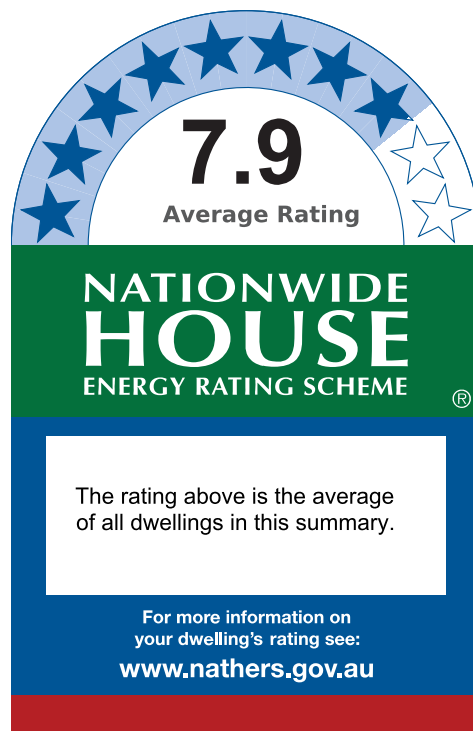
The NCC, and associated ABCB Standards and support material, can be accessed at [www.abcb.gov.au](http://www.abcb.gov.au).

Note, variations and additions to the NCC energy efficiency requirements may apply in some states and territories.

### Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-DUVAMQ-01</a>	1001	19.5 (34)	9.6 (21)	29.1	7.1	n/a
<a href="#">HR-JLAD90-01</a>	1002	4.9 (34)	3.4 (21)	8.3	9.6	n/a
<a href="#">HR-1TINAA-01</a>	1003	5.2 (34)	7.4 (21)	12.5	8.9	n/a

## Thermal performance Star rating



## NCC heating and cooling maximum loads MJ/m<sup>2</sup>.yr

Limits taken from ABCB Standard 2022

	Heating	Cooling
Average load	13.0	8.7
Maximum load	32.3	21.1
Average limit	28.1	20.0
Maximum limit	34.4	21.4

## Whole of Home performance rating

No Whole of Home performance rating generated for this certificate or not completed for all dwellings.



## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-AZ0OJS-01</a>	1004	6.7 (34)	5.2 (21)	11.9	9.0	n/a
<a href="#">HR-HMROED-01</a>	1005	20.9 (34)	7.7 (21)	28.6	7.1	n/a
<a href="#">HR-FZMH08-01</a>	1006	29.0 (34)	4.5 (21)	33.5	6.6	n/a
<a href="#">HR-8USW23-01</a>	1007	26.3 (34)	8.2 (21)	34.5	6.4	n/a
<a href="#">HR-2RPW3C-01</a>	1101	13.5 (34)	10.8 (21)	24.4	7.6	n/a
<a href="#">HR-15PNL8-01</a>	1102	2.1 (34)	7.5 (21)	9.5	9.4	n/a
<a href="#">HR-JCNNRK-01</a>	1103	4.9 (34)	11.4 (21)	16.3	8.4	n/a
<a href="#">HR-BVOKYE-01</a>	1104	16.8 (34)	4.8 (21)	21.6	7.9	n/a
<a href="#">HR-ITXQEO-01</a>	1105	28.8 (34)	8.1 (21)	37.0	6.1	n/a
<a href="#">HR-I8JRH9-01</a>	1201	13.6 (34)	10.8 (21)	24.4	7.6	n/a
<a href="#">HR-DB8IZT-01</a>	1202	2.0 (34)	7.5 (21)	9.5	9.4	n/a
<a href="#">HR-E68H5K-01</a>	1203	5.0 (34)	11.4 (21)	16.4	8.4	n/a
<a href="#">HR-EM8U1I-01</a>	1204	16.5 (34)	4.7 (21)	21.2	7.9	n/a
<a href="#">HR-LL2UC1-01</a>	1205	28.5 (34)	8.1 (21)	36.6	6.2	n/a
<a href="#">HR-QWCP0V-01</a>	1301	13.8 (34)	10.8 (21)	24.6	7.5	n/a
<a href="#">HR-QQ4XIB-01</a>	1302	2.0 (34)	7.2 (21)	9.3	9.4	n/a
<a href="#">HR-1ML3MX-01</a>	1303	5.0 (34)	11.2 (21)	16.2	8.4	n/a
<a href="#">HR-9X49JL-01</a>	1304	16.7 (34)	5.0 (21)	21.7	7.9	n/a
<a href="#">HR-IC8V8C-01</a>	1305	28.6 (34)	7.4 (21)	36.0	6.3	n/a
<a href="#">HR-F4ABNT-01</a>	1401	13.8 (34)	10.6 (21)	24.4	7.6	n/a
<a href="#">HR-5SEBL6-01</a>	1402	2.1 (34)	7.7 (21)	9.8	9.4	n/a
<a href="#">HR-4MYUDX-01</a>	1403	5.3 (34)	11.4 (21)	16.7	8.4	n/a
<a href="#">HR-3UQ21H-01</a>	1404	16.9 (34)	4.7 (21)	21.7	7.9	n/a
<a href="#">HR-MHR64T-01</a>	1405	28.8 (34)	8.0 (21)	36.8	6.1	n/a
<a href="#">HR-K8CUQT-01</a>	1501	14.0 (34)	10.4 (21)	24.3	7.6	n/a
<a href="#">HR-X461SC-01</a>	1502	2.2 (34)	7.7 (21)	9.9	9.4	n/a
<a href="#">HR-SYJFTF-01</a>	1503	5.4 (34)	11.3 (21)	16.7	8.4	n/a
<a href="#">HR-9UAPVJ-01</a>	1504	17.1 (34)	4.7 (21)	21.8	7.9	n/a
<a href="#">HR-NMHDPO-01</a>	1505	29.0 (34)	8.0 (21)	37.0	6.1	n/a

## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-T24FET-01</a>	1601	14.5 (34)	10.4 (21)	24.8	7.5	n/a
<a href="#">HR-80KWBW-01</a>	1602	2.3 (34)	7.9 (21)	10.2	9.3	n/a
<a href="#">HR-RT6GCO-01</a>	1603	5.5 (34)	11.5 (21)	17.0	8.4	n/a
<a href="#">HR-BYXPEF-01</a>	1604	17.2 (34)	4.7 (21)	21.9	7.9	n/a
<a href="#">HR-ZMYPPB-01</a>	1605	28.8 (34)	7.6 (21)	36.4	6.2	n/a
<a href="#">HR-J9BF4U-01</a>	1701	17.8 (34)	9.0 (21)	26.7	7.3	n/a
<a href="#">HR-789NK1-01</a>	1702	2.9 (34)	7.5 (21)	10.3	9.3	n/a
<a href="#">HR-EZ3E6O-01</a>	1703	8.4 (34)	5.2 (21)	13.6	8.8	n/a
<a href="#">HR-95ANB5-01</a>	1704	22.3 (34)	6.4 (21)	28.7	7.1	n/a
<a href="#">HR-8Y4DCC-01</a>	1801	14.4 (34)	10.4 (21)	24.8	7.5	n/a
<a href="#">HR-51GDYR-01</a>	1802	2.2 (34)	7.7 (21)	10.0	9.3	n/a
<a href="#">HR-1X0KAZ-01</a>	1803	5.6 (34)	11.0 (21)	16.6	8.4	n/a
<a href="#">HR-63GUJS-01</a>	1804	17.6 (34)	4.6 (21)	22.3	7.8	n/a
<a href="#">HR-DNFW8S-01</a>	1805	28.7 (34)	8.2 (21)	36.9	6.1	n/a
<a href="#">HR-RCFVJQ-01</a>	1901	14.1 (34)	10.4 (21)	24.5	7.6	n/a
<a href="#">HR-52R8KH-01</a>	1902	2.1 (34)	7.4 (21)	9.5	9.4	n/a
<a href="#">HR-QK85JK-01</a>	1903	5.2 (34)	10.5 (21)	15.7	8.5	n/a
<a href="#">HR-FI31GR-01</a>	1904	17.3 (34)	4.5 (21)	21.8	7.9	n/a
<a href="#">HR-I0LN3M-01</a>	1905	29.2 (34)	7.6 (21)	36.7	6.2	n/a
<a href="#">HR-QVBWJ8-01</a>	2001	15.2 (34)	11.3 (21)	26.5	7.4	n/a
<a href="#">HR-GKW21R-01</a>	2002	3.8 (34)	7.6 (21)	11.4	9.1	n/a
<a href="#">HR-N2KK81-01</a>	2003	14.7 (34)	5.7 (21)	20.4	8.1	n/a
<a href="#">HR-XA6H86-01</a>	2004	20.1 (34)	10.0 (21)	30.1	6.9	n/a
<a href="#">HR-BQXPEC-01</a>	2101	15.3 (34)	11.2 (21)	26.4	7.4	n/a
<a href="#">HR-XH89SD-01</a>	2102	3.5 (34)	7.6 (21)	11.2	9.1	n/a
<a href="#">HR-TTJKNO-01</a>	2103	14.9 (34)	5.7 (21)	20.6	8.0	n/a
<a href="#">HR-PKBW8D-01</a>	2104	20.2 (34)	9.8 (21)	30.0	7.0	n/a
<a href="#">HR-58PHX5-01</a>	2201	15.4 (34)	11.2 (21)	26.6	7.3	n/a
<a href="#">HR-2XFB4Q-01</a>	2202	3.6 (34)	7.6 (21)	11.2	9.1	n/a

## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-UBL5MO-01</a>	2203	15.0 (34)	5.6 (21)	20.6	8.0	n/a
<a href="#">HR-VWEXZM-01</a>	2204	20.4 (34)	10.3 (21)	30.7	6.9	n/a
<a href="#">HR-3W78KU-01</a>	2301	15.6 (34)	11.1 (21)	26.7	7.3	n/a
<a href="#">HR-2J5VKU-01</a>	2302	3.7 (34)	7.6 (21)	11.3	9.1	n/a
<a href="#">HR-8B0SKH-01</a>	2303	15.2 (34)	5.6 (21)	20.8	8.0	n/a
<a href="#">HR-6PUQ1U-01</a>	2304	20.5 (34)	10.1 (21)	30.5	6.9	n/a
<a href="#">HR-NG89DP-01</a>	2401	15.6 (34)	11.3 (21)	26.8	7.3	n/a
<a href="#">HR-JWT6ZC-01</a>	2402	3.7 (34)	7.6 (21)	11.2	9.1	n/a
<a href="#">HR-LJHMFJ-01</a>	2403	15.2 (34)	5.5 (21)	20.6	8.0	n/a
<a href="#">HR-P33A6L-01</a>	2404	20.5 (34)	10.3 (21)	30.7	6.9	n/a
<a href="#">HR-BU60J4-01</a>	2501	15.6 (34)	11.2 (21)	26.9	7.3	n/a
<a href="#">HR-81H52P-01</a>	2502	3.7 (34)	7.6 (21)	11.3	9.1	n/a
<a href="#">HR-IH22EC-01</a>	2503	15.3 (34)	5.5 (21)	20.8	8.0	n/a
<a href="#">HR-5L TW5F-01</a>	2504	20.6 (34)	9.9 (21)	30.5	6.9	n/a
<a href="#">HR-L193XC-01</a>	2601	15.7 (34)	11.2 (21)	26.9	7.3	n/a
<a href="#">HR-FIXE8W-01</a>	2602	3.7 (34)	7.6 (21)	11.3	9.1	n/a
<a href="#">HR-0LD4DF-01</a>	2603	15.5 (34)	5.3 (21)	20.8	8.0	n/a
<a href="#">HR-5E8CZT-01</a>	2604	20.7 (34)	9.8 (21)	30.6	6.9	n/a
<a href="#">HR-B8MZVN-01</a>	2701	15.8 (34)	11.2 (21)	27.0	7.3	n/a
<a href="#">HR-J2AN31-01</a>	2702	3.8 (34)	7.6 (21)	11.4	9.1	n/a
<a href="#">HR-HEX2DM-01</a>	2703	15.6 (34)	5.3 (21)	20.9	8.0	n/a
<a href="#">HR-712047-01</a>	2704	20.9 (34)	9.9 (21)	30.7	6.9	n/a
<a href="#">HR-Z3ZDC7-01</a>	2801	14.9 (34)	12.6 (21)	27.6	7.2	n/a
<a href="#">HR-GXLC7X-01</a>	2802	4.0 (34)	8.3 (21)	12.3	8.9	n/a
<a href="#">HR-05N87C-01</a>	2803	14.6 (34)	5.8 (21)	20.4	8.1	n/a
<a href="#">HR-GIF8BF-01</a>	2804	21.6 (34)	10.5 (21)	32.2	6.7	n/a
<a href="#">HR-RGJ6WY-01</a>	2901	17.1 (34)	13.1 (21)	30.3	6.9	n/a
<a href="#">HR-75H537-01</a>	2902	5.0 (34)	10.3 (21)	15.2	8.6	n/a
<a href="#">HR-VOQG2O-01</a>	2903	21.7 (34)	7.4 (21)	29.1	7.1	n/a

## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-UJA1C1-01</a>	3001	17.0 (34)	14.8 (21)	31.8	6.8	n/a
<a href="#">HR-SIE6PV-01</a>	3002	5.5 (34)	11.7 (21)	17.2	8.4	n/a
<a href="#">HR-PLJ44X-01</a>	3003	21.5 (34)	8.2 (21)	29.7	7.0	n/a
<a href="#">HR-IK82JW-01</a>	301	12.2 (34)	11.7 (21)	23.9	7.6	n/a
<a href="#">HR-PS7SZE-01</a>	302	0.5 (34)	2.9 (21)	3.4	10.0	n/a
<a href="#">HR-Q2D2Q2-01</a>	303	2.6 (34)	11.1 (21)	13.7	8.8	n/a
<a href="#">HR-W8WWSK-01</a>	304	0.9 (34)	19.7 (21)	20.6	8.0	n/a
<a href="#">HR-0YU12T-01</a>	305	0.8 (34)	10.8 (21)	11.6	9.1	n/a
<a href="#">HR-DKPA46-01</a>	306	9.9 (34)	11.1 (21)	21.0	8.0	n/a
<a href="#">HR-YUXAYC-01</a>	307	4.0 (34)	5.6 (21)	9.6	9.4	n/a
<a href="#">HR-VLGSJT-01</a>	308	6.4 (34)	4.5 (21)	10.9	9.2	n/a
<a href="#">HR-AQ21CA-01</a>	309	13.4 (34)	11.9 (21)	25.3	7.4	n/a
<a href="#">HR-CRLOJ7-01</a>	3101	15.1 (34)	19.0 (21)	34.1	6.4	n/a
<a href="#">HR-SC4LM2-01</a>	3102	17.1 (34)	20.7 (21)	37.8	6.0	n/a
<a href="#">HR-XJE37P-01</a>	401	13.3 (34)	7.7 (21)	21.0	7.9	n/a
<a href="#">HR-8ZSEC1-01</a>	402	0.9 (34)	2.8 (21)	3.8	10.0	n/a
<a href="#">HR-35KVOT-01</a>	403	4.3 (34)	10.4 (21)	14.7	8.7	n/a
<a href="#">HR-7SPYJH-01</a>	404	1.4 (34)	21.1 (21)	22.5	7.8	n/a
<a href="#">HR-YC8RHQ-01</a>	405	2.0 (34)	9.1 (21)	11.0	9.2	n/a
<a href="#">HR-N572NT-01</a>	406	19.9 (34)	7.4 (21)	27.3	7.3	n/a
<a href="#">HR-K1M36T-01</a>	407	5.3 (34)	5.1 (21)	10.5	9.3	n/a
<a href="#">HR-T0MHTZ-01</a>	408	8.7 (34)	4.4 (21)	13.1	8.9	n/a
<a href="#">HR-K4LLKY-01</a>	409	23.3 (34)	12.8 (21)	36.1	6.2	n/a
<a href="#">HR-A9LD6A-01</a>	501	17.3 (34)	17.3 (21)	34.6	6.4	n/a
<a href="#">HR-07MM2I-01</a>	502	0.9 (34)	4.5 (21)	5.4	10.0	n/a
<a href="#">HR-NIQF1M-01</a>	503	5.2 (34)	10.8 (21)	16.0	8.4	n/a
<a href="#">HR-CR9ZM3-01</a>	504	1.9 (34)	18.4 (21)	20.3	8.1	n/a
<a href="#">HR-FM3T41-01</a>	505	2.3 (34)	9.2 (21)	11.5	9.1	n/a
<a href="#">HR-0BPEHD-01</a>	506	15.5 (34)	9.7 (21)	25.2	7.4	n/a



## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-VTPIG4-01</a>	507	6.4 (34)	7.5 (21)	13.9	8.8	n/a
<a href="#">HR-714HRI-01</a>	508	13.4 (34)	5.3 (21)	18.7	8.2	n/a
<a href="#">HR-16REVQ-01</a>	509	23.8 (34)	13.8 (21)	37.6	6.0	n/a
<a href="#">HR-XS5EGT-01</a>	601	17.5 (34)	10.2 (21)	27.7	7.2	n/a
<a href="#">HR-25DR2R-01</a>	602	5.5 (34)	5.3 (21)	10.8	9.2	n/a
<a href="#">HR-2DI2UL-01</a>	603	3.7 (34)	7.1 (21)	10.8	9.2	n/a
<a href="#">HR-BS7I6M-01</a>	604	6.1 (34)	7.2 (21)	13.3	8.8	n/a
<a href="#">HR-B7HF8B-01</a>	605	18.6 (34)	13.4 (21)	32.1	6.7	n/a
<a href="#">HR-NCKHB3-01</a>	606	22.3 (34)	7.5 (21)	29.9	7.0	n/a
<a href="#">HR-VW9T4Y-01</a>	607	24.4 (34)	8.4 (21)	32.8	6.6	n/a
<a href="#">HR-2WFMJ0-01</a>	701	17.1 (34)	10.3 (21)	27.4	7.3	n/a
<a href="#">HR-X6ZA03-01</a>	702	5.5 (34)	5.3 (21)	10.8	9.2	n/a
<a href="#">HR-OO8Q96-01</a>	703	3.7 (34)	8.2 (21)	11.9	9.0	n/a
<a href="#">HR-5FPIMV-01</a>	704	5.4 (34)	6.0 (21)	11.5	9.1	n/a
<a href="#">HR-CGM3RL-01</a>	705	17.7 (34)	13.5 (21)	31.1	6.9	n/a
<a href="#">HR-ADXKXK-01</a>	706	32.3 (34)	5.1 (21)	37.5	6.1	n/a
<a href="#">HR-A1RAK3-01</a>	707	23.9 (34)	9.1 (21)	33.0	6.6	n/a
<a href="#">HR-QOB82Q-01</a>	801	18.7 (34)	9.7 (21)	28.4	7.2	n/a
<a href="#">HR-RAGXNQ-01</a>	802	4.9 (34)	3.3 (21)	8.1	9.6	n/a
<a href="#">HR-X1WOCQ-01</a>	803	4.9 (34)	7.5 (21)	12.4	8.9	n/a
<a href="#">HR-J6CCLF-01</a>	804	6.3 (34)	5.3 (21)	11.7	9.1	n/a
<a href="#">HR-349PR2-01</a>	805	20.2 (34)	7.4 (21)	27.6	7.2	n/a
<a href="#">HR-BS7RBB-01</a>	806	29.9 (34)	4.5 (21)	34.4	6.4	n/a
<a href="#">HR-P7D5DC-01</a>	807	25.9 (34)	8.3 (21)	34.1	6.4	n/a
<a href="#">HR-LSRU0U-01</a>	901	19.3 (34)	9.7 (21)	29.0	7.1	n/a
<a href="#">HR-B0FBUZ-01</a>	902	4.8 (34)	3.2 (21)	8.0	9.7	n/a
<a href="#">HR-ECO4DO-01</a>	903	5.1 (34)	7.3 (21)	12.4	8.9	n/a
<a href="#">HR-4SZIOL-01</a>	904	6.5 (34)	5.2 (21)	11.8	9.0	n/a
<a href="#">HR-333G7Z-01</a>	905	20.1 (34)	7.6 (21)	27.7	7.2	n/a



## Summary of all dwellings

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<a href="#">HR-IO4B9M-01</a>	906	28.9 (34)	4.4 (21)	33.3	6.6	n/a
<a href="#">HR-W6Y0Q0-01</a>	907	26.1 (34)	8.3 (21)	34.4	6.4	n/a
Averages	150x (Total)	13.0	8.7	21.7	7.9	n/a
Maximum Loads and Minimum Ratings		32.3	21.1	37.8	6.0	n/a

## Explanatory notes

### About the ratings

The thermal performance star rating in this Certificate is the average rating of all NCC Class 2 dwellings in an apartment block. The Whole of Home performance rating in this Certificate is the lowest rating for the apartment block. Individual unit ratings are listed in the ‘Summary of all dwellings’ section of this Certificate.

NatHERS ratings use computer modelling to evaluate a home’s energy efficiency and performance. They use localised climate data and standard assumptions on how people use their home to predict the energy loads and societal cost. The thermal performance star rating uses the home’s building specifications, layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings) to predict the heating and cooling energy loads. The Whole of Home performance rating uses information about the home’s appliances and onsite energy production and storage to estimate the homes societal cost. For more details about an individual dwelling’s assessment, refer to the individual dwelling’s NatHERS Certificate (accessible via link).

### Accredited Assessors

For high quality NatHERS Certificates, always use an accredited or licenced assessor registered with an Assessor Accrediting Organisation (AAO). AAOs have strict quality assurance processes, and professional development requirements ensuring consistently high standards for assessments.

Non-accredited assessors (Raters) have no ongoing training requirements and are not quality assured.

Licensed assessors in the Australian Capital Territory (ACT) can produce assessments for regulatory purposes only, using endorsed software, as listed on the ACT licensing register.

Any queries about this report should be directed to the assessor. If the assessor is unable to address questions or concerns, contact the AAO specified on the front of this certificate.

### Disclaimer

The NatHERS Certificate format is developed by the NatHERS Administrator. However, the content in certificates is entered by the assessor. It is the assessor’s responsibility to use NatHERS accredited software correctly and follow the NatHERS Technical Note to produce a NatHERS Certificate.

The predicted annual energy use, cost and greenhouse gas emissions in this NatHERS Certificate are an estimate based on an assessment of the dwelling’s design by the assessor. It is not a prediction of actual energy use, cost or emissions. The information and ratings may be used to compare how other dwellings are likely to perform when used in a similar way.

Information presented in this report relies on a range of standard assumptions (both embedded in NatHERS accredited software and made by the assessor who prepared this report), including assumptions about occupancy, behaviour, appliance performance, indoor air temperature and local climate.

Not all assumptions made by the assessor while using the NatHERS accredited software tool are presented in this report and further details or data files may be available from the assessor.

# BASIX<sup>®</sup>Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

## Multi Dwelling

Certificate number: 1771293M\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary

Date of issue: Friday, 08 November 2024

To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project summary		
Project name	57-61 Archer Street, Chatswood_02	
Street address	57-61 ARCHER STREET CHATSWOOD 2067	
Local Government Area	WILLOUGHBY	
Plan type and plan number	Strata Plan 81015	
Lot No.	CP	
Section no.	-	
No. of residential flat buildings	1	
Residential flat buildings: no. of dwellings	150	
Multi-dwelling housing: no. of dwellings	0	
No. of single dwelling houses	0	
Project score		
Water	✔ 40	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 64	Target 63
Materials	✔ -56	Target n/a

Certificate Prepared by
Name / Company Name: Efficient Living Pty Ltd
ABN (if applicable): 82116346082

# Description of project

## Project address

Project name	57-61 Archer Street, Chatswood_02
Street address	57-61 ARCHER STREET CHATSWOOD 2067
Local Government Area	WILLOUGHBY
Plan type and plan number	Strata Plan 81015
Lot No.	CP
Section no.	-

## Project type

No. of residential flat buildings	1
Residential flat buildings: no. of dwellings	150
Multi-dwelling housing: no. of dwellings	0
No. of single dwelling houses	0

## Site details

Site area (m <sup>2</sup> )	2645
Roof area (m <sup>2</sup> )	480
Non-residential floor area (m <sup>2</sup> )	2082
Residential car spaces	157
Non-residential car spaces	12





## Common area landscape

Common area lawn (m <sup>2</sup> )	98
Common area garden (m <sup>2</sup> )	940
Area of indigenous or low water use species (m <sup>2</sup> )	658

## Assessor details and thermal loads

Assessor number	HERA10213
Certificate number	HR-HJPY34-01
Climate zone	56

## Project score

Water	 40	Target 40
Thermal Performance	 Pass	Target Pass
Energy	 64	Target 63
Materials	 -56	Target n/a

## Description of project

The tables below describe the dwellings and common areas within the project

### Residential flat buildings - Building1, 150 dwellings, 32 storeys above ground

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
10.01	1	60.7	0	1.31	0
10.05	2	75	0	3.82	0
11.02	3	135	0	2.78	0
12.01	2	86.4	0	2.93	0
12.05	2	83.4	0	1.16	0
13.04	3	126.1	0	3.62	0
14.03	1	56.4	0	4.1	0
15.02	3	135	0	2.78	0
16.01	2	86.4	0	2.93	0
16.05	2	83.4	0	1.16	0
17.04	1	65.1	0	3.49	0
18.04	3	126.1	0	3.62	0
19.03	1	56.4	0	4.1	0
20.02	4+	192.5	0	6.87	0
21.02	4+	192.5	0	6.87	0
22.02	4+	192.5	0	6.87	0
23.02	4+	192.5	0	6.87	0
24.02	4+	192.5	0	6.87	0
25.02	4+	192.5	0	6.87	0
26.02	4+	192.5	0	6.87	0
27.02	4+	192.5	0	6.87	0
10.02	1	56.4	0	1.77	0
10.06	1	54	0	0.66	0
11.03	1	56.4	0	4.1	0
12.02	3	135	0	2.78	0
13.01	2	86.4	0	2.93	0
13.05	2	83.4	0	1.16	0
14.04	3	126.1	0	3.62	0
15.03	1	56.4	0	4.1	0
16.02	3	135	0	2.78	0
17.01	2	86.4	0	2.98	0
18.01	2	86.4	0	2.93	0
18.05	2	83.4	0	1.16	0
19.04	3	126.1	0	3.62	0
20.03	3	126.1	0	3.62	0
21.03	3	126.1	0	3.62	0
22.03	3	126.1	0	3.62	0
23.03	3	126.1	0	3.62	0
24.03	3	126.1	0	3.62	0
25.03	3	126.1	0	3.62	0
26.03	3	126.1	0	3.62	0
27.03	3	126.1	0	3.62	0
10.03	2	82.6	0	2.55	0
10.07	1	56	0	1.87	0
11.04	3	126.1	0	3.62	0
12.03	1	56.4	0	4.1	0
13.02	3	135	0	2.78	0
14.01	2	86.4	0	2.93	0
14.05	2	83.4	0	1.16	0
15.04	3	126.1	0	3.62	0
16.03	1	56.4	0	4.1	0
17.02	3	135	0	3.09	0
18.02	3	135	0	2.78	0
19.01	2	86.4	0	2.93	0
19.05	2	83.4	0	1.16	0
20.04	2	83.4	0	1.2	0
21.04	2	83.4	0	1.2	0
22.04	2	83.4	0	1.2	0
23.04	2	83.4	0	1.2	0
24.04	2	83.4	0	1.2	0
25.04	2	83.4	0	1.2	0
26.04	2	83.4	0	1.2	0
27.04	2	83.4	0	1.2	0
10.04	1	57.5	0	4.57	0
11.01	2	86.4	0	2.93	0
11.05	2	83.4	0	1.16	0
12.04	3	126.1	0	3.62	0
13.03	1	56.4	0	4.1	0
14.02	3	135	0	2.78	0
15.01	2	86.4	0	2.93	0
15.05	2	83.4	0	1.16	0
16.04	3	126.1	0	3.62	0
17.03	1	56.4	0	4.05	0
18.03	1	56.4	0	4.1	0
19.02	3	135	0	2.78	0
20.01	2	86.4	0	2.96	0
21.01	2	86.4	0	2.96	0
22.01	2	86.4	0	2.96	0
23.01	2	86.4	0	2.96	0
24.01	2	86.4	0	2.96	0
25.01	2	86.4	0	2.96	0
26.01	2	86.4	0	2.96	0
27.01	2	86.4	0	2.96	0
28.01	2	86.4	0	2.96	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
28.02	4+	192.5	0	6.87	0
29.02	3	177.3	0	11.28	0
3.03	1	67.6	0	26.39	0
3.07	1	39.7	0	14.35	0
30.02	3	177.3	0	11.28	0
4.01	1	66.1	0	2.73	0
4.05	1	50.5	0	0.74	0
4.09	1	57.4	0	1.17	0
5.04	1	50.3	0	1.28	0
5.08	1	44	0	1.51	0
6.03	2	82.6	0	10.31	0
6.07	1	56	0	8.38	0
7.04	1	57.5	0	4.55	0
8.01	1	60.7	0	1.31	0
8.05	2	75	0	3.82	0
9.02	1	56.4	0	1.77	0
9.06	1	54	0	0.66	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
28.03	3	126.1	0	3.62	0
29.03	3	170.4	0	6.87	0
3.04	1	50.3	0	1.83	0
3.08	1	44	0	13.62	0
30.03	3	170.4	0	6.87	0
4.02	1	62.3	0	3.79	0
4.06	1	54.9	0	5.48	0
5.01	1	66.1	0	1.22	0
5.05	1	50.5	0	1.96	0
5.09	1	57.4	0	7.76	0
6.04	1	57.5	0	5.2	0
7.01	1	60.7	0	1.31	0
7.05	1	62.4	0	3.85	0
8.02	1	56.4	0	1.77	0
8.06	1	54	0	0.66	0
9.03	2	82.6	0	2.55	0
9.07	1	56	0	1.87	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
28.04	2	83.4	0	1.2	0
3.01	1	66.1	0	1.17	0
3.05	1	50.5	0	7.46	0
3.09	1	57.4	0	38.12	0
31.01	3	224.1	0	58.34	0
4.03	1	67.6	0	6.22	0
4.07	1	39.7	0	1.73	0
5.02	1	62.3	0	3.56	0
5.06	1	54.9	0	6.7	0
6.01	1	60.7	0	7.47	0
6.05	1	62.4	0	4.24	0
7.02	1	51.9	0	0	0
7.06	1	56.7	0	0.7	0
8.03	2	82.6	0	2.55	0
8.07	1	56	0	1.87	0
9.04	1	57.5	0	4.57	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
29.01	3	180.7	0	12.84	0
3.02	1	62.3	0	1.81	0
3.06	1	54.9	0	73.75	0
30.01	3	180.7	0	12.84	0
31.02	3	199.6	0	56.75	0
4.04	1	50.3	0	0.74	0
4.08	1	44	0	0.74	0
5.03	1	67.6	0	5.95	0
5.07	1	39.7	0	1.73	0
6.02	1	51.9	0	11.77	0
6.06	1	56.8	0	11.08	0
7.03	2	82.6	0	2.6	0
7.07	1	56	0	1.84	0
8.04	1	57.5	0	4.57	0
9.01	1	60.7	0	1.31	0
9.05	2	75	0	3.82	0

## Description of project

The tables below describe the dwellings and common areas within the project

### Common areas of unit building - Building1

Common area	Floor area (m <sup>2</sup> )
Lift bank (No. 1)	-
Nat Vent Community room	11
Mec Vent Plant or service room	287
Nat Vent Storage/Post/FCR	49
Underground Lobby	79

Common area	Floor area (m <sup>2</sup> )
Undercover car park area	7129
Community room	164
Shared WC	6.75
Ground floor lobby type	51

Common area	Floor area (m <sup>2</sup> )
Garbage room	182
Nat Vent Plant or service room	372
Storage	410
Upper Floor Lobby	1086

# Schedule of BASIX commitments

## 1. Commitments for Residential flat buildings - Building1

### (a) Buildings

#### (i) Materials

### (b) Dwellings

#### (i) Water

#### (ii) Energy

#### (iii) Thermal Performance

### (c) Common areas and central systems/facilities

#### (i) Water

#### (ii) Energy

## 2. Commitments for multi-dwelling housing

### (a) Dwellings

#### (i) Water

#### (ii) Energy

#### (iii) Thermal Performance and Materials

## 3. Commitments for single dwelling houses

### (a) Dwellings

#### (i) Water

#### (ii) Energy

#### (iii) Thermal Performance and Materials

## 4. Commitments for common areas and central systems/facilities for the development (non-building specific)

### (b) Common areas and central systems/facilities

#### (i) Water

#### (ii) Energy

## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

### 1. Commitments for Residential flat buildings - Building1

#### (a) Buildings

(i) Materials	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Floor types", "External wall types", "Internal wall types", "Ceiling and roof types", "Frames" and "Glazing" tables below.			✓
(b) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all specifications included in the tables below.		✓	
(c) The applicant must construct the floors, walls, roof, ceiling and roof, windows, glazed doors and skylights of the development in accordance with the specifications listed in the tables below. In the case of glazing, a 5% variance from the area values listed in the "Frames" and "Glazing" tables is permitted.	✓	✓	✓
(d) The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the below tables.			✓

#### Floor types

Floor type	Area (m2)	Insulation	Low emissions option
floors above habitable rooms, frame: suspended concrete slab	13666	-	-
suspended floor above open subfloor, frame: suspended concrete slab	111	-	-
garage floor, frame: concrete slab on ground	1600	-	-
garage floor, frame: suspended concrete slab	6400	-	none
suspended floor above garage, frame: suspended concrete slab	810	-	-
suspended floor above open subfloor, frame: suspended concrete slab	4060	-	-

### External wall types

External wall type	Construction type	Area (m2)	Low emissions option	Insulation
External wall type 1	framed (fibre cement sheet or boards),frame:light steel frame	8028	-	-
External wall type 2	off form concrete,frame:no frame	1235	none	-

### Internal wall types

Internal wall type	Construction type	Area (m2)	Insulation
Internal wall type 1	plasterboard, frame:light steel frame	11214	-
Internal wall type 2	75 mm AAC panel, frame:light steel frame	3942	-

### Reinforcement concrete frames/columns

Building has reinforced concrete frame/columns?	Volume (m³)	Low emissions option
yes	340	-

### Ceiling and roof types

Ceiling and roof type	Area (m²)	Roof Insulation	Ceiling Insulation
concrete - plasterboard internal, frame: no frame	451	-	-

### Glazing types

### Frame types

Single glazing (m²)	Double glazing (m²)	Triple glazing (m²)	Aluminium frames (m²)	Timber frames (m²)	uPVC frames (m²)	Steel frames (m²)	Composite frames (m²)
-	4422	-	4422	-	-	-	-

**(b) Dwellings**

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✔	✔	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✔	✔
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✔	✔
(e) The applicant must install:  (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and  (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✔  ✔	✔  ✔
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✔	✔	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✔	
(g) The pool or spa must be located as specified in the table.	✔	✔	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✔	✔	✔

Dwelling no.	Fixtures					Appliances		Individual pool				Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
19.02, 19.03	4 star (> 6 but <= 7.5 L/min)	4 star	6 star	6 star	-	not specified	4 star	-	-	-	-	7.5	yes	no

Dwelling no.	Fixtures					Appliances		Individual pool				Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All other dwellings	4 star (> 6 but <= 7.5 L/min)	4 star	6 star	6 star	-	not specified	4 star	-	-	-	-	-	-	-

Dwelling no.	Alternative water source							
	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
All dwellings	No alternative water supply	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓

<b>(ii) Energy</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓ ✓ ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	

	<b>Hot water</b>	<b>Bathroom ventilation system</b>		<b>Kitchen ventilation system</b>		<b>Laundry ventilation system</b>	
<b>Dwelling no.</b>	<b>Hot water system</b>	<b>Each bathroom</b>	<b>Operation control</b>	<b>Each kitchen</b>	<b>Operation control</b>	<b>Each laundry</b>	<b>Operation control</b>
All dwellings	Central hot water system (No. 1)	individual fan, ducted to façade or roof	interlocked to light with timer off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	interlocked to light

	<b>Cooling</b>		<b>Heating</b>		<b>Natural lighting</b>	
<b>Dwelling no.</b>	<b>living areas</b>	<b>bedroom areas</b>	<b>living areas</b>	<b>bedroom areas</b>	<b>No. of bathrooms or toilets</b>	<b>Main kitchen</b>
All dwellings	Central cooling system (No. 1)	Central cooling system (No. 1)	Central heating system (No. 1)	Central heating system (No. 1)	0	no

Dwelling no.	Individual pool			Individual spa		Appliances other efficiency measures				
	Pool heating system	Pool Pump	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Dishwasher	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
19.02, 19.03	-	-	-	electric heat pump	yes	gas cooktop & electric oven	4 star	2 star	-	-
All other dwellings	-	-	-	-	-	gas cooktop & electric oven	4 star	2 star	-	-

(iii) Thermal Performance	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must:  (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or  (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

<b>(iii) Thermal Performance</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(i) The applicant must show on The plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.	✔		
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		✔	

<b>Thermal loads</b>			
<b>Dwelling no.</b>	<b>Area adjusted heating load (in MJ/m<sup>2</sup>/yr)</b>	<b>Area adjusted cooling load (in MJ/m<sup>2</sup>/yr)</b>	<b>Area adjusted total load (in MJ/m<sup>2</sup>/yr)</b>
10.01	19.5	9.6	29.100
10.02	4.9	3.4	8.300
10.03	5.2	7.4	12.600
10.04	6.7	5.2	11.900
10.05	20.9	7.7	28.600
10.06	29	4.5	33.500
10.07	26.3	8.2	34.500
11.01	13.5	10.8	24.300
11.02	2.1	7.5	9.600
11.03	4.9	11.4	16.300
11.04	16.8	4.8	21.600
11.05	28.8	8.1	36.900
12.01	13.6	10.8	24.400
12.02	2	7.5	9.500
12.03	5	11.4	16.400
12.04	16.5	4.7	21.200
12.05	28.5	8.1	36.600
13.01	13.8	10.8	24.600
13.02	2	7.2	9.200
13.03	5	11.2	16.200
13.04	16.7	5	21.700
13.05	28.6	7.4	36.000
14.01	13.8	10.6	24.400
14.02	2.1	7.7	9.800

Dwelling no.	Thermal loads		
	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
14.03	5.3	11.4	16.700
14.04	16.9	4.7	21.600
14.05	28.8	8	36.800
15.01	14	10.4	24.400
15.03	5.4	11.3	16.700
15.04	17.1	4.7	21.800
15.05	29	8	37.000
16.01	14.5	10.4	24.900
16.02	2.3	7.9	10.200
16.03	5.5	11.5	17.000
16.04	17.2	4.7	21.900
16.05	28.8	7.6	36.400
17.01	17.8	9	26.800
17.02	2.9	7.5	10.400
17.03	8.4	5.2	13.600
17.04	22.3	6.4	28.700
18.01	14.4	10.4	24.800
18.03	5.6	11	16.600
18.04	17.6	4.6	22.200
18.05	28.7	8.2	36.900
19.01	14.1	10.4	24.500
19.02	2.1	7.4	9.500
19.03	5.2	10.5	15.700
19.04	17.3	4.5	21.800
19.05	29.2	7.6	36.800
20.01	15.2	11.3	26.500
20.03	14.7	5.7	20.400
20.04	20.1	10	30.100
21.01	15.3	11.2	26.500
21.02	3.5	7.6	11.100
21.03	14.9	5.7	20.600

Dwelling no.	Thermal loads		
	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
21.04	20.2	9.8	30.000
22.01	15.4	11.2	26.600
22.02	3.6	7.6	11.200
22.03	15	5.6	20.600
22.04	20.4	10.3	30.700
23.01	15.6	11.1	26.700
23.03	15.2	5.6	20.800
23.04	20.5	10.1	30.600
24.01	15.6	11.3	26.900
24.03	15.2	5.5	20.700
24.04	20.5	10.3	30.800
25.01	15.6	11.2	26.800
25.03	15.3	5.5	20.800
25.04	20.6	9.9	30.500
26.01	15.7	11.2	26.900
26.03	15.5	5.3	20.800
26.04	20.7	9.8	30.500
27.01	15.8	11.2	27.000
27.03	15.6	5.3	20.900
27.04	20.9	9.9	30.800
28.01	14.9	12.6	27.500
28.02	4	8.30	12.300
28.03	14.6	5.8	20.400
28.04	21.6	10.5	32.100
29.01	17.1	13.1	30.200
29.02	5	10.3	15.300
29.03	21.7	7.4	29.100
3.01	12.2	11.7	23.900
3.02	0.5	2.9	3.400
3.03	2.6	11.1	13.700
3.04	0.9	19.7	20.600

Dwelling no.	Thermal loads		
	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
3.05	0.8	10.8	11.600
3.06	9.9	11.1	21.000
3.07	4	5.6	9.600
3.08	6.4	4.5	10.900
3.09	13.4	11.9	25.300
30.01	17	14.8	31.800
30.02	5.5	11.7	17.200
30.03	21.5	8.2	29.700
31.01	15.1	19	34.100
31.02	17.1	20.7	37.800
4.01	13.3	7.7	21.000
4.02	0.9	2.8	3.700
4.03	4.3	10.4	14.700
4.04	1.4	21.1	22.500
4.05	2	9.1	11.100
4.06	19.9	7.4	27.300
4.07	5.3	5.1	10.400
4.08	8.7	4.4	13.100
4.09	23.3	12.8	36.100
5.01	17.3	17.3	34.600
5.02	0.9	4.5	5.400
5.03	5.2	10.8	16.000
5.04	1.9	18.4	20.300
5.05	2.3	9.2	11.500
5.06	15.5	9.7	25.200
5.07	6.4	7.5	13.900
5.08	13.4	5.3	18.700
5.09	23.8	13.8	37.600
6.01	17.5	10.2	27.700
6.03	3.7	7.1	10.800
6.04	6.1	7.2	13.300

	Thermal loads		
Dwelling no.	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
6.05	18.6	13.4	32.000
6.06	22.3	7.5	29.800
6.07	24.4	8.4	32.800
7.01	17.1	10.3	27.400
7.03	3.7	8.2	11.900
7.04	5.4	6	11.400
7.05	17.7	13.5	31.200
7.06	32.3	5.1	37.400
7.07	23.9	9.1	33.000
8.01	18.7	9.7	28.400
8.02	4.9	3.3	8.200
8.03	4.9	7.5	12.400
8.04	6.3	5.3	11.600
8.05	20.2	7.4	27.600
8.06	29.9	4.5	34.400
8.07	25.9	8.3	34.200
9.01	19.3	9.7	29.000
9.02	4.8	3.2	8.000
9.03	5.1	7.3	12.400
9.04	6.5	5.2	11.700
9.05	20.1	7.6	27.700
9.06	28.9	4.4	33.300
9.07	26.1	8.3	34.400
15.02, 18.02	2.2	7.7	9.900
20.02, 27.02	3.8	7.6	11.400
6.02, 7.02	5.5	5.3	10.800
All other dwellings	3.7	7.6	11.300

**(c) Common areas and central systems/facilities**

<b>(i) Water</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

<b>Common area</b>	<b>Showerheads rating</b>	<b>Toilets rating</b>	<b>Taps rating</b>	<b>Clothes washers rating</b>
All common areas	no common facility	4 star	5 star	5 star

<b>Central systems</b>	<b>Size</b>	<b>Configuration</b>	<b>Connection (to allow for...)</b>
Fire sprinkler system (No. 1)	-	So that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed.	-
Fire sprinkler system (No. 2)	-	So that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed.	-

<b>(ii) Energy</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓

<b>(ii) Energy</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✔	✔	✔

Common area	Common area ventilation system		Common area lighting		
	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/ BMS
Lift bank (No. 1)	-	-	light-emitting diode	connected to lift call button	no
Undercover car park area	ventilation (supply + exhaust)	carbon monoxide monitor + VSD fan	light-emitting diode	zoned switching with motion sensor	no
Garbage room	ventilation exhaust only	-	light-emitting diode	motion sensors	no
Nat Vent Community room	no mechanical ventilation	-	light-emitting diode	motion sensors	no
Community room	ventilation supply only	time clock or BMS controlled	light-emitting diode	manual on / timer off	no
Nat Vent Plant or service room	no mechanical ventilation	-	light-emitting diode	manual on / manual off	no
Mec Vent Plant or service room	ventilation (supply + exhaust)	thermostatically controlled	light-emitting diode	manual on / manual off	no
Shared WC	ventilation exhaust only	interlocked to light	light-emitting diode	manual on / manual off	no
Storage	no mechanical ventilation	-	light-emitting diode	manual on / manual off	no
Nat Vent Storage/Post/FCR	no mechanical ventilation	-	light-emitting diode	manual on / manual off	no
Ground floor lobby type	air conditioning system	time clock or BMS controlled	light-emitting diode	daylight sensor and motion sensor	no
Upper Floor Lobby	ventilation supply only	time clock or BMS controlled	light-emitting diode	motion sensors	no
Underground Lobby	ventilation supply only	time clock or BMS controlled	light-emitting diode	motion sensors	no

Central energy systems	Type	Specification
Lift bank (No. 1)	gearless traction with V V V F motor	Number of levels (including basement): 29 number of levels from the bottom of the lift shaft to the top of the lift shaft: 37 number of lifts: 3 lift load capacity: >= 1001 kg but <= 1500kg
Central hot water system (No. 1)	gas-fired boiler	Piping insulation (ringmain & supply risers): (a) Piping external to building: R0.6 (~25 mm); (b) Piping internal to building: R0.6 (~25 mm)

Central energy systems	Type	Specification
Central cooling system (No. 1)	variable refrigerant volume units	Energy source: electric driven compressor Heat rejection method: air cooled condenser Unit efficiency (min): medium – COP 3.5 – 5.5
Central heating system (No. 1)	variable refrigerant volume units	Energy source: electric driven compressor + air sourced evaporator Unit efficiency medium – COP 3.5 – 5.5

## 2. Commitments for multi-dwelling housing

### (a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: <ul style="list-style-type: none"> <li>(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and</li> <li>(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.</li> </ul>		✓ ✓	✓ ✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓
(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓

<b>(ii) Energy</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must:  (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and  (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓  ✓	
(h) The applicant must install in the dwelling:  (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below;  (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and  (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓  ✓  ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	
<b>(iii) Thermal Performance and Materials</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			

<b>(iii) Thermal Performance and Materials</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✔		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✔	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
(g) Where there is an in-slab heating or cooling system, the applicant must:  (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✔	✔	✔
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✔	✔	✔
(i) The applicant must show on The plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.	✔		
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		✔	

### 3. Commitments for single dwelling houses

#### (a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓ ✓	✓ ✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓
(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓

<b>(ii) Energy</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must:  (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and  (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓  ✓	
(h) The applicant must install in the dwelling:  (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below;  (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and  (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓  ✓  ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	
<b>(iii) Thermal Performance and Materials</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			

<b>(iii) Thermal Performance and Materials</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✔		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✔	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
(g) Where there is an in-slab heating or cooling system, the applicant must:  (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✔	✔	✔
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✔	✔	✔
(i) The applicant must show on The plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.	✔		
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		✔	

#### 4. Commitments for common areas and central systems/facilities for the development (non-building specific)

##### (b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	4 star	5 star	5 star

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Central energy systems	Type	Specification
Alternative energy supply	Photovoltaic system	Rated electrical output (min): 25 peak kW
Other	-	-

## Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

## Legend

1. Commitments identified with a "✔" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✔" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✔" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

# ARCHER & ALBERT

Drawing Number	Sheet Title
----------------	-------------

DEVELOPMENT APPLICATION  
 DA-1000 COVER SHEET : DRAWING LIST  
 DA-1101 LOCATION PLAN :  
 DA-1102 SITE PLAN :  
 DA-1201 SHADOW DIAGRAMS - JUNE 21ST : WINTER SOLSTICE  
 DA-1202 SUNS EYE VIEWS - JUNE 21ST : WINTER SOLSTICE

DA-2201 BASEMENT 5 :  
 DA-2202 BASEMENT 4 :  
 DA-2203 BASEMENT 3 :  
 DA-2204 BASEMENT 2 :  
 DA-2205 BASEMENT 1 :  
 DA-2210 GROUND FLOOR PLAN :  
 DA-2211 LEVEL 1 :  
 DA-2212 LEVEL 2 :  
 DA-2213 LEVEL 3 : AFFORDABLE HOUSING  
 DA-2214 LEVEL 4 : AFFORDABLE HOUSING  
 DA-2215 LEVEL 5 : AFFORDABLE HOUSING  
 DA-2216 LEVEL 6 : AFFORDABLE HOUSING  
 DA-2217 LEVEL 7 : AFFORDABLE HOUSING  
 DA-2218 LEVEL 8-10 : LOW-RISE  
 DA-2219 LEVEL 11-16 & 18 - 19 : MID-RISE  
 DA-2220 LEVEL 17 : MID-RISE  
 DA-2221 LEVEL 20-28 : HIGH-RISE  
 DA-2222 LEVEL 29-30 : SUB-PENTHOUSE  
 DA-2223 LEVEL 31 : PENTHOUSE  
 DA-2224 ROOF PLAN :

DA-3201 ELEVATION 01 :  
 DA-3202 ELEVATION 02 :  
 DA-3301 SECTION 01 :  
 DA-3302 SECTION 02 :

DA-4201 POST ADAPTIVE LAYOUT - 1BED TYPE T1 :  
 DA-4202 POST ADAPTIVE LAYOUT - 2BED TYPE T1 :  
 DA-4203 POST ADAPTIVE LAYOUT - 2BED TYPE T2 :  
 DA-4204 POST ADAPTIVE LAYOUT - 3BED TYPE T1 :  
 DA-4205 POST ADAPTIVE LAYOUT - 3BED TYPE T2 :

DA-6001 LANDSCAPING AREA :

DA-8001 ADG - CROSS VENT & SOLAR ACCESS :  
 DA-8002 ADG - STORAGE 1 :  
 DA-8003 ADG - STORAGE 2 :  
 DA-8201 GFA AREA SCHEDULE :

#### NatHERS Thermal Comfort Inclusions

Glazing Doors / Windows  
 Group A – awning + bifold + casement windows + hinged glazed doors  
 U-value: 4.10 (equal to or lower than) SHGC: 0.47 (±5%)  
 Group B – sliding doors/windows + fixed glazing + louvred windows  
 U-value: 4.10 (equal to or lower than) SHGC: 0.52 (±5%)

Glazing upgrade 1  
 Group A – awning + bifold + casement windows + hinged glazed doors  
 U-value: 2.60 (equal to or lower than) SHGC: 0.50 (±5%)  
 Group B – sliding doors/windows + fixed glazing + louvred windows  
 U-value: 2.60 (equal to or lower than) SHGC: 0.53 (±5%)

Glazing upgrade 2  
 Group A – awning + bifold + casement windows + hinged glazed doors  
 U-value: 2.24 (equal to or lower than) SHGC: 0.51 (±5%)  
 Group B – sliding doors/windows + fixed glazing + louvred windows  
 U-value: 2.16 (equal to or lower than) SHGC: 0.52 (±5%)

Skylights  
 U-value: 4.22 (equal to or lower than) SHGC: 0.72 (±5%)  
 Given values are AFRC total window system values (glass and frame)  
 Window Frame Colour  
 Dark (SA > 0.7)

Roof and Ceiling  
 200mm Concrete plasterboard ceiling with R2.0 insulation (insulation only value) to the soffit of concrete where balconies are above  
 200mm Concrete plasterboard ceiling with R3.5 insulation (insulation only value) to the soffit of concrete where roof is over  
 200mm Concrete plasterboard ceiling, no insulation where neighbouring units are above  
 Upgrade R6.0 ceiling insulation to apartments 31.01 and 31.02  
 External Colour  
 Light (SA < 0.475)

Ceiling Penetrations  
 Sealed LED downlights at a maximum of one every 2.5m<sup>2</sup>

Ceiling Fans  
 1200mm ceiling fans to living areas

External Wall  
 Lightweight cladding with metal frame R2.0 insulation (insulation only value) and plasterboard-lined  
 250mm Precast concrete panels with metal frame R2.0 insulation (insulation only value) and plasterboard-lined  
 Any concrete columns within the external wall envelope are assumed to have the same R2.0 insulation  
 Upgrade R2.7 external wall insulation throughout to apartments 31.01 and 31.02  
 External Colour  
 Medium (0.475 < SA < 0.7)

Inter-tenancy Walls  
 75mm Hebel Power Panel party wall, with R1.0 insulation to one side and plasterboard lined to common halls, services and neighbours.  
 Minimum 150mm concrete with furring channel and plasterboard lining to all walls adjacent to lift shafts and fire stairs. No insulation required

Walls within Dwellings  
 Plasterboard on metal studs – no insulation

Floors  
 200mm Concrete with a minimum R1.2 insulation (insulation only value) required to units with basement carpark below  
 200mm Concrete with a minimum R2.0 insulation where part open subfloor is below  
 200mm Concrete between levels, no insulation required

Floor Coverings  
 Carpet to bedrooms and study, tiles elsewhere

External Shading  
 Shading as per stamped documentation



Recent revision history			
#	Status	Description	Date
1		ISSUE FOR DA	19/12/23
2		FOR SSDA	25/09/24

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**CERTIFICATE**  
 Certificate No. #HR-HJPY34-01  
 Assessors: Haynes Edwards  
 Accreditation No. HE RA 10218  
 Property Address: 57-61 Archer Street, Chadwood, NSW 2067  
 http://www.hercosoftware.com.au/pdf/HR-HJPY34-01

Project  
**ARCHER & ALBERT**

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**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

Project number	Size check		
121876	25mm		
Checked	Approved	Sheet size	Scale
-	-	A1	

Sheet title  
**DRAWING LIST  
 COVER SHEET**

Sheet number	Revision
<b>DA-1000</b>	<b>2</b>
Status	FOR DEVELOPMENT APPLICATION



#	Revision history	Date
1	ISSUE FOR DA	19/12/23
2	FOR SSDA	25/09/24

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Certificate No. #HR-HJPY34-01  
 Scan QR code or follow website link for rating details.  
 Assessor name: Hayley Edwards  
 Accreditation No.: HERA 10215  
 Property Address: 57-61 Archer Street, Chislewood, 5039W, 2027  
 http://www.hercosoftware.com.au/pdfs/HR-HJPY34-01



Project  
**ARCHER & ALBERT**

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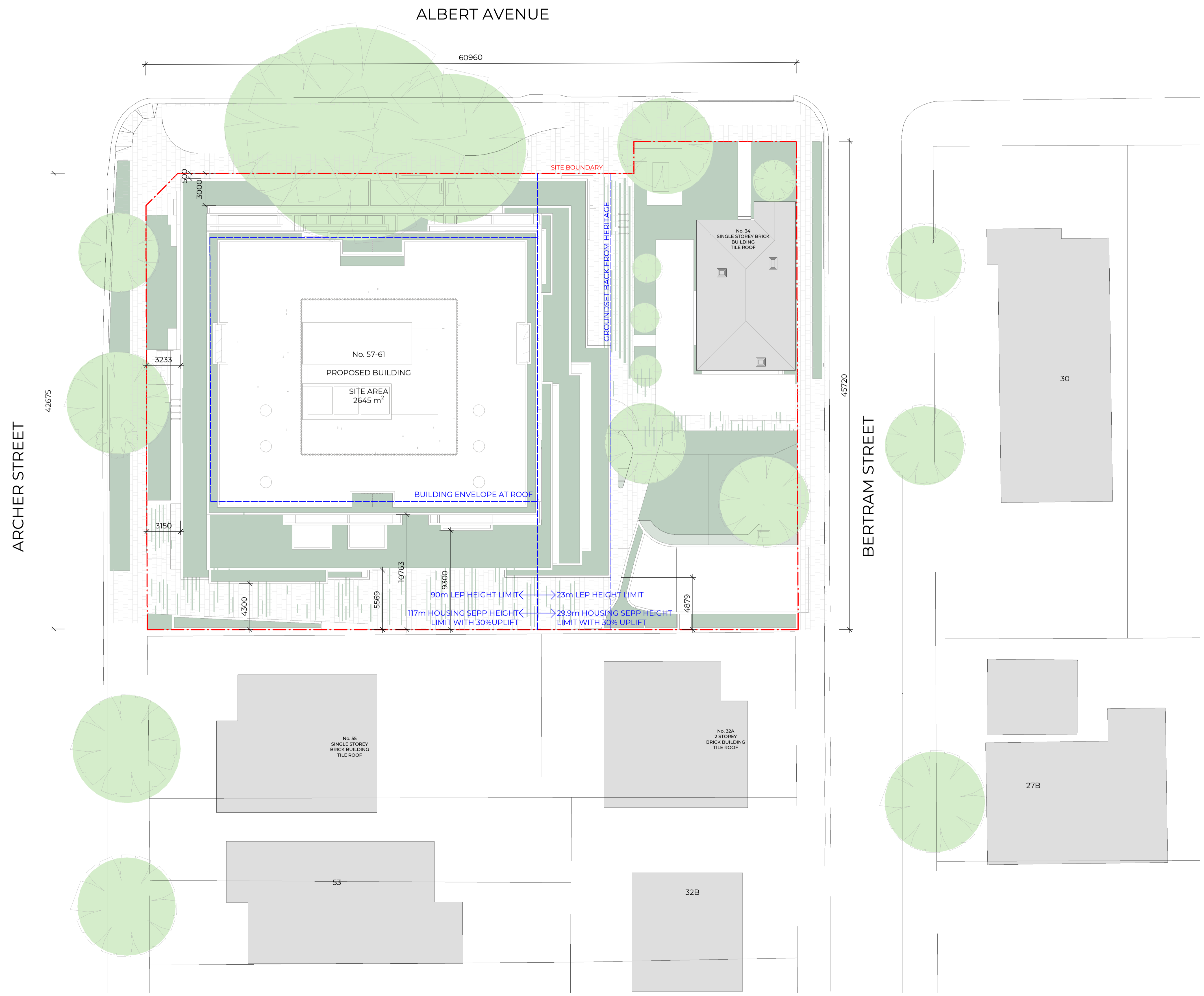
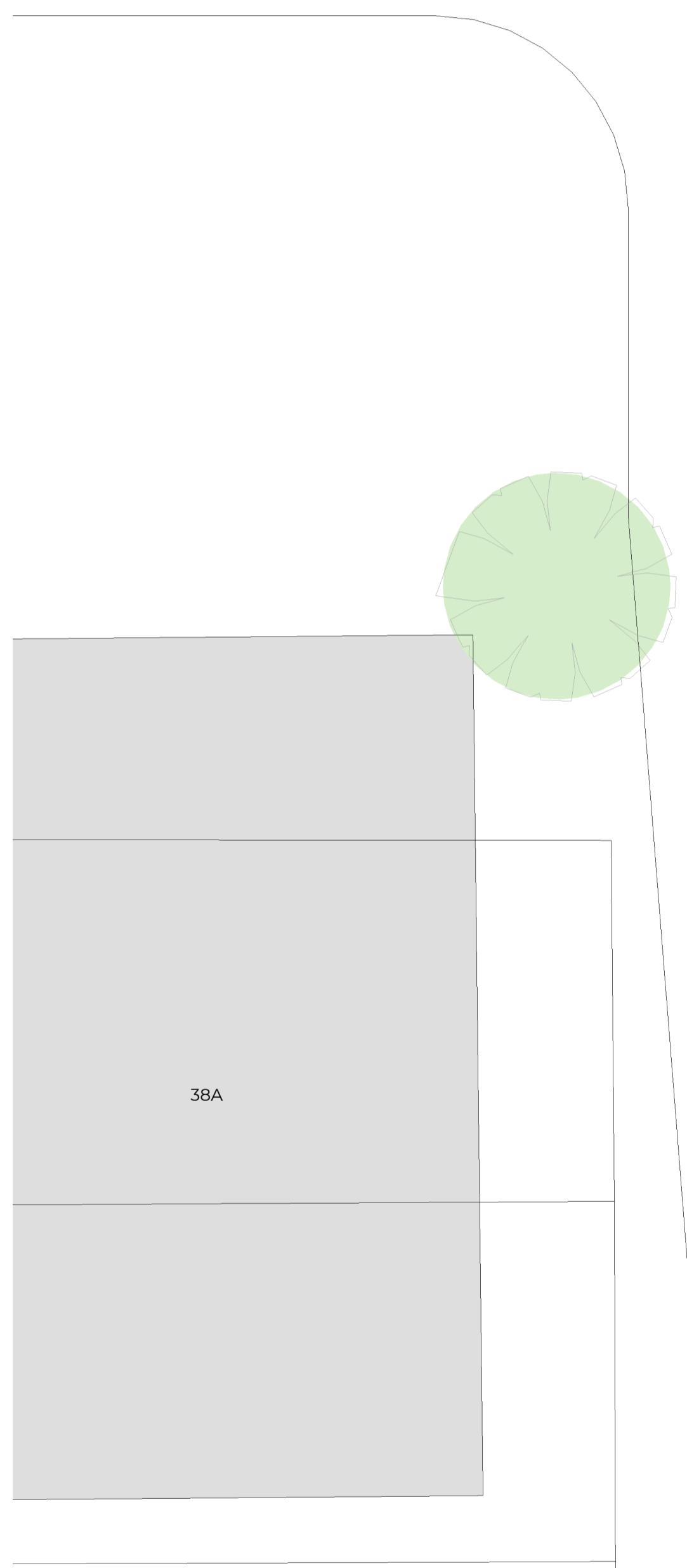
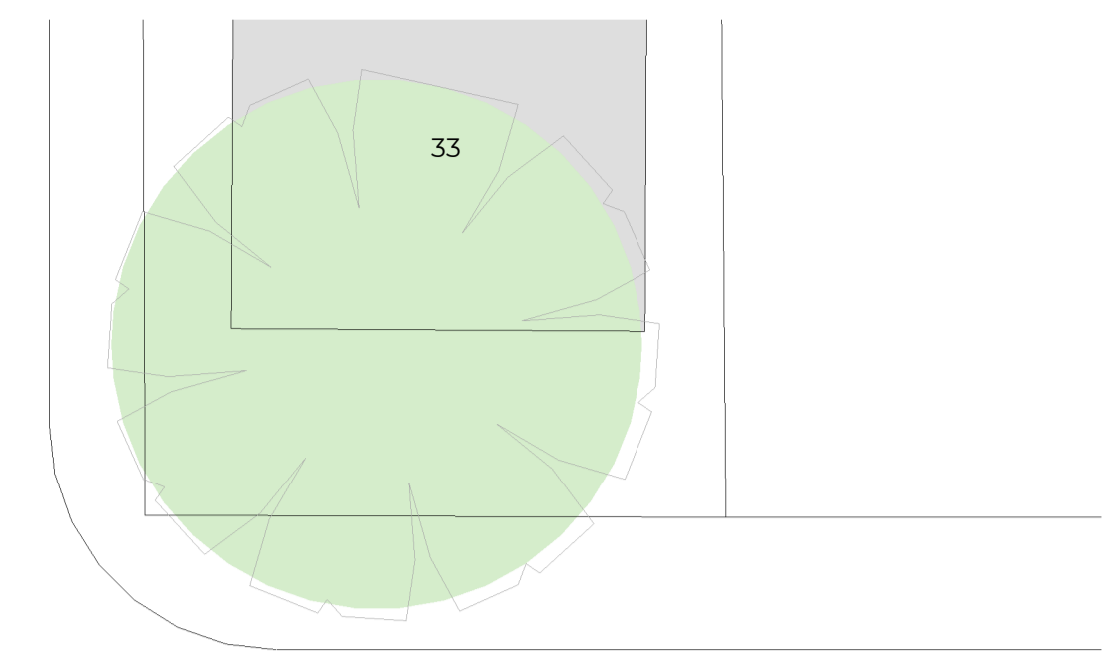
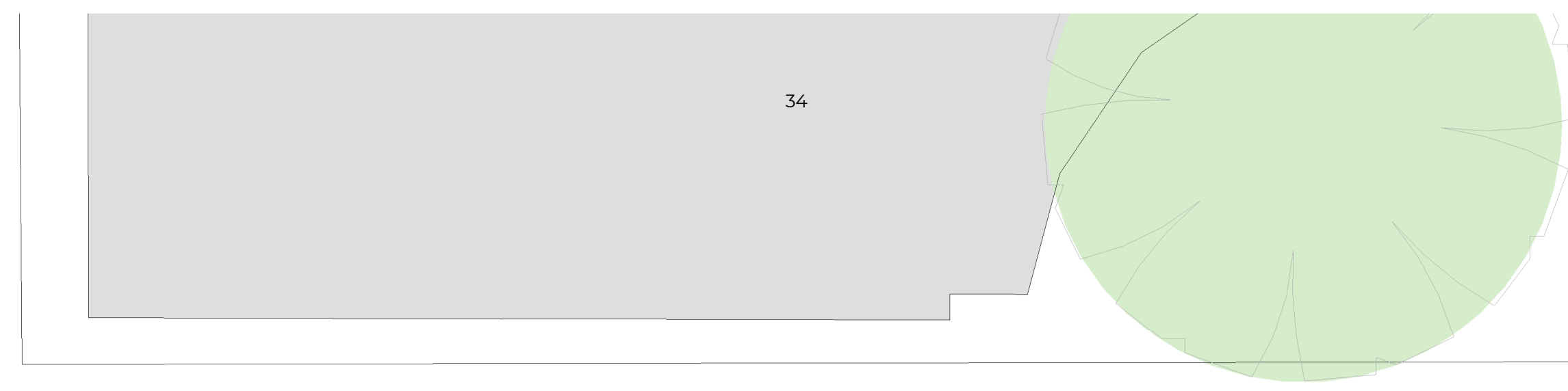
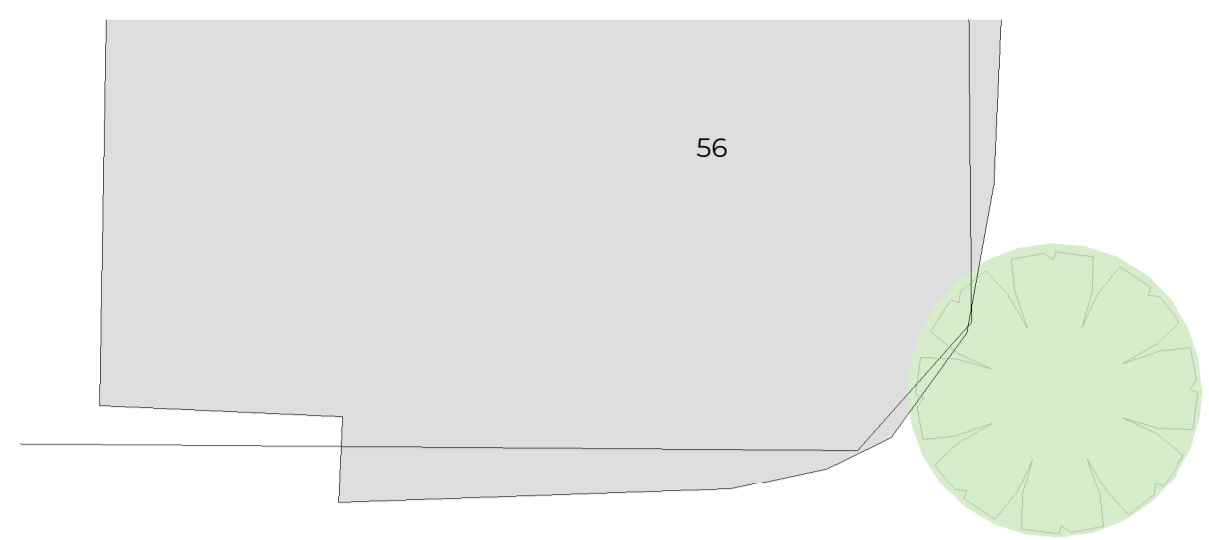
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Checked	Approved
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Sheet size	Scale
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Sheet title  
**LOCATION PLAN**

Sheet number  
**DA-1101**

Revision  
**2**

Status  
**FOR DEVELOPMENT APPLICATION**



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#	Status	Description	Date
1		ISSUE FOR DA	19/12/23
2		FOR SSDA	25/09/24

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 Assessors: Haynes Edwards  
 Accreditation No. IHERA 10215  
 Property Address: 57-61 Archer Street, Chislewood, 5039W, 2027  
<http://www.hercosoftware.com.au/pdfs/HR-HJPY34-01>

Project  
**ARCHER & ALBERT**

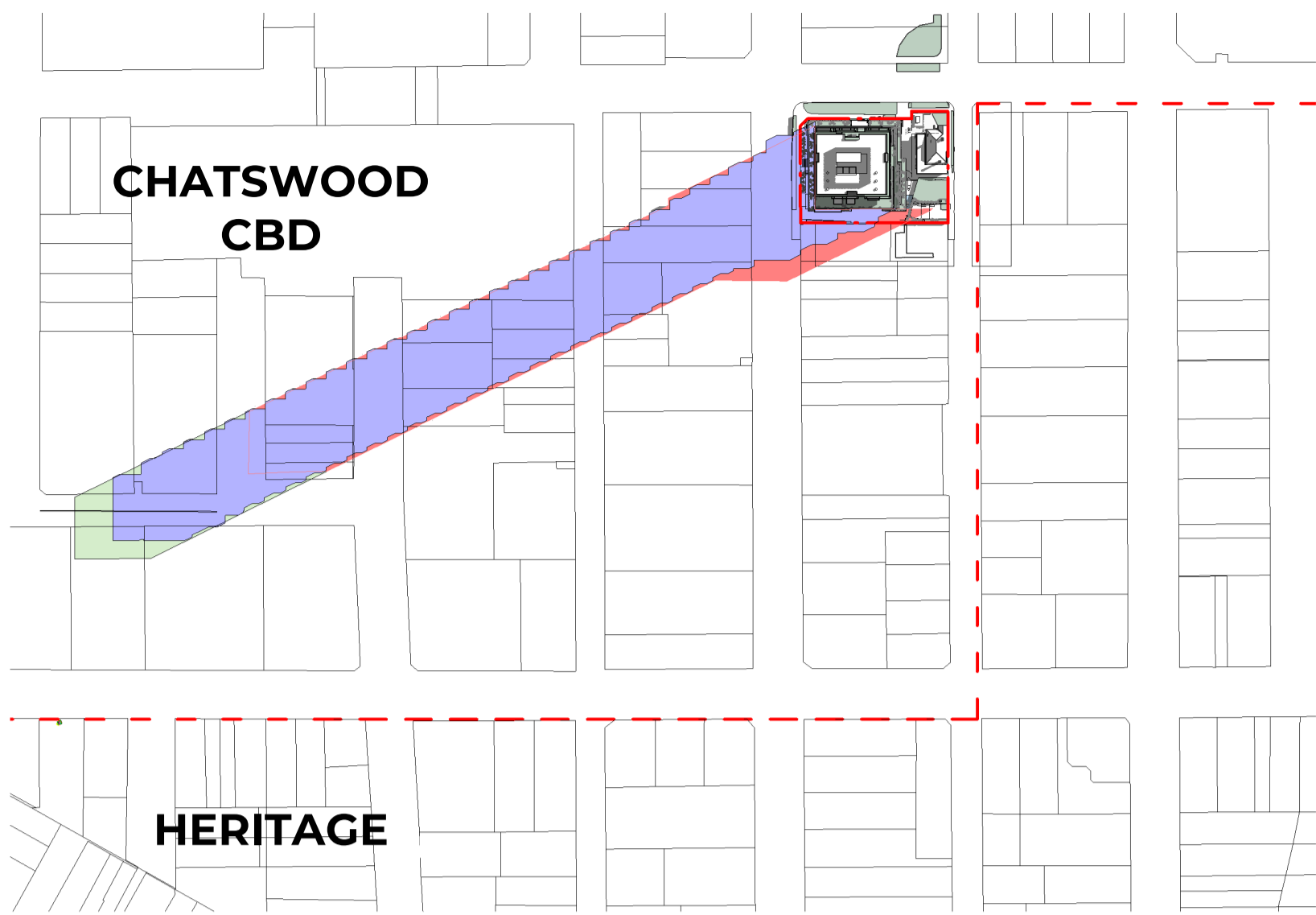
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**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

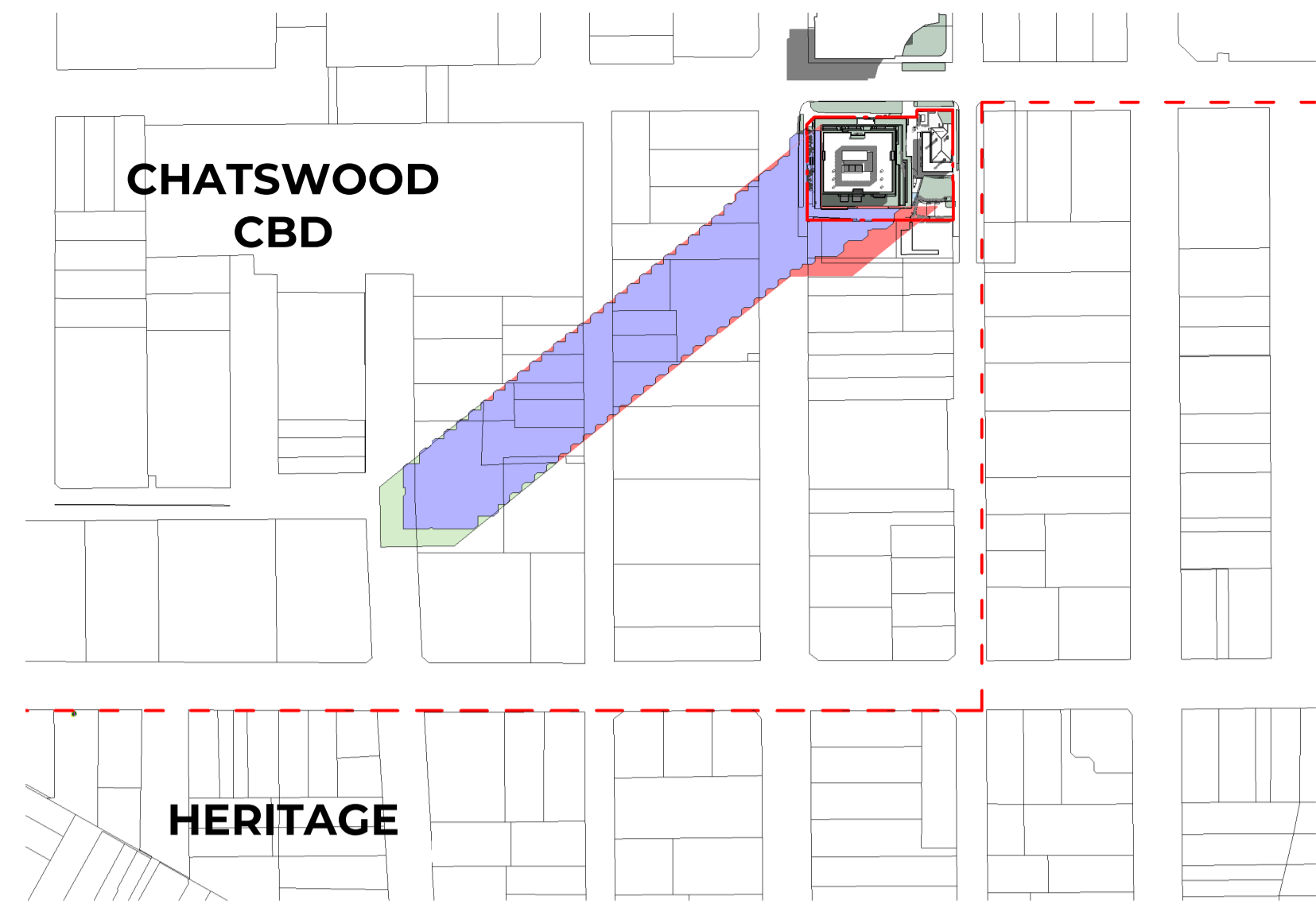
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Checked	Approved
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Sheet size	Scale
A1	As indicated

Sheet title  
**SITE PLAN**

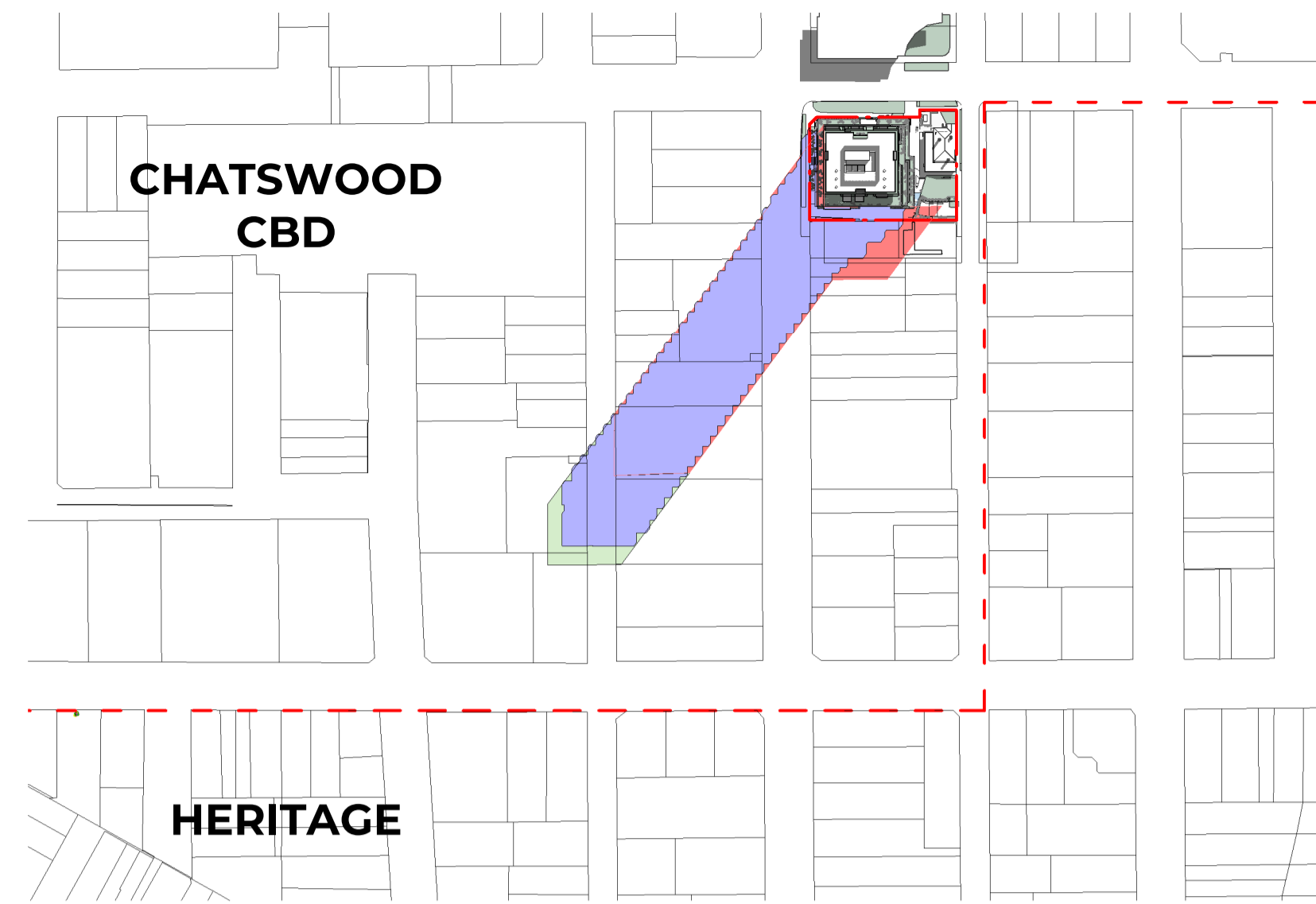
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DA-1102	2
Status	
FOR DEVELOPMENT APPLICATION	



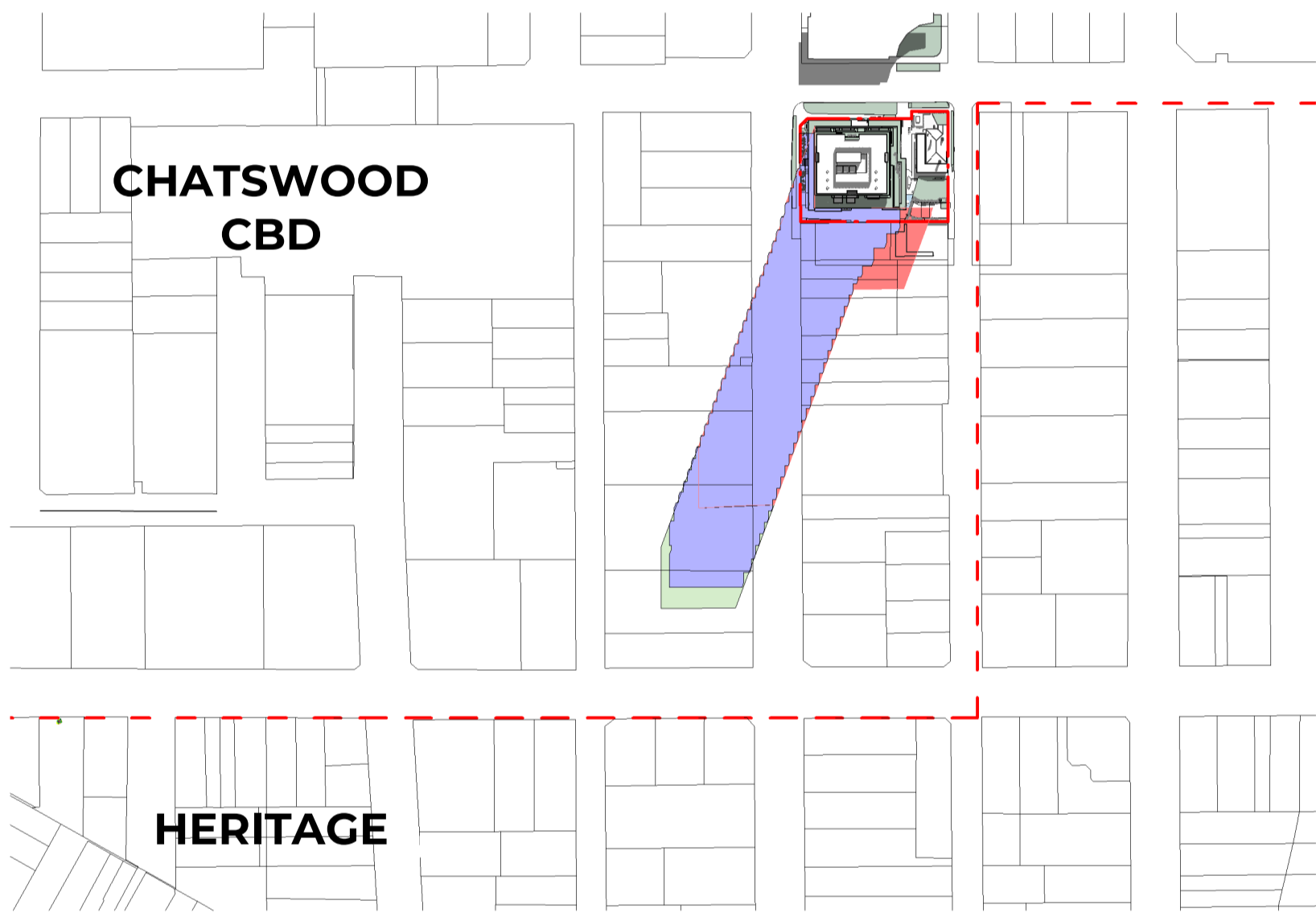
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2. SHADOW DIAGRAM - WINTER SOLSTICE - 10AM



3. SHADOW DIAGRAM - WINTER SOLSTICE - 11AM



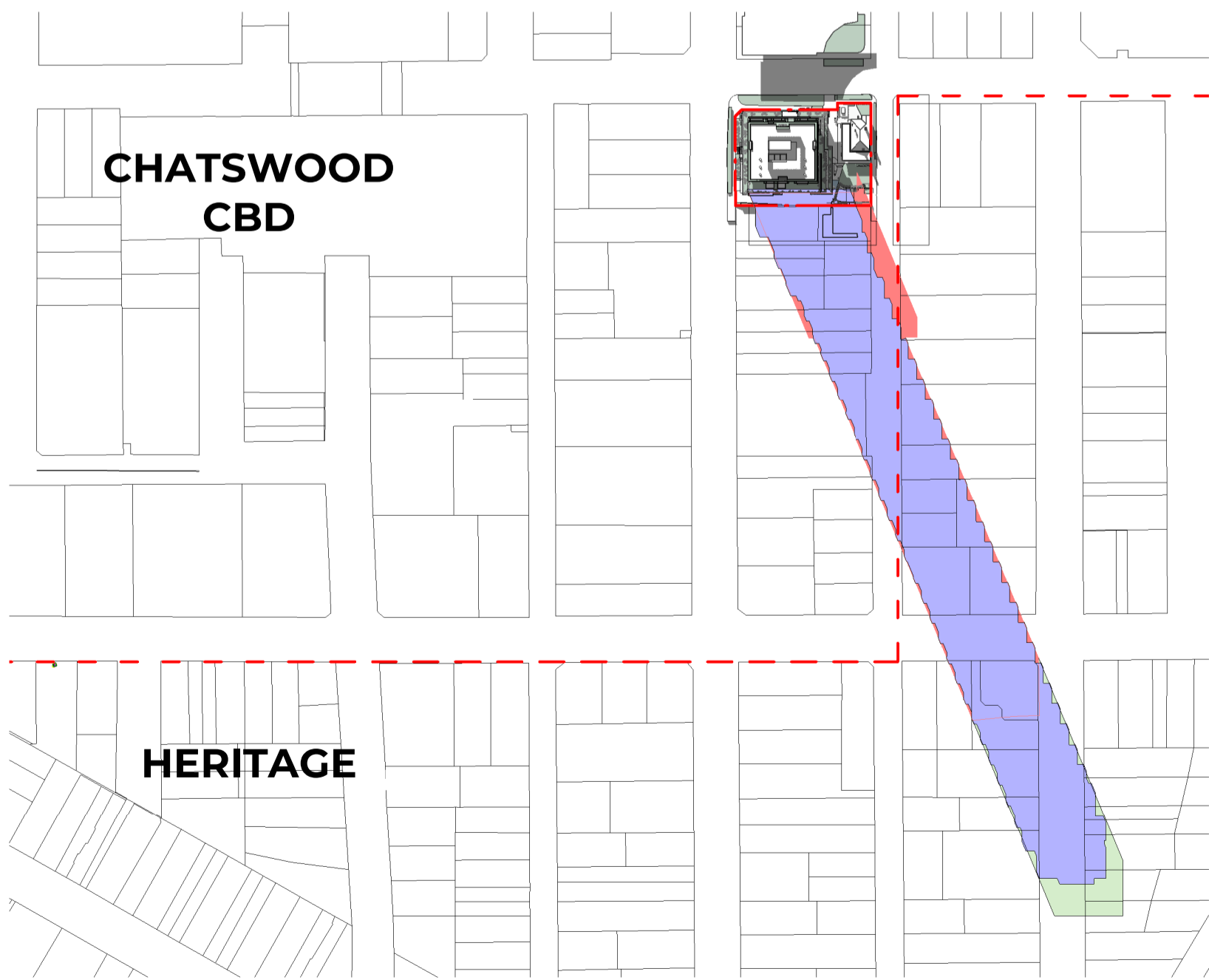
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5. SHADOW DIAGRAM - WINTER SOLSTICE - 1 PM



6. SHADOW DIAGRAM - WINTER SOLSTICE - 2 PM



7. SHADOW DIAGRAM - WINTER SOLSTICE - 3PM

#	Status	Description	Date
1	ISSUE FOR DA		19/12/23
2	FOR SSDA		25/09/24

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 Assessor name: Hayley Edgerly  
 Accreditation No.: HERA 10215  
 Property Address: 57-61 Archer Street, Chatswood NSW, 2067  
 LEI ID: http://www.heracert.org.au/party/HR-HJPY34-01

- DA MASSING ENVELOPE SHADOW █
- 30% UPLIFT SHADOW █
- PROPOSED DESIGN SHADOW █
- SUN ACCESS PROTECTION LINE - - -

Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

Project number: 121876  
 Size check: 25mm  
 Checked: - Approved: - Sheet size: A1 Scale: As indicated

Sheet title  
**WINTER SOLSTICE SHADOW DIAGRAMS - JUNE 21ST**

Sheet number: DA-1201  
 Revision: 2  
 Status: FOR DEVELOPMENT APPLICATION

Recent revision history			
#	Status	Description	Date
1		ISSUE FOR DA	19/12/23
2		FOR SSDA	25/09/24

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Certificate No. #HR-HJPY34-01  
 Assessors name: Hayley Edwards  
 Accreditation No.: HERA 102115  
 Property Address: 57-61 Archer Street, Chislewood, 5039, 2027  
 http://www.hercosoft.com.au/pd155-HJPY34-01



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**ARCHER & ALBERT**

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**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

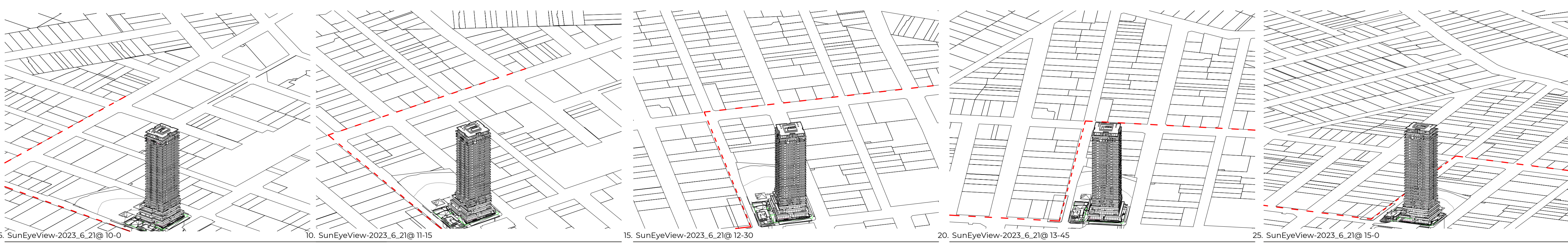
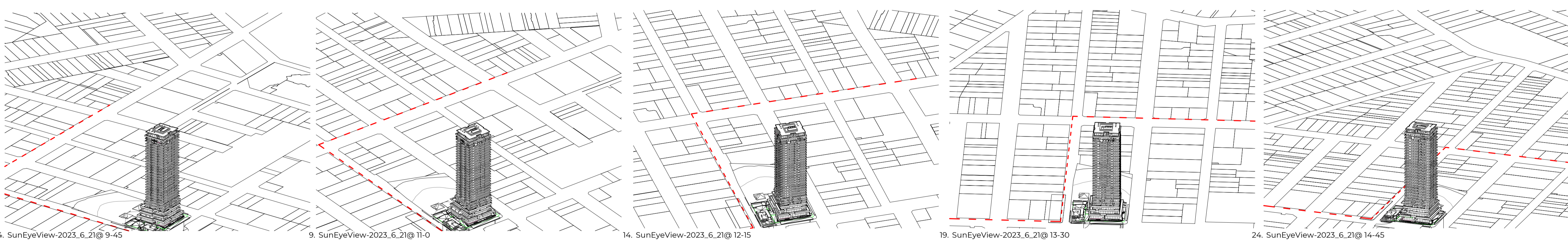
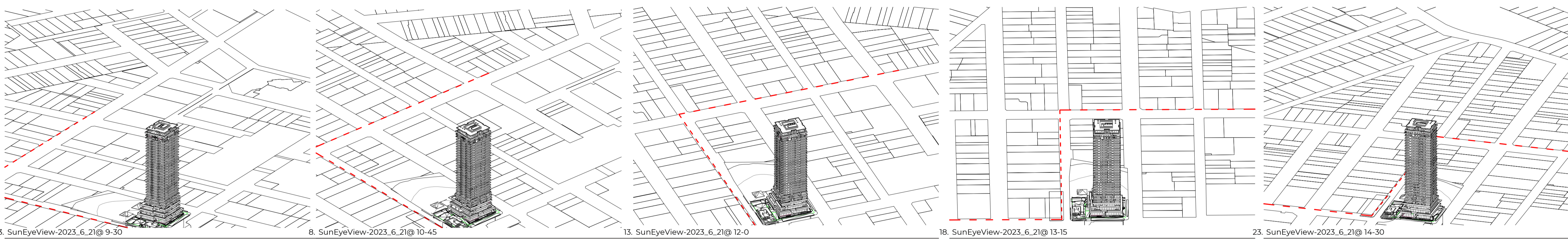
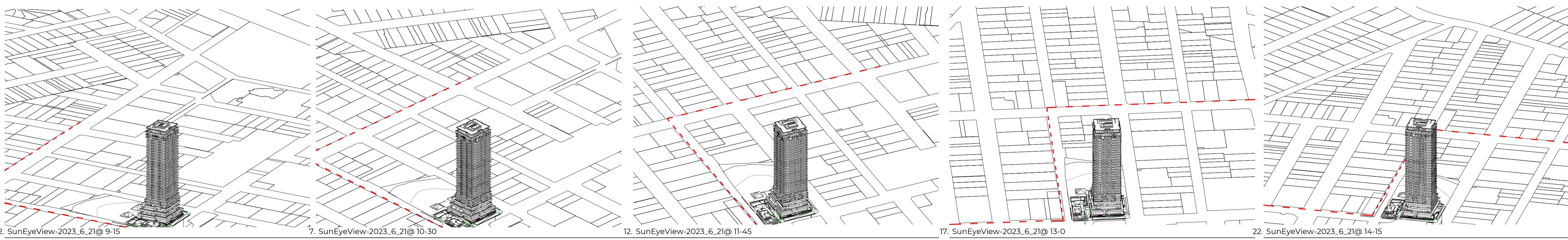
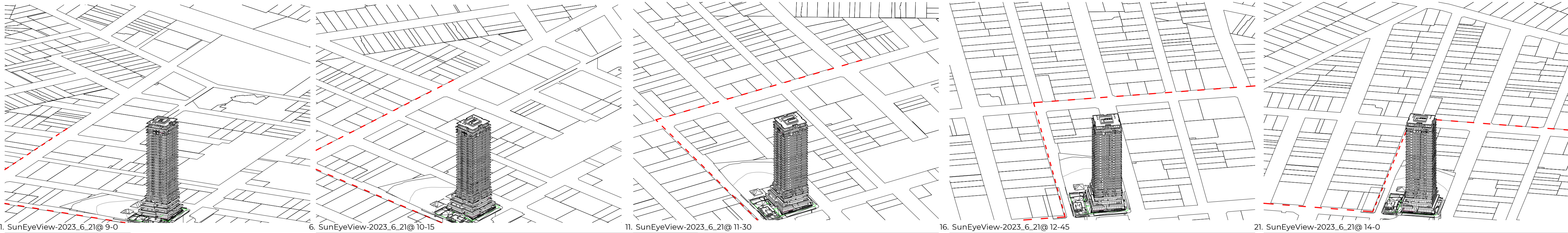
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Checked	Approved	Sheet size
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		Scale
		1 : 100

Sheet title  
**WINTER SOLSTICE  
 SUNS EYE VIEWS - JUNE 21ST**

Sheet number  
**DA-1202**

Revision  
**2**

Status  
**FOR DEVELOPMENT  
 APPLICATION**



#	Status	Description	Date
1	ISSUE FOR DA		19/12/23
2	PRELIMINARY - FOR SUBMISSION TO OBTAIN SEAS ONLY FOR SSDA		02/07/24
3			25/09/24

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**LEGEND**

**BASEMENT**

DP Drainage Pipe  
 LD Linear Drain  
 SD Spoon Drain

ADL Adaptable Loading Area  
 ADP Adaptable Parking Space  
 EOT End-of-Trip Facility  
 MP Motorcycle Parking Space  
 VP Visitor Parking Space

**GROUND**

CO Crossover  
 EP Electric Pole  
 FS Furniture - Seat  
 HB Hydrant Booster  
 LP Power and Light Pole  
 LR Lobby Relief  
 TCR Traffic Control Pole  
 ZGR Zone for Gas Regulator  
 MH Sewer Manhole  
 PT PIT

**TOWER**

C Comms. Cupboard  
 E Electrical Cupboard  
 F High Pressure Fire Pipes Riser  
 FE Fire Extinguisher  
 GT Gate  
 GTL Louvered Gate  
 H Hydraulic Riser  
 KE Kitchen Exhaust  
 LR Stair Relief  
 M Meter Room  
 PB Planter Box  
 RF Refrigerant Riser  
 SCN Privacy Screen with Dense Planting  
 SCR Screen  
 SK Skylight  
 SP Stair Press  
 SPS Precast Spandrel Shading Device  
 VRV Centralised VRF Plant Room

BL Balustrade  
 CL Commercial Lift  
 FCR Fire Control Room  
 GBC Garbage Chute  
 LTR Lockable Storage  
 RI-R3 Residential Lift  
 STR Storage

STP Stone Paving  
 STT Stone Tile Paving  
 TD Timber Deck  
 TL Tile

**NOTE**

1. The final facade profile of the proposed design may be subjected to change based on the client's inputs or the availability of facade modules by the supplier.

2. Dense landscape as wind buffer - treatment subject to wind tunnel test

**PARKING**

Total	38
Adaptable	4

**STORAGE** 83 m<sup>2</sup>

Project  
**ARCHER & ALBERT**

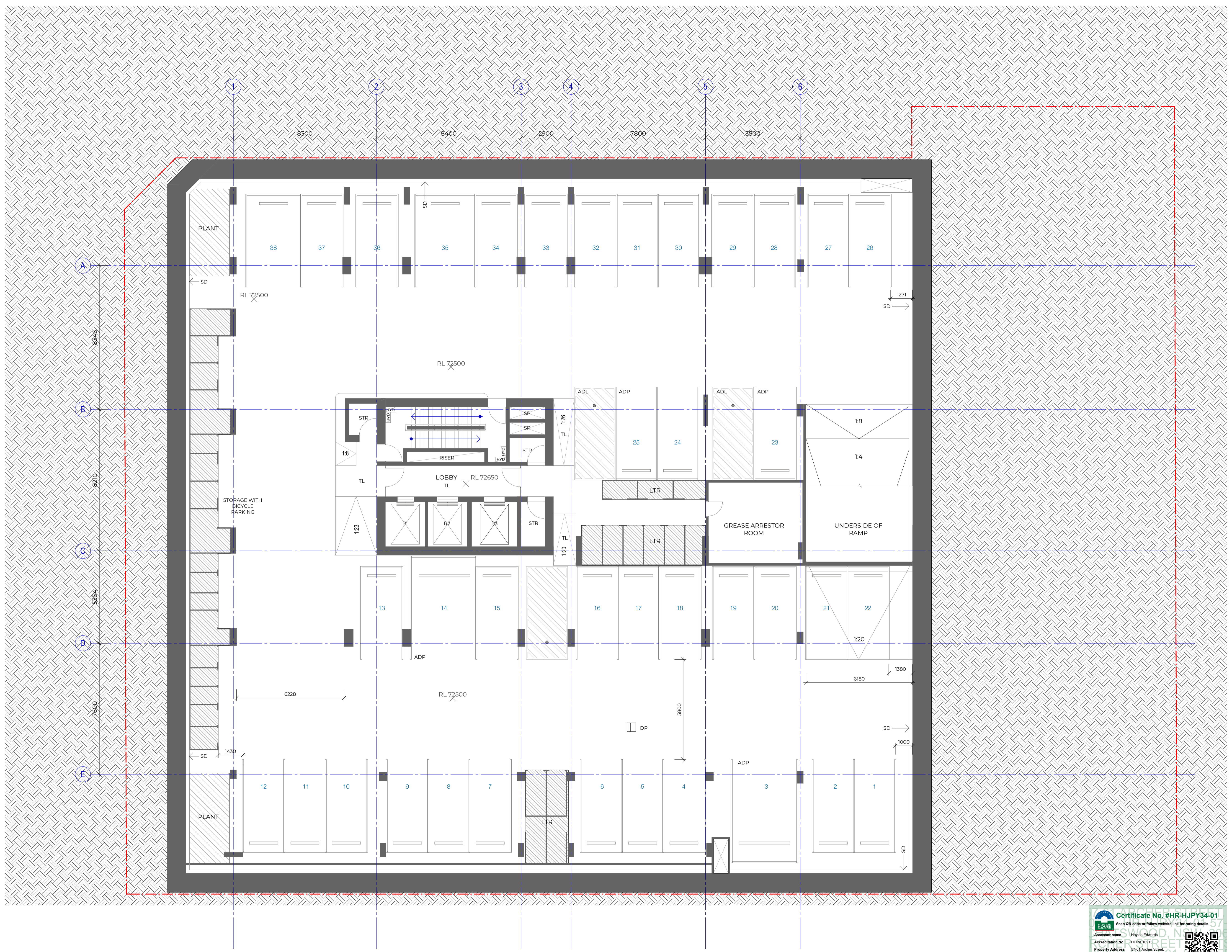
Client  
**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

Project number	121876	Size check	25mm
Checked	-	Sheet size	A1
Approved	-	Scale	1:100

Sheet title  
**BASEMENT 5**

Sheet number	DA-2201	Revision	3
Status	FOR DEVELOPMENT APPLICATION		



Certificate No. #HR-HJPY34-01

Scan QR code or follow website link for rating details.

Assessor name: Wayne Edwards  
 Accredited No.: 19690-10113  
 Property Address: 12-21 Archer Street, Chateau NSW, 2087  
 http://www.herisofficers.com.au/pdf/HR-HJPY34-01

#	Status	Description	Date
1		ISSUE FOR DA	19/12/23
2		PRELIMINARY - FOR SUBMISSION TO OBTAIN SEAS ONLY FOR SSDA	02/07/24
3			25/09/24

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**LEGEND**

**BASEMENT**

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 SD Spoon Drain

ADL Adaptable Loading Area  
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 LR Lobby Relief  
 TCR Traffic Control Pole  
 ZCR Zone for Gas Regulator  
 MH Sewer Manhole  
 PT PIT

**TOWER**

C Comms. Cupboard  
 E Electrical Cupboard  
 F High Pressure Fire Pipes Riser  
 FE Fire Extinguisher  
 GT Gate  
 GTL Louvered Gate  
 H Hydraulic Riser  
 KE Kitchen Exhaust  
 LR Stair Relief  
 M Meter Room  
 PB Planter Box  
 RF Refrigerant Riser  
 SCN Privacy Screen with Dense Planting  
 SCR Screen  
 SK Skylight  
 SP Stair Press  
 SPS Precast Spandrel Shading Device  
 VRV Centralised VRF Plant Room

BL Balustrade  
 CL Commercial Lift  
 FCR Fire Control Room  
 GBC Garbage Chute  
 LTR Lockable Storage  
 RI-R3 Residential Lift  
 STR Storage

STP Stone Paving  
 STT Stone Tile Paving  
 TD Timber Deck  
 TL Tile

**NOTE**

1. The final facade profile of the proposed design may be subjected to change based on the client's inputs or the availability of facade modules by the supplier.

2. Dense landscape as wind buffer - treatment subject to wind tunnel test

**PARKING**

Total	36
Adaptable	5

**STORAGE** 110 m<sup>2</sup>

Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

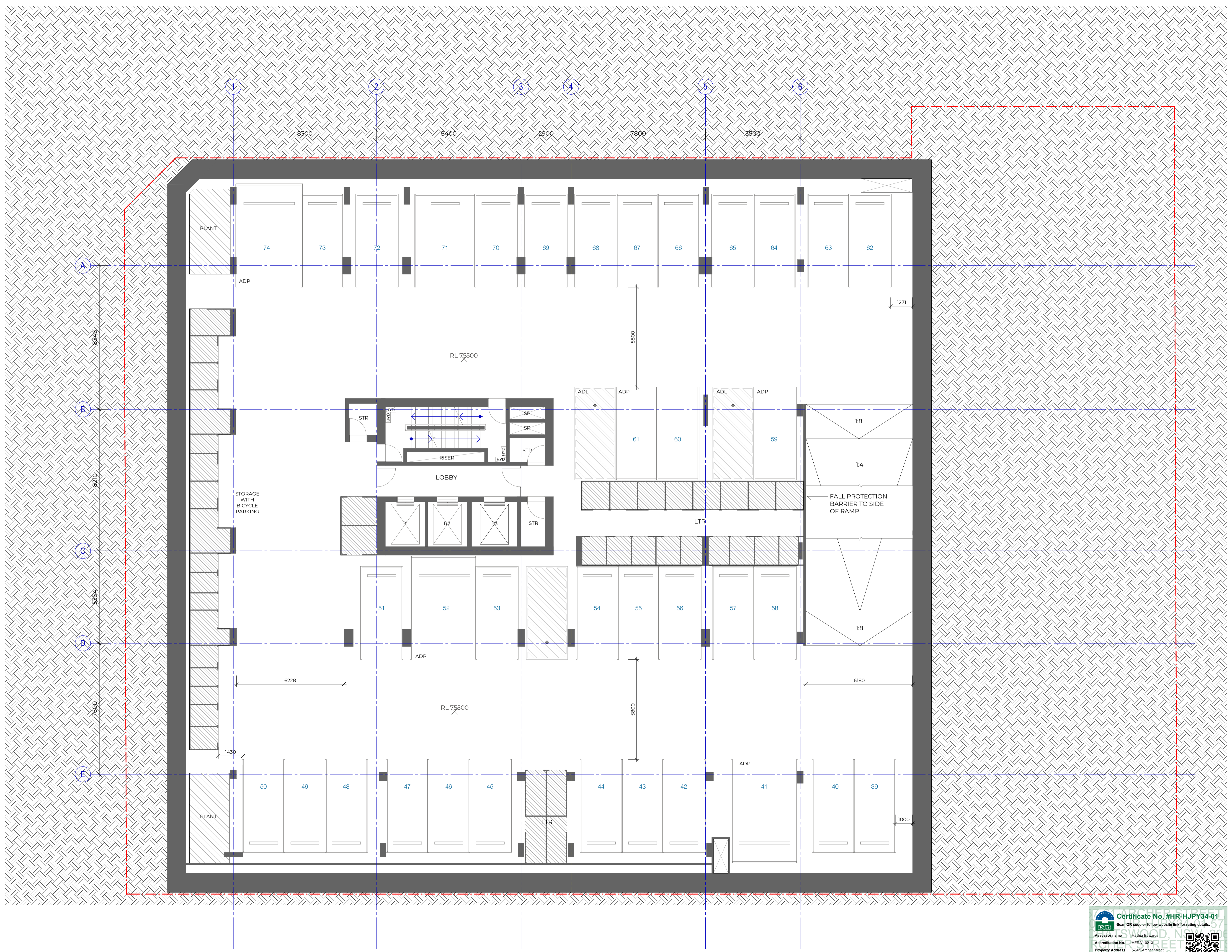
Issuer  
**W-B**  
**WOODS BAGOT**

Project number	121876	Size check	25mm
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Approved	-	Scale	1:100

Sheet number  
**DA-2202**

Revision  
**3**

Status  
**FOR DEVELOPMENT APPLICATION**



Certificate No. #HR-HJPY34-01  
 Scan QR code or follow website link for dating details.

Assessor name: Hayley Edwards  
 Accreditation No: HE RA 10213  
 Property Address: 12-25 Archer Street, Chislewood, NSW, 2037  
 http://www.herobuild.com.au/gpdt/HR-HJPY34-01

#	Status	Description	Date
1	ISSUE FOR DA		19/12/23
2	PRELIMINARY - FOR SUBMISSION TO OBTAIN SEAS ONLY FOR SSDA		02/07/24
3			25/09/24

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**LEGEND**

**BASEMENT**

DP Drainage Pipe  
 LD Linear Drain  
 SD Spoon Drain

ADL Adaptable Loading Area  
 ADP Adaptable Parking Space  
 EOT End-of-Trip Facility  
 MP Motorcycle Parking Space  
 VP Visitor Parking Space

**GROUND**

CO Crossover  
 EP Electric Pole  
 FS Furniture - Seat  
 HB Hydrant Booster  
 LP Power and Light Pole  
 LR Lobby Relief  
 TCR Traffic Control Pole  
 ZCR Zone for Gas Regulator  
 MH Sewer Manhole  
 PT PIT

**TOWER**

C Comms. Cupboard  
 E Electrical Cupboard  
 F High Pressure Fire Pipes Riser  
 FE Fire Extinguisher  
 GT Gate  
 GTL Louvered Gate  
 H Hydraulic Riser  
 KE Kitchen Exhaust  
 LR Stair Relief  
 M Meter Room  
 PB Planter Box  
 RF Refrigerant Riser  
 SCN Privacy Screen with Dense Planting  
 SCR Screen  
 SK Skylight  
 SP Stair Press  
 SPS Precast Spandrel Shading Device  
 VRV Centralised VRF Plant Room

BL Balustrade  
 CL Commercial Lift  
 FCR Fire Control Room  
 GBC Garbage Chute  
 LTR Lockable Storage  
 RI-R3 Residential Lift  
 STR Storage

STP Stone Paving  
 STT Stone Tile Paving  
 TD Timber Deck  
 TL Tile

**NOTE**

1. The final facade profile of the proposed design may be subjected to change based on the client's inputs or the availability of facade modules by the supplier.

2. Dense landscape as wind buffer - treatment subject to wind tunnel test

**PARKING**

Total	36
Adaptable	5

**STORAGE** 110 m<sup>2</sup>

Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

Project number  
**121876**

Checked Approved Sheet size Scale  
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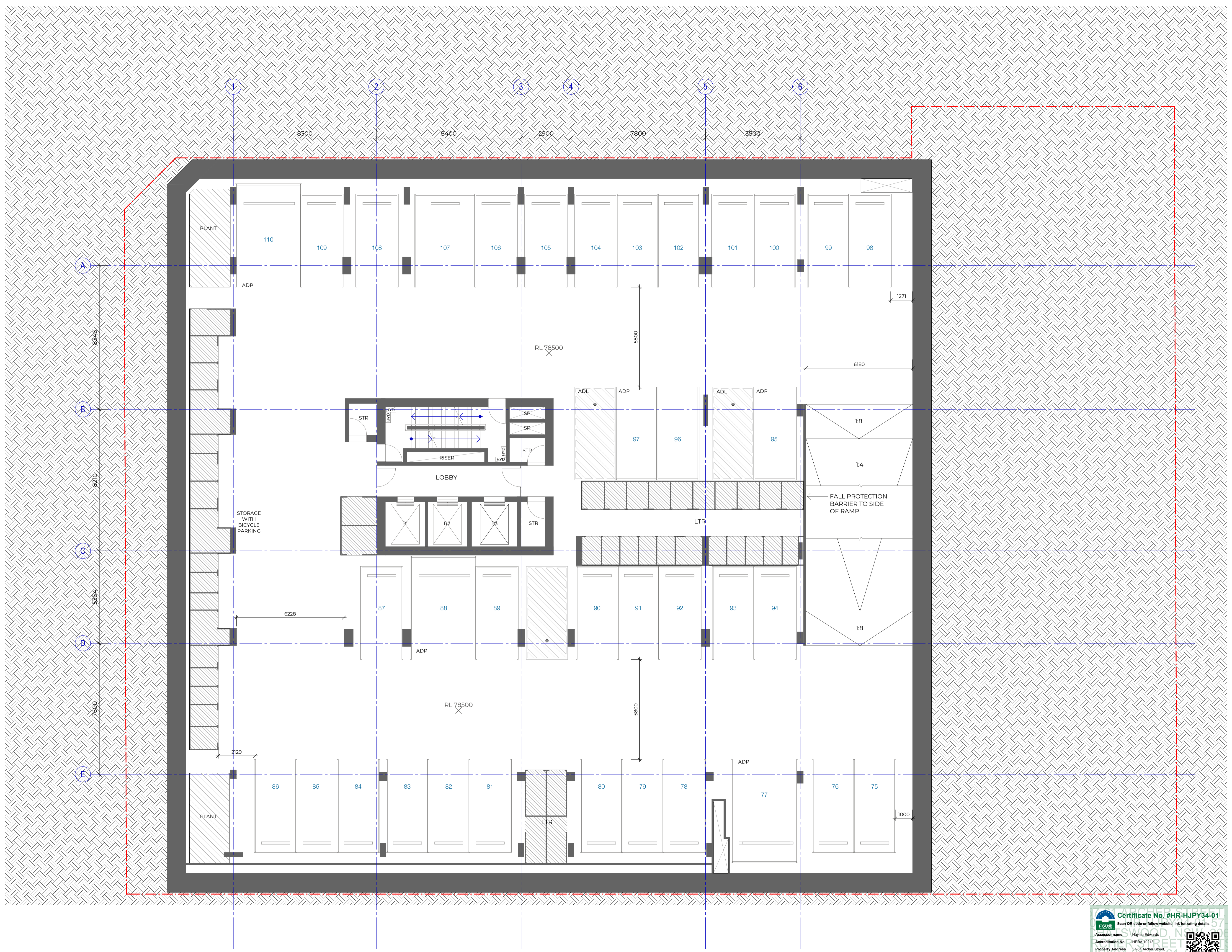
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**BASEMENT 3**

Sheet number  
**DA-2203**

Revision  
**3**

Status  
**FOR DEVELOPMENT APPLICATION**



#	Status	Description	Date
1	ISSUE FOR DA		19/12/23
2	PRELIMINARY - FOR SUBMISSION TO OBTAIN SEAS ONLY FOR SSDA		02/07/24
3			25/09/24

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**LEGEND**

**BASEMENT**

DP Drainage Pipe  
 LD Linear Drain  
 SD Spoon Drain

ADL Adaptable Loading Area  
 ADP Adaptable Parking Space  
 EOT End-of-Trip Facility  
 MP Motorcycle Parking Space  
 VP Visitor Parking Space

**GROUND**

CO Crossover  
 EP Electric Pole  
 FS Furniture - Seat  
 HB Hydrant Booster  
 LP Power and Light Pole  
 LR Lobby Relief  
 TCR Traffic Control Pole  
 ZGR Zone for Gas Regulator  
 MH Sewer Manhole  
 PT PIT

**TOWER**

C Comms. Cupboard  
 E Electrical Cupboard  
 F High Pressure Fire Pipes Riser  
 FE Fire Extinguisher  
 GT Gate  
 GTL Louvered Gate  
 H Hydraulic Riser  
 KE Kitchen Exhaust  
 LR Stair Relief  
 M Meter Room  
 PB Planter Box  
 RF Refrigerant Riser  
 SCN Privacy Screen with Dense Planting  
 SCR Screen  
 SK Skylight  
 SP Stair Press  
 SPS Precast Spandrel Shading Device  
 VRV Centralised VRF Plant Room

BL Balustrade  
 CL Commercial Lift  
 FCR Fire Control Room  
 GBC Garbage Chute  
 LTR Lockable Storage  
 RI-R3 Residential Lift  
 STR Storage

STP Stone Paving  
 STT Stone Tile Paving  
 TD Timber Deck  
 TL Tile

**NOTE**

1. The final facade profile of the proposed design may be subjected to change based on the client's inputs or the availability of facade modules by the supplier.

2. Dense landscape as wind buffer - treatment subject to wind tunnel test

**PARKING**

Total	28
Adaptable	5

**STORAGE** 77 m<sup>2</sup>

Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

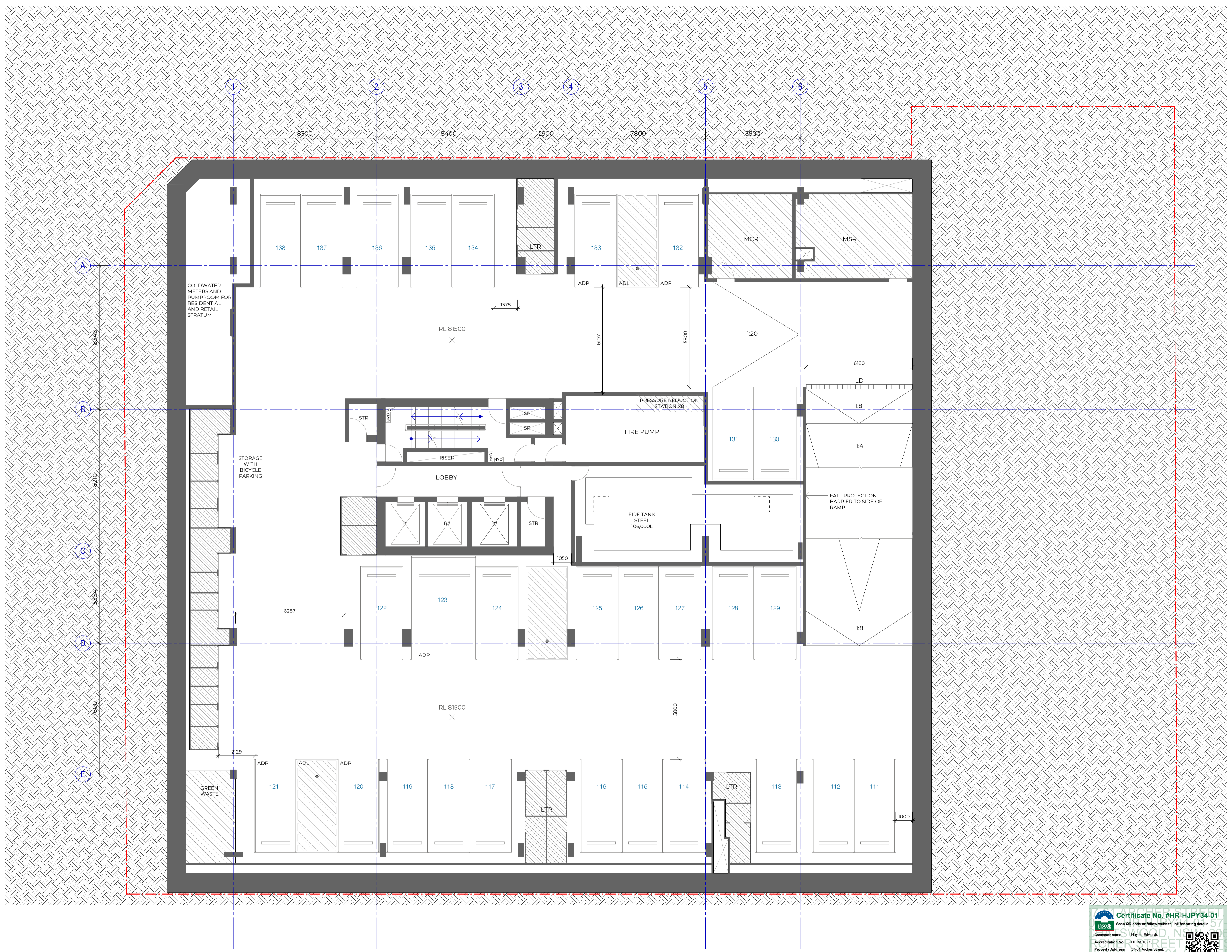
Issuer  
**W-B**  
**WOODS BAGOT**

Project number	121876	Size check	25mm
Checked	-	Sheet size	A1
Approved	-	Scale	1:100

Sheet title

**BASEMENT 2**

Sheet number	DA-2204	Revision	3
Status	FOR DEVELOPMENT APPLICATION		



#	Status	Description	Date
1	ISSUE FOR DA		19/12/23
2	PRELIMINARY - FOR SUBMISSION TO OBTAIN SEARS ONLY		02/07/24
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**LEGEND**

**BASEMENT**

DP Drainage Pipe  
 LD Linear Drain  
 SD Spoon Drain

ADL Adaptable Loading Area  
 ADP Adaptable Parking Space  
 EOT End-of-Trip Facility  
 MP Motorcycle Parking Space  
 VP Visitor Parking Space

**GROUND**

CO Crossover  
 EP Electric Pole  
 FS Furniture - Seat  
 HB Hydrant Booster  
 LP Power and Light Pole  
 LR Lobby Relief  
 TCR Traffic Control Pole  
 ZGR Zone for Gas Regulator  
 MH Sewer Manhole  
 PT PIT

**TOWER**

C Comms. Cupboard  
 E Electrical Cupboard  
 F High Pressure Fire Pipes Riser  
 FE Fire Extinguisher  
 GT Gate  
 GTL Louvered Gate  
 H Hydraulic Riser  
 KE Kitchen Exhaust  
 LR Stair Relief  
 M Meter Room  
 PB Planter Box  
 RF Refrigerant Riser  
 SCN Privacy Screen with Dense Planting  
 SCR Screen  
 SK Skylight  
 SP Stair Press  
 SPS Precast Spandrel Shading Device  
 VRF Centralised VRF Plant Room

BL Balustrade  
 CL Commercial Lift  
 FCR Fire Control Room  
 GBC Garbage Chute  
 LTR Lockable Storage  
 RI-R3 Residential Lift  
 STR Storage

STP Stone Paving  
 STT Stone Tile Paving  
 TD Timber Deck  
 TL Tile

**NOTE**

1. The final facade profile of the proposed design may be subjected to change based on the client's inputs or the availability of facade modules by the supplier.

2. Dense landscape as wind buffer - treatment subject to wind tunnel test

**PARKING**

RESIDENTIAL	19
COMMERCIAL	4
RETAIL	8
(DDA)	2

**MOTORCYCLE PARKING** 3

Project  
**ARCHER & ALBERT**

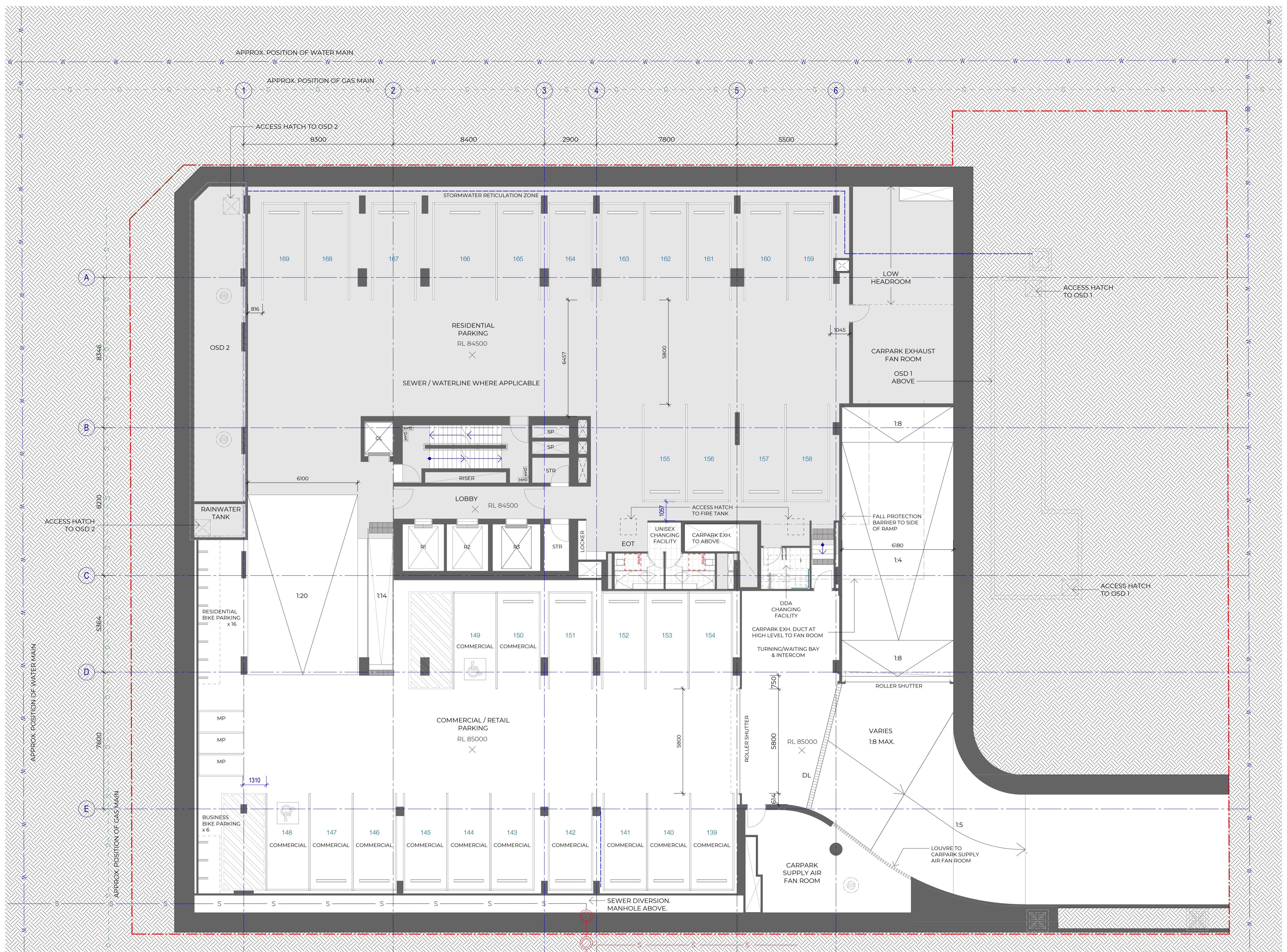
Client  
**CORONATION PROPERTY**

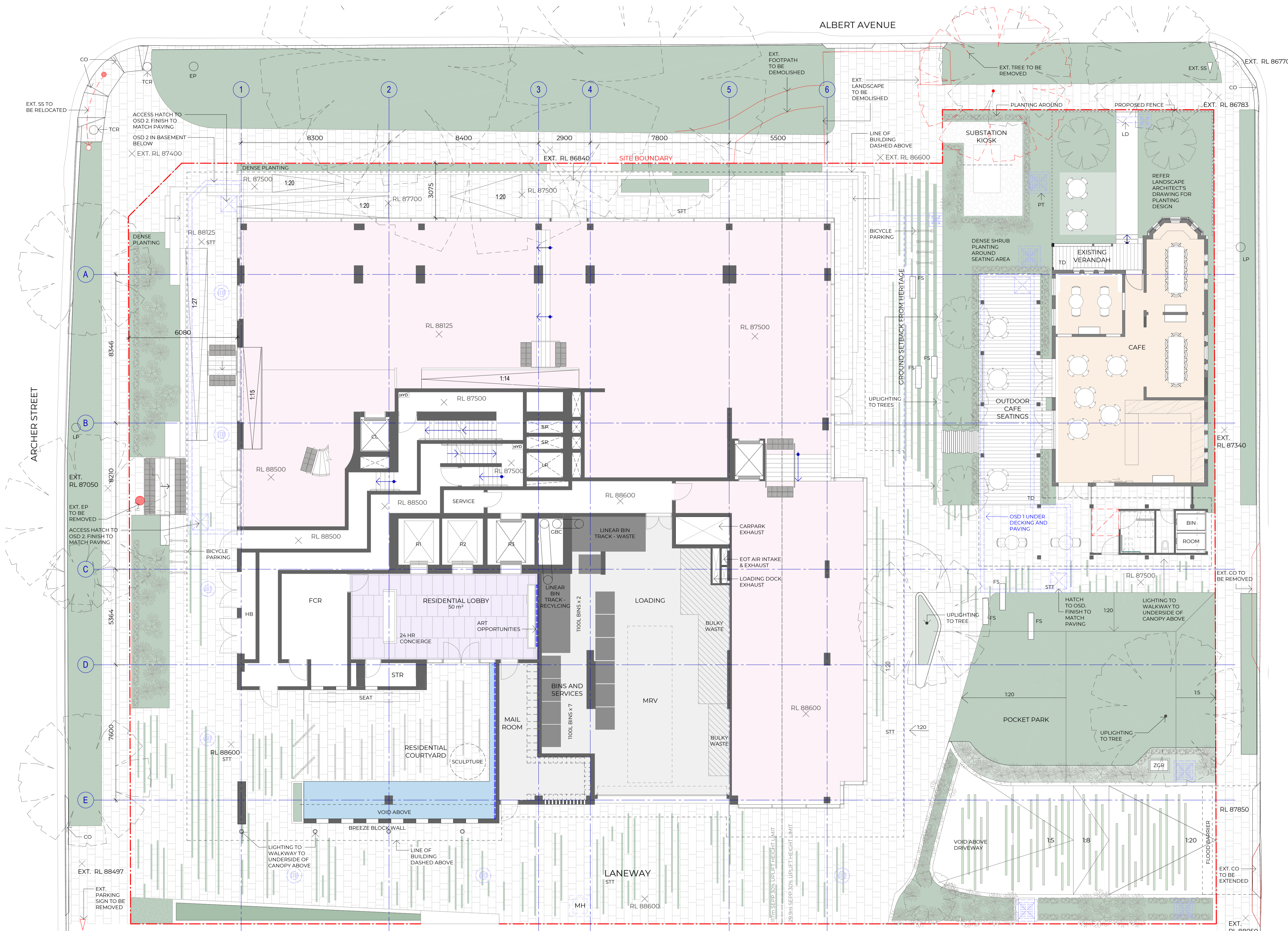
Issuer  
**W-B**  
**WOODS BAGOT**

Project number	121876	Size check	25mm
Checked	-	Sheet size	A1
Approved	-	Scale	1:100

Sheet title  
**BASEMENT 1**

Sheet number	DA-2205	Revision	3
Status	FOR DEVELOPMENT APPLICATION		





#	Status	Description	Date
1	ISSUE FOR DA		19/12/23
2	PRELIMINARY - FOR SUBMISSION TO OBTAIN SEARS ONLY		02/07/24
3	FOR SSDA		25/09/24
4	FOR JURY UPDATE		14/10/24

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- LEGEND**
- BASEMENT**
- DP Drainage Pipe
  - LD Linear Drain
  - SD Spoon Drain
- GROUND**
- ADL Adaptable Loading Area
  - ADP Adaptable Parking Space
  - EOT End-of-Trip Facility
  - MP Motorcycle Parking Space
  - VP Visitor Parking Space
  - CO Crossover
  - EP Electric Pole
  - FS Furniture - Seat
  - HB Hydrant Booster
  - LP Power and Light Pole
  - LR Lobby Relief
  - TCR Traffic Control Pole
  - ZGR Zone for Gas Regulator
  - MH Sewer Manhole
  - PT PIT
- TOWER**
- C Comms. Cupboard
  - E Electrical Cupboard
  - F High Pressure Fire Pipes Riser
  - FE Fire Extinguisher
  - GT Gate
  - GTL Louvered Gate
  - H Hydraulic Riser
  - KE Kitchen Exhaust
  - LR Stair Relief
  - M Meter Room
  - PB Planter Box
  - RF Refrigerant Riser
  - SCN Privacy Screen with Dense Planting
  - SCR Screen
  - SK Skylight
  - SP Stair Press
  - SPS Precast Spandrel Shading Device
  - VRV Centralised VRF Plant Room

**NOTE**

- The final facade profile of the proposed design may be subjected to change based on the client's inputs or the availability of facade modules by the supplier.
- Dense landscape as wind buffer - treatment subject to wind tunnel test

Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

Project number  
**121876**

Size check  
 25mm

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Sheet title  
**GROUND FLOOR PLAN**

Sheet number  
**DA-2210**

Revision  
**4**

Status  
**FOR DEVELOPMENT APPLICATION**

Certificate No. #HR-HJPY34-01

Address name: 57 Arch St, NSW 2067  
 Accreditation No.: NEKA 10213  
 Property Address: 57-61 Archer Street, Chateau NSW, 2067

#	Status	Description	Date
1	ISSUE FOR DA		19/12/23
2	PRELIMINARY - FOR SUBMISSION TO OBTAIN SCARS ONLY		02/07/24
3	FOR SSDA		25/09/24
4	FOR JURY UPDATE		14/10/24

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**LEGEND**

**BASEMENT**

DP Drainage Pipe  
 LD Linear Drain  
 SD Spoon Drain

**GROUND**

ADL Adaptable Loading Area  
 ADP Adaptable Parking Space  
 EOT End-of-Trip Facility  
 MP Motorcycle Parking Space  
 VP Visitor Parking Space

**TOWER**

C Comms. Cupboard  
 E Electrical Cupboard  
 F High Pressure Fire Pipes Riser  
 FE Fire Extinguisher  
 GT Gate  
 GTL Louvered Gate  
 H Hydraulic Riser  
 KE Kitchen Exhaust  
 LR Stair Relief  
 M Meter Room  
 PB Planter Box  
 RF Refrigerant Riser  
 SCN Privacy Screen with Dense Planting  
 SCR Screen  
 SK Skylight  
 SP Stair Press  
 SPS Precast Spandrel Shading Device  
 VRV Centralised VRF Plant Room

**BL** Balustrade  
**CL** Commercial Lift  
**FCR** Fire Control Room  
**GBC** Garbage Chute  
**LTR** Lockable Storage  
**RI-R3** Residential Lift  
**STR** Storage

**STP** Stone Paving  
**STT** Stone Tile Paving  
**TD** Timber Deck  
**TL** Tile

**NOTE**

1. The final facade profile of the proposed design may be subjected to change based on the client's inputs or the availability of facade modules by the supplier.

2. Dense landscape as wind buffer - treatment subject to wind tunnel test

Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

Project number  
**121876**

Size check  
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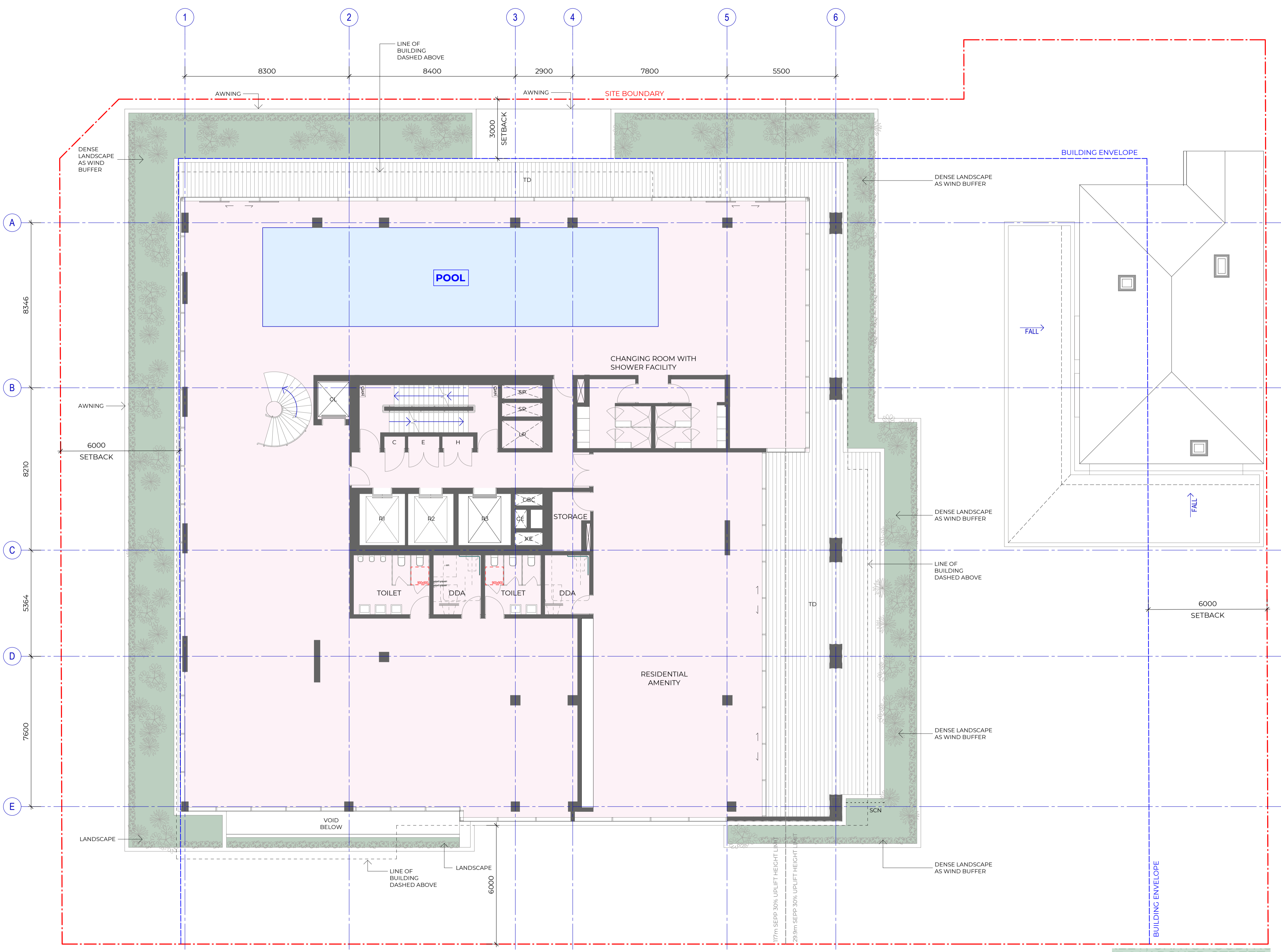
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Sheet title  
**LEVEL 1**

Sheet number  
**DA-2211**

Revision  
**4**

Status  
**FOR DEVELOPMENT APPLICATION**



Certificate No. #HR-HJPY34-01

Assessor name: Hayna Edwards

Accreditation No.: HE RA 1023

Property Address: 32-61 Archer Street, Clonsilla NSW, 2067

http://www.herosoftware.com.au/pdf/HR-HJPY34-01

#	Status	Description	Date
1	ISSUE FOR DA		19/12/23
2	PRELIMINARY - FOR SUBMISSION TO OBTAIN SCRS ONLY		02/07/24
3	FOR SSDA		25/09/24
4	FOR JURY UPDATE		14/10/24

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**LEGEND**

**BASEMENT**

DP Drainage Pipe  
 LD Linear Drain  
 SD Spoon Drain

**GROUND**

ADL Adaptable Loading Area  
 ADP Adaptable Parking Space  
 EOT End-of-Trip Facility  
 MP Motorcycle Parking Space  
 VP Visitor Parking Space

**TOWER**

C Comms. Cupboard  
 E Electrical Cupboard  
 F High Pressure Fire Pipes Riser  
 FE Fire Extinguisher  
 GT Gate  
 GTL Louvered Gate  
 H Hydraulic Riser  
 KE Kitchen Exhaust  
 LR Stair Relief  
 M Meter Room  
 PB Planter Box  
 RF Refrigerant Riser  
 SCN Privacy Screen with Dense Planting  
 SCR Screen  
 SK Skylight  
 SP Stair Press  
 SPS Precast Spandrel Shading Device  
 VRV Centralised VRF Plant Room

BL Balustrade  
 CL Commercial Lift  
 FCR Fire Control Room  
 GBC Garbage Chute  
 LTR Lockable Storage  
 R1-R3 Residential Lift  
 STR Storage

STP Stone Paving  
 STT Stone Tile Paving  
 TD Timber Deck  
 TL Tile

**NOTE**

1. The final facade profile of the proposed design may be subjected to change based on the client's inputs or the availability of facade modules by the supplier.

2. Dense landscape as wind buffer - treatment subject to wind tunnel test

Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

Project number  
**121876**

Size check  
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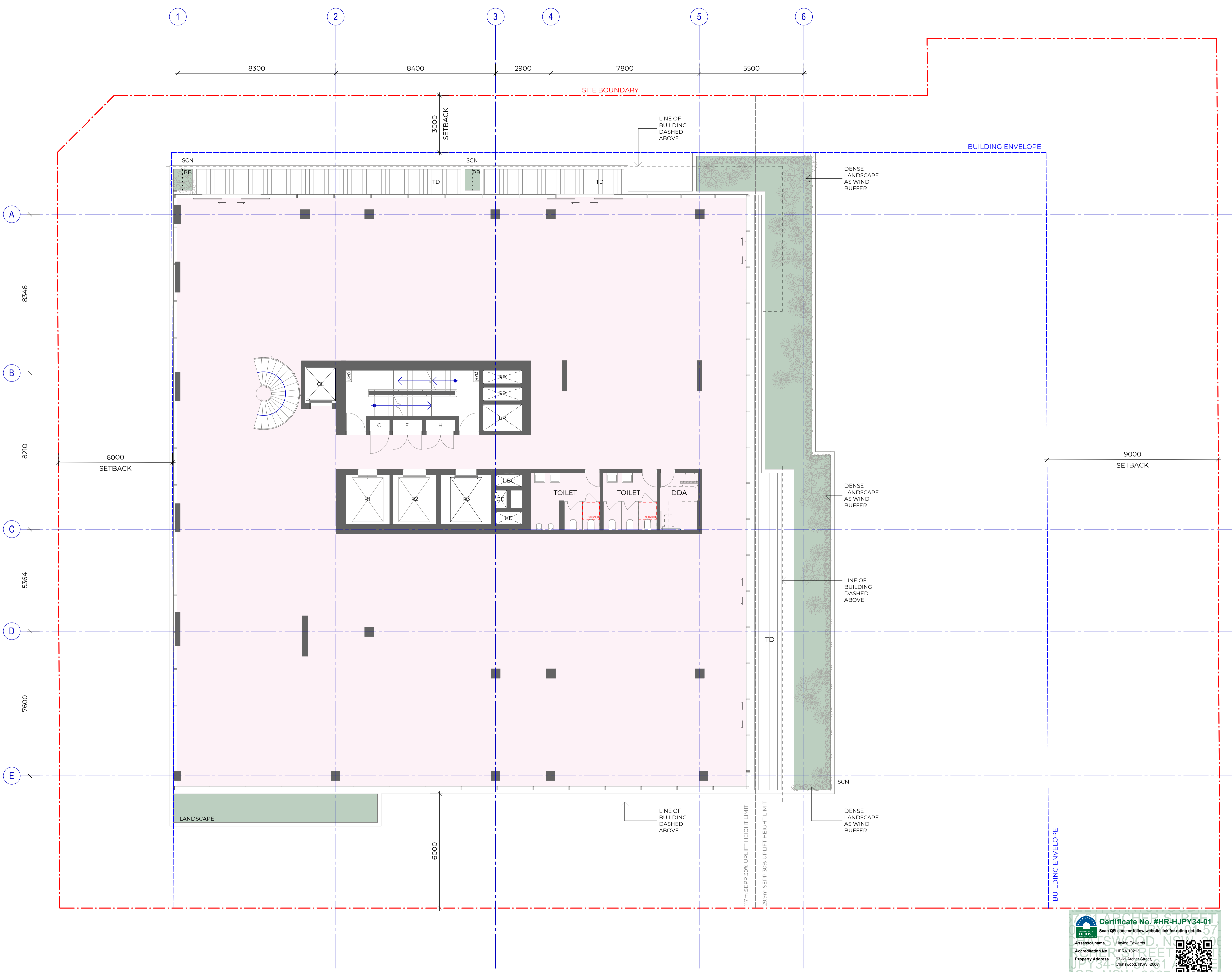
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Sheet title  
**LEVEL 2**

Sheet number  
**DA-2212**

Revision  
**4**

Status  
**FOR DEVELOPMENT APPLICATION**



#	Status	Description	Date
1	ISSUE FOR DA		19/12/23
2	PRELIMINARY - FOR SUBMISSION TO OBTAIN SCRS ONLY		02/07/24
3	FOR SSDA		25/09/24

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**LEGEND**

**BASEMENT**

DP	Drainage Pipe
LD	Linear Drain
SD	Spoon Drain

**GROUND**

ADL	Adaptable Loading Area
ADP	Adaptable Parking Space
EOT	End-of-Trip Facility
MP	Motorcycle Parking Space
VP	Visitor Parking Space

**TOWER**

C	Comms. Cupboard
E	Electrical Cupboard
F	High Pressure Fire Pipes Riser
FE	Fire Extinguisher
GT	Gate
GTL	Louvered Gate
H	Hydraulic Riser
KE	Kitchen Exhaust
LR	Stair Relief
M	Meter Room
PB	Planter Box
RF	Refrigerant Riser
SCN	Privacy Screen with Dense Planting
SCR	Screen
SK	Skylight
SP	Stair Press
SPS	Precast Spandrel Shading Device
VRV	Centralised VRF Plant Room

CO	Crossover
EP	Electric Pole
FS	Furniture - Seat
HB	Hydrant Booster
LP	Power and Light Pole
LR	Lobby Relief
TCR	Traffic Control Pole
ZGR	Zone for Gas Regulator
MH	Sewer Manhole
PT	PIT

**BL** Balustrade  
**CL** Commercial Lift  
**FCR** Fire Control Room  
**GBC** Garbage Chute  
**LTR** Lockable Storage  
**RI-R3** Residential Lift  
**STR** Storage  
**STP** Stone Paving  
**STT** Stone Tile Paving  
**TD** Timber Deck  
**TL** Tile

**NOTE**

1. The final facade profile of the proposed design may be subjected to change based on the client's inputs or the availability of facade modules by the supplier.

2. Dense landscape as wind buffer - treatment subject to wind tunnel test

Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

Project number  
**121876**

Size check  
 25mm

Checked Approved Sheet size Scale  
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Sheet title  
**AFFORDABLE HOUSING LEVEL 3**

Sheet number  
**DA-2213**

Revision  
**3**

Status  
**FOR DEVELOPMENT APPLICATION**



#	Status	Description	Date
1	ISSUE FOR DA		19/12/23
2	PRELIMINARY - FOR SUBMISSION TO OBTAIN SCARS ONLY		02/07/24
3	FOR SSDA		25/09/24

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**LEGEND**

**BASEMENT**

DP	Drainage Pipe
LD	Linear Drain
SD	Spoon Drain
ADL	Adaptable Loading Area
ADP	Adaptable Parking Space
EOT	End-of-Trip Facility
MP	Motorcycle Parking Space
VP	Visitor Parking Space

**GROUND**

CO	Crossover
EP	Electric Pole
FS	Furniture - Seat
HB	Hydrant Booster
LP	Power and Light Pole
LR	Lobby Relief
TCR	Traffic Control Pole
ZGR	Zone for Gas Regulator
MH	Sewer Manhole
PT	PIT

**TOWER**

C	Comms. Cupboard
E	Electrical Cupboard
F	High Pressure Fire Pipes Riser
FE	Fire Extinguisher
GT	Gate
GTL	Louvered Gate
H	Hydraulic Riser
KE	Kitchen Exhaust
LR	Stair Relief
M	Meter Room
PB	Planter Box
RF	Refrigerant Riser
SCN	Privacy Screen with Dense Planting
SCR	Screen
SK	Skylight
SP	Stair Press
SPS	Precast Spandrel Shading Device
VRV	Centralised VRF Plant Room

**NOTE**

- The final facade profile of the proposed design may be subjected to change based on the client's inputs or the availability of facade modules by the supplier.
- Dense landscape as wind buffer - treatment subject to wind tunnel test

Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

Project number	Size check
121876	25mm
Checked	Approved
-	-
Sheet size	Scale
A1	1:100

Sheet title  
**AFFORDABLE HOUSING LEVEL 4**

Sheet number  
**DA-2214**

Revision  
**3**

Status  
**FOR DEVELOPMENT APPLICATION**



#	Status	Description	Date
1	ISSUE FOR DA		19/12/23
2	PRELIMINARY - FOR SUBMISSION TO OBTAIN SCARS ONLY		02/07/24
3	FOR SSDA		25/09/24

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**LEGEND**

**BASEMENT**

DP	Drainage Pipe
LD	Linear Drain
SD	Spoon Drain
ADL	Adaptable Loading Area
ADP	Adaptable Parking Space
EOT	End-of-Trip Facility
MP	Motorcycle Parking Space
VP	Visitor Parking Space

**GROUND**

CO	Crossover
EP	Electric Pole
FS	Furniture - Seat
HB	Hydrant Booster
LP	Power and Light Pole
LR	Lobby Relief
TCR	Traffic Control Pole
ZGR	Zone for Gas Regulator
MH	Sewer Manhole
PT	PIT

**TOWER**

C	Comms. Cupboard
E	Electrical Cupboard
F	High Pressure Fire Pipes Riser
FE	Fire Extinguisher
GT	Gate
GTL	Louvered Gate
H	Hydraulic Riser
KE	Kitchen Exhaust
LR	Stair Relief
M	Meter Room
PB	Planter Box
RF	Refrigerant Riser
SCN	Privacy Screen with Dense Planting
SCR	Screen
SK	Skylight
SP	Stair Press
SPS	Precast Spandrel Shading Device
VRV	Centralised VRF Plant Room
BL	Balustrade
CL	Commercial Lift
FCR	Fire Control Room
GBC	Garbage Chute
LTR	Lockable Storage
RI-R3	Residential Lift
STR	Storage
STP	Stone Paving
STT	Stone Tile Paving
TD	Timber Deck
TL	Tile

**NOTE**

- The final facade profile of the proposed design may be subjected to change based on the client's inputs or the availability of facade modules by the supplier.
- Dense landscape as wind buffer - treatment subject to wind tunnel test

Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

Project number  
**121876**

Size check  
 25mm

Checked Approved Sheet size Scale  
 - - A1 1:100

Sheet title  
**AFFORDABLE HOUSING LEVEL 5**

Sheet number  
**DA-2215**

Revision  
**3**

Status  
**FOR DEVELOPMENT APPLICATION**



#	Status	Description	Date
1	ISSUE FOR DA		19/12/23
2	PRELIMINARY - FOR SUBMISSION TO OBTAIN SCARS ONLY		02/07/24
3	FOR SSDA		25/09/24

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**LEGEND**

**BASEMENT**

DP	Drainage Pipe
LD	Linear Drain
SD	Spoon Drain

**GROUND**

ADL	Adaptable Loading Area
ADP	Adaptable Parking Space
EOT	End-of-Trip Facility
MP	Motorcycle Parking Space
VP	Visitor Parking Space

**TOWER**

C	Comms. Cupboard
E	Electrical Cupboard
F	High Pressure Fire Pipes Riser
FE	Fire Extinguisher
GT	Gate
GTL	Louvered Gate
H	Hydraulic Riser
KE	Kitchen Exhaust
LR	Stair Relief
M	Meter Room
PB	Planter Box
RF	Refrigerant Riser
SCN	Privacy Screen with Dense Planting
SCR	Screen
SK	Skylight
SP	Stair Press
SPS	Precast Spandrel Shading Device
VRV	Centralised VRF Plant Room

BL	Balustrade
CL	Commercial Lift
FCR	Fire Control Room
GBC	Garbage Chute
LTR	Lockable Storage
RI-R3	Residential Lift
STR	Storage
STP	Stone Paving
STT	Stone Tile Paving
TD	Timber Deck
TL	Tile

**NOTE**

- The final facade profile of the proposed design may be subjected to change based on the client's inputs or the availability of facade modules by the supplier.
- Dense landscape as wind buffer - treatment subject to wind tunnel test

Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

Project number  
**121876**

Size check  
 25mm

Checked Approved Sheet size Scale  
 - - A1 1:100

Sheet title  
**AFFORDABLE HOUSING LEVEL 6**

Sheet number  
**DA-2216**

Revision  
**3**

Status  
**FOR DEVELOPMENT APPLICATION**



Certificate No. #HR-HJPY34-01  
 Scan QR code or follow website link for rating details.

Accession name: **Woods Bagot**  
 Accreditation No.: **HERA 10212**  
 Property Address: **52-61 Archer Street, Crowswood NSW, 2067**

http://www.hercosoftware.com.au/pdf/HR-HJPY34-01

#	Status	Description	Date
1	ISSUE FOR DA		19/12/23
2	PRELIMINARY - FOR SUBMISSION TO OBTAIN SCARS ONLY		02/07/24
3	FOR SSDA		25/09/24

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**LEGEND**

**BASEMENT**

DP	Drainage Pipe
LD	Linear Drain
SD	Spoon Drain

**GROUND**

ADL	Adaptable Loading Area
ADP	Adaptable Parking Space
EOT	End-of-Trip Facility
MP	Motorcycle Parking Space
VP	Visitor Parking Space

**TOWER**

C	Comms. Cupboard
E	Electrical Cupboard
F	High Pressure Fire Pipes Riser
FE	Fire Extinguisher
GT	Gate
GTL	Louvered Gate
H	Hydraulic Riser
KE	Kitchen Exhaust
LR	Stair Relief
M	Meter Room
PB	Planter Box
RF	Refrigerant Riser
SCN	Privacy Screen with Dense Planting
SCR	Screen
SK	Skylight
SP	Stair Press
SPS	Precast Spandrel Shading Device
VRV	Centralised VRF Plant Room

**BL** Balustrade  
**CL** Commercial Lift  
**FCR** Fire Control Room  
**GBC** Garbage Chute  
**LTR** Lockable Storage  
**RI-R3** Residential Lift  
**STR** Storage  
**STP** Stone Paving  
**STT** Stone Tile Paving  
**TD** Timber Deck  
**TL** Tile

**NOTE**

1. The final facade profile of the proposed design may be subjected to change based on the client's inputs or the availability of facade modules by the supplier.

2. Dense landscape as wind buffer - treatment subject to wind tunnel test

Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

Project number  
**121876**

Size check  
 25mm

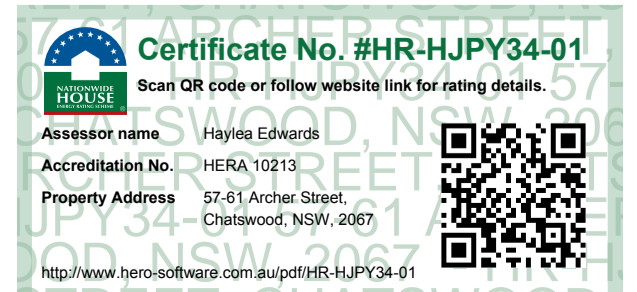
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Sheet title  
**AFFORDABLE HOUSING LEVEL 7**

Sheet number  
**DA-2217**

Revision  
**3**

Status  
**FOR DEVELOPMENT APPLICATION**



#	Status	Description	Date
1	ISSUE FOR DA		19/12/23
2	PRELIMINARY - FOR SUBMISSION TO OBTAIN SCARS ONLY		02/07/24
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**LEGEND**

**BASEMENT**

DP	Drainage Pipe
LD	Linear Drain
SD	Spoon Drain

**GROUND**

ADL	Adaptable Loading Area
ADP	Adaptable Parking Space
EOT	End-of-Trip Facility
MP	Motorcycle Parking Space
VP	Visitor Parking Space

**TOWER**

C	Comms. Cupboard
E	Electrical Cupboard
F	High Pressure Fire Pipes Riser
FE	Fire Extinguisher
GT	Gate
GTL	Louvered Gate
H	Hydraulic Riser
KE	Kitchen Exhaust
LR	Stair Relief
M	Meter Room
PB	Planter Box
RF	Refrigerant Riser
SCN	Privacy Screen with Dense Planting
SCR	Screen
SK	Skylight
SP	Stair Press
SPS	Precast Spandrel Shading Device
VRV	Centralised VRF Plant Room

**BL** Balustrade  
**CL** Commercial Lift  
**FCR** Fire Control Room  
**GBC** Garbage Chute  
**LTR** Lockable Storage  
**R1-R3** Residential Lift  
**STR** Storage  
**STP** Stone Paving  
**STT** Stone Tile Paving  
**TD** Timber Deck  
**TL** Tile

**NOTE**

1. The final facade profile of the proposed design may be subjected to change based on the client's inputs or the availability of facade modules by the supplier.

2. Dense landscape as wind buffer - treatment subject to wind tunnel test

Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

Project number	Size check
121876	25mm
Checked	Approved
-	-
Sheet size	Scale
A1	1:100

Sheet title  
**LOW-RISE LEVEL 8-10**

Sheet number  
**DA-2218**

Revision  
**3**

Status  
**FOR DEVELOPMENT APPLICATION**



Certificate No. #HR-HJPY34-01

Scan QR code or follow website link for rating details.

Assessor name: **Hylton Edwards**

Accreditation No.: **HERA 10213**

Property Address: **37-61 Archer Street, Chatswood, NSW, 2067**

http://www.hercosoftware.com.au/pdf/HR-HJPY34-01

#	Status	Description	Date
1		FOR INFORMATION	26/09/23
2		ISSUE FOR DA	19/12/23
3		PRELIMINARY - FOR SUBMISSION TO OBTAIN SEARS ONLY	02/07/24
4		FOR SSDA	25/09/24

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**LEGEND**

**BASEMENT**

DP	Drainage Pipe
LD	Linear Drain
SD	Spoon Drain

**GROUND**

ADL	Adaptable Loading Area
ADP	Adaptable Parking Space
EOT	End-of-Trip Facility
MP	Motorcycle Parking Space
VP	Visitor Parking Space

**TOWER**

C	Comms. Cupboard
E	Electrical Cupboard
F	High Pressure Fire Pipes Riser
FE	Fire Extinguisher
GT	Gate
GTL	Louvered Gate
H	Hydraulic Riser
KE	Kitchen Exhaust
LR	Stair Relief
M	Meter Room
PB	Planter Box
RF	Refrigerant Riser
SCN	Privacy Screen with Dense Planting
SCR	Screen
SK	Skylight
SP	Stair Press
SPS	Precast Spandrel Shading Device
VRV	Centralised VRF Plant Room

**BL** Balustrade  
**CL** Commercial Lift  
**FCR** Fire Control Room  
**GBC** Garbage Chute  
**LTR** Lockable Storage  
**RI-R3** Residential Lift  
**STR** Storage  
**STP** Stone Paving  
**STT** Stone Tile Paving  
**TD** Timber Deck  
**TL** Tile

**NOTE**

1. The final facade profile of the proposed design may be subjected to change based on the client's inputs or the availability of facade modules by the supplier.

2. Dense landscape as wind buffer - treatment subject to wind tunnel test

Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

Project number  
**121876**

Size check  
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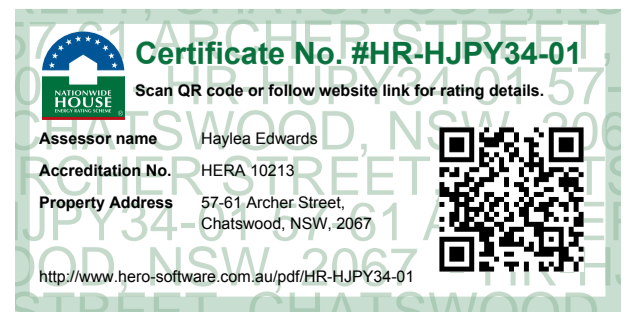
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Sheet title  
**MID-RISE**  
**LEVEL 11-16 & 18 - 19**

Sheet number  
**DA-2219**

Revision  
**4**

Status  
**FOR DEVELOPMENT APPLICATION**



#	Status	Description	Date
1	ISSUE FOR DA		19/12/23
2	PRELIMINARY - FOR SUBMISSION TO OBTAIN SCARS ONLY		02/07/24
3	FOR SSDA		25/09/24

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**LEGEND**

**BASEMENT**

DP	Drainage Pipe
LD	Linear Drain
SD	Spoon Drain

**GROUND**

ADL	Adaptable Loading Area
ADP	Adaptable Parking Space
EOT	End-of-Trip Facility
MP	Motorcycle Parking Space
VP	Visitor Parking Space

**TOWER**

C	Comms. Cupboard
E	Electrical Cupboard
F	High Pressure Fire Pipes Riser
FE	Fire Extinguisher
GT	Gate
GTL	Louvered Gate
H	Hydraulic Riser
KE	Kitchen Exhaust
LR	Stair Relief
M	Meter Room
PB	Planter Box
RF	Refrigerant Riser
SCRN	Privacy Screen with Dense Planting
SCR	Screen
SK	Skylight
SP	Stair Press
SPS	Precast Spandrel Shading Device
VRV	Centralised VRF Plant Room

**BL** Balustrade  
**CL** Commercial Lift  
**FCR** Fire Control Room  
**GBC** Garbage Chute  
**LTR** Lockable Storage  
**RI-R3** Residential Lift  
**STR** Storage  
**STP** Stone Paving  
**STT** Stone Tile Paving  
**TD** Timber Deck  
**TL** Tile

**NOTE**

- The final facade profile of the proposed design may be subjected to change based on the client's inputs or the availability of facade modules by the supplier.
- Dense landscape as wind buffer - treatment subject to wind tunnel test

Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

Project number  
**121876**

Size check  
 25mm

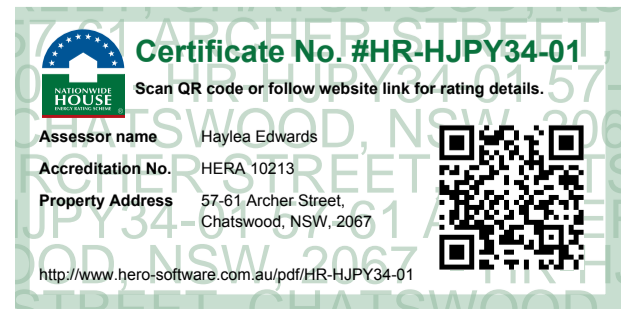
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Sheet title  
**MID-RISE LEVEL 17**

Sheet number  
**DA-2220**

Revision  
**3**

Status  
**FOR DEVELOPMENT APPLICATION**



#	Status	Description	Date
1		FOR INFORMATION	26/09/23
2		ISSUE FOR DA	19/12/23
3		PRELIMINARY - FOR SUBMISSION TO OBTAIN SEARS ONLY	02/07/24
4		FOR SSDA	25/09/24

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**LEGEND**

**BASEMENT**

DP	Drainage Pipe
LD	Linear Drain
SD	Spoon Drain
ADL	Adaptable Loading Area
ADP	Adaptable Parking Space
EOT	End-of-Trip Facility
MP	Motorcycle Parking Space
VP	Visitor Parking Space

**GROUND**

CO	Crossover
EP	Electric Pole
FS	Furniture - Seat
HB	Hydrant Booster
LP	Power and Light Pole
LR	Lobby Relief
TCR	Traffic Control Pole
ZGR	Zone for Gas Regulator
MH	Sewer Manhole
PT	PIT

**TOWER**

C	Comms. Cupboard
E	Electrical Cupboard
F	High Pressure Fire Pipes Riser
FE	Fire Extinguisher
GT	Gate
GTL	Louvered Gate
H	Hydraulic Riser
KE	Kitchen Exhaust
LR	Stair Relief
M	Meter Room
PB	Planter Box
RF	Refrigerant Riser
SCN	Privacy Screen with Dense Planting
SCR	Screen
SK	Skylight
SP	Stair Press
SPS	Precast Spandrel Shading Device
VRV	Centralised VRF Plant Room
BL	Balustrade
CL	Commercial Lift
FCR	Fire Control Room
GBC	Garbage Chute
LTR	Lockable Storage
RI-R3	Residential Lift
STR	Storage
STP	Stone Paving
STT	Stone Tile Paving
TD	Timber Deck
TL	Tile

**NOTE**

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2. Dense landscape as wind buffer - treatment subject to wind tunnel test

Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

Project number  
**121876**

Size check  
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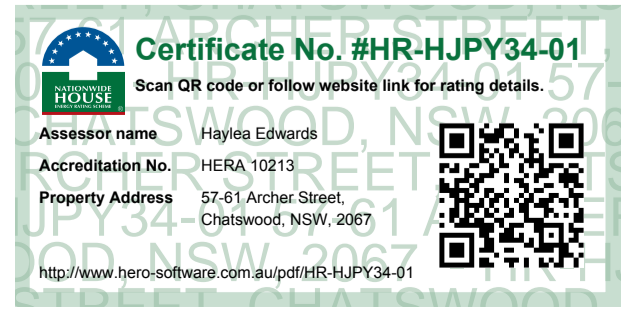
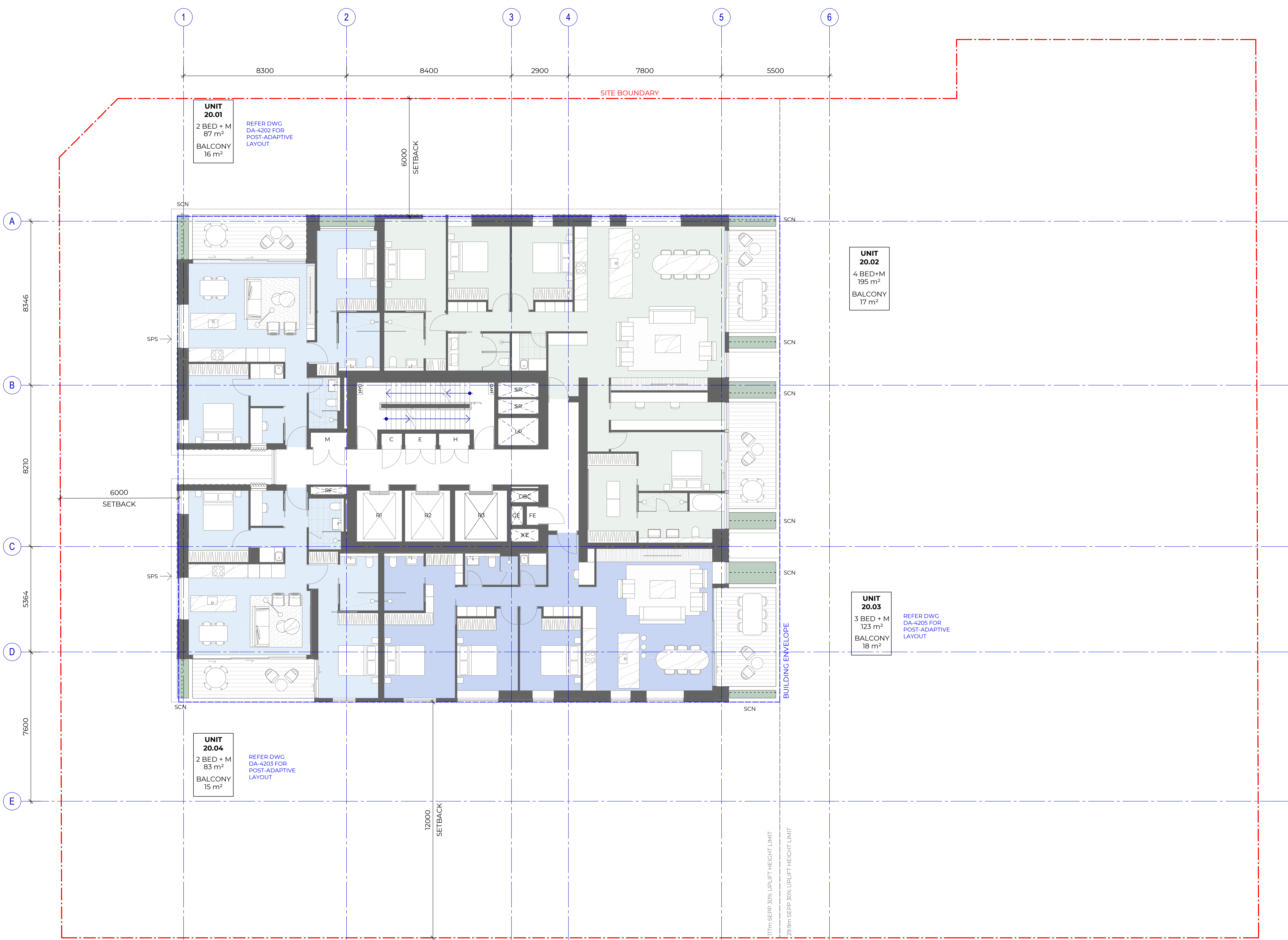
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Sheet title  
**HIGH-RISE  
 LEVEL 20-28**

Sheet number  
**DA-2221**

Revision  
**4**

Status  
**FOR DEVELOPMENT  
 APPLICATION**



#	Status	Description	Date
1	ISSUE FOR DA		19/12/23
2	PRELIMINARY - FOR SUBMISSION TO OBTAIN SCARS ONLY		02/07/24
3	FOR SSDA		25/09/24

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**LEGEND**

**BASEMENT**

DP Drainage Pipe  
 LD Linear Drain  
 SD Spoon Drain

ADL Adaptable Loading Area  
 ADP Adaptable Parking Space  
 EOT End-of-Trip Facility  
 MP Motorcycle Parking Space  
 VP Visitor Parking Space

**GROUND**

CO Crossover  
 EP Electric Pole  
 FS Furniture - Seat  
 HB Hydrant Booster  
 LP Power and Light Pole  
 LR Lobby Relief  
 TCR Traffic Control Pole  
 ZGR Zone for Gas Regulator  
 MH Sewer Manhole  
 PT PIT

**TOWER**

C Comms. Cupboard  
 E Electrical Cupboard  
 F High Pressure Fire Pipes Riser  
 FE Fire Extinguisher  
 GT Gate  
 GTL Louvered Gate  
 H Hydraulic Riser  
 KE Kitchen Exhaust  
 LR Stair Relief  
 M Meter Room  
 PB Planter Box  
 RF Refrigerant Riser  
 SCN Privacy Screen with Dense Planting  
 SCR Screen  
 SK Skylight  
 SP Stair Press  
 SPS Precast Spandrel Shading Device  
 VRF Centralised VRF Plant Room

BL Balustrade  
 CL Commercial Lift  
 FCR Fire Control Room  
 GBC Garbage Chute  
 LTR Lockable Storage  
 RI-R3 Residential Lift  
 STR Storage

STP Stone Paving  
 STT Stone Tile Paving  
 TD Timber Deck  
 TL Tile

**NOTE**

1. The final facade profile of the proposed design may be subjected to change based on the client's inputs or the availability of facade modules by the supplier.

2. Dense landscape as wind buffer - treatment subject to wind tunnel test

Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

Project number  
**121876**

Size check  
 25mm

Checked Approved Sheet size Scale  
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Sheet title  
**SUB-PENTHOUSE LEVEL 29-30**

Sheet number  
**DA-2222**

Revision  
**3**

Status  
**FOR DEVELOPMENT APPLICATION**



Certificate No. #HR-HJPY34-01

Scan QR code or follow website link for rating details.

Assessor name: Haydn Edwards  
 Accreditation No.: HERA 10213  
 Property Address: 57-61 Archer Street, Chalmers NSW, 2007

QR code

Website: <http://www.bencoftware.com.au/pdf/HR-HJPY34-01>

#	Status	Description	Date
1	ISSUE FOR DA		19/12/23
2	PRELIMINARY - FOR SUBMISSION TO OBTAIN SCARS ONLY		02/07/24
3	FOR SSDA		25/09/24
4	FOR JURY UPDATE		14/10/24

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**LEGEND**

**BASEMENT**

DP	Drainage Pipe
LD	Linear Drain
SD	Spoon Drain
ADL	Adaptable Loading Area
ADP	Adaptable Parking Space
EOT	End-of-Trip Facility
MP	Motorcycle Parking Space
VP	Visitor Parking Space

**GROUND**

CO	Crossover
EP	Electric Pole
FS	Furniture - Seat
HB	Hydrant Booster
LP	Power and Light Pole
LR	Lobby Relief
TCR	Traffic Control Pole
ZGR	Zone for Gas Regulator
MH	Sewer Manhole
PT	PIT

**TOWER**

C	Comms. Cupboard
E	Electrical Cupboard
F	High Pressure Fire Pipes Riser
FE	Fire Extinguisher
GT	Gate
GTL	Louvered Gate
H	Hydraulic Riser
KE	Kitchen Exhaust
LR	Stair Relief
M	Meter Room
PB	Planter Box
RF	Refrigerant Riser
SCN	Privacy Screen with Dense Planting
SCR	Screen
SK	Skylight
SP	Stair Press
SPS	Precast Spandrel Shading Device
VRV	Centralised VRF Plant Room
BL	Balustrade
CL	Commercial Lift
FCR	Fire Control Room
GBC	Garbage Chute
LTR	Lockable Storage
RI-R3	Residential Lift Storage
STR	Storage
STP	Stone Paving
STT	Stone Tile Paving
TD	Timber Deck
TL	Tile

**NOTE**

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Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

Project number  
**121876**

Size check  
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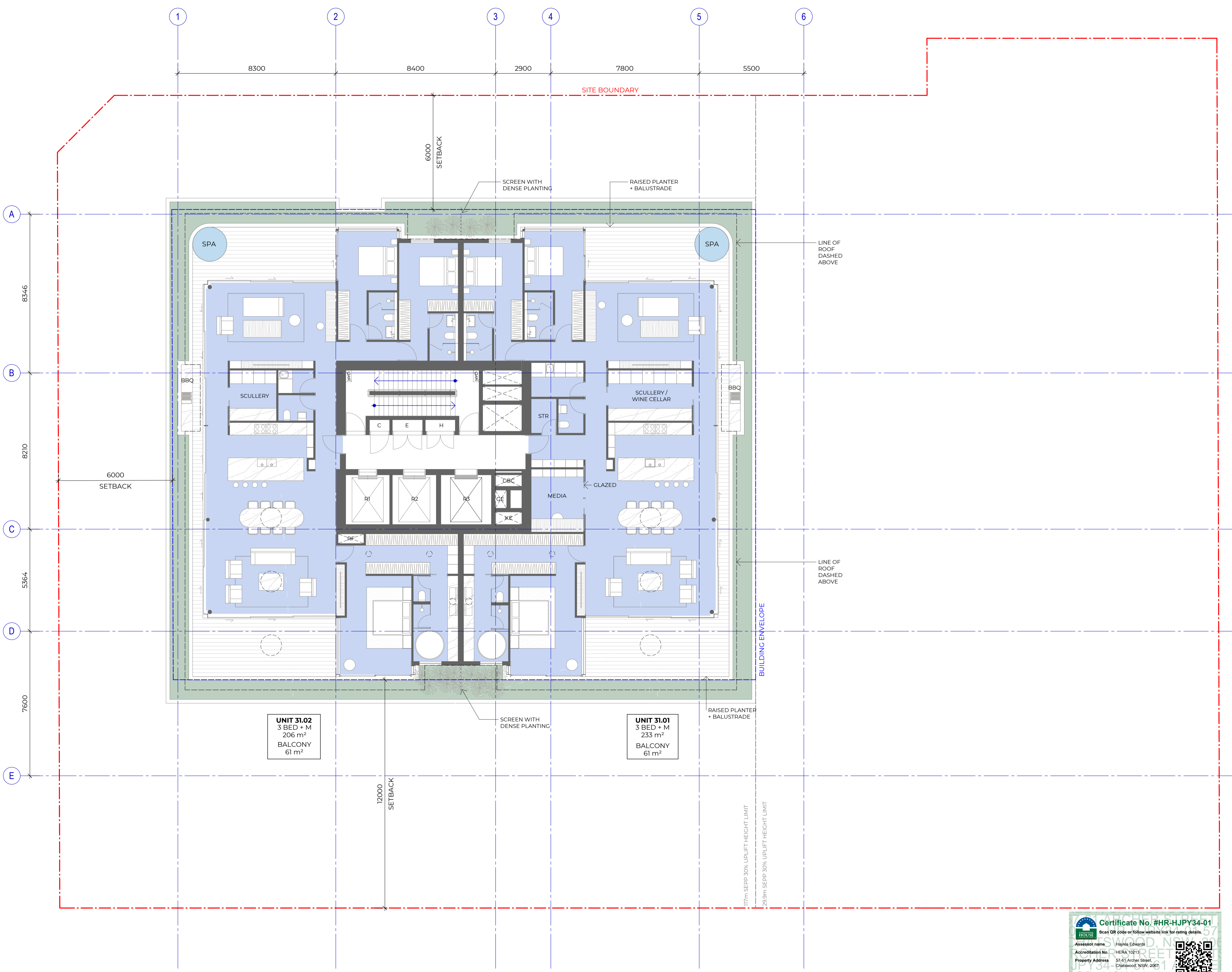
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**PENTHOUSE LEVEL 31**

Sheet number  
**DA-2223**

Revision  
**4**

Status  
**FOR DEVELOPMENT APPLICATION**



#	Status	Description	Date
1		ISSUE FOR DA	19/12/23
2		PRELIMINARY - FOR SUBMISSION TO OBTAIN SCARS ONLY	02/07/24
3		FOR SSDA	25/09/24
4		FOR JURY UPDATE	14/10/24

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**LEGEND**

**BASEMENT**

DP	Drainage Pipe
LD	Linear Drain
SD	Spoon Drain

**GROUND**

ADL	Adaptable Loading Area
ADP	Adaptable Parking Space
EOT	End-of-Trip Facility
MP	Motorcycle Parking Space
VP	Visitor Parking Space

**TOWER**

C	Comms. Cupboard
E	Electrical Cupboard
F	High Pressure Fire Pipes Riser
FE	Fire Extinguisher
GT	Gate
GTL	Louvred Gate
H	Hydraulic Riser
KE	Kitchen Exhaust
LR	Lobby Relief
M	Meter Room
PB	Planter Box
RF	Refrigerant Riser
SCN	Privacy Screen with Dense Planting
SCR	Screen
SK	Skylight
SP	Stair Press
SPS	Precast Spandrel Shading Device
VRV	Centralised VRF Plant Room

**BL** Balustrade  
**CL** Commercial Lift  
**FCR** Fire Control Room  
**GBC** Garbage Chute  
**LTR** Lockable Storage  
**RI-R3** Residential Lift  
**STR** Storage  
**STP** Stone Paving  
**STT** Stone Tile Paving  
**TD** Timber Deck  
**TL** Tile

**NOTE**

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- Dense landscape as wind buffer - treatment subject to wind tunnel test

Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

Project number  
**121876**

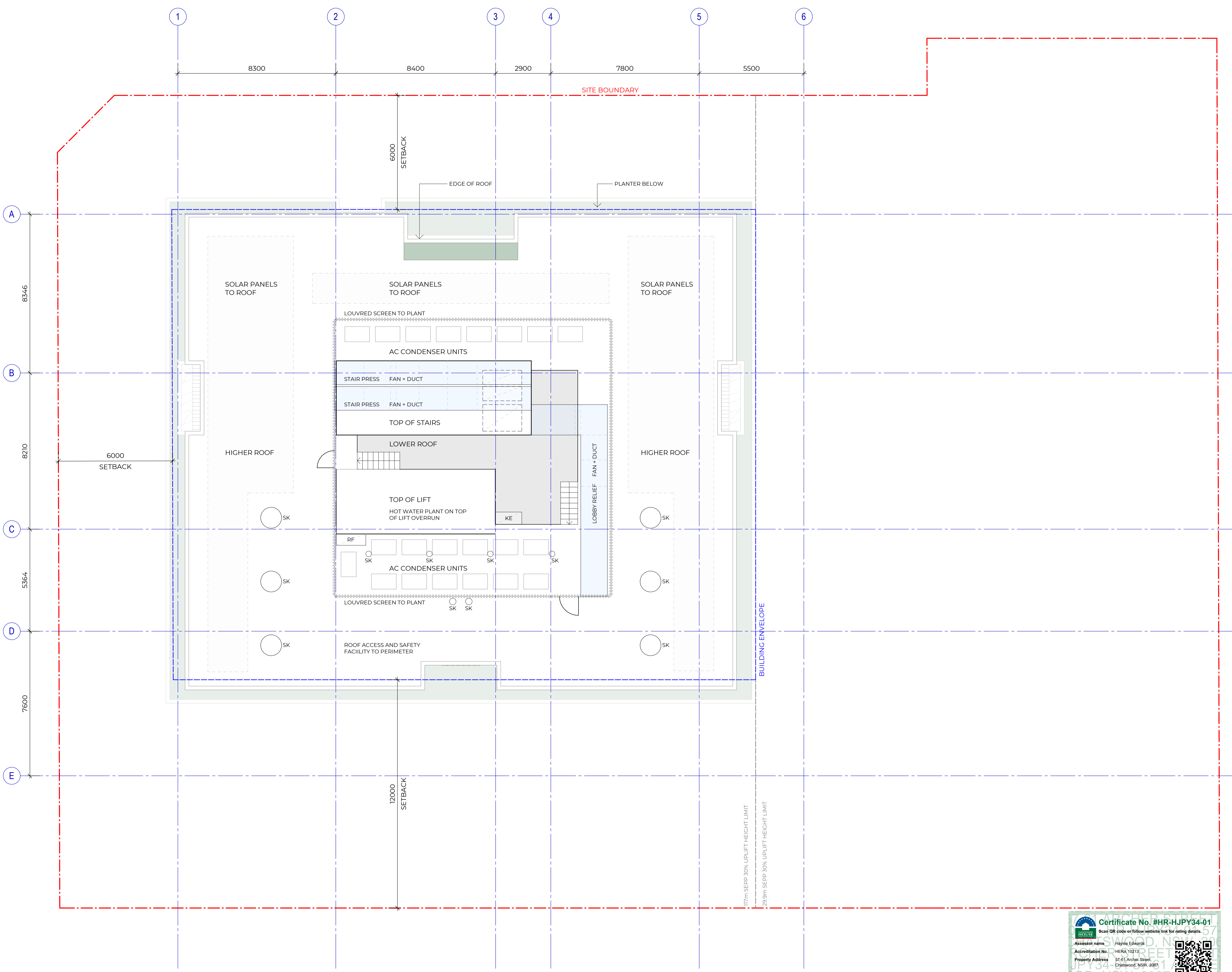
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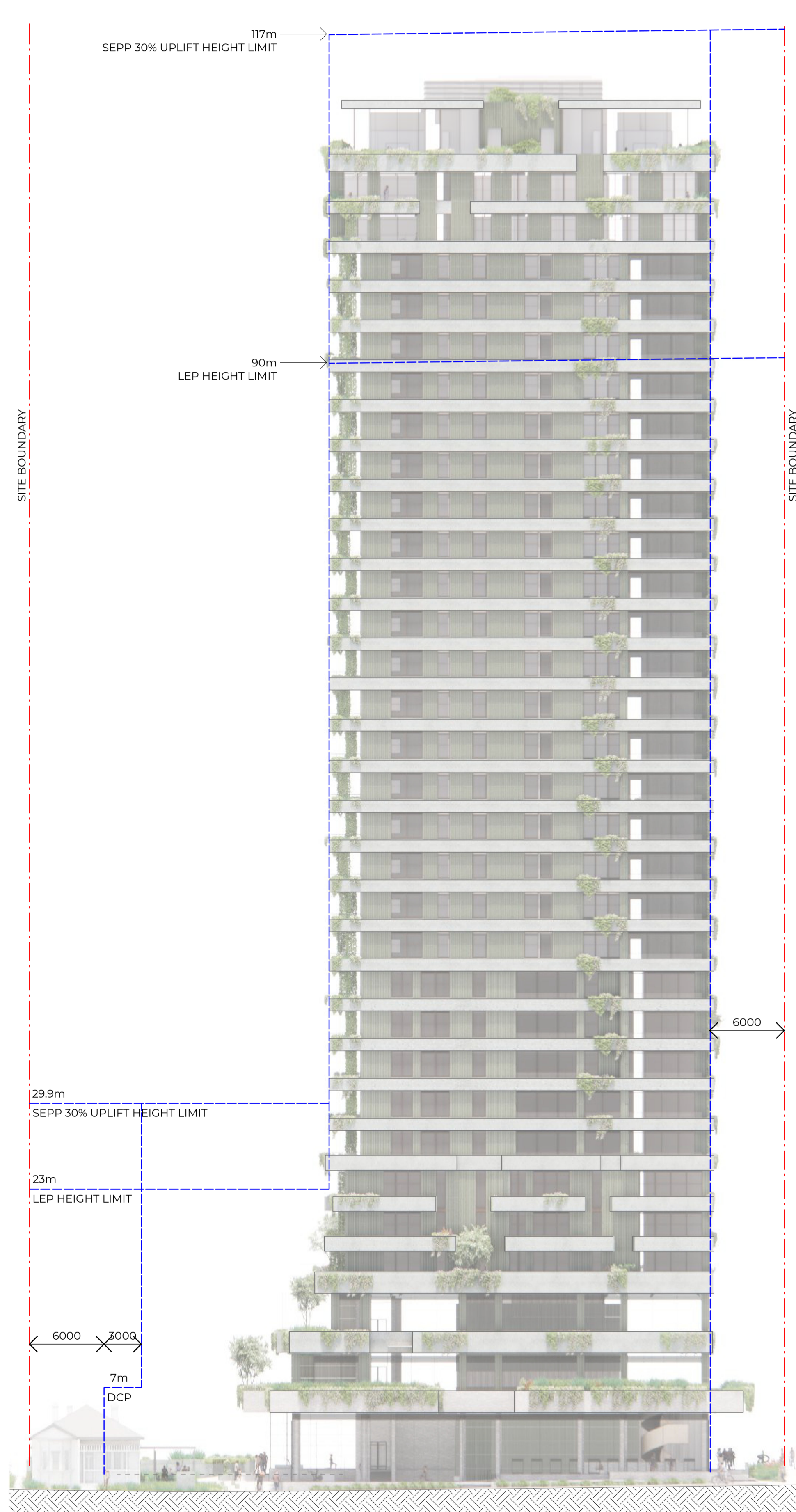
Revision  
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Status  
**FOR DEVELOPMENT APPLICATION**



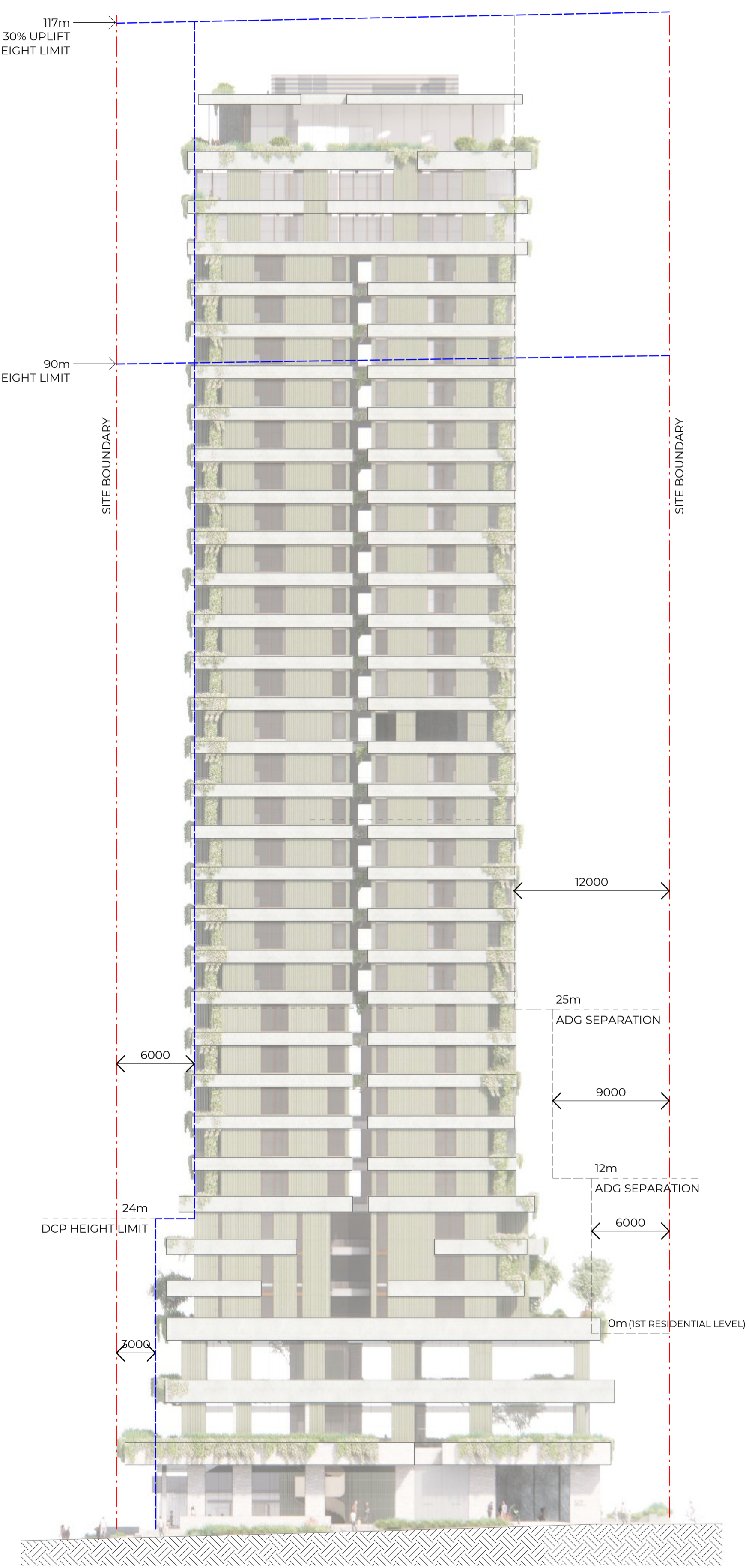
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#	Status	Description	Date
1		ISSUE FOR DA	19/12/23
2		FOR SSDA	25/09/24

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- RL 205000  
TOP OF ENVELOPE
- RL 199050  
TOP OF ROOF
- RL 193550  
LEVEL 31
- RL 190200  
LEVEL 30
- RL 187000  
LEVEL 29
- RL 183650  
LEVEL 28
- RL 180450  
LEVEL 27
- RL 177250  
LEVEL 26
- RL 174050  
LEVEL 25
- RL 170850  
LEVEL 24
- RL 167650  
LEVEL 23
- RL 164450  
LEVEL 22
- RL 161250  
LEVEL 21
- RL 158050  
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- RL 154850  
LEVEL 19
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LEVEL 18
- RL 148300  
LEVEL 17
- RL 144950  
LEVEL 16
- RL 141750  
LEVEL 15
- RL 138550  
LEVEL 14
- RL 135350  
LEVEL 13
- RL 132150  
LEVEL 12
- RL 128950  
LEVEL 11
- RL 125750  
LEVEL 10
- RL 122550  
LEVEL 9
- RL 119350  
LEVEL 8
- RL 116150  
LEVEL 7
- RL 112950  
LEVEL 6
- RL 109600  
LEVEL 5
- RL 106400  
LEVEL 4
- RL 103200  
LEVEL 3
- RL 98400  
LEVEL 2
- RL 93600  
LEVEL 1
- RL 88100  
GROUND FLOOR
- RL 85000  
BASEMENT 1

NORTH ELEVATION



- RL 205000  
TOP OF ENVELOPE
- RL 199050  
TOP OF ROOF
- RL 193550  
LEVEL 31
- RL 190200  
LEVEL 30
- RL 187000  
LEVEL 29
- RL 183650  
LEVEL 28
- RL 180450  
LEVEL 27
- RL 177250  
LEVEL 26
- RL 174050  
LEVEL 25
- RL 170850  
LEVEL 24
- RL 167650  
LEVEL 23
- RL 164450  
LEVEL 22
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LEVEL 16
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LEVEL 15
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LEVEL 8
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LEVEL 7
- RL 112950  
LEVEL 6
- RL 109600  
LEVEL 5
- RL 106400  
LEVEL 4
- RL 103200  
LEVEL 3
- RL 98400  
LEVEL 2
- RL 93600  
LEVEL 1
- RL 88100  
GROUND FLOOR
- RL 85000  
BASEMENT 1

WEST ELEVATION

Certificate No. #HR-HJPY34-01  
 Assessors name: Hayley Edwards  
 Accreditation No.: HERA 10215  
 Property Address: 97-61 Archer Street, Chislewood, 5039, 2027  
 http://www.heracert.com.au/pdf/HR-HJPY34-01

Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

Project number	Size check
121876	25mm
Checked	Approved
-	-
Sheet size	Scale
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Sheet title  
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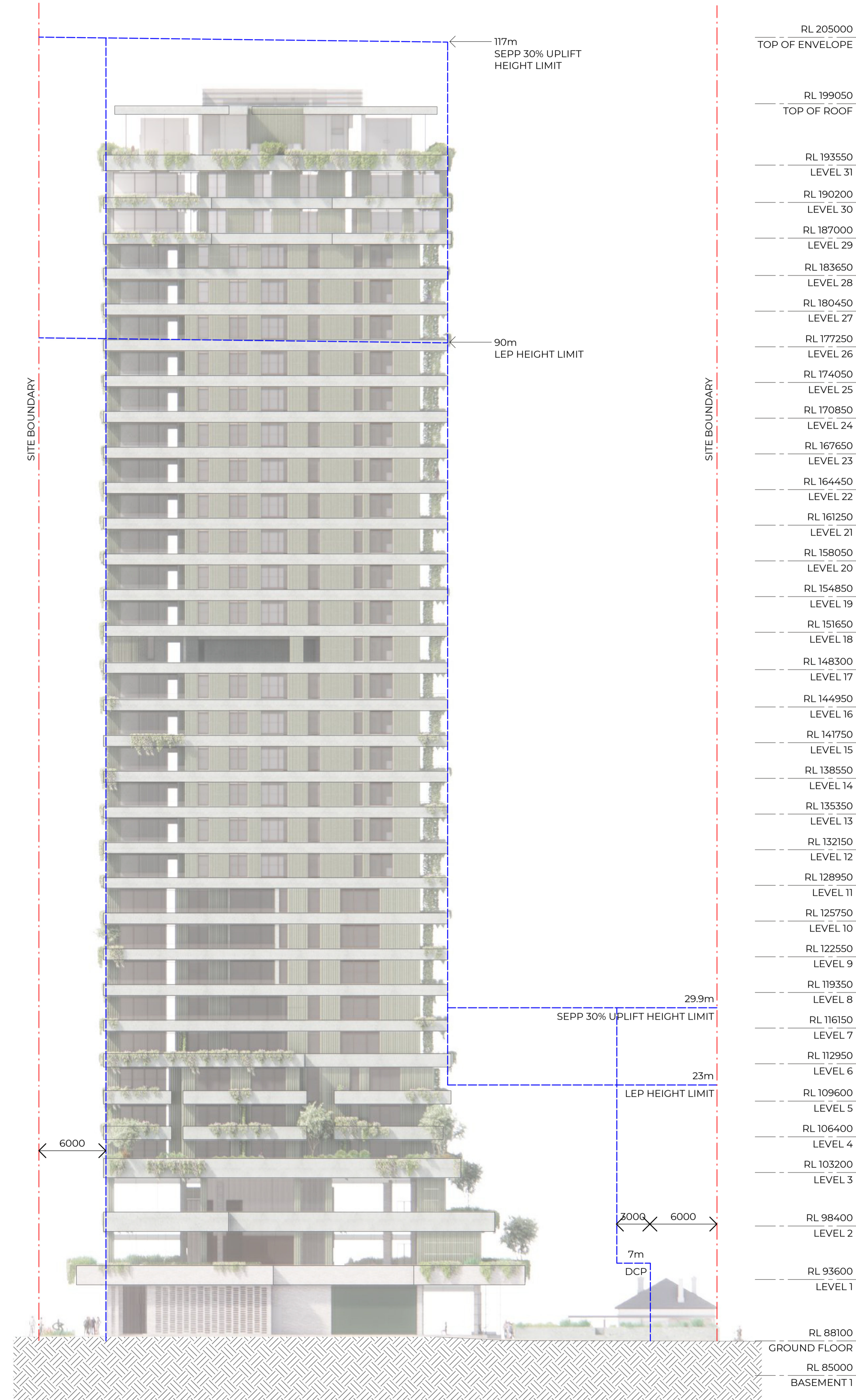
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Revision  
**2**

Status  
**FOR DEVELOPMENT APPLICATION**

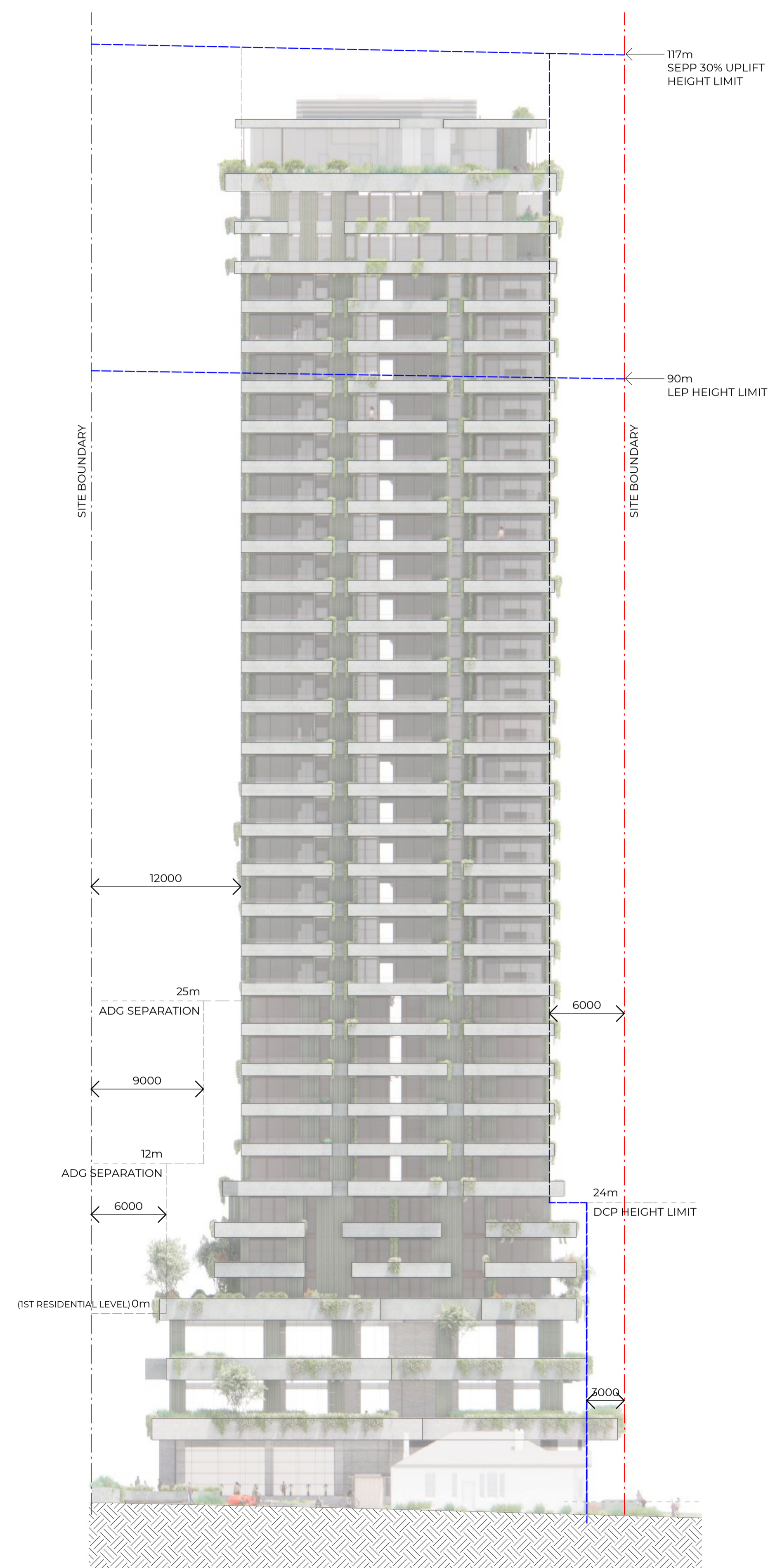
#	Status	Description	Date
1	ISSUE FOR DA		19/12/23
2	FOR SSDA		25/09/24

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SOUTH ELEVATION

RL 205000	TOP OF ENVELOPE
RL 199050	TOP OF ROOF
RL 193550	LEVEL 31
RL 190200	LEVEL 30
RL 187000	LEVEL 29
RL 183650	LEVEL 28
RL 180450	LEVEL 27
RL 177250	LEVEL 26
RL 174050	LEVEL 25
RL 170850	LEVEL 24
RL 167650	LEVEL 23
RL 164450	LEVEL 22
RL 161250	LEVEL 21
RL 158050	LEVEL 20
RL 154850	LEVEL 19
RL 151650	LEVEL 18
RL 148300	LEVEL 17
RL 144950	LEVEL 16
RL 141750	LEVEL 15
RL 138550	LEVEL 14
RL 135350	LEVEL 13
RL 132150	LEVEL 12
RL 128950	LEVEL 11
RL 125750	LEVEL 10
RL 122550	LEVEL 9
RL 119350	LEVEL 8
RL 116150	LEVEL 7
RL 112950	LEVEL 6
RL 109600	LEVEL 5
RL 106400	LEVEL 4
RL 103200	LEVEL 3
RL 98400	LEVEL 2
RL 93600	LEVEL 1
RL 88100	GROUND FLOOR
RL 85000	BASEMENT 1



EAST ELEVATION

CERTIFICATE No. #HR-HJPY34-01  
 Assessors name: Haynes Edwards  
 Accreditation No.: HERA 10215  
 Property Address: 57-61 Archer Street, Chislewood, 5039W, 2027  
 http://www.heracert.com.au/pdf/HR-HJPY34-01

Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

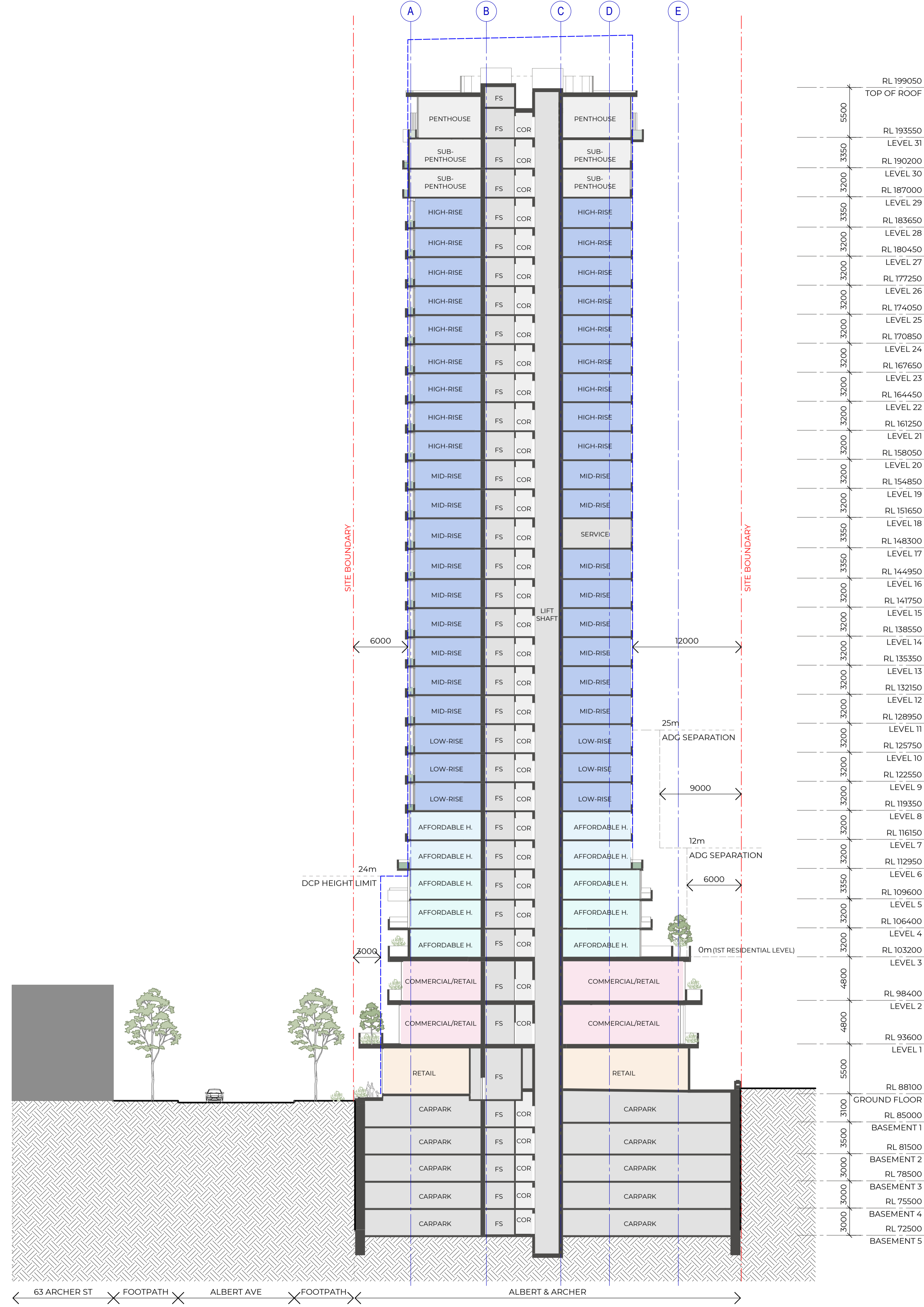
Issuer  
**W-B**  
**WOODS BAGOT**

Project number	Size check
121876	25mm
Checked	Approved
-	-
Sheet size	Scale
A1	1 : 250

Sheet title

ELEVATION 02

Sheet number	Revision
DA-3202	2
Status	
FOR DEVELOPMENT APPLICATION	



5500	RL 199050	TOP OF ROOF
5500	RL 193550	LEVEL 31
3350	RL 190200	LEVEL 30
3200	RL 187000	LEVEL 29
3350	RL 183650	LEVEL 28
3200	RL 180450	LEVEL 27
3200	RL 177250	LEVEL 26
3200	RL 174050	LEVEL 25
3200	RL 170850	LEVEL 24
3200	RL 167650	LEVEL 23
3200	RL 164450	LEVEL 22
3200	RL 161250	LEVEL 21
3200	RL 158050	LEVEL 20
3200	RL 154850	LEVEL 19
3200	RL 151650	LEVEL 18
3350	RL 148300	LEVEL 17
3350	RL 144950	LEVEL 16
3200	RL 141750	LEVEL 15
3200	RL 138550	LEVEL 14
3200	RL 135350	LEVEL 13
3200	RL 132150	LEVEL 12
3200	RL 128950	LEVEL 11
3200	RL 125750	LEVEL 10
3200	RL 122550	LEVEL 9
3200	RL 119350	LEVEL 8
3200	RL 116150	LEVEL 7
3200	RL 112950	LEVEL 6
3350	RL 109600	LEVEL 5
3200	RL 106400	LEVEL 4
3200	RL 103200	LEVEL 3
4800	RL 98400	LEVEL 2
4800	RL 93600	LEVEL 1
5500	RL 88100	GROUND FLOOR
3100	RL 85000	BASEMENT 1
3500	RL 81500	BASEMENT 2
3000	RL 78500	BASEMENT 3
3000	RL 75500	BASEMENT 4
3000	RL 72500	BASEMENT 5

Recent revision history		
#	Status	Description
1		ISSUE FOR DA
2		FOR SSDA

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**WOODS BAGOT**

Project number  
**121876**

Size check  
 25mm

Checked - Approved - Sheet size A1 Scale 1:250

Sheet title  
**SECTION 01**

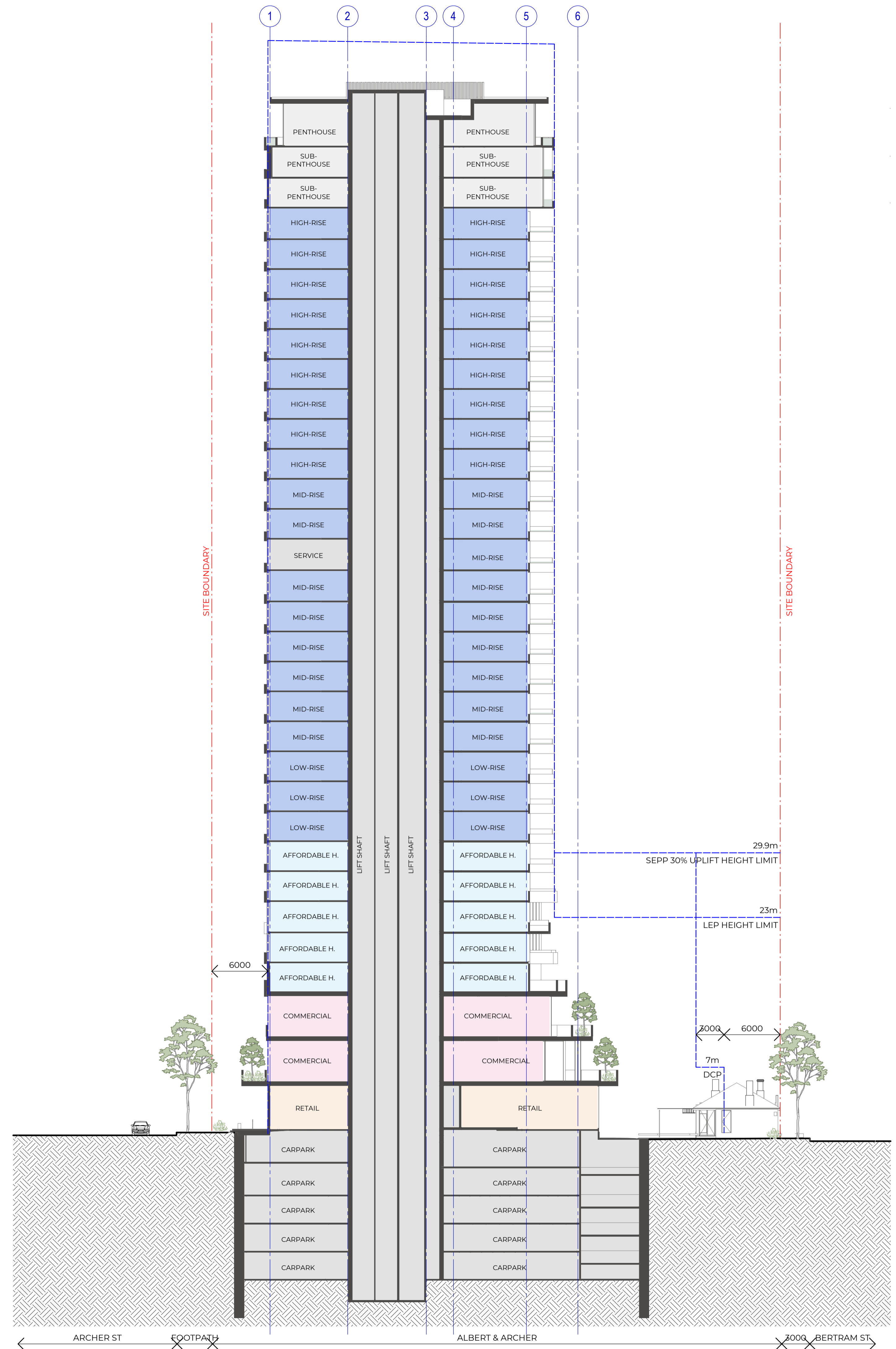
Sheet number  
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Revision  
**2**

Status  
**FOR DEVELOPMENT APPLICATION**

#	Status	Description	Date
1	ISSUE FOR DA		19/12/23
2	FOR SSDA		25/09/24

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RL 199050	TOP OF ROOF
5500	
RL 193550	LEVEL 31
3350	
RL 190200	LEVEL 30
3200	
RL 187000	LEVEL 29
3350	
RL 183650	LEVEL 28
3200	
RL 180450	LEVEL 27
3200	
RL 177250	LEVEL 26
3200	
RL 174050	LEVEL 25
3200	
RL 170850	LEVEL 24
3200	
RL 167650	LEVEL 23
3200	
RL 164450	LEVEL 22
3200	
RL 161250	LEVEL 21
3200	
RL 158050	LEVEL 20
3200	
RL 154850	LEVEL 19
3200	
RL 151650	LEVEL 18
3350	
RL 148300	LEVEL 17
3350	
RL 144950	LEVEL 16
3200	
RL 141750	LEVEL 15
3200	
RL 138550	LEVEL 14
3200	
RL 135350	LEVEL 13
3200	
RL 132150	LEVEL 12
3200	
RL 128950	LEVEL 11
3200	
RL 125750	LEVEL 10
3200	
RL 122550	LEVEL 9
3200	
RL 119350	LEVEL 8
3200	
RL 116150	LEVEL 7
3200	
RL 112950	LEVEL 6
3350	
RL 109600	LEVEL 5
3200	
RL 106400	LEVEL 4
3200	
RL 103200	LEVEL 3
4800	
RL 98400	LEVEL 2
4800	
RL 93600	LEVEL 1
5500	
RL 88100	GROUND FLOOR
3100	
RL 85000	BASEMENT 1
3500	
RL 81500	BASEMENT 2
3000	
RL 78500	BASEMENT 3
3000	
RL 75500	BASEMENT 4
3000	
RL 72500	BASEMENT 5



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Issuer  
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**WOODS BAGOT**

Project number  
**121876**

Size check  
 25mm

Checked Approved Sheet size Scale  
 - - A1 1:250

Sheet title  
**SECTION 02**

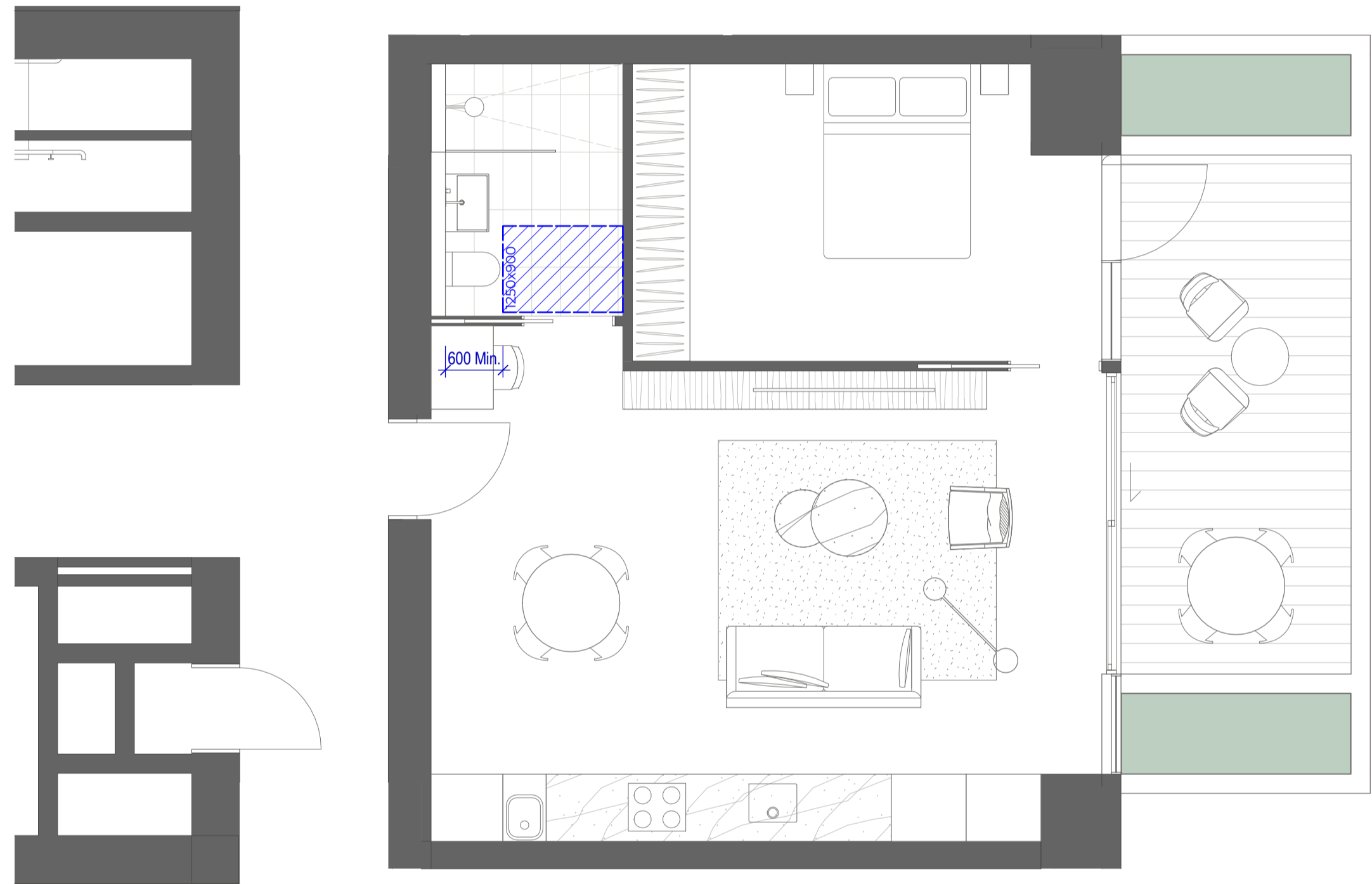
Sheet number  
**DA-3302**

Revision  
**2**

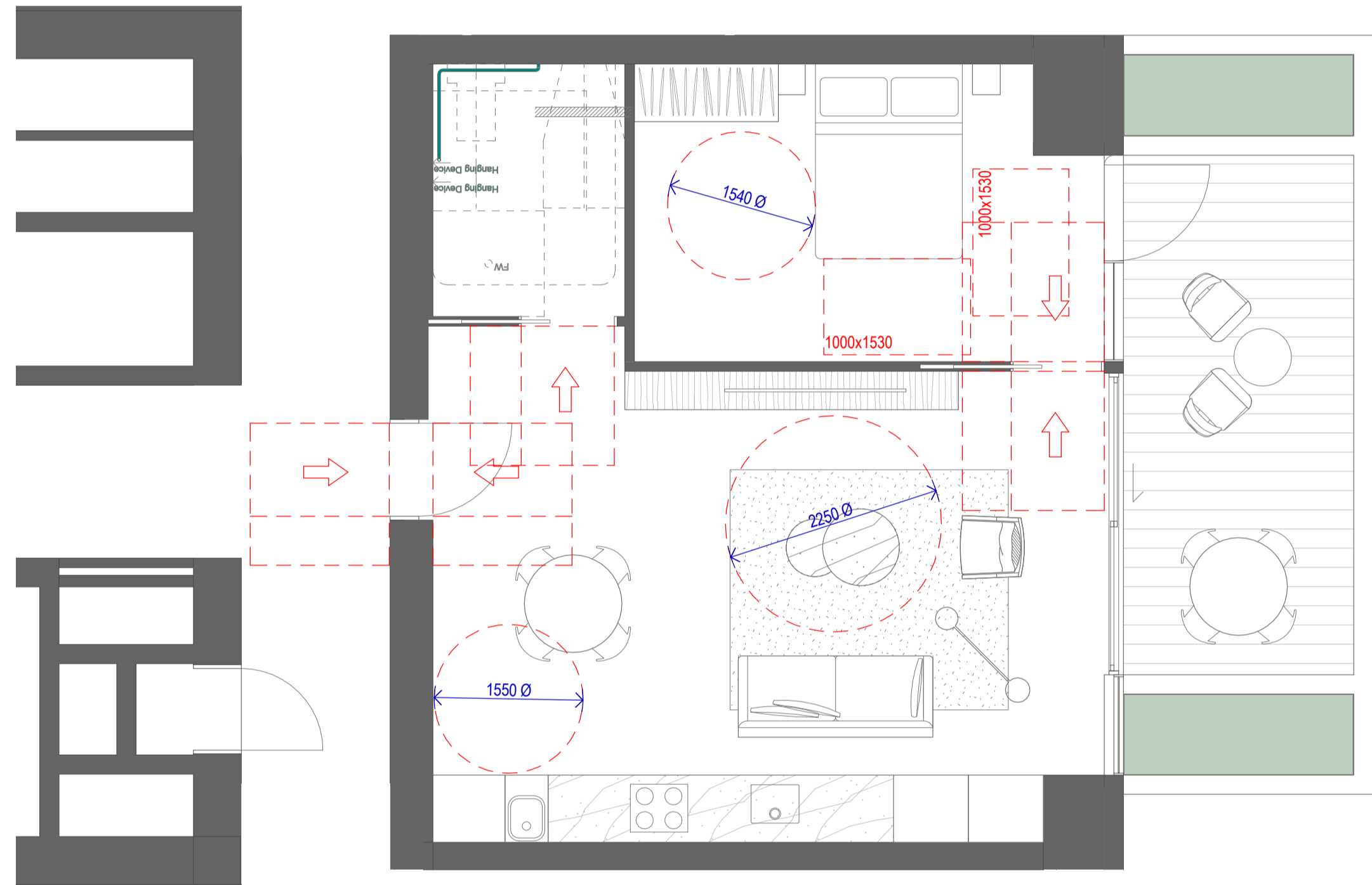
Status  
**FOR DEVELOPMENT APPLICATION**

Recent revision history		
#	Status	Description
1		FOR SSDA

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1. LEVEL 6-19 - 1 BED TYPE T1 PRE-ADAPTATION



2. LEVEL 6-19 - 1 BED TYPE T1 POST-ADAPTATION

**Certificate No. #HR-HJPY34-01**  
 Read QR code or follow website link for seeing details.  
 Assessor name: Hayley Edwards  
 Accreditation No.: HERA 10215  
 Property Address: 57-61 Archer Street, Clarewood NSW 2067  
 http://www.heracert.com.au/pdf/HR-HJPY34-01

Project  
**ARCHER & ALBERT**

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**W-B**  
**WOODS BAGOT**

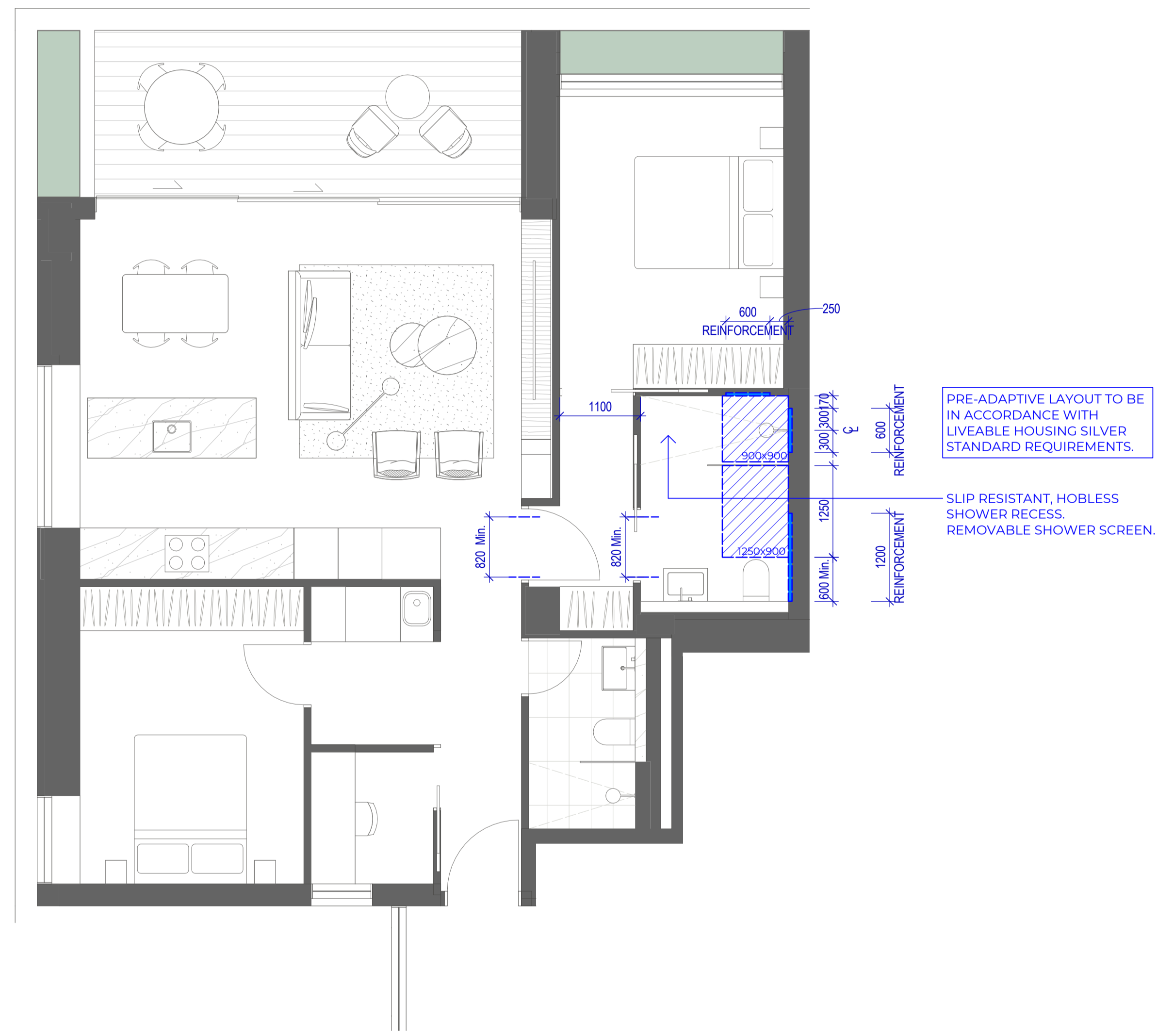
Project number	Size check
121876	25mm
Checked	Approved
-	-
Sheet size	Scale
A1	1 : 50

Sheet title  
**POST ADAPTIVE LAYOUT - 1BED TYPE T1**

Sheet number	Revision
<b>DA-4201</b>	1
Status	
<b>FOR DEVELOPMENT APPLICATION</b>	

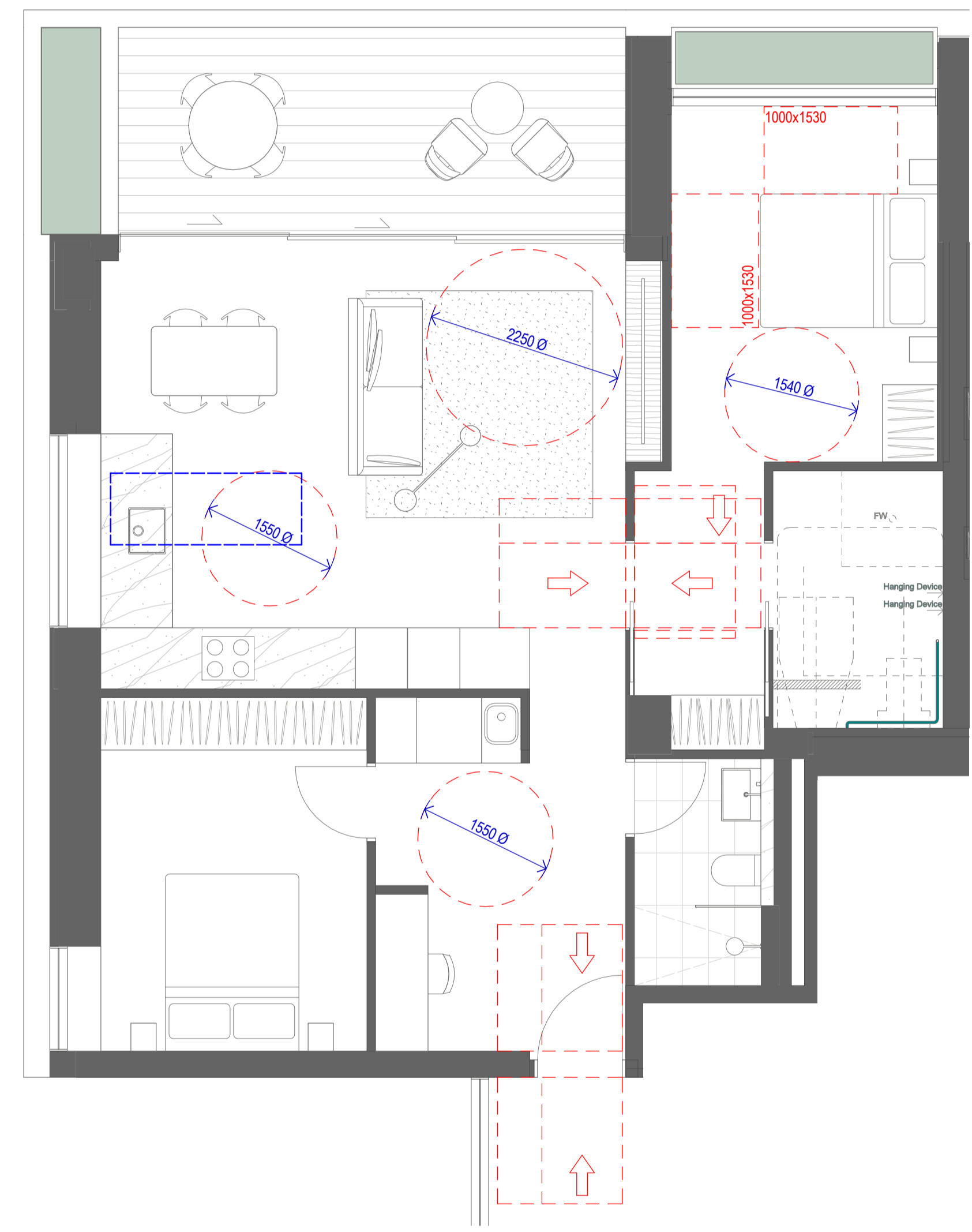
#	Status	Description	Date
1		FOR SSDA	25/09/24

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**LIVEABLE HOUSING - SILVER STANDARD**

1. LEVEL 11-28 - 2 BED TYPE T1 PRE-ADAPTATION



2. LEVEL 11-28 - 2 BED TYPE T1 POST-ADAPTATION



Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

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**WOODS BAGOT**

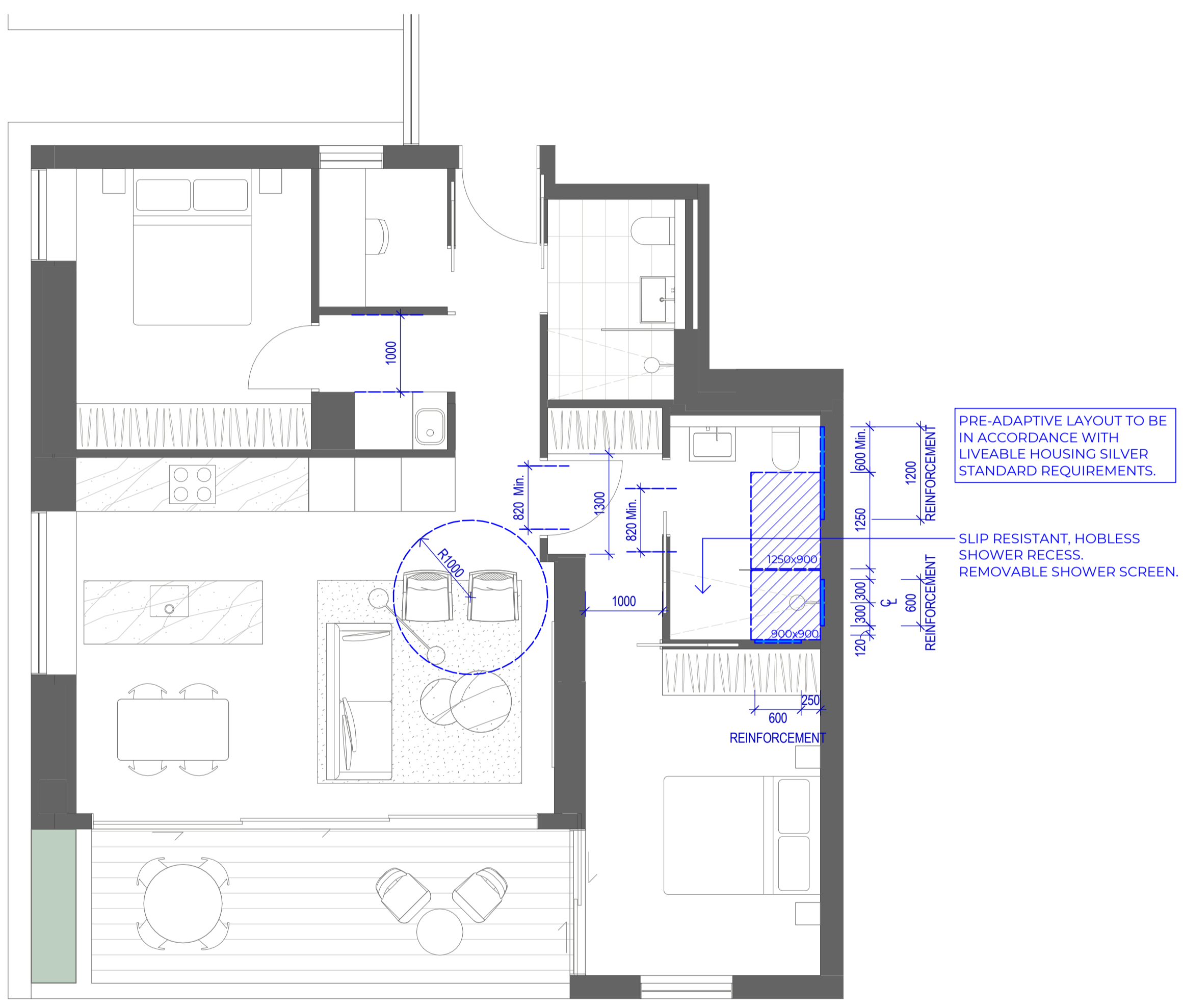
Project number	Size check
121876	25mm
Checked	Approved
-	-
Sheet size	Scale
A1	1:50

Sheet title  
**POST ADAPTIVE LAYOUT - 2BED TYPE T1**

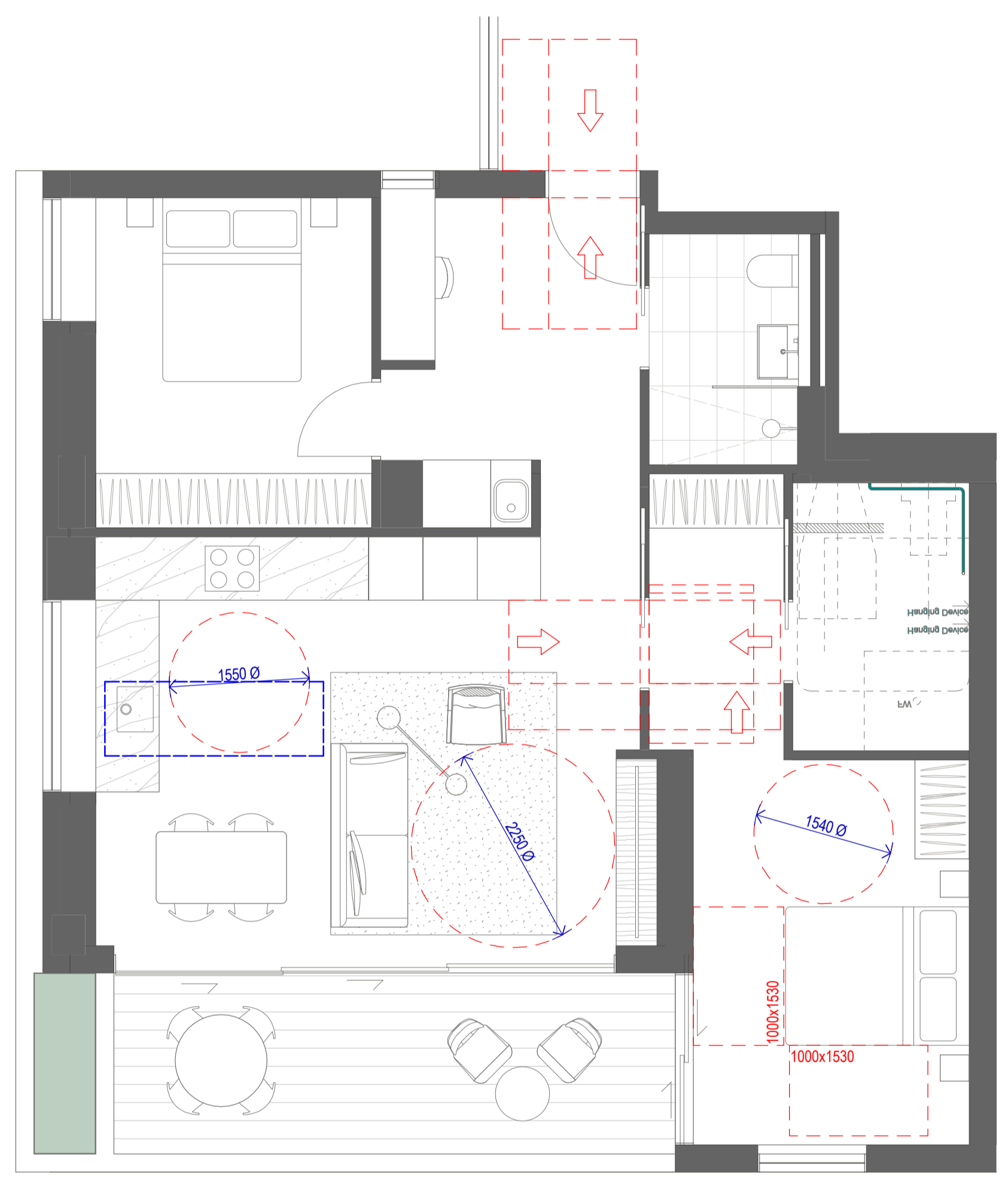
Sheet number  
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 Status  
**FOR DEVELOPMENT APPLICATION**

Recent revision history		
#	Status	Description
1		FOR SSDA

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1. LEVEL T1-28 - 2 BED TYPE T2 PRE-ADAPTATION  
 LIVEABLE HOUSING - SILVER STANDARD



2. LEVEL T1-28 - 2 BED TYPE T2 POST-ADAPTATION

Certificate No. #HR-HJPY34-01  
 Assessors name: Hayley Edwards  
 Accreditation No.: HERA 10215  
 Property Address: 57-61 Archer Street, Chislewood, 5038W, 2027  
 http://www.heracert.com.au/pdf/HR-HJPY34-01

Project  
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**W-B**  
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Project number	Size check
121876	25mm
Checked	Approved
-	-
Sheet size	Scale
A1	1:50

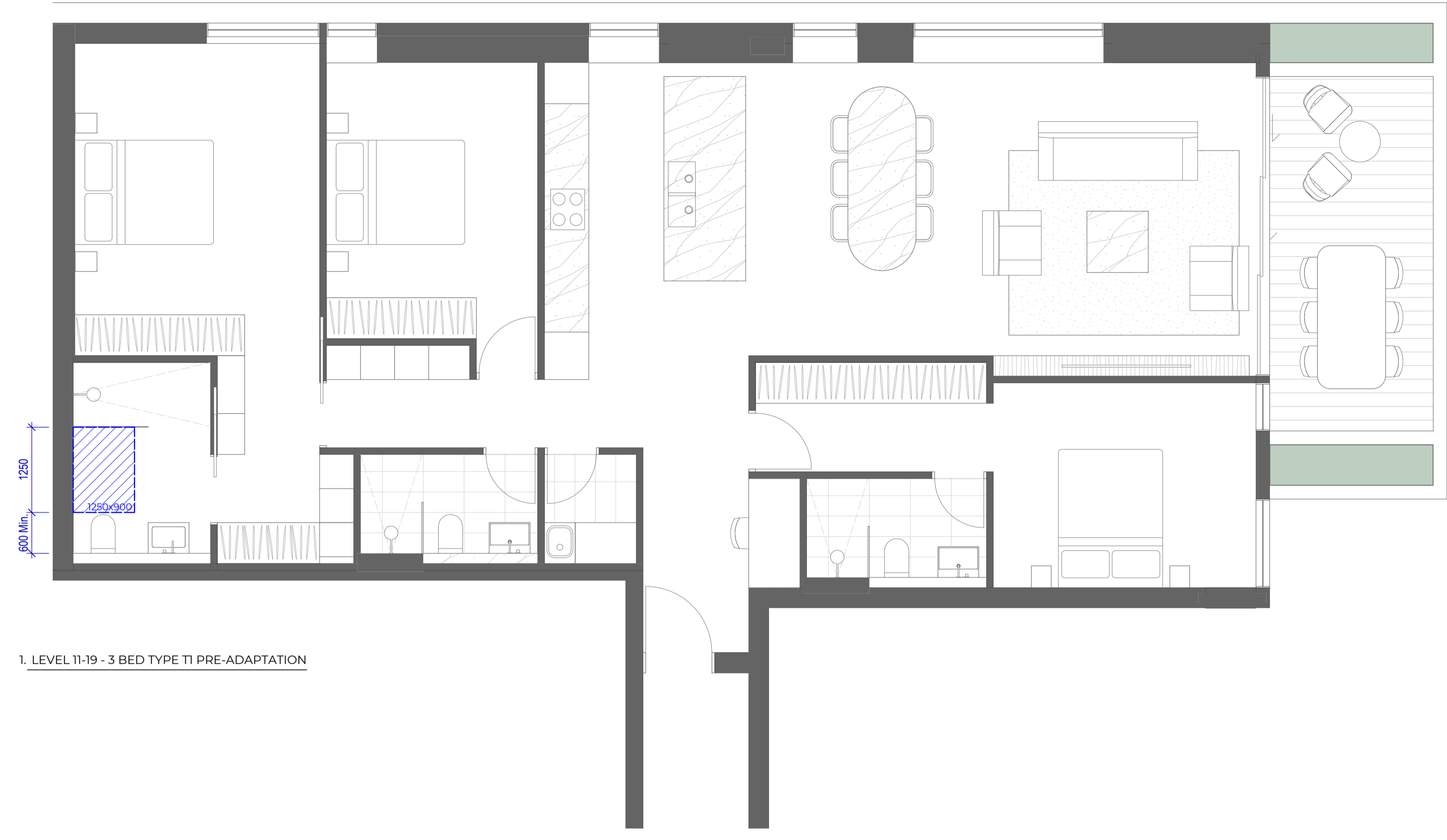
Sheet title  
 POST ADAPTIVE LAYOUT - 2BED TYPE T2

Sheet number	Revision
DA-4203	1

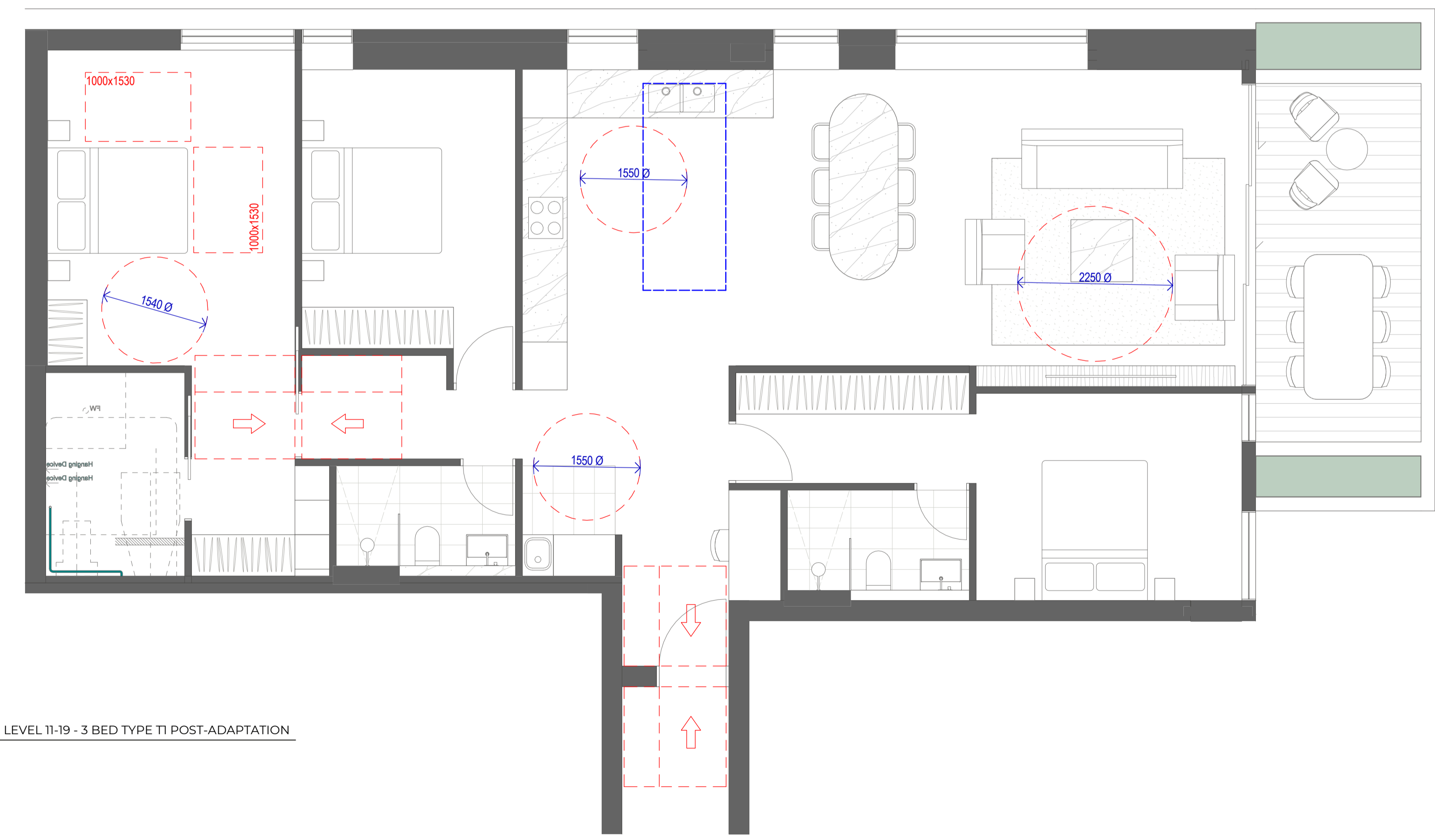
Status  
 FOR DEVELOPMENT APPLICATION

Recent revision history		
#	Status	Description
1		FOR SSDA

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1. LEVEL 11-19 - 3 BED TYPE T1 PRE-ADAPTATION



2. LEVEL 11-19 - 3 BED TYPE T1 POST-ADAPTATION

**Certificate No. #HR-HJPY34-01**  
 Scan QR code or follow website link for seeing details.  
 Assessor name: Hayley Edwards  
 Accreditation No.: HERA 10215  
 Property Address: 57-61 Archer Street, Chislewood 5039W, 2027  
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Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

Project number	Size check
121876	25mm
Checked	Approved
-	-
Sheet size	Scale
A1	1:50

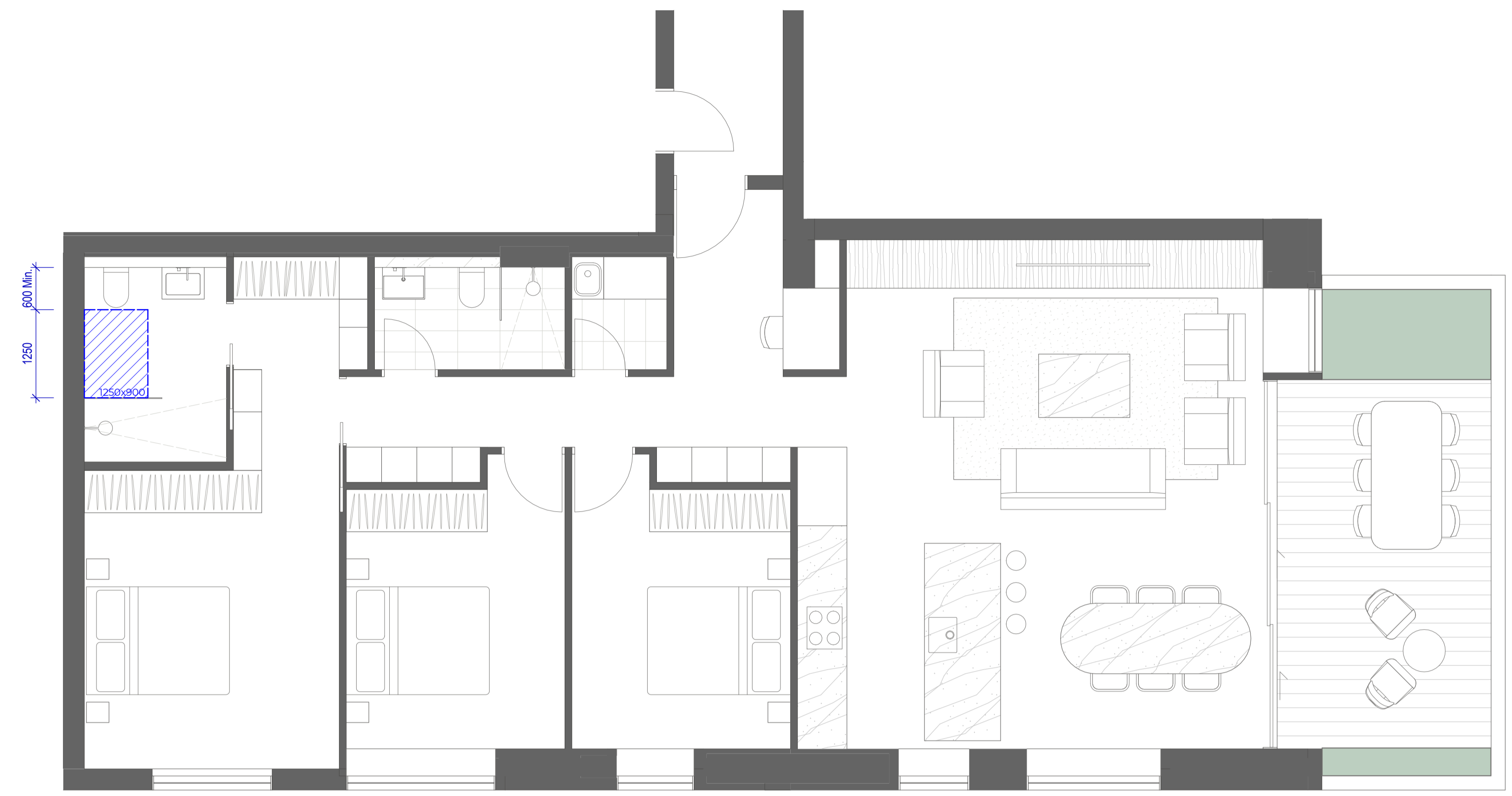
Sheet title

**POST ADAPTIVE LAYOUT - 3BED TYPE T1**

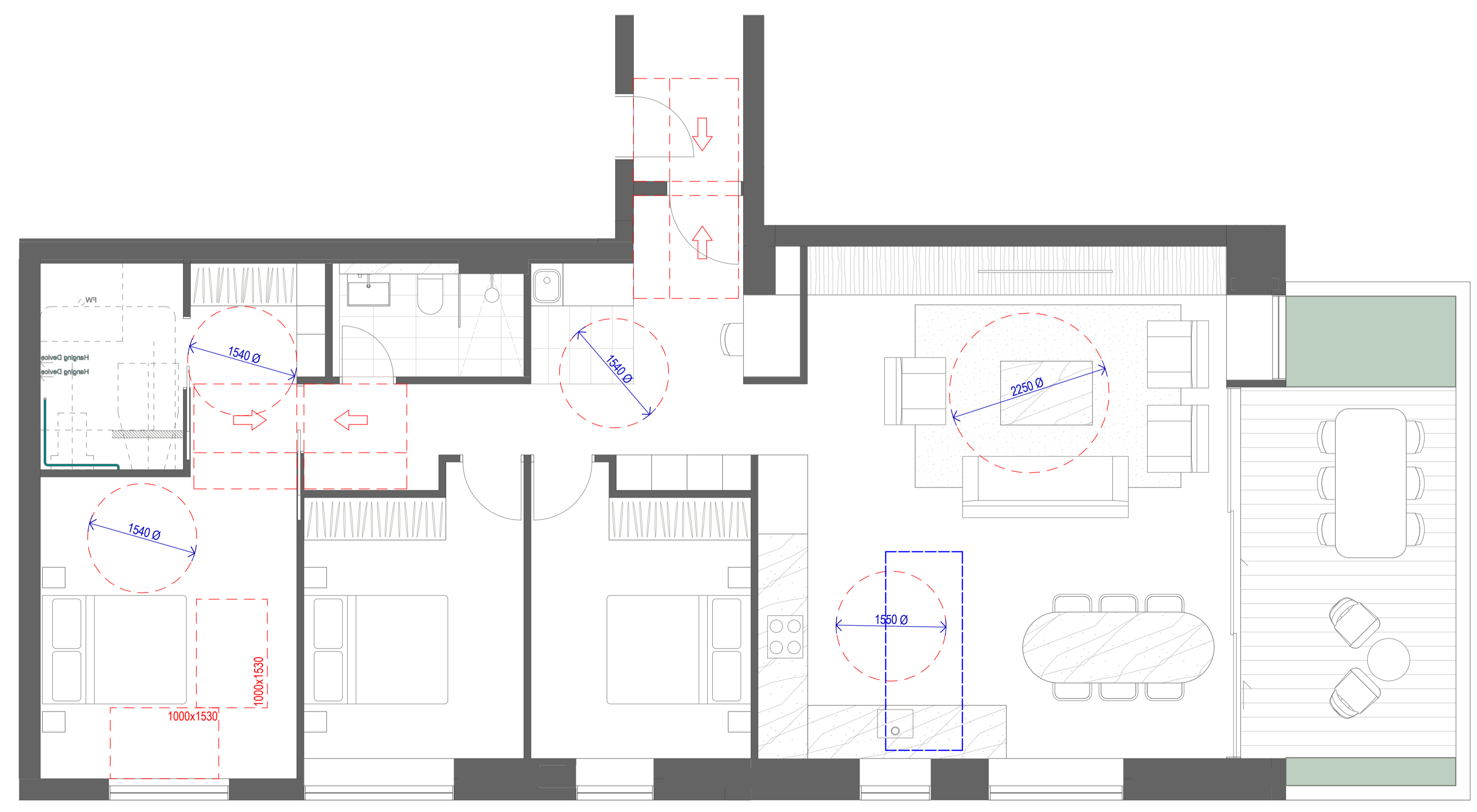
Sheet number  
**DA-4204**  
 Status  
**FOR DEVELOPMENT APPLICATION**

#	Status	Description	Date
1		FOR SSDA	25/09/24

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1. LEVEL 11-28 - 3 BED TYPE T2 PRE-ADAPTATION



2. LEVEL 11-28 - 3 BED TYPE T2 POST-ADAPTATION

Certificate No. #HR-HJPY34-01  
 Assessors name: Hayley Edwards  
 Accreditation No.: HERA 10215  
 Property Address: 57-61 Archer Street, Chislewood, 5039  
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Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

Issuer  
**W-B  
 WOODS BAGOT**

Project number	Size check
121876	25mm
Checked	Approved
-	-
Sheet size	Scale
A1	1:50

Sheet title

**POST ADAPTIVE LAYOUT - 3BED  
 TYPE T2**

Sheet number  
**DA-4205**  
 Status  
**FOR DEVELOPMENT  
 APPLICATION**

Site Area  
2,644 m<sup>2</sup>

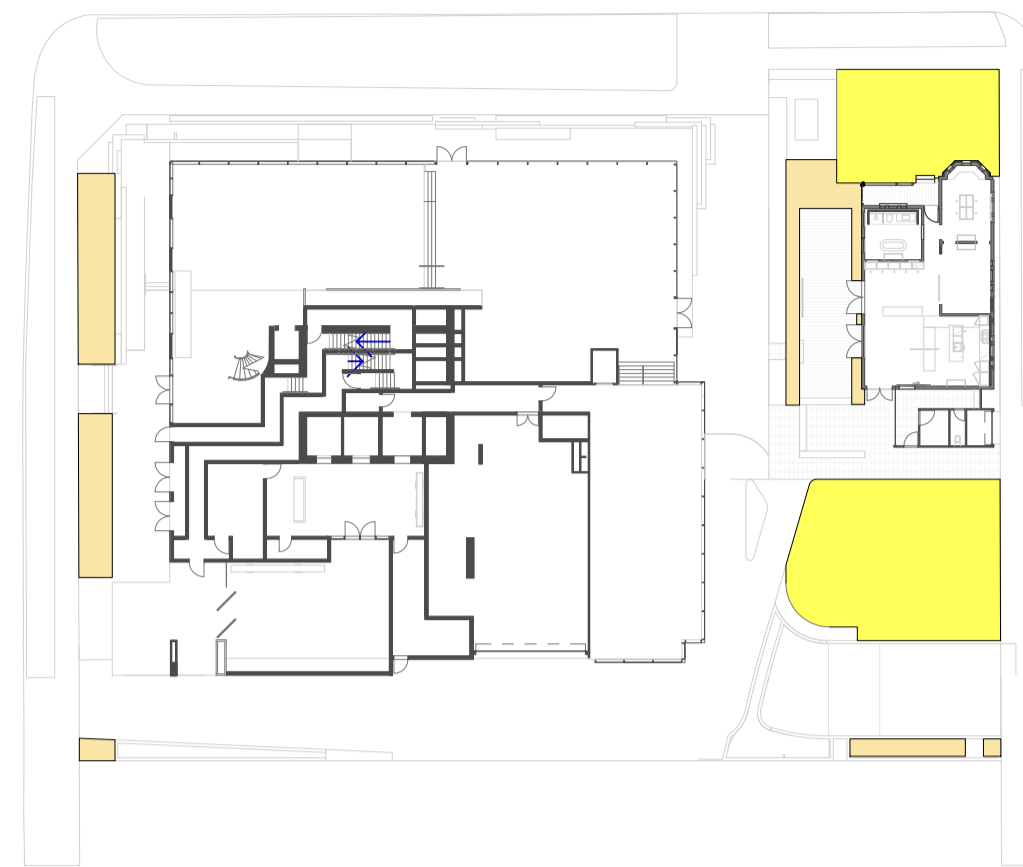
Total soft landscaping area

GF	379 m <sup>2</sup>
L1	225 m <sup>2</sup>
L2	98 m <sup>2</sup>
L3	180 m <sup>2</sup>
L4	24 m <sup>2</sup>
L5	19 m <sup>2</sup>
L6	40 m <sup>2</sup>
L7	16 m <sup>2</sup>
L8-10	17 m <sup>2</sup>
L11-16 & 18-19	15 m <sup>2</sup>
L17	14 m <sup>2</sup>
L20-28	15 m <sup>2</sup>
L29-30	34 m <sup>2</sup>
L31	115 m <sup>2</sup>

Total: 1,484 m<sup>2</sup> (56% of Site Area)

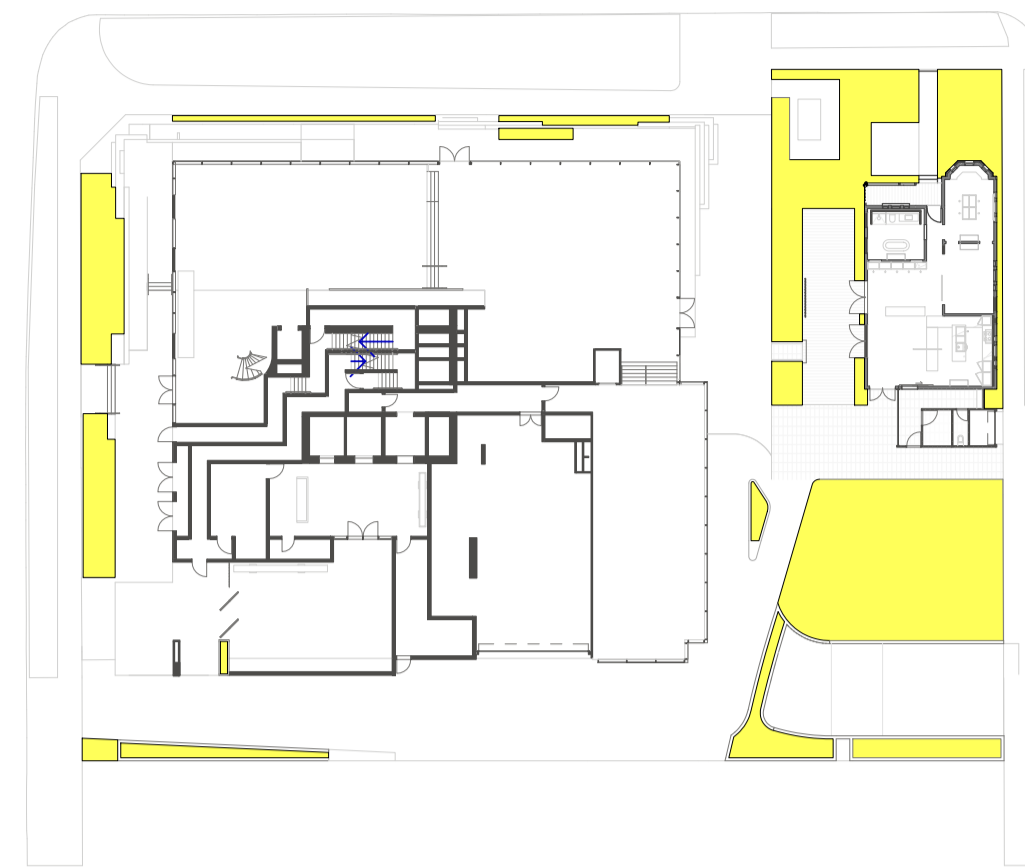
GF deep soil  
216 m<sup>2</sup> (8.2% of Site Area)

GF soft landscaping  
379 m<sup>2</sup> (14% of Site Area)



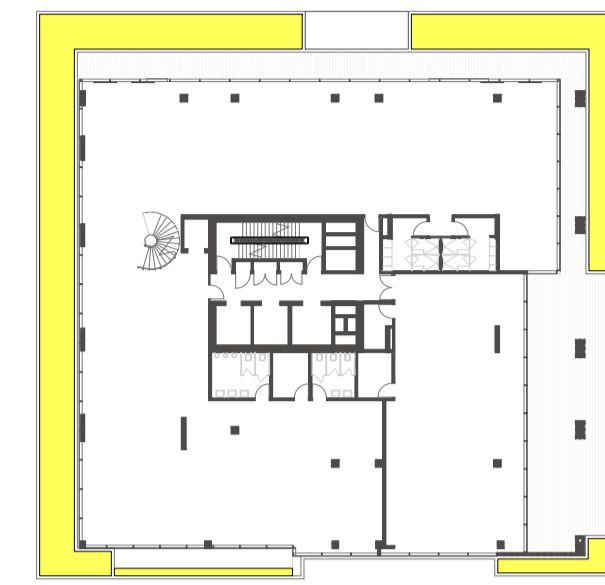
GROUND FLOOR

DEEP SOIL ZONE 216m<sup>2</sup> (8.2%)  
DEEP SOIL (LESS THAN MIN. WIDTH) 99m<sup>2</sup> (3.7%)



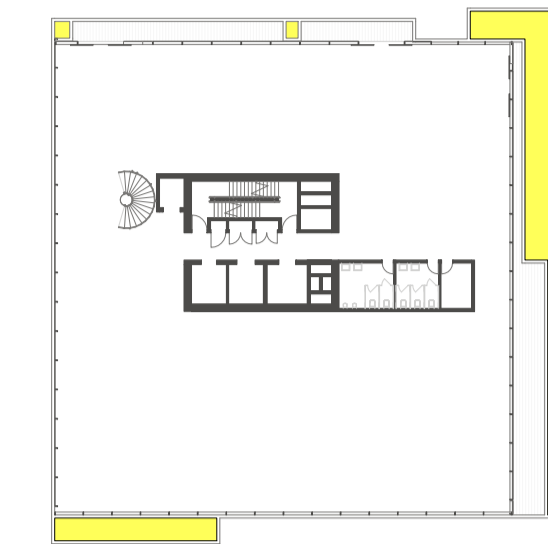
GROUND FLOOR

TOTAL SOFT LANDSCAPING 379 m<sup>2</sup>



LEVEL 1

SOFT LANDSCAPING 225 m<sup>2</sup>



LEVEL 2

SOFT LANDSCAPING 98 m<sup>2</sup>



LEVEL 3

SOFT LANDSCAPING 180 m<sup>2</sup>



LEVEL 4

SOFT LANDSCAPING 24 m<sup>2</sup>



LEVEL 5

SOFT LANDSCAPING 19 m<sup>2</sup>



LEVEL 6

SOFT LANDSCAPING 40 m<sup>2</sup>



LEVEL 7

SOFT LANDSCAPING 16 m<sup>2</sup>



LEVEL 8 - 10

SOFT LANDSCAPING 17 m<sup>2</sup>



LEVEL 11 - 16 & 18 - 19

SOFT LANDSCAPING 15 m<sup>2</sup>



LEVEL 17

SOFT LANDSCAPING 14 m<sup>2</sup>



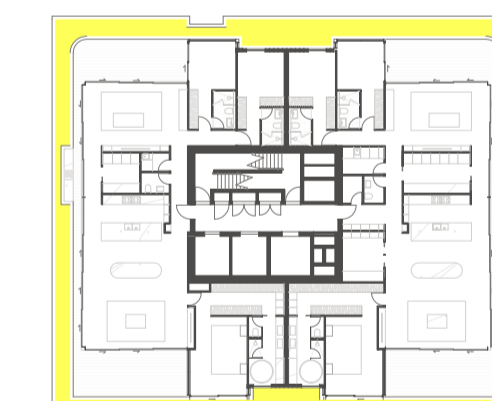
LEVEL 20 - 28

SOFT LANDSCAPING 15 m<sup>2</sup>



LEVEL 29 - 30

SOFT LANDSCAPING 34 m<sup>2</sup>



LEVEL 31

SOFT LANDSCAPING 115 m<sup>2</sup>

Recent revision history		
#	Status	Description
1		ISSUE FOR DA
2		FOR SSDA

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Certificate No. #HR-HJPY34-01  
Assessor name: Hayley Edwards  
Accreditation No.: HERA 10215  
Property Address: 57-61 Archer Street, Chislewood, 5039W, 2027  
http://www.heracert.com.au/pdf/HR-HJPY34-01

Project  
ARCHER & ALBERT

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CORONATION PROPERTY

Issuer  
**W-B**  
WOODS BAGOT

Project number	121876	Size check	25mm
Checked	-	Approved	A1
Sheet size	A1	Scale	1:500

Sheet title  
LANDSCAPING AREA

Sheet number  
DA-6001  
Revision  
2  
Status  
FOR DEVELOPMENT APPLICATION

Recent revision history			
#	Status	Description	Date
1		ISSUE FOR DA	19/12/23
2		FOR SSDA	25/09/24

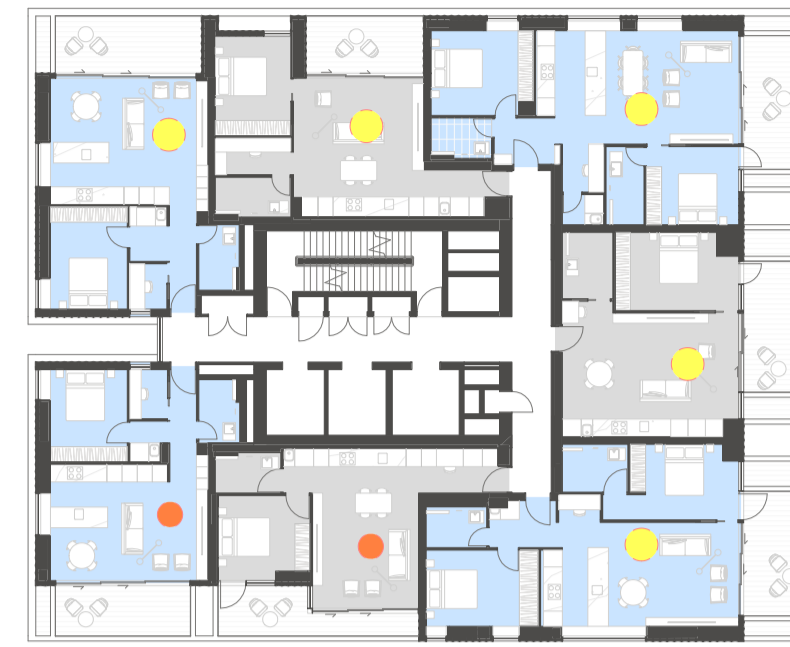
Notes  
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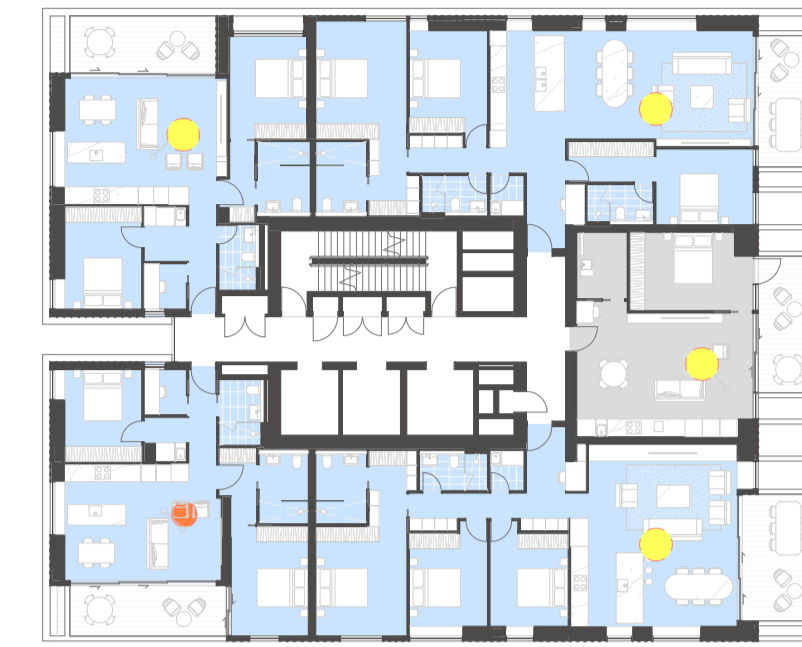
1. LEVEL 3 - 5 CROSS VENTILATION & SOLAR ACCESS - DIAGRAM



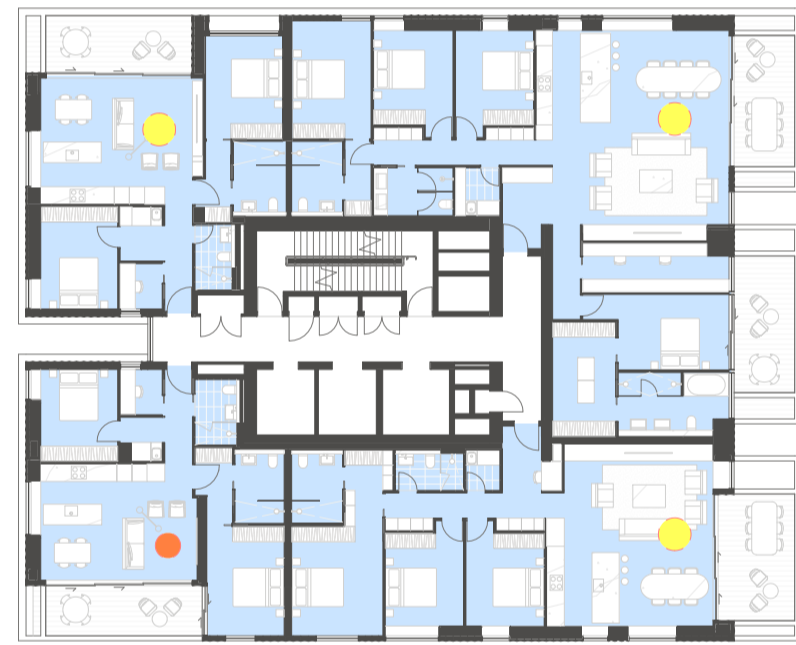
2. LEVEL 6 - 7 CROSS VENTILATION & SOLAR ACCESS - DIAGRAM



3. LEVEL 8 - 10 CROSS VENTILATION & SOLAR ACCESS - DIAGRAM



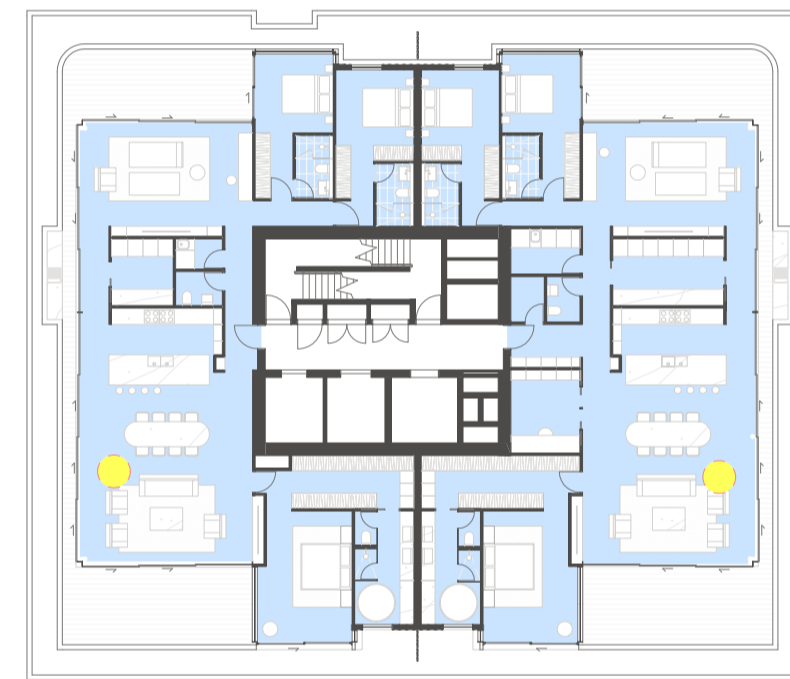
7. LEVEL 11 CROSS VENTILATION & SOLAR ACCESS - DIAGRAM



4. LEVEL 20 - 28 CROSS VENTILATION & SOLAR ACCESS - DIAGRAM



5. LEVEL 29 - 30 CROSS VENTILATION & SOLAR ACCESS - DIAGRAM



6. LEVEL 31 CROSS VENTILATION & SOLAR ACCESS - DIAGRAM

**Certificate No. #HR-HJPY34-01**  
 Scan QR code or follow website link for rating details.  
 Assessor name: Hayley Edwards  
 Accreditation No.: HERA 10213  
 Property Address: 57-61 Archer Street, Criswick NSW 2067  
<http://www.heracertificators.com.au/pdf/HR-HJPY34-01>

**LEGEND**

CROSS VENTILATED UNIT	
NO CROSS VENTILATION	
UNIT GAINS 2HRS + SOLAR ACCESS ON JUNE 21ST BETWEEN 9AM - 3PM	
UNIT GAINS LESS THAN 2HRS & MORE THAN 0HRS SOLAR ACCESS ON JUNE 21ST BETWEEN 9AM - 3PM	

Project  
**ARCHER & ALBERT**

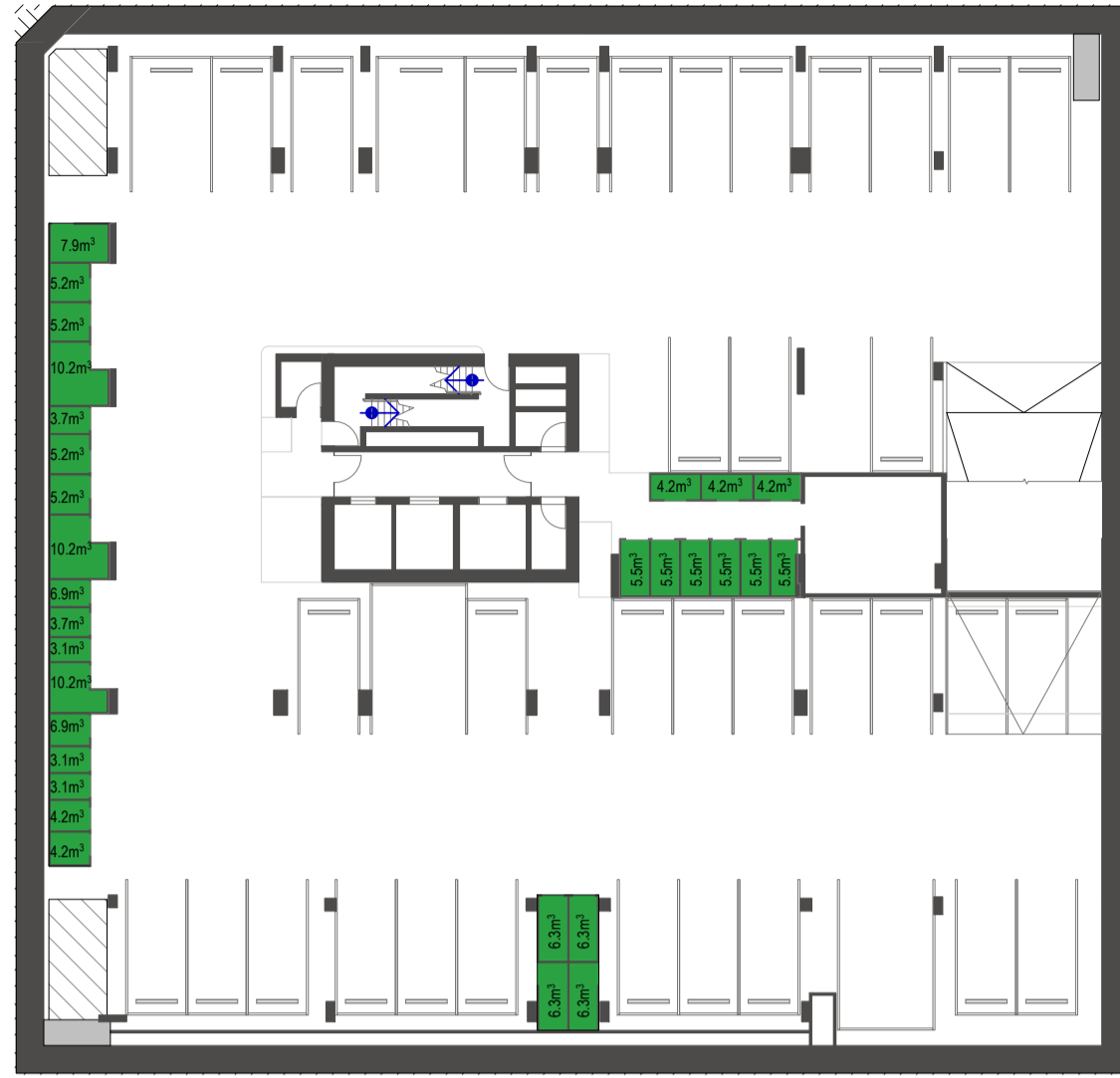
Client  
 CORONATION PROPERTY

Issuer  
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**WOODS BAGOT**

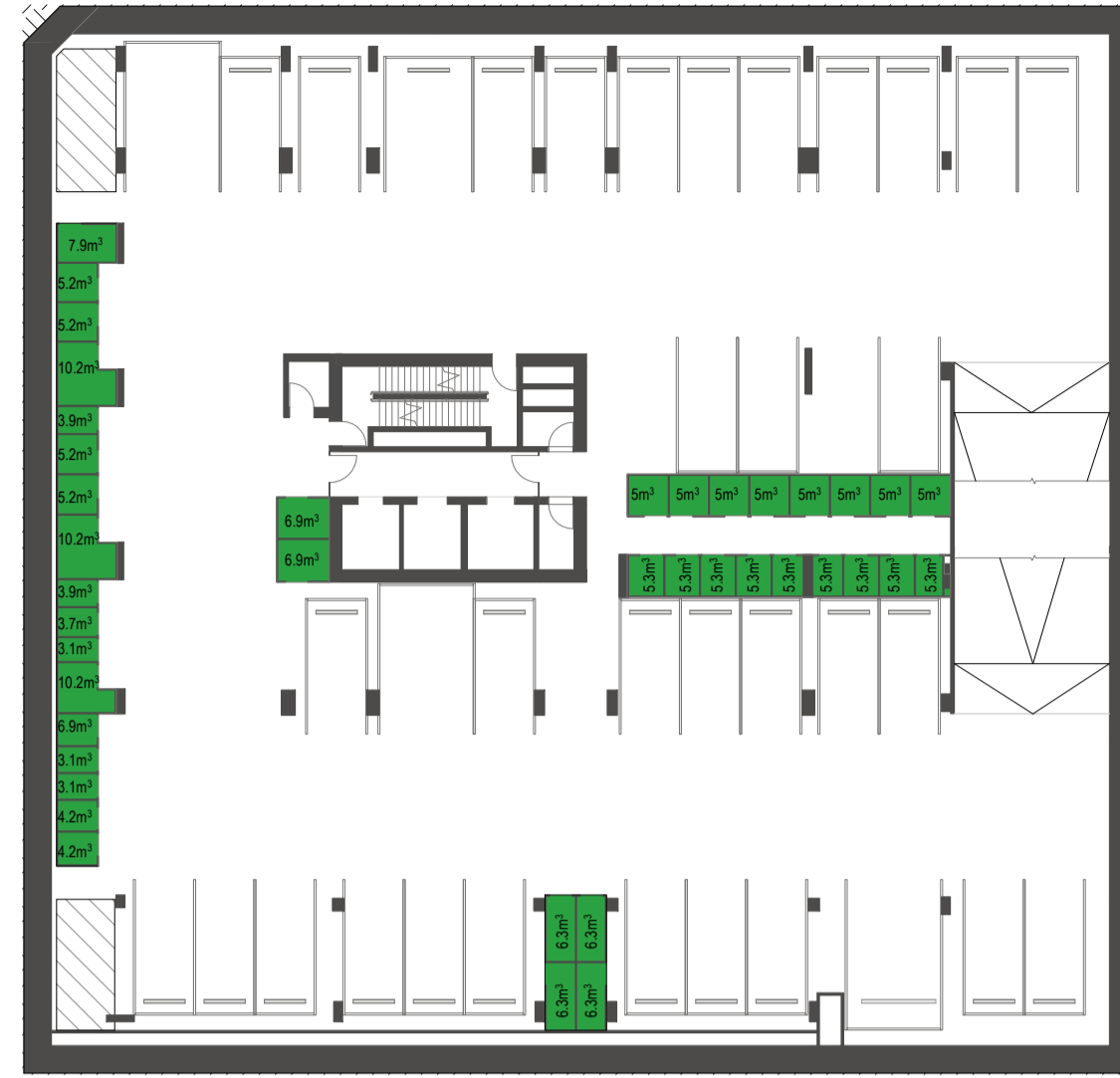
Project number: 121876  
 Size check: 25mm   
 Checked: - Approved: - Sheet size: A1 Scale: As indicated

Sheet title  
**ADG - CROSS VENT & SOLAR ACCESS**

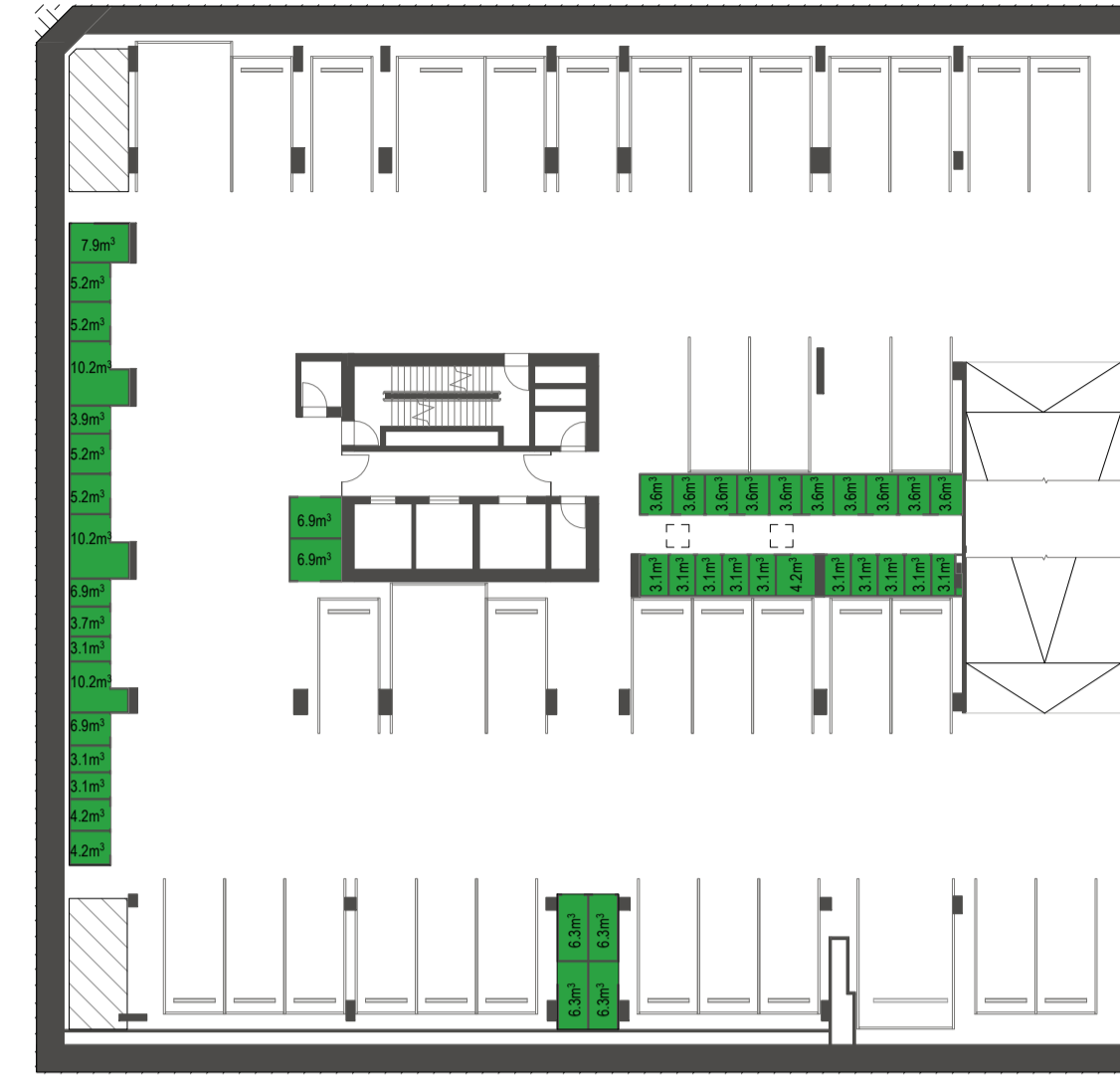
Sheet number: **DA-8001** Revision: 2  
 Status: **FOR DEVELOPMENT APPLICATION**



1. BASEMENT 5 STORAGE - DIAGRAM



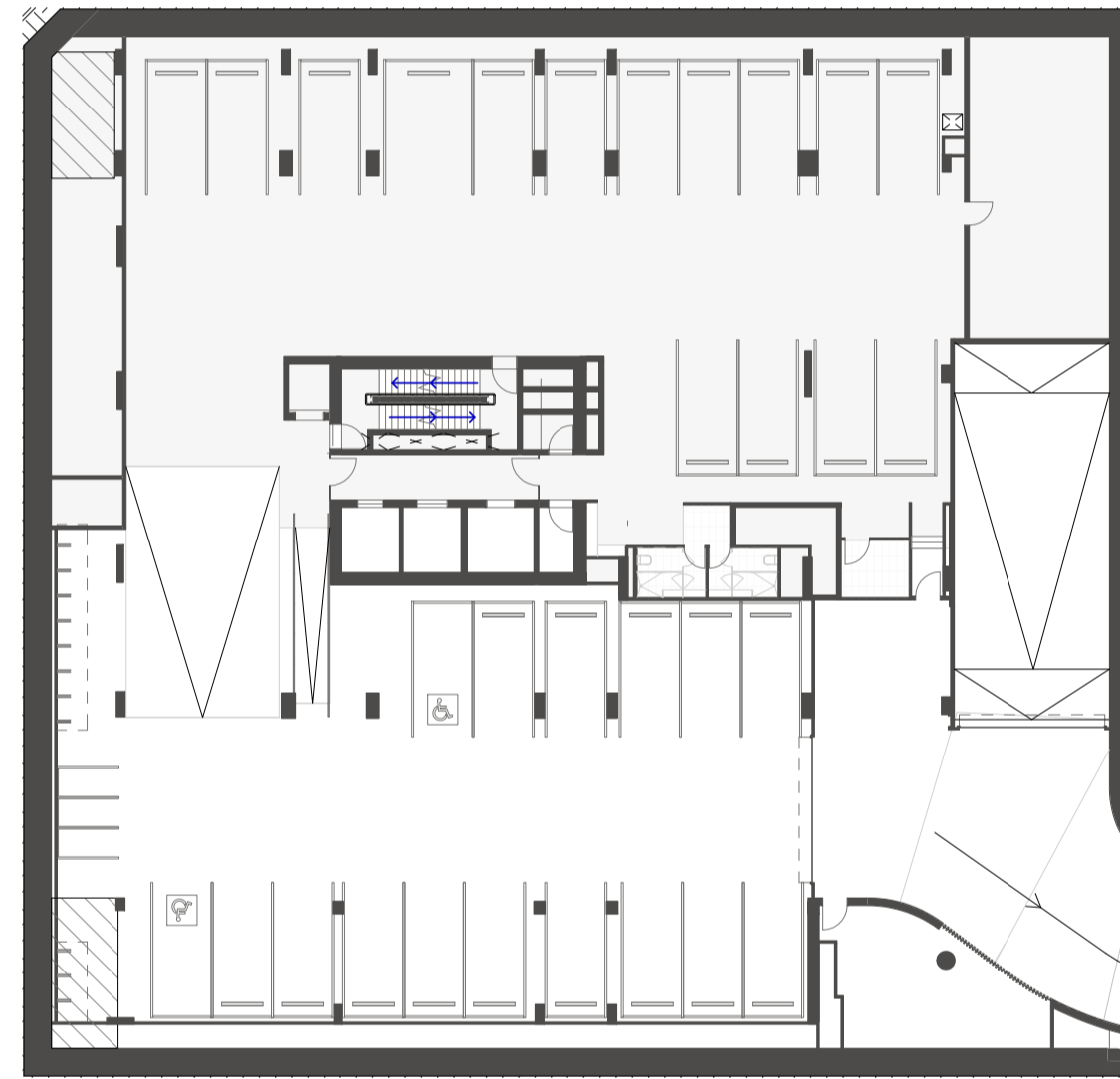
2. BASEMENT 4 STORAGE - DIAGRAM



3. BASEMENT 3 STORAGE - DIAGRAM



4. BASEMENT 2 STORAGE - DIAGRAM



5. BASEMENT 1 STORAGE - DIAGRAM

### STORAGE SUMMARY

LEVEL	VOLUME
BASEMENT 5	174.3 m <sup>3</sup>
BASEMENT 4	223 m <sup>3</sup>
BASEMENT 3	201.7m <sup>3</sup>
BASEMENT 2	131 m <sup>3</sup>

#	Status	Description	Date
1	ISSUE FOR DA		19/12/23
2	FOR SSDA		25/09/24

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 Certificate No. #HR-HJPY34-01  
 Scan QR code or follow website link for rating details.  
 Assessor name: Haydn Edwards  
 Accreditation No.: HERA 10213  
 Property Address: 52-61 Archer Street, Chatswood, NSW, 2067  
<http://www.heranewzeal.com.au/pdf/HR-HJPY34-01>

**LEGEND**

STORAGE	
---------	--

Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

Project number	Size check	
121876	25mm	
Checked	Approved	Sheet size
-	-	A1
Scale		
As indicated		

Sheet title  
**ADG - STORAGE 1**

Sheet number	Revision
DA-8002	2
Status	
FOR DEVELOPMENT APPLICATION	

Recent revision history			
#	Status	Description	Date
1		ISSUE FOR DA	19/12/23
2		FOR SSDA	25/09/24

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1. LEVEL 3 STORAGE - DIAGRAM



2. LEVEL 4 - 5 STORAGE - DIAGRAM



3. LEVEL 6-7 STORAGE - DIAGRAM



7. LEVEL 8 - 10 STORAGE - DIAGRAM



8. LEVEL 11-19 STORAGE - DIAGRAM



4. LEVEL 20 - 28 STORAGE - DIAGRAM



5. LEVEL 29 - 30 STORAGE - DIAGRAM



6. LEVEL 31 STORAGE - DIAGRAM

### STORAGE SUMMARY

TYPE	LEVELS	TOTAL VOLUME	AVERAGE VOLUME PER LEVEL
AFFORDABLE	LEVELS 03-07	321.6 m <sup>3</sup>	64.3 m <sup>3</sup>
TYPICAL LOW-RISE	LEVELS 08-10	150.3 m <sup>3</sup>	50.2 m <sup>3</sup>
TYPICAL MID-RISE	LEVELS 11-19	427.7 m <sup>3</sup>	47.5 m <sup>3</sup>
TYPICAL HIGH-RISE	LEVELS 20-28	505.4 m <sup>3</sup>	56.2 m <sup>3</sup>
SUB-PENTHOUSE	LEVELS 29-30	121 m <sup>3</sup>	60.5 m <sup>3</sup>
PENTHOUSES	LEVELS 31	51.1 m <sup>3</sup>	51.1 m <sup>3</sup>

**Certificate No. #HR-HJPY34-01**  
 Scan QR code or follow website link for rating details.  
 Association name: Hayleys Engineers  
 Accreditation No.: HE/EA/10213  
 Property Address: 52-61 Archer Street, Chatswood, NSW, 2067  
<http://www.hercosoftware.com.au/pdf/HR-HJPY34-01>

**LEGEND**

STORAGE	
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Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

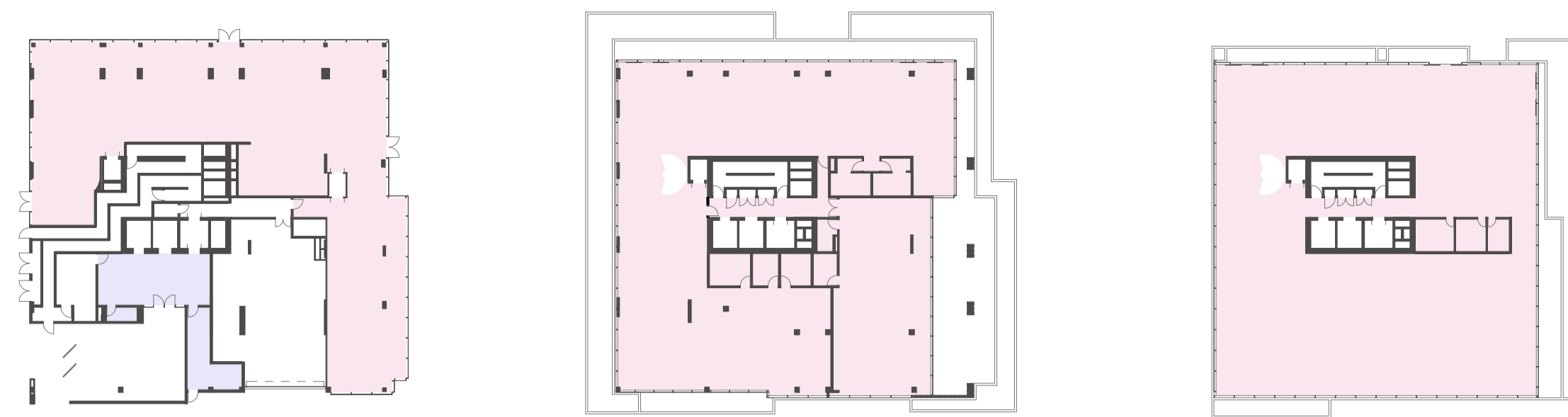
Issuer  
**W-B**  
**WOODS BAGOT**

Project number: 121876  
 Size check: 25mm  
 Checked: - Approved: - Sheet size: A1 Scale: As indicated

Sheet title  
**ADG - STORAGE 2**

Sheet number: **DA-8003**  
 Revision: 2  
 Status: **FOR DEVELOPMENT APPLICATION**

COMMERCIAL GFA		
Name	Level	Area
COMMERCIAL GFA	LEVEL 2	838 m <sup>2</sup>
COMMERCIAL GFA	LEVEL 1	844 m <sup>2</sup>
COMMERCIAL GFA	GROUND FLOOR	565 m <sup>2</sup>
Grand total		2247 m <sup>2</sup>



GROUND FLOOR                      LEVEL 1                      LEVEL 2

RESIDENTIAL GFA		
Name	Level	Area
RESIDENTIAL GFA	LEVEL 31	459 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 30	576 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 29	576 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 28	518 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 27	518 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 26	518 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 25	518 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 24	518 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 23	518 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 22	518 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 21	518 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 20	518 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 19	518 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 18	518 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 17	384 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 16	518 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 15	518 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 14	518 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 13	518 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 12	518 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 11	518 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 10	491 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 9	491 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 8	491 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 7	469 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 6	469 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 5	549 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 4	549 m <sup>2</sup>
RESIDENTIAL GFA	LEVEL 3	549 m <sup>2</sup>
RESIDENTIAL LOBBY GFA	GROUND FLOOR	79 m <sup>2</sup>
Grand total		14940 m <sup>2</sup>



LEVEL 3                      LEVEL 4                      LEVEL 5                      LEVEL 6                      LEVEL 7



LEVEL 8                      LEVEL 9                      LEVEL 10                      LEVEL 11                      LEVEL 12                      LEVEL 13                      LEVEL 14



LEVEL 15                      LEVEL 16                      LEVEL 17                      LEVEL 18                      LEVEL 19                      LEVEL 20                      LEVEL 21



LEVEL 22                      LEVEL 23                      LEVEL 24                      LEVEL 25                      LEVEL 26                      LEVEL 27                      LEVEL 28

TOTAL GFA                      17187 m<sup>2</sup>



LEVEL 29                      LEVEL 30                      LEVEL 31

Recent revision history			
#	Status	Description	Date
1		ISSUE FOR DA	19/12/23
2		FOR SSDA	25/09/24

Notes  
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 Contractor must verify all dimensions on site before commencing work or preparing shop drawings.  
 Do not scale drawings.

Certificate No. #HR-HJPY34-01  
 Assessors name: Hayley Edwards  
 Accreditation No.: HERA 10215  
 Property Address: 57-61 Archer Street, Chadwood NSW 2067  
 http://www.harcosoftware.com.au/pdf/HR-HJPY34-01

Project  
**ARCHER & ALBERT**

Client  
**CORONATION PROPERTY**

Issuer  
**W-B**  
**WOODS BAGOT**

Project number	Size check	
121876	25mm	
Checked	Approved	Sheet size    Scale
-	-	A1            1 : 500

Sheet title  
**GFA AREA SCHEDULE**

Sheet number	Revision
<b>DA-8201</b>	2
Status	
<b>FOR DEVELOPMENT APPLICATION</b>	