

VAUGHANS

# DA ACCESS ASSESSMENT REPORT

## *Selleys Warehouse & Laboratory*

Project Number: 119445

Report Type: Access

Revision: 2

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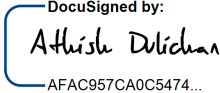


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## Document Control

Revision	Issue Date	Issue Description	Prepared By:	Verified by:
r1	4 October 2024	DA Access Assessment Report	Joshua Yeap	Ben Long
R2	1 November 2024	Minor amendments to Location and Description & Clause D4D6	Joshua Yeap	Athish Dulichan
	1 November 2024	Athish Dulichan Manager of Building Regulations	Signed: 	

## Jensen Hughes Australia

### Providing building regulations, fire engineering, accessibility, and energy consulting services to NSW for over 25 years

Our story begins in 1997 with the founding of BCA Logic to fulfill the demand of a consultancy company whose expertise expanded across the entire life cycle of a building, from consulting on the initial planning through to construction and occupation.

BCA Logic, SGA Fire and BCA Energy joined Jensen Hughes in 2021, a leading global, multi-disciplinary engineering, consulting and technology firm focused on safety, security and resiliency. We continue to be at the forefront of our industry and work thoroughly to preserve our position by ensuring the successful delivery of projects.

Jensen Hughes was launched in 2014 through the historic merger of Hughes Associates and Rolf Jensen & Associates (RJA), two of the most experienced and respected fire protection engineering companies at the time. Since then, we have gained market leadership in nuclear risk consulting and established commanding positions in areas like forensic engineering, security risk consulting and emergency management. Over the past 22 years, our integration of more than 30 privately held engineering and consulting firms has dramatically expanded our global footprint, giving us a powerful market presence ten times larger than our nearest competitor in some of our markets and extending our historical lineage back to 1939.

With more than 90 offices and 1500 employees worldwide supporting clients globally across all markets, we utilise our geographic reach to help better serve the needs of our local, regional, and multinational clients. In every market, our teams are deeply entrenched in local communities, which is important to establishing trust and delivering on our promises.

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## Executive Summary

This document provides an assessment of the architectural design drawings for the proposed warehouse, laboratory & office development at 15 Gow Street, Padstow, against the Deemed-to-Satisfy provisions of the provisions relating to Access for Persons with a Disability.

Part 2 'Matters for Further Consideration' of this report outlines the identified compliance issues that require further information or consideration and/or assessment as Performance Solutions.

Any Performance Solution will need to be detailed in a separate report and must clearly indicate methodologies for achieving compliance with the relevant Performance Requirements.

Item	Description	BCA Provision
<b>Performance Solutions Required</b>		
1.	NA	NA
<b>Compliance Matters to be Addressed</b>		
2.	Provide offset risers to fire stairs.	D3D22
3.	General Building Access Requirements Adjust and address all doorways that do not comply with the required doorway circulation requirements on Ground & First Floor.	D4D2
4.	Access to Buildings <ul style="list-style-type: none"> <li>Provide a continuous accessible path of travel from the property boundary to the office / lab entry</li> <li>Shorten the boom gate to not obstruct the pedestrian path of travel</li> <li>Upgrade the pedestrian swing gate to achieve doorway circulation clearance for a front on approach</li> <li>Provide a passenger lift in lieu of a platform lift to access Ground Floor.</li> </ul>	D4D3
5.	Parts of the Buildings to be Accessible Provide a second handrail to the non-fire-isolated stairway	D4D4
6.	Provide a passenger lift in lieu of a stairway platform lift.	E3D7
7.	Provide an accessible unisex sanitary compartment to the central sanitary facilities on Ground & First Floor	F4D6
<b>Further Information Required</b>		
8.	Confirm the solid building elements adjacent to entry door	D4D3
9.	Provide detailed and section drawings of stairways and handrails.	D4D4

10.	Provide detailed elevation drawings of the accessible unisex sanitary compartment	F4D6
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The Annexures of this Report provide detailed assessments of the proposal against all compliance requirements.

### *NCC 2022 Clause Numbering*

BCA2022 uses a new structure and clause referencing system to create better consistency across all volumes of the NCC. While the new Section-Part-Type-Clause system makes the NCC look different at first, it's intended to improve user experience and make it more web accessible.

The new structure results in a reorganisation of specifications and parts, some of which are contained in the table below.

The NCC uses a uniform clause numbering system across each of its three volumes. This system is called Section-Part-Type-Clause (SPTC). In each clause number-

- + The first letter indicates which NCC section or part it sits within;
- + The first number indicates the number of the Part within a section or the number of a Specification.
- + The second letter indicates the clause type. It will be either G, O, F, P, V, D, or C. and these are explained below.
- + The second number is the clause number within each Part of Specification.

The clause Types used in the NCC are as follows:

- + G = Governing requirements (mandatory)
- + O = Objective (guidance)
- + F = Functional Statement (guidance)
- + P = Performance Requirement (mandatory) V = Verification Method (optional)
- + D = Deemed-to-Satisfy Provision (optional)
- + C = Clause in a Specification (can be mandatory or optional depending on how the Specification is called up by the NCC).

## 1.0 Basis of Assessment

### 1.1 LOCATION

The building development, the subject of this report, is located at 15 Gow Street, Padstow. The development will consist of a manufacturing and production warehouse, a new laboratory and a three storey operations office.

Principal pedestrian entrance & vehicular entrance is from Gow Street through a walkway and existing pedestrian gate.

The development site includes:

- + 15 Gow Street (Formal Description: Lot 100 DP1011185)
- + 20 Gow Street (Formal Description: Lot 53 DP1064349)

No building works is proposed for 20 Gow Street, and as such this is excluded from the scope of works of this Access Assessment Report.

The development relates to the SSDA Submission reference: SSDA-71052213.



### 1.2 PURPOSE

The purpose of this report is to assess the both the proposed and existing building against the documents and their relevant Deemed to Satisfy requirements. The report is intended to clearly outline those areas where compliance is not achieved and provide recommendations to achieve compliance:

- + Disability (Access to Premises – Buildings) Standards 2010 Compilation No. 2 (DAPS);
- + Building Code of Australia 2022 Volume One – Part D4 and Clauses E3D7 and E3D8;
- + Canterbury Bankstown Council's Development Control Plan 2023 (DCP);
- + Applicable Australian Standards AS1428.1:2009, AS1428.4.1:2009 and AS2890.6:2009.

### 1.3 LIMITATIONS

This report is limited to an assessment of the access and amenity provisions for people with a disability against the documents as outlined in 1.2 above. It is not an assessment of the proposal against all provisions of the BCA and if this is required, a separate report will be necessary.

This report does not include nor imply any detailed assessment for design, compliance or upgrading for:

- + The structural adequacy or design of the building;
- + The inherent derived fire-resistance ratings of any existing or proposed structural elements of the building (unless specifically referred to); and
- + The design basis and/or operating capabilities of any existing or proposed electrical, mechanical or hydraulic fire protection services.

This report does not include, or imply compliance with:

- + The Disability Discrimination Act (it cannot be guaranteed that that a complaint under the DDA will not be made, however should the building comply with BCA and the DAPS then those responsible for the building cannot be subject to a successful complaint); and
- + BCA Sections B, C, E (excl. Clauses E3D7 and E3D8), F, G, H, I, J, Parts D2 and D3; and
- + Demolition Standards not referred to by the BCA; and
- + Work Health and Safety Act; and
- + Construction Safety Act; and
- + Requirements of other Regulatory Authorities including, but not limited to, Telecommunications Supply Authority, Water Supply Authority, Electricity Supply Authority, Work Cover, Roads and Maritime Services (RMS), Local Council, ARTC, Department of Planning and the like; and
- + Conditions of Development Consent issued by the Local Consent Authority; and

This Report does not assess the safety of the particular aspects of the building but merely the minimum standards called up by the documents outlined in Part 1.2 of This Report.

### 1.4 FEDERAL DISABILITY DISCRIMINATION ACT (DDA)

Disability is broadly defined and includes disabilities which are physical, intellectual, psychiatric, neurological, cognitive or sensory (a hearing or vision impairment), learning difficulties, physical disfigurement and the presence in the body of disease causing organisms.

All organisations have a responsibility, under the DDA, to provide equitable, dignified access to goods and services and to premises used by the public. Premises are broadly defined and would include all areas included within the subject development.

The DDA applies nationally and is complaint based. While the DAPS and the BCA are recognised as a design standard to satisfy certain aspects of the DDA, compliance with the BCA and the referenced standards does not guarantee that a complaint will not be lodged.

## 1.5 DISABILITY (ACCESS TO PREMISES – BUILDINGS) STANDARDS 2010 COMPILATION NO.2 (DAPS)

The aim of the DAPS is to provide the building and design industry with detailed information regarding the required access provisions associated with the design and construction of new buildings and upgrade to existing buildings.

The DAPS intends to provide certainty for the building industry in relation to meeting the requirements for access in new and upgraded buildings. They only apply to elements addressed within the Standards. All other elements related to premises will still be subject to the existing provisions of the DDA.

The DAPS generally aligns with the BCA and reference a range of Australian Standards relating to access and other associated matters.

They do not apply to existing buildings that are not undergoing upgrade; however they introduce the concept of the “Affected Part”. This means that new works need to be connected to the building’s Principal Pedestrian Entrance (PPE) by a continuous accessible path of travel/accessway complying with AS1428.1-2009. This can mean that an upgrade to the building may be necessary even where no new work is proposed to mitigate the risks of DDA complaints arising in the future.

## 1.6 DESIGN DOCUMENTATION

This report has been based on the Design plans and Specifications listed in Annexure A of this Report.

## 1.7 DEFINITIONS

### *Accessible*

Having features to enable use by people with a disability.

### *Accessway*

A continuous accessible path of travel (as defined in AS 1428.1) to, into or within a building.

### *Affected Part*

The affected part is;

1. The principal pedestrian of an existing building that contains a new part; and
  - a. Any part of an existing, that contains a new part, that is necessary to provide a continuous accessible path of travel from the entrance to the new part.
  - b. Continuous Accessible Path of Travel

An uninterrupted path of travel to, into or within a building providing access to all access facilities.

### *Luminance Contrast*

The light reflected from one surface or component, compared to the light reflected from another surface or component.

### *Ramp*

An inclined surface on a continuous accessible path of travel between two landings with a gradient steeper than 1 in 20 but not steeper than 1 in 14.

*Tactile Indicators*

Tactile Ground Surface Indicators (TGSIs)

Truncated cones and/or bars installed on the ground or floor surface, designed to provide pedestrians who are blind or vision-impaired with warning or directional orientation information

## 2.0 Key Compliance Consideration

### 2.1 GENERAL

The following is a summary of all the individual elements that relate directly to the ability of a person with a disability to access all the portions of the building required to be accessible.

Accessibility has been assessed against the documents outlined in Part 1.2 of this Report. The Annexures to this report provides a detailed assessments of the proposal against ALL relevant Deemed-to-Satisfy Provisions and prescriptive requirements

Note: It is important that the Annexures are read in conjunction with the items below, as some matters may not have had sufficient information provided to allow a detailed assessment to be undertaken.

### 2.2 CLASSIFICATION

Under the provisions of Parts A6 of BCA and Part A4 of the Access Code, the building has been classified as follows:

Table 1: Building Classification

Class	Level	Description
Class 5	Part Ground Floor, Part First Floor & Second Floor	Office
Class 7b/8	Part Ground Floor, Part First Floor	Storage, Laboratory and Warehouse

### 2.3 DIMENSIONS AND TOLERANCES

The Premises Standards and BCA contains the minimum standards for building construction and safety, and therefore generally stipulates minimum dimensions which must be met. Jensen Hughes' assessment of the plans and specifications has been undertaken to ensure the minimal dimensions have been met.

The designer and builder should ensure that the minimum dimensions are met onsite and consideration needs to be given to construction tolerances for wall set outs, applied finishes and skirtings to corridors and bathrooms for example, tiling bed thicknesses and the like which can adversely impact on critical matters such as access for people with disabilities, stair and corridor widths and balustrade heights.

### 2.4 COUNCIL'S DEVELOPMENT CONTROL PLAN REQUIREMENTS (DCP)

The Canterbury Bankstown DCP 2023 provides Council's planning controls on the provision of Accessibility.

For the subject building, only Part 3.2 of the DCP is applicable.

The Controls for Accessibility under Clause 2.7 of Part 3.2 of the Canterbury Bankstown DCP 2023 are as follows:

Table 2: Controls for Accessibility

Development Type	Accessible Parking Rates	Comment	Compliance
Commercial and industrial premises (BCA Classes 5–8) where development contains 10 or more car spaces.	1 accessible car space per 50 car spaces for staff; 1 accessible car space for visitors per 50 car spaces where a car park has less than 500 car spaces; 1 additional accessible car space per 100 car spaces above 500 car spaces for visitors.	A total of 6 accessible parking spaces has been provide for the subject development.	Compliance is readily achievable.

## 2.5 AREAS REQUIRED TO BE ACCESSIBLE

The following areas of the building are required to be accessible:

Table 3: Areas Required to be Accessible

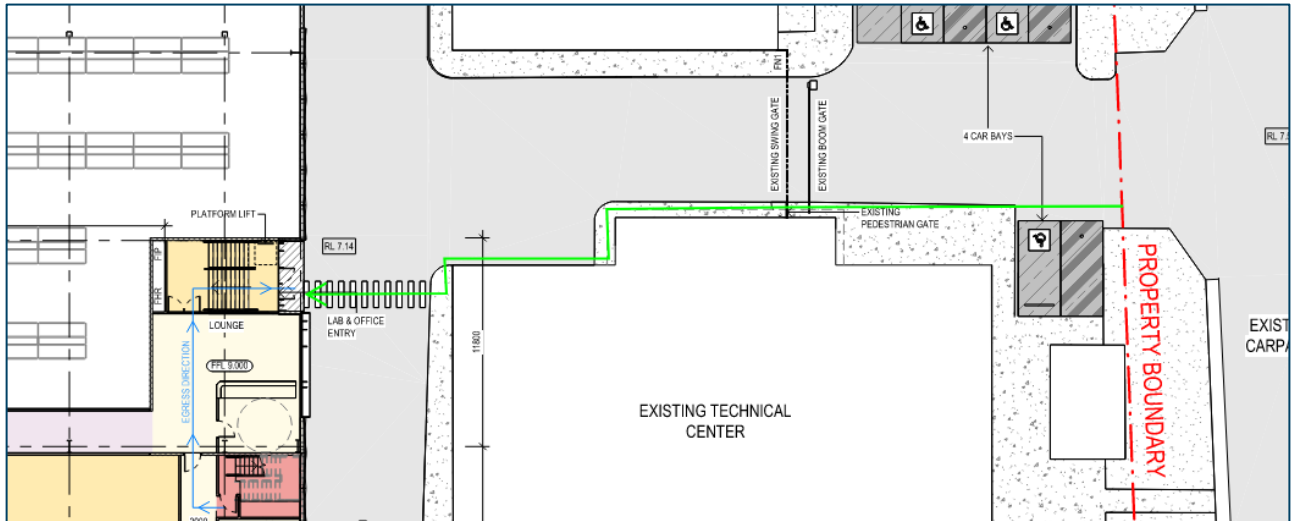
Area / Room	Description
{5} Office	To and within all areas normally used by the occupants
{7b} Storage	To and within all areas normally used by the occupants
{8} Warehouse & Laboratory	To and within all areas normally used by the occupants except to the Warehouse where that is an area that would pose a health or safety risk for people with a disability.

Note: The limitations and exemptions of Clauses D4D3, D4D4 and D4D5 of the BCA and Access Code been considered where applicable in the process of developing the above table.

## 2.6 AFFECTED PART REQUIREMENTS (DAPS)

The “affected part” is the accessway from the principal pedestrian entrance to the area of the new works including the entry door at principal pedestrian entrance. The relevant provisions of the Premises Standards will apply to a new part of a building, and any “affected part” of the building for the current development.

It should be noted that the warehouse portion of the development will not be required to be accessible as that is an area that would pose a health or safety risk for people with a disability. Therefore, the affected part is limited to providing access to the office / laboratory as per the figure below:



Within the affected part the following works will be required:

Table 4: Affected Parts

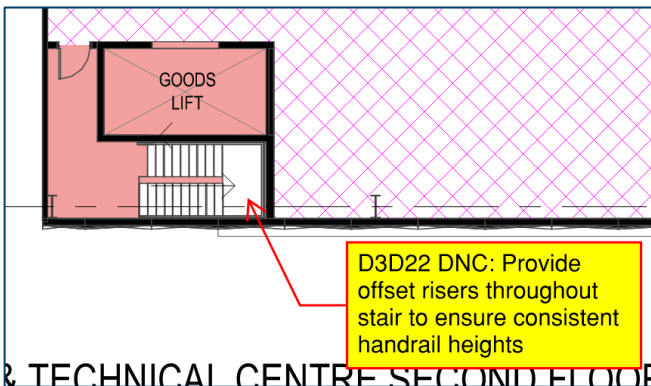
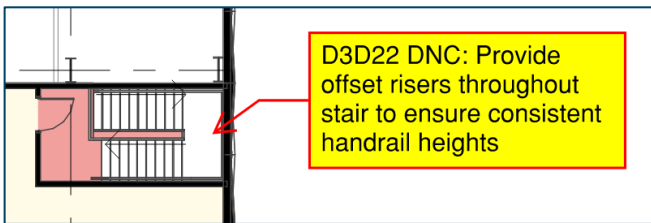
Item No	Areas	Upgrade	Compliance
1.	External Accessway	Provide a continuous accessible path of travel from the property boundary from Gow Street to the Office / Lab entry.	CRA
2.	Pedestrian Boom & Swing Gates	Shorten the boom gate to not obstruct the pedestrian pathway and update the swing gate to achieve the required doorway circulation clearances as per AS1428.1.	FI
3.	Office / Lab Entry	Provide a passenger lift to access the Ground Floor	FI

### 3.0 Design Items Requiring Attention

#### 3.1 D3D22 – HANDRAILS

Throughout the stairways it is required that handrails are provided in accordance with this clause. To comply with Clause 12 of AS1428.1-2009 it is required to provide an offset to allow for a continuous height being maintained throughout the flights and landing.

The non-fire-isolated stairway to the office is required to be provided with handrails on both sides of the stair. Each fire-isolated stair in the office is required to be provided with offset risers throughout the stairway to ensure consistent handrail heights.

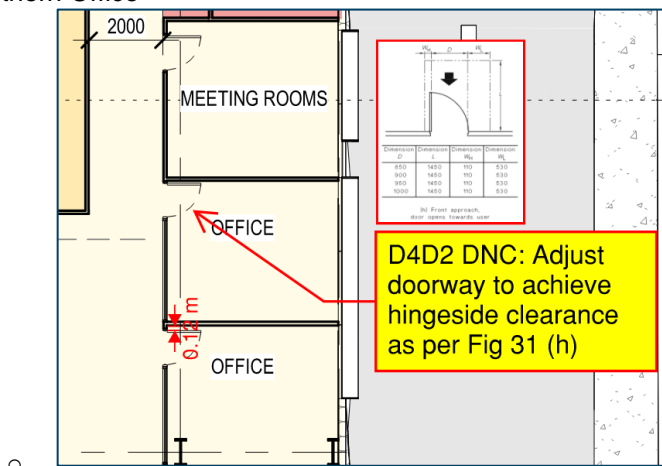


#### 3.2 D4D2 - GENERAL BUILDING ACCESS REQUIREMENTS

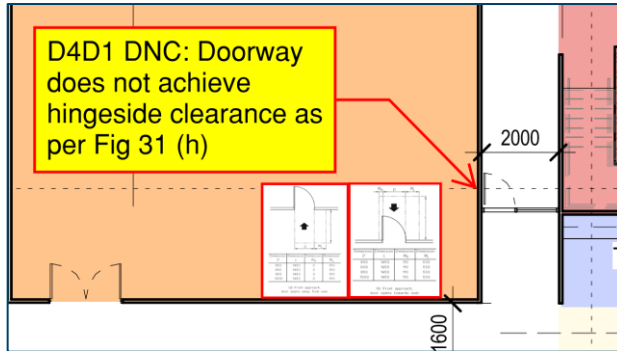
The following doorways are required to be updated to achieve the required doorway circulation clearances in accordance with AS1428.1-2009:

Ground Floor:

- Northern Office

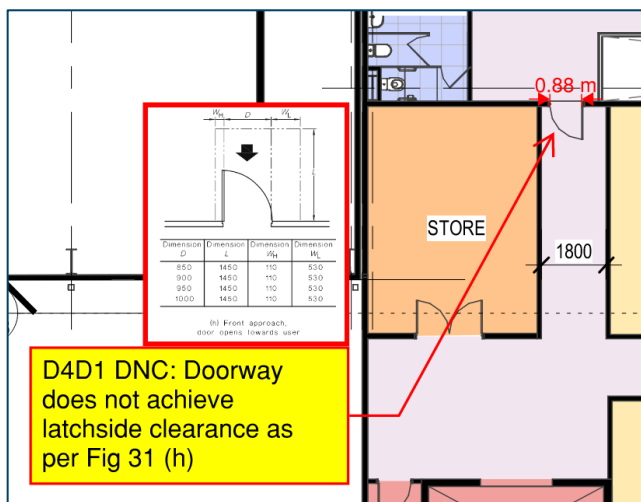


- Central Corridor



First Floor:

- Southern Corridor

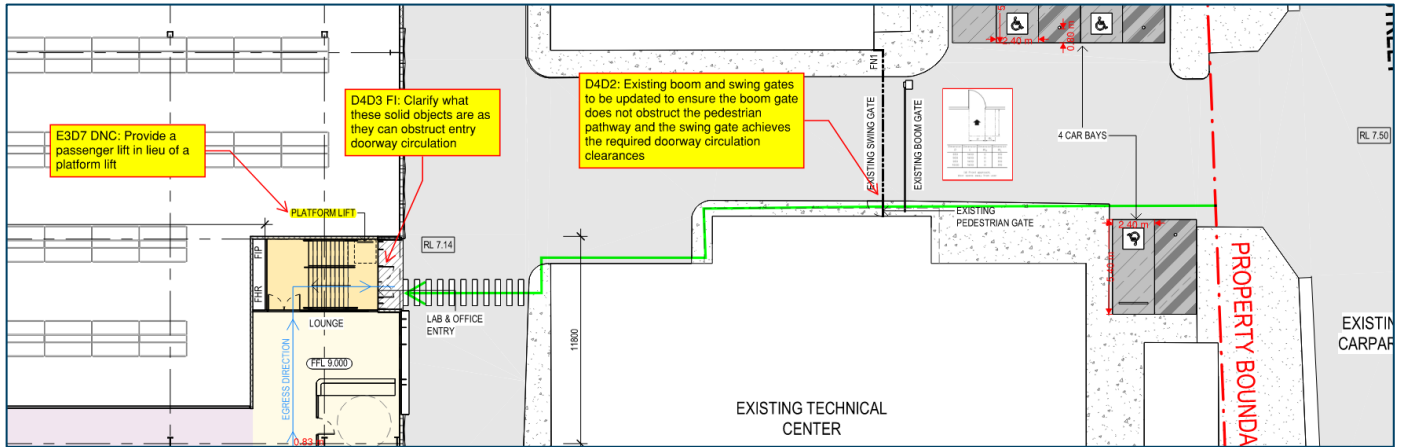


### 3.3 D4D3 - ACCESS TO BUILDINGS

Access to the principal pedestrian entrance of the building is provided from Gow Street.

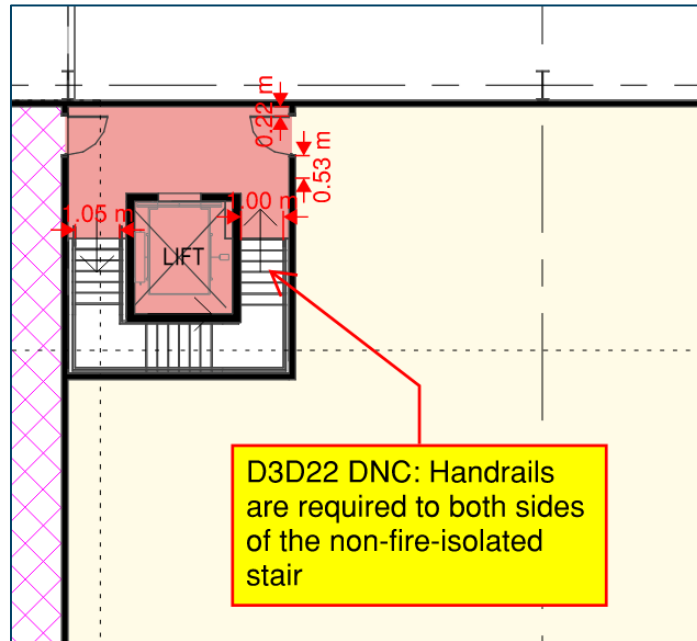
The following upgrades are required:

- Provide a continuous accessible path of travel from the property boundary to the office / lab entry
- Shorten the boom gate to not obstruct the pedestrian path of travel
- Upgrade the pedestrian swing gate to achieve doorway circulation clearance for a front on approach
- Clarify the solid building elements adjacent the entry doorway as these could obstruct doorway circulation clearance.
- Provide a passenger lift in lieu of a platform lift to access Ground Floor.



### 3.4 D4D4 - PARTS OF BUILDINGS TO BE ACCESSIBLE

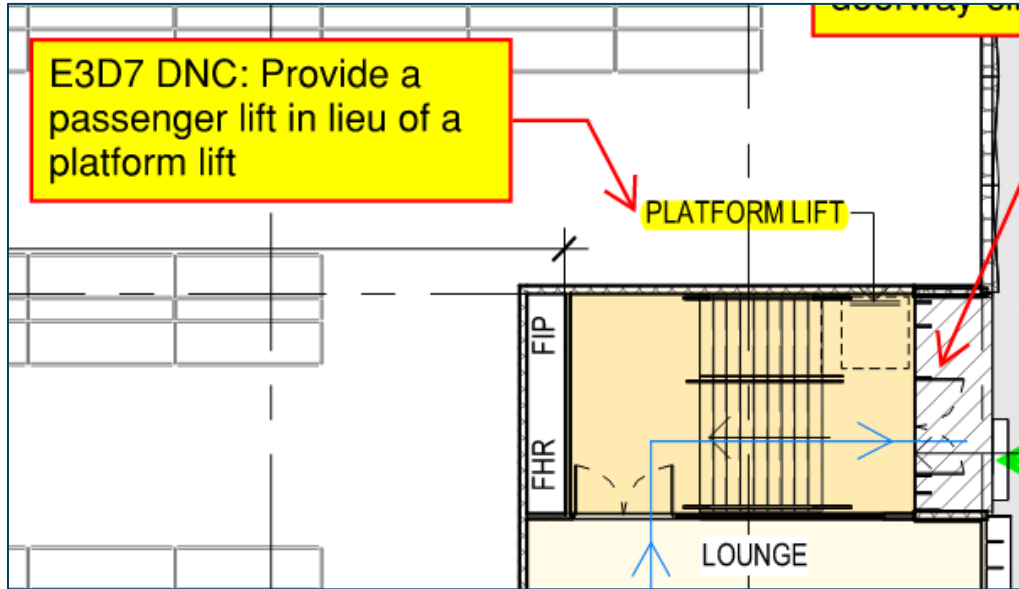
It is noted that the non-fire isolated stairway requires handrails on both sides of the stair, whereas only a single handrail has been provided. Plans will need to be updated accordingly.



### 3.5 E3D7 - PASSENGER LIFTS AND THEIR LIMITATIONS

A stairway platform lift is proposed at the building entry which would not comply with the provisions of this clause as the building serves more than 100 persons.

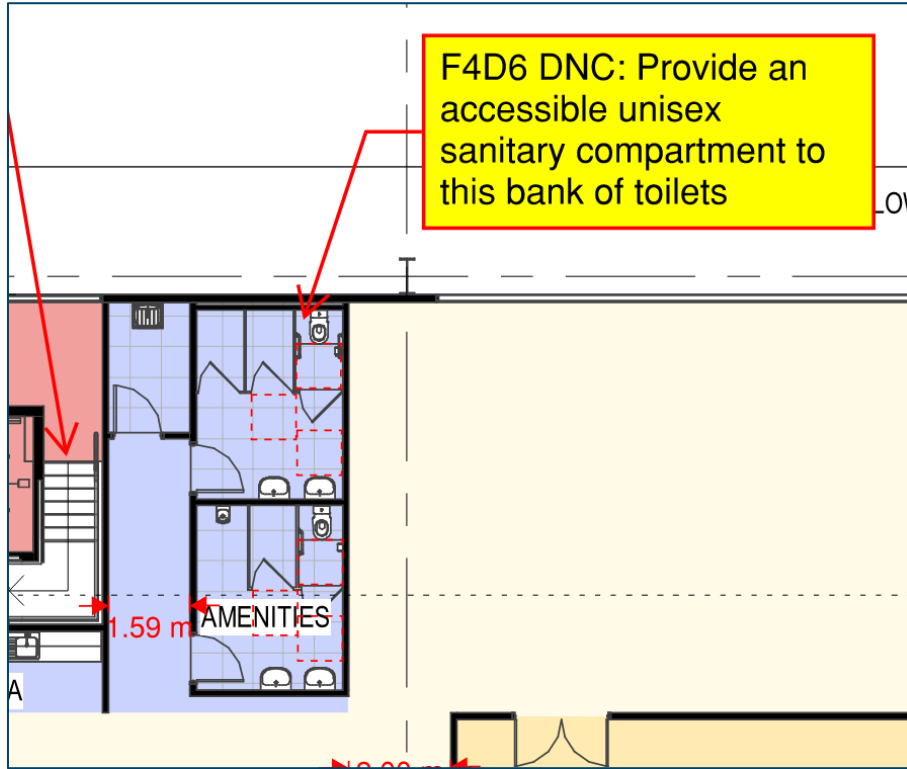
It is required that a passenger lift is provided.



### 3.6 F4D6 - ACCESSIBLE UNISEX SANITARY COMPARTMENTS

Accessible Unisex Sanitary Compartments are required at each bank of toilets.

They have not been provided at the central bank of toilets on Ground Floor & Level 1 and will be required.



## *4.0 Statement of Compliance*

The design documentation as referred to in this report has been assessed against the applicable provisions for Accessibility as outlined in Part 1.2 of this report. It is considered that such documentation complies or is capable of complying (as outlined in Part 2 of this Report) with those documents.

# *Annexures*

## Annexure A - Design Documentation

This report has been based on the following design documentation.

Table 5: Architectural Plans

Architectural Plans Prepared by Watson Young			
Drawing Number	Revision	Date	Title
TP01	A	31.10.2024	Site Locality Plan
TP03	A	31.10.2024	Site Analysis
TP04	A	31.10.2024	Demolition Plan
TP05	A	31.10.2024	Site Plan
TP06	A	31.10.2024	Overall Master Elevations
TP07	A	31.10.2024	Overall Master Sections
TP100	A	31.10.2024	Existing Warehouse Ground Floor
TP101	A	31.10.2024	Existing Warehouse Mezzanine
TP102	A	31.10.2024	Existing Warehouse Elevations
TP103	A	31.10.2024	Existing Warehouse Sections
TP104	A	31.10.2024	New Yard
TP105	A	31.10.2024	Bunded Plant Views
TP200	A	31.10.2024	Proposed Warehouse Ground Floor
TP201	A	31.10.2024	Proposed Warehouse Elevations
TP202	A	31.10.2024	Proposed Warehouse Sections
TP300	A	31.10.2024	Operations Office & Technical Centre Ground Floor
TP301	A	31.10.2024	Operations Office & Technical Centre First Floor & Second Floor
TP302	A	31.10.2024	Operations Office & Technical Centre Elevations
TP303	A	31.10.2024	Operations Office & Technical Centre Sections
TP400	A	31.10.2024	Roofs Plan
TP500	A	31.10.2024	External Facades

### Annexure B – BCA & DAPS Assessments

<b>N/A</b>	Not Applicable. The Deemed-to-Satisfy clause is not applicable to the proposed design.
<b>Complies</b>	The relevant provisions of the Deemed-to-Satisfy clause have been satisfied by the proposed design.
<b>CRA – Refer Annexure C</b>	‘COMPLIANCE READILY ACHIEVABLE’. It is considered that there is not enough information included in the documentation to accurately determine strict compliance with the individual clause requirements. However, with further design development, compliance can readily be achievable. This item is to be read in conjunction with the BCA Specification included within Annexure C of this report.
<b>FI</b>	Further Information is necessary to determine the compliance potential of the building design.
<b>PS</b>	Performance Solution with respect to this Deemed-to-Satisfy Provision is necessary to satisfy the relevant Performance Requirements.
<b>DNC</b>	Does Not Comply.
<b>Noted</b>	BCA Clause simply provides a statement not requiring specific design comment or confirmation.

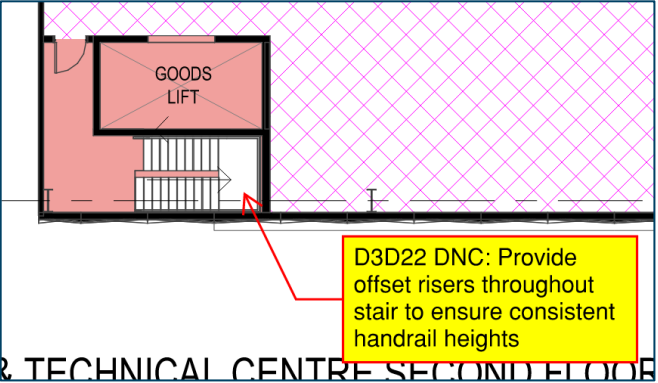
## BCA & DAPS Assessment Summary

Table 6: BCA & DAPS Assessment Summary

BCA & DAPS Section D: Access and Egress			
Clause	Clause Requirements	Comment	Status
<b>BCA Part D3 – Construction of Exits</b>			
BCA D3D16: Thresholds [BCA 2019: D2.15]	The threshold of a doorway must not incorporate a step or ramp at any point closer to the doorway than the width of the door leaf unless— <ul style="list-style-type: none"> <li>(a) in patient care areas in a Class 9a health-care building, the door sill is not more than 25 mm above the finished floor level to which the doorway opens; or</li> <li>(b) in resident use areas in a Class 9c building, a ramp is provided with a maximum gradient of 1:8 for a maximum height of 25 mm over the threshold; or</li> <li>(c) in a building required to be accessible by Part D4, the doorway—                             <ul style="list-style-type: none"> <li>(i) opens to a road or open space; and</li> <li>(ii) is provided with a threshold ramp or step ramp in accordance with AS 1428.1; or</li> </ul> </li> <li>(d) in other cases—                             <ul style="list-style-type: none"> <li>(i) the doorway opens to a road or open space, external stair landing or external balcony; and</li> </ul> </li> </ul>	The threshold provided throughout the building must be provided in accordance with this clause. Based on majority of the doorways being internal or accessible it is considered that compliance would be available.	CRA – Refer Annexure C

BCA & DAPS Section D: Access and Egress			
Clause	Clause Requirements	Comment	Status
	(ii) the door sill is not more than 190 mm above the finished surface of the ground, balcony, or the like, to which the doorway opens.		
BCA D3D22: Handrails [BCA 2019: D2.17]	(1) Except for handrails referred to in D3D23, and subject to (2), handrails must—  (a) be located along at least one side of the ramp or flight; and  (b) be located along each side if the total width of the stairway or ramp is 2 m or more; and  (c) in a Class 9b building used as a primary school or a building that contains an early childhood centre—	Throughout the stairways it is required that handrails are provided in accordance with this clause.  To comply with Clause 12 of AS1428.1-2009 it is required to provide an offset to allow for a continuous height being maintained throughout the flights and landing.  The non-fire-isolated stairway to the office is required to be provided with handrails on both sides of the stair.	DNC – Refer to Part 3 of Report

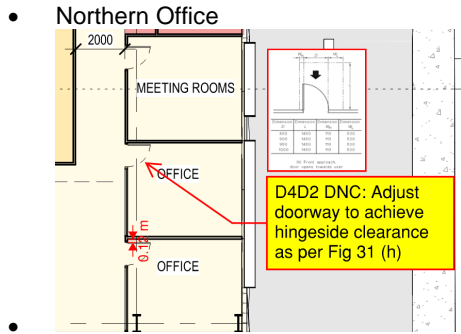
BCA & DAPS Section D: Access and Egress			
Clause	Clause Requirements	Comment	Status
	<p>(i) have one handrail fixed at a height of not less than 865 mm; and</p> <p>(ii) in addition to (i), have a handrail—</p> <p>(A) fixed at a height between 665 mm and 750 mm in a primary school; and</p> <p>(B) with a cross-sectional dimension not less than 16 mm and not greater than 45 mm as measured in any direction across its centre, fixed at a height between 450 mm and 700 mm in a Class 9b early childhood centre; and</p> <p>(d) in any other case, be fixed at a height of not less than 865 mm; and</p> <p>(e) be continuous between stair flight landings and have no obstruction on or above them that will tend to break a hand-hold; and</p> <p>(f) in a required exit serving an area required to be accessible, be designed and constructed to comply with clause 12 of AS 1428.1, except that clause 12(d) does not apply to a handrail required by (1)(c)(ii).</p> <p>(2) The height required by (1)(c) and (d) is measured above the nosings of stair treads and the floor surface of the ramp, landing or the like.</p> <p>(3) Handrails—</p> <p>(a) in a Class 9a health-care building must be provided along at least one side of every passageway or corridor used by patients, and must be—</p>	<p>Each fire-isolated stair in the office is required to be provided with offset risers throughout the stairway to ensure consistent handrail heights.</p>	

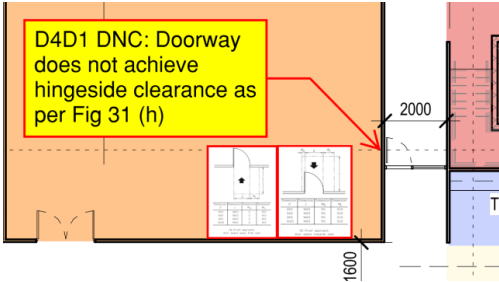
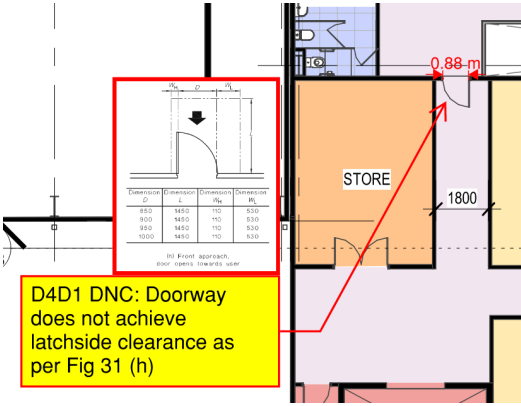
BCA & DAPS Section D: Access and Egress			
Clause	Clause Requirements	Comment	Status
	<p>(b) in a Class 9c aged care building must be provided along both sides of every passageway or corridor used by residents, and must be—</p> <p>(4) Handrails required to assist people with a disability must be provided in accordance with D4D4.</p> <p>(5) Handrails to a stairway or ramp within a sole-occupancy unit in a Class 2 or 3 building or Class 4 part of a building must—</p> <p>(6) The requirements of (5) do not apply to—</p> <p>(a) handrails referred to in D3D23; or</p> <p>(b) a stairway or ramp providing a change in elevation of less than 1 m; or</p> <p>(c) a landing; or</p> <p>(d) a winder where a newel post is installed to provide a handhold.</p>	 <p>TECHNICAL CENTRE SECOND FLOOR</p>	
<p>BCA D3D26: Operation of latch</p> <p>[BCA 2019: D2.21]</p>	<p>(1) A door in a required exit, forming part of a required exit or in the path of travel to a required exit must be readily openable without a key from the side that faces a person seeking egress, by—</p> <p>(a) a single hand downward action on a single device which is located between 900 mm and 1.1 m from the floor and if serving an area required to be accessible by Part D4—</p>	<p>The latches throughout the egress paths of the building are required to be provided in accordance with this clause.</p> <p>This will require a single hand downward action or pushing action on a single device which is located between 900mm and 1.1 m from the floor.</p> <p>A door schedule has not been provided and will be required for further assessment.</p>	<p>CRA – Refer Annexure C</p>

BCA & DAPS Section D: Access and Egress			
Clause	Clause Requirements	Comment	Status
	<p>(i) be such that the hand of a person who cannot grip will not slip from the handle during the operation of the latch; and</p> <p>(ii) have a clearance between the handle and the back plate or door face at the centre grip section of the handle of not less than 35 mm and not more than 45 mm; or</p> <p>(b) a single hand pushing action on a single device which is located between 900 mm and 1.2 m from the floor.</p> <p>(2) Where the latch operation device referred to in (1)(b) is not located on the door leaf itself—</p> <p>(a) manual controls to power-operated doors must be at least 25 mm wide, proud of the surrounding surface and located—</p> <p>(i) not less than 500 mm from an internal corner; and</p> <p>(ii) for a hinged door, between 1 m and 2 m from the door leaf in any position; and</p> <p>(iii) for a sliding door, within 2 m of the doorway and clear of a surface mounted door in the open position; and</p> <p>(b) braille and tactile signage complying with S15C3 and S15C6 must identify the latch operation device.</p> <p>(3) The requirements of (1) and (2) do not apply to a door that—</p>		

BCA & DAPS Section D: Access and Egress			
Clause	Clause Requirements	Comment	Status
	<p>(a) serves a vault, strong-room, sanitary compartment, or the like; or</p> <p>(b) serves only, or is within—</p> <p style="padding-left: 20px;">(i) a sole-occupancy unit in a Class 2 building or a Class 4 part of a building; or</p> <p style="padding-left: 20px;">(ii) a sole-occupancy unit in a Class 3 building (other than an entry door to a sole-occupancy unit of a boarding house, guest house, hostel, lodging house or backpacker accommodation); or</p> <p style="padding-left: 20px;">(iii) a sole-occupancy unit with a floor area not more than 200 m2 in a Class 5, 6, 7 or 8 building; or</p> <p style="padding-left: 20px;">(iv) a space which is otherwise inaccessible to persons at all times when the door is locked; or</p> <p>(c) complies with (4) and serves—</p> <p style="padding-left: 20px;">(i) Australian Government Security Zones 4 or 5; or</p> <p style="padding-left: 20px;">(ii) the secure parts of a bank, detention centre, mental health facility, early childhood centre or the like; or</p> <p>(d) is fitted with a fail-safe device which automatically unlocks the door upon the activation of any sprinkler system (other than a FPAA101D system) complying with Specification 17 or smoke, or any other detector system deemed suitable in accordance with AS 1670.1</p>		

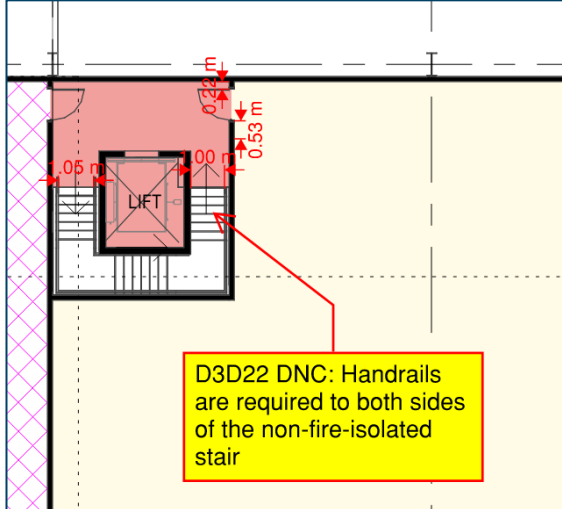
BCA & DAPS Section D: Access and Egress			
Clause	Clause Requirements	Comment	Status
	<p>installed throughout the building, and is readily openable when unlocked; or</p> <p>(e) is in a Class 9a or 9c building and—</p> <p>(4) A door referred to in (3)(c) must be able to be immediately unlocked—</p> <p>(a) by operating a fail-safe control switch, not contained within a protective enclosure, to actuate a device to unlock the door; or</p> <p>(b) by hand by a person or persons, specifically nominated by the owner, properly instructed as to the duties and responsibilities involved and available at all times when the building is lawfully occupied so that persons in the building or part may immediately escape if there is a fire.</p> <p>(5) The requirements of (1) and (2) do not apply in a Class 9b building (other than a school, an early childhood centre or a building used for religious purposes) to a door in a required exit, forming part of a required exit or in the path of travel to a required exit serving a storey or room accommodating more than 100 persons, determined in accordance with D2D18, in which case it must be readily openable—</p> <p>(a) without a key from the side that faces a person seeking egress; and</p> <p>(b) by a single hand pushing action on a single device such as a panic bar located between 900 mm and 1.2 m from the floor; and</p>		

BCA & DAPS Section D: Access and Egress			
Clause	Clause Requirements	Comment	Status
	(c) where a two-leaf door is fitted, the provisions of (a) and (b) need only apply to one door leaf if the appropriate requirements of D2D9 are satisfied by the opening of that one leaf; and		
BCA Part D4 / DAPS Part D3 – Access for People with a disability			
BCA D4D1 / DAPS D3.0: Deemed-to-Satisfy Provisions [BCA 2019: D3.0]	Informational	Noted	Noted
BCA D4D2 / DAPS D3.1: General building access requirements [BCA 2019: D3.1]	<p>(1) Buildings and parts of buildings must be accessible as required by this clause, unless exempted by D4D5.</p> <p>(2) Access requirements for a Class 1b building are as follows:</p> <p>(3) For the purposes of (2)(a), a community or strata-type subdivision or development is considered to be on a single allotment.</p> <p>(4) For a Class 2 building, common areas are to be accessible as follows:</p> <p>(5) For a Class 3 building, access requirements are as follows:</p> <p>(6) For Class 5, 6, 7b, 8 and 9a buildings, access must be provided to and within all areas normally used by the occupants.</p>	<p>Access must be provided throughout the building and including areas subject to “Affected Part.”</p> <p>The following doorways are required to be updated to achieve the required doorway circulation clearances:</p> <p>Ground Floor:</p> <ul style="list-style-type: none"> <li>Northern Office</li> </ul> 	DNC – Refer to Part 3 of Report

BCA & DAPS Section D: Access and Egress			
Clause	Clause Requirements	Comment	Status
	<p>(7) For a Class 7a building, access must be provided to and within any level containing accessible carparking spaces.</p> <p>(8) For a Class 9b building, access requirements are as follows:</p> <p>(9) For a Class 9c building, access requirements are as follows:</p> <p>(10) For a Class 10 building, access requirements are as follows:</p>	<ul style="list-style-type: none"> <li>Central Corridor                              </li> <li>First Floor:                             <ul style="list-style-type: none"> <li>Southern Corridor                                      </li> </ul> </li> </ul>	
<p>BCA D4D3 / DAPS D3.2: Access to Buildings</p> <p>[BCA 2019: D3.2]</p>	<p>(1) An accessway must be provided to a building required to be accessible—</p>	<p>Access to the principal pedestrian entrance of the building is provided from Gow Street.</p> <p>The following upgrades are required:</p>	<p>DNC / FI – Refer to Part 3 of Report</p>

BCA & DAPS Section D: Access and Egress			
Clause	Clause Requirements	Comment	Status
	<p>(a) from the main points of a pedestrian entry at the allotment boundary; and</p> <p>(b) from another accessible building connected by a pedestrian link; and</p> <p>(c) from any required accessible carparking space on the allotment.</p> <p>(2) In a building required to be accessible, an accessway must be provided through the principal pedestrian entrance, and—</p> <p>(a) through not less than 50% of all pedestrian entrances including the principal pedestrian entrance; and</p> <p>(b) in a building with a total floor area more than 500 m2, a pedestrian entrance which is not accessible must not be located more than 50 m from an accessible pedestrian entrance,</p> <p>except for pedestrian entrances serving only areas exempted by D4D5.</p> <p>(3) Where a pedestrian entrance required to be accessible has multiple doorways—</p> <p>(a) if the pedestrian entrance consists of not more than 3 doorways — not less than 1 of those doorways must be accessible; and</p> <p>(b) if a pedestrian entrance consists of more than 3 doorways — not less than 50% of those doorways must be accessible.</p>	<ul style="list-style-type: none"> <li>• Provide a continuous accessible path of travel from the property boundary to the office / lab entry</li> <li>• Shorten the boom gate to not obstruct the pedestrian path of travel</li> <li>• Upgrade the pedestrian swing gate to achieve doorway circulation clearance for a front on approach</li> <li>• Clarify the solid building elements adjacent the entry doorway as these could obstruct doorway circulation clearance.</li> <li>• Provide a passenger lift in lieu of a platform lift to access Ground Floor.</li> </ul>	

BCA & DAPS Section D: Access and Egress			
Clause	Clause Requirements	Comment	Status
	<p>(4) For the purposes of (3)—</p> <p>(a) an accessible pedestrian entrance with multiple doorways is considered to be one pedestrian entrance where—</p> <p>(i) all doorways serve the same part or parts of the building; and</p> <p>(ii) the distance between each doorway is not more than the width of the widest doorway at that pedestrian entrance (see Figure D4D3); and</p> <p>(b) a doorway is considered to be the clear, unobstructed opening created by the opening of one or more door leaves (see Figure D4D3).</p> <p>(5) Where a doorway on an accessway has multiple leaves (except an automatic opening door), one of those leaves must have a clear opening width of not less than 850 mm in accordance with AS 1428.1.</p>		
<p>BCA D4D4 / DAPS D3.3: Parts of Buildings to be Accessible</p> <p>[BCA 2019: D3.3]</p>	<p>In a building required to be accessible—</p> <p>(a) every ramp and stairway, except for ramps and stairways in areas exempted by D4D5, must comply with—</p> <p>(i) for a ramp, except a fire-isolated ramp, clause 10 of AS 1428.1; and</p> <p>(ii) for a stairway, except a fire-isolated stairway, clause 11 of AS 1428.1; and</p>	<p>As per Section 2.6 of the report, the warehouse is exempt from access. Therefore, the office &amp; laboratories are required to be accessible.</p> <p>Access throughout the building is achieved via passenger lifts.</p> <p>Additional detailed and section drawings are required of the stairways for further assessment.</p>	<p>FI – Refer to Part 3 of Report</p>

BCA & DAPS Section D: Access and Egress			
Clause	Clause Requirements	Comment	Status
	<p>(iii) for a fire-isolated stairway, clause 11.1(f) and (g) of AS 1428.1; and</p> <p>(b) every passenger lift must comply with E3D7 and E3D8; and</p> <p>(c) accessways must have—</p> <p>(i) passing spaces complying with AS 1428.1 at maximum 20 m intervals on those parts of an accessway where a direct line of sight is not available; and</p> <p>(ii) turning spaces complying with AS 1428.1—</p> <p>(A) within 2 m of the end of accessways where it is not possible to continue travelling along the accessway; and</p> <p>(B) at maximum 20 m intervals along the accessway; and</p> <p>(d) an intersection of accessways satisfies the spatial requirements for a passing and turning space; and</p> <p>(e) a passing space may serve as a turning space; and</p> <p>(f) a ramp complying with AS 1428.1 or a passenger lift need not be provided to serve a storey or level other than the entrance storey in a Class 5, 6, 7b or 8 building—</p> <p>(i) containing not more than 3 storeys; and</p>	<p>However it is noted that the non-fire isolated stairway requires handrails on both sides of the stair, whereas only a single handrail has been provided.</p> <p>Refer to commentary on tactile indicators further below in this section of the report.</p> 	

BCA & DAPS Section D: Access and Egress			
Clause	Clause Requirements	Comment	Status
	<p>(ii) with a floor area for each storey, excluding the entrance storey, of not more than 200 m<sup>2</sup>; and</p> <p>(g) clause 7.4.1(a) of AS 1428.1 does not apply and is replaced with 'the pile height or pile thickness shall not exceed 11 mm and the carpet backing thickness shall not exceed 4 mm'; and</p> <p>(h) the carpet pile height or pile thickness dimension, carpet backing thickness dimension and their combined dimension shown in Figure 8 of AS 1428.1 do not apply and are replaced with 11 mm, 4 mm and 15 mm respectively.</p>		
<p>BCA D4D5 / DAPS D3.4: Exemptions</p> <p>[BCA 2019: D3.4]</p>	<p>The following areas are not required to be accessible:</p> <p>(a) An area where access would be inappropriate because of the particular purpose for which the area is used.</p> <p>(b) An area that would pose a health or safety risk for people with a disability.</p> <p>(c) Any path of travel providing access only to an area exempted by (a) or (b).</p>	<p>The warehouse portions of the development will be exempt from access as this area will pose a health and safety risk for a person with a disability.</p> <p>Other areas that are exempt are:</p> <ul style="list-style-type: none"> <li>• Service cupboards; and</li> <li>• Second floor Mechanical Plant Room</li> </ul>	<p>CRA – Refer Annexure C</p>
<p>BCA D4D6 / DAPS D3.5: Accessible Car Parking</p> <p>[BCA 2019: D3.5]</p>	<p>(1) Accessible carparking spaces—</p> <p>(a) subject to (b), must be provided in accordance with (2) in—</p> <p>(i) a Class 7a building required to be accessible; and</p>	<p>Accessible carparking is required to be provided and has been on the development. Accessible carparking has been provided in sufficient numbers and in overall dimensions.</p>	<p>CRA – Refer Annexure C</p>

BCA & DAPS Section D: Access and Egress			
Clause	Clause Requirements	Comment	Status
	<p>(ii) a carparking area on the same allotment as a building required to be accessible; and</p> <p>(b) need not be provided in a Class 7a building or a carparking area where a parking service is provided and direct access to any of the carparking spaces is not available to the public; and</p> <p>(c) subject to (d), must comply with AS/NZS 2890.6-2009; and</p> <p>(d) need not be identified with signage where there is a total of not more than 5 carparking spaces, so as to restrict the use of the carparking space only for people with a disability.</p> <p>(2) For each class of building to which the carpark or carparking area is associated, the number of accessible carparking spaces required is as follows:</p> <p>(a) Class 1b and 3 buildings:</p> <p>(b) Class 5, 7, 8 or 9c buildings — 1 accessible space for every 100 carparking spaces or part thereof.</p> <p>(c) Class 6 buildings—</p> <p>(d) Class 9a buildings:</p> <p>(e) Class 9b buildings:</p>		
<p>BCA D4D7 / DAPS D3.6: Signage [BCA 2019: D3.6]</p>	<p>(1) In a building required to be accessible—</p>	<p>A signage schedule has not been provided. Signage shall be provided in accordance with this clause.</p>	<p>CRA – Refer Annexure C</p>

BCA & DAPS Section D: Access and Egress			
Clause	Clause Requirements	Comment	Status
	<p>(a) braille and tactile signage complying with Specification 15 must—</p> <p>(i) incorporate the international symbol of access or deafness, as appropriate, in accordance with AS 1428.1 and identify each—</p> <p>(A) sanitary facility, except a sanitary facility associated with a bedroom in a Class 1b building or a sole-occupancy unit in a Class 3 or Class 9c building; and</p> <p>(B) space with a hearing augmentation system; and</p> <p>(ii) identify each door required by E4D5 to be provided with an exit sign and state—</p> <p>(A) “Exit”; and</p> <p>(B) “Level”; and</p> <p>(C) the floor level number or floor level descriptor, or a combination of the two.</p> <p>(b) signage including the international symbol for deafness in accordance with AS 1428.1 must be provided within a room containing a hearing augmentation system identifying—</p> <p>(i) the type of hearing augmentation; and</p> <p>(ii) the area covered within the room; and</p>	<p>The specifics of the signage will need to be provided in accordance with Specification 15 and AS1428.1-2009 where applicable.</p>	

BCA & DAPS Section D: Access and Egress			
Clause	Clause Requirements	Comment	Status
	<p>(iii) if receivers are being used and where the receivers can be obtained; and</p> <p>(c) signage in accordance with AS 1428.1 must be provided for accessible unisex sanitary facilities to identify if the facility is suitable for left or right handed use; and</p> <p>(d) signage to identify an ambulant accessible sanitary facility in accordance with AS 1428.1 must be located on the door of the facility; and</p> <p>(e) where a pedestrian entrance is not accessible, directional signage incorporating the international symbol of access, in accordance with AS 1428.1, must be provided to direct a person to the location of the nearest accessible pedestrian entrance; and</p> <p>(f) where a bank of sanitary facilities is not provided with an accessible unisex sanitary facility, directional signage incorporating the international symbol of access in accordance with AS 1428.1 must be placed at the location of the sanitary facilities that are not accessible, to direct a person to the location of the nearest accessible unisex sanitary facility.</p> <p>(2) In a building that is subject to F4D12 and is required to be accessible, directional signage complying with Specification 15 to direct a person to the location of the nearest accessible adult change facility within that building must be provided at the location of each—</p> <p>(a) bank of sanitary facilities; and</p>		

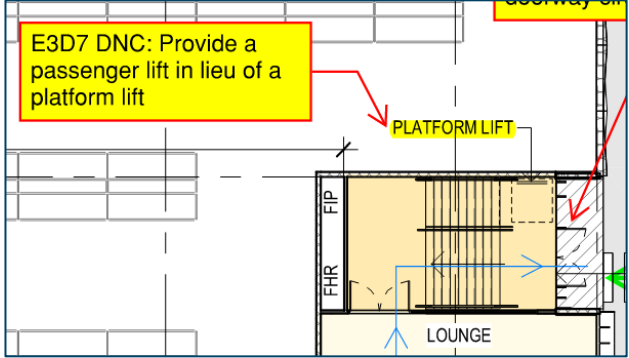
BCA & DAPS Section D: Access and Egress			
Clause	Clause Requirements	Comment	Status
	(b) accessible unisex sanitary facility, other than one that incorporates an accessible adult change facility.		
BCA D4D8 / DAPS D3.7: Hearing Augmentation  [BCA 2019: D3.7]	<p>(1) A hearing augmentation system must be provided where an inbuilt amplification system, other than one used only for emergency warning, is installed—</p> <p>(a) in a room in a Class 9b building; or</p> <p>(b) in an auditorium, conference room, meeting room or room for judicatory purposes; or</p> <p>(c) at any ticket office, teller’s booth, reception area or the like, where the public is screened from the service provider.</p> <p>(2) If a hearing augmentation system required by (1) is—</p> <p>(a) an induction loop, it must be provided to not less than 80% of the floor area of the room or space served by the inbuilt amplification system; or</p> <p>(b) a system requiring the use of receivers or the like, it must be available to not less than 95% of the floor area of the room or space served by the inbuilt amplification system, and the number of receivers provided must not be less than—</p> <p>(i) if the room or space accommodates up to 500 persons, 1 receiver for every 25 persons or part thereof, or 2 receivers, whichever is the greater; and</p>	Where an inbuilt amplification system, other than one used only for emergency warning is installed, hearing augmentation system must be provided in accordance with this Clause.	CRA – Refer Annexure C

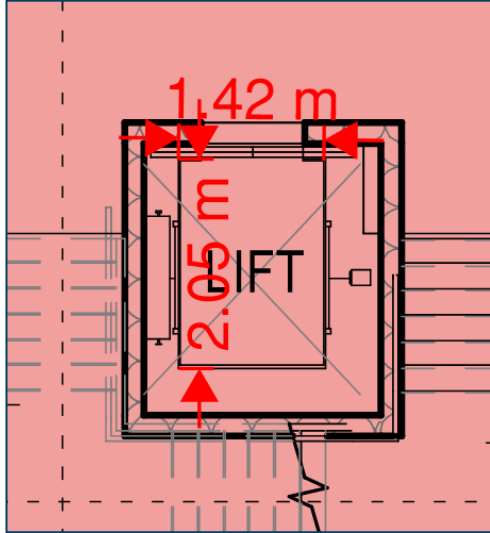
BCA & DAPS Section D: Access and Egress			
Clause	Clause Requirements	Comment	Status
	<p>(ii) if the room or space accommodates more than 500 persons but not more than 1000 persons, 20 receivers plus 1 receiver for every 33 persons or part thereof in excess of 500 persons; and</p> <p>(iii) if the room or space accommodates more than 1000 persons but not more than 2000 persons, 35 receivers plus 1 receiver for every 50 persons or part thereof in excess of 1000 persons; and</p> <p>(iv) if the room or space accommodates more than 2000 persons, 55 receivers plus 1 receiver for every 100 persons or part thereof in excess of 2000 persons.</p> <p>(3) The number of persons accommodated in the room or space served by an inbuilt amplification system must be calculated according to D2D18.</p> <p>(4) Any screen or scoreboard associated with a Class 9b building and capable of displaying public announcements must be capable of supplementing any public address system, other than a public address system used for emergency warning purposes only.</p>		
<p>BCA D4D9 / DAPS D3.8: Tactile Indicators</p> <p>[BCA 2019: D3.8]</p>	<p>(1) For a building required to be accessible, tactile ground surface indicators must be provided to warn people who are blind or have a vision impairment that they are approaching—</p> <p>(a) a stairway, other than a fire-isolated stairway; and</p> <p>(b) an escalator; and</p>	<p>Tactile indicators are required to every stairway and has not been indicated on the architectural plans.</p> <p>Plans to be updated for further assessment.</p>	<p>FI – Refer to Part 3 of Report</p>

BCA & DAPS Section D: Access and Egress			
Clause	Clause Requirements	Comment	Status
	<p>(c) a passenger conveyor or moving walk; and</p> <p>(d) a ramp other than a fire-isolated ramp, step ramp, kerb ramp or swimming pool ramp; and</p> <p>(e) in the absence of a suitable barrier—</p> <p style="padding-left: 20px;">(i) an overhead obstruction less than 2 m above floor level, other than a doorway; and</p> <p style="padding-left: 20px;">(ii) an accessway meeting a vehicular way adjacent to any pedestrian entrance to a building, excluding a pedestrian entrance serving an area referred to in D4D5, if there is no kerb or kerb ramp at that point,</p> <p>except for areas exempted by D4D5.</p> <p>(2) Tactile ground surface indicators required by (1) must comply with sections 1 and 2 of AS/NZS 1428.4.1.</p> <p>(3) A hostel for the aged, nursing home for the aged, a residential aged care building, Class 3 accommodation for the aged, Class 9a health-care building or a Class 9c aged care building need not comply with (1)(a) and (d) if handrails incorporating a raised dome button in accordance with AS/NZS 1428.4.1 are provided to warn people who are blind or have a vision impairment that they are approaching a stairway or ramp.</p>		
BCA D4D10 / DAPS D3.9: Wheelchair seating spaces in Class 9b Assembly Buildings	NA	This clause is not applicable to the subject building.	NA

BCA & DAPS Section D: Access and Egress			
Clause	Clause Requirements	Comment	Status
[BCA 2019: D3.9]			
BCA D4D11 / DAPS D3.10: Swimming Pools [BCA 2019: D3.10]	NA	This clause is not applicable to the subject building.	NA
BCA D4D12 / DAPS D3.11: Ramps [BCA 2019: D3.11]	On an accessway—  (a) a series of connected ramps must not have a combined vertical rise of more than 3.6 m; and  (b) a landing for a step ramp must not overlap a landing for another step ramp or ramp.	No ramps are provided to the subject development.	NA
BCA D4D13 / DAPS D3.12: Glazing on an Accessway [BCA 2019: D3.12]	On an accessway, where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening, must be clearly marked in accordance with AS 1428.1.	To all areas where glazing has been provided on an accessway, visual indicators in accordance with AS1428.1-2009 is required.	CRA – Refer Annexure C

BCA & DAPS Section E: Services and Equipment			
Clause	Clause Requirements	Comment	Status
<b>BCA / DAPS Part E3 – Lift Installations</b>			
BCA / DAPS E3.0: Deemed-to-Satisfy Provisions [BCA 2019: E3.0]	(1) Where a Deemed-to-Satisfy Solution is proposed, Performance Requirements E3P1 to E3P4 are satisfied by complying with— (a) E3D2 to E3D12; and (b) for a building containing an occupiable outdoor area, Part G6; and (c) for public transport buildings, Part I2. (2) Where a Performance Solution is proposed, the relevant Performance Requirements must be determined in accordance with A2G2(3) and A2G4(3) as applicable.	Noted	Noted
BCA E3D7 / DAPS E3.6: Passenger lifts and their limitations [BCA 2019: E3.6]	(1) In an accessible building, every passenger lift must be one of the following lift types, subject to the limitations (if any) of each lift type: (a) There are no limitations on the use of electric passenger lifts, electrohydraulic passenger lifts or inclined lifts. (b) Stairway platform lifts must not— (i) be used to serve a space in a building accommodating more than 100 persons calculated according to D2D18; or	A stairway platform lift is proposed at the building entry which would not comply with the provisions of this clause as the building serves more than 100 persons. It is required that a passenger lift is provided.	DNC – Refer to Part 3 of the report.

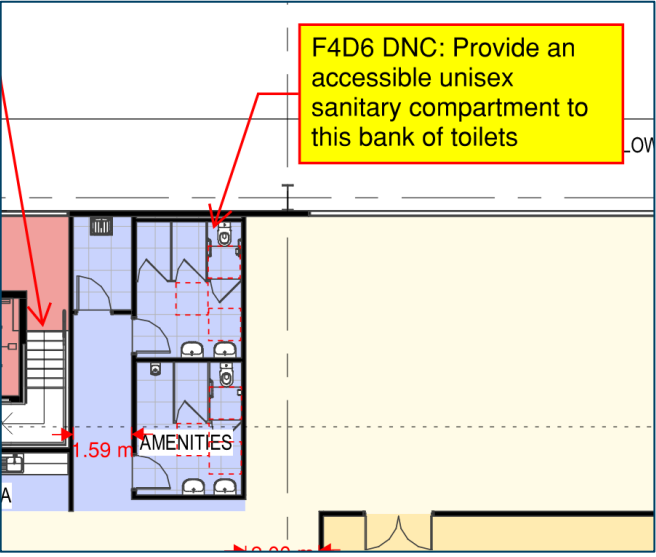
BCA & DAPS Section E: Services and Equipment			
Clause	Clause Requirements	Comment	Status
	<p>(ii) be used in a high traffic public use area such as a theatre, cinema, auditorium, transport interchange, shopping centre or the like; or</p> <p>(iii) be used where it is possible to install another type of passenger lift; or</p> <p>(iv) connect more than 2 storeys; or</p> <p>(v) where more than 1 stairway lift is installed, serve more than 2 consecutive storeys; or</p> <p>(vi) when in the folded position, encroach on the minimum width of a stairway required by D2D8 to D2D11.</p> <p>(c) A low-rise platform lift must not travel more than 1000 mm.</p> <p>(d) A low-rise, low-speed constant pressure lift must not—</p> <p>(i) for an enclosed type, travel more than 4 m; or</p> <p>(ii) for an unenclosed type, travel more than 2 m; or</p> <p>(iii) be used in a high traffic public use areas in buildings such as a theatre, cinema, auditorium, transport interchange, shopping complex or the like.</p> <p>(e) A small-sized, low-speed automatic lift must not travel more than 12 m.</p>	 <p>Passenger lifts has been provided within each storey to provide access to all levels.</p>	

BCA & DAPS Section E: Services and Equipment			
Clause	Clause Requirements	Comment	Status
	(2) A passenger lift referred to in (1) must not rely on a constant pressure device for its operation if the lift car is fully enclosed.		
<p>BCA E3D8 / DAPS E3.6: Accessible features required for passenger lifts [BCA 2019: E3.6]</p>	<p>In an accessible building, every passenger lift must have the following features where applicable:</p> <p>(a) A handrail complying with the provisions for a mandatory handrail in AS 1735.12 for all lifts except—</p> <ul style="list-style-type: none"> <li>(i) a stairway platform lift; and</li> <li>(ii) a low-rise platform lift.</li> </ul> <p>(b) Lift floor dimensions of not less than 1400 mm wide x 1600 mm deep for all lifts which travel more than 12m.</p> <p>(c) Lift floor dimensions of not less than 1100 mm wide x 1400 mm deep for all lifts which travel not more than 12m, except a stairway platform lift.</p> <p>(d) Lift floor dimensions of not less than 810 mm wide x 1200 mm deep for a stairway platform lift.</p> <p>(e) Minimum clear door opening complying with AS 1735.12 for all lifts except a stairway platform lift.</p> <p>(f) Passenger protection system complying with AS 1735.12 for all lifts with power-operated doors.</p> <p>(g) Lift landing doors at the upper landing for all lifts except a stairway platform lift.</p>	<p>Preliminary plans have been provided that details a 1.42m wide x 2.05m deep lift car will be provided which is capable of achieving the accessible provisions prescribed in this clause.</p> <p>Further detailed drawings are required for further assessment at CC Stage.</p> 	CRA – Refer Annexure C

BCA & DAPS Section E: Services and Equipment			
Clause	Clause Requirements	Comment	Status
	<p>(h) Lift car and landing control buttons complying with AS 1735.12 for all lifts except—</p> <ul style="list-style-type: none"> <li>(i) a stairway platform lift; and</li> <li>(ii) a low-rise platform lift.</li> </ul> <p>(i) Lighting in accordance with AS 1735.12 for all enclosed lift cars.</p> <p>(j) For all lifts serving more than 2 levels—</p> <ul style="list-style-type: none"> <li>(i) automatic audible information within the lift car to identify the level each time the car stops; and</li> <li>(ii) audible and visual indication at each lift landing to indicate the arrival of the lift car; and</li> <li>(iii) audible information and audible indication required by (i) and (ii) is to be provided in a range of between 20 - 80 dB(A) at a maximum frequency of 1500 Hz.</li> </ul> <p>(k) Emergency hands-free communication, including a button that alerts a call centre of a problem and a light to signal that the call has been received, for all lifts except a stairway platform lift.</p>		

BCA & DAPS Section F: Health and Amenity			
Clause	Clause Requirements	Comment	Status
<b>BCA Part F4 / DAPS Part F2 – Sanitary and Other Facilities</b>			
BCA F4D1 / DAPS F2.0: Deemed-to-Satisfy Provisions [BCA 2019: F2.0]	(1) Where a Deemed-to-Satisfy Solution is proposed, Performance Requirements F4P1 to F4P6 are satisfied by complying with— (a) F4D2 to F4D12; and (b) for public transport buildings, Part I2; and (c) for farm sheds, Part I3.  (2) Where a Performance Solution is proposed, the relevant Performance Requirements must be determined in accordance with A2G2(3) and A2G4(3) as applicable.	Noted	Noted
BCA F4D5 / DAPS F2.4: Accessible sanitary facilities (including Table F2.4) [BCA 2019: F2.4]	In a building required to be accessible— (a) accessible unisex sanitary compartments must be provided in accessible parts of the building in accordance with F4D6; and (b) accessible unisex showers must be provided in accordance with F4D7; and (c) at each bank of toilets where there is one or more toilets in addition to an accessible unisex sanitary compartment at that bank of toilets, not less than one sanitary compartment suitable for a person with an ambulant disability for use by males and not less than one sanitary compartment suitable for a person with an ambulant disability for use by females, each in accordance with AS 1428.1, must be provided; and	Ambulant facilities have been provided in each bank of male/female toilets and the required clearances has been achieved.  Grabrails to comply with AS1428.1 and further detailed drawings are required for further assessment at CC Stage.	CRA – Refer Annexure C

BCA & DAPS Section F: Health and Amenity			
Clause	Clause Requirements	Comment	Status
	<p>(d) an accessible unisex sanitary compartment must contain a closet pan, washbasin, shelf or bench top and adequate means of disposal of sanitary products; and</p> <p>(e) the circulation spaces, fixtures and fittings of all accessible sanitary facilities provided in accordance with F4D6 and F4D7 must comply with the requirements of AS 1428.1; and</p> <p>(f) an accessible unisex sanitary facility must be located so that it can be entered without crossing an area reserved for one sex only; and</p> <p>(g) where two or more of each type of accessible unisex sanitary facility are provided, the number of left and right handed mirror image facilities must be provided as evenly as possible; and</p> <p>(h) where male sanitary facilities are provided at a separate location to female sanitary facilities, accessible unisex sanitary facilities are only required at one of those locations; and</p> <p>(i) an accessible unisex sanitary compartment or an accessible unisex shower need not be provided on a storey or level that is not required by D4D4(f) to be provided with a passenger lift or ramp complying with AS 1428.1.</p>		

BCA & DAPS Section F: Health and Amenity			
Clause	Clause Requirements	Comment	Status
<p>BCA F4D6 / DAPS F2.4: Accessible unisex sanitary compartments</p> <p>[BCA 2019: Table F2.4a]</p>	<p>(1) Where required by F4D5(a), the minimum number of accessible unisex sanitary compartments for each class of building is as follows:</p> <p>(a) For a Class 1b building—</p> <p>(b) For a Class 2 building, where sanitary compartments are provided in common areas, not less than 1.</p> <p>(c) For Class 3 and Class 9c buildings—</p> <p>(d) For Class 5, 6, 7, 8 or 9 buildings, where F4D4 requires closet pans—</p> <p>(i) 1 on every storey containing sanitary compartments; and</p> <p>(ii) where a storey has more than 1 bank of sanitary compartments containing male and female sanitary compartments, at not less than 50% of those banks.</p> <p>(e) For a Class 10a building, at each bank of sanitary compartments containing male and female sanitary compartments, not less than 1.</p> <p>(2) The requirements of (1)(d) do not apply within a ward area of a Class 9a health-care building.</p> <p>(3) The requirements of (1)(e) do not apply to—</p> <p>(a) a Class 10a appurtenant to another class of building; or</p>	<p>Accessible Unisex Sanitary Compartments are required at each bank of toilets.</p> <p>They have not been provided at the central bank of toilets on Ground Floor &amp; Level 1 and will be required.</p>  <p>An accessible sanitary compartment has been provided to the Southern bank of toilets and the overall dimensions provided is capable of achieving compliance with AS1428.1. Further detailed drawings are required to assess fittings and fixtures to be assessed at CC stage.</p>	<p>DNC – Refer Part 3 of Report.</p>

BCA & DAPS Section F: Health and Amenity			
Clause	Clause Requirements	Comment	Status
	(b) a sanitary compartment dedicated to a single caravan/camping site.		
BCA F4D7 / DAPS F2.4: Accessible unisex showers  [BCA 2019: Table F2.4(b)]	<p>(1) Where required by F4D5(b), the minimum number of accessible unisex showers for each class of building is as follows:</p> <p>(a) For a Class 1b building—</p> <p>(b) For a Class 2 building, where showers are provided in common areas, not less than 1.</p> <p>(c) For Class 3 and 9c buildings—</p> <p>(d) For Class 5, 6, 7, 8 or 9 buildings, where F4D4 requires 1 or more showers, not less than 1 for every 10 showers or part thereof.</p> <p>(e) For a Class 10a building, where showers are provided, 1 for every 10 showers or part thereof.</p> <p>(2) The requirements of (1)(d) do not apply within a ward area of a Class 9a health-care building.</p> <p>(3) The requirements of (1)(e) do not apply to—</p>	<p>Accessible unisex showers will be provided within the accessible sanitary compartment.</p> <p>The overall dimensions provided is capable of achieving compliance with AS1428.1. Further detailed drawings are required to assess fittings and fixtures to be assessed at CC stage.</p>	CRA – Refer Annexure C

BCA & DAPS Section F: Health and Amenity			
Clause	Clause Requirements	Comment	Status
	(a) a Class 10a appurtenant to another class of building; and  (b) a sanitary compartment dedicated to a single caravan/camping site.		
BCA F4D12 / DAPS F2.9: Accessible adult change facilities  [BCA 2019 F2.9]	NA	No adult change facilities will be provided to the subject building and therefore, this clause is not applicable.	NA

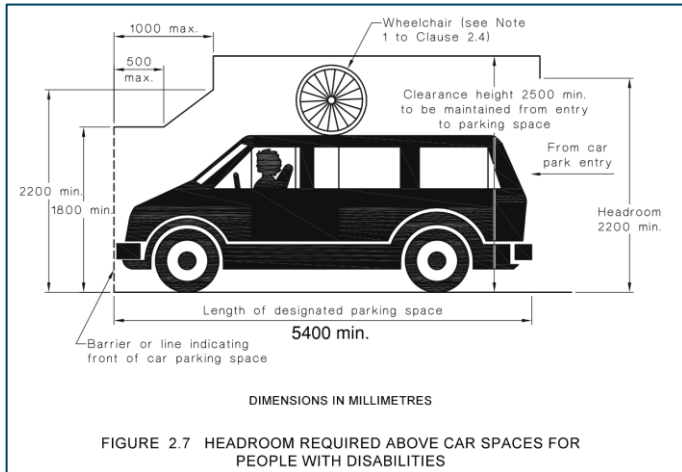
## Annexure C - Compliance Specification

### Design Certification

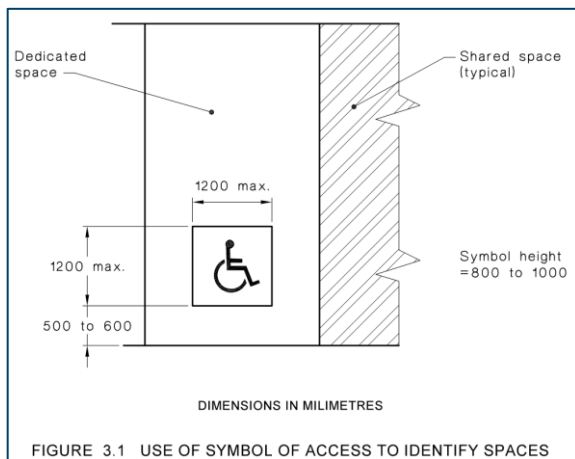
Further due to the level of detail provided at this stage the following items are to form part of a design statement or specification:

#### General

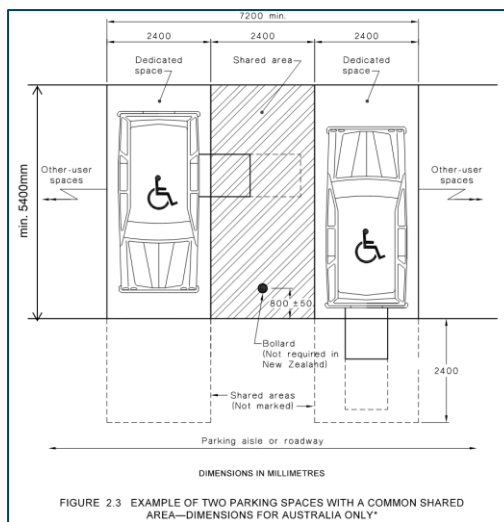
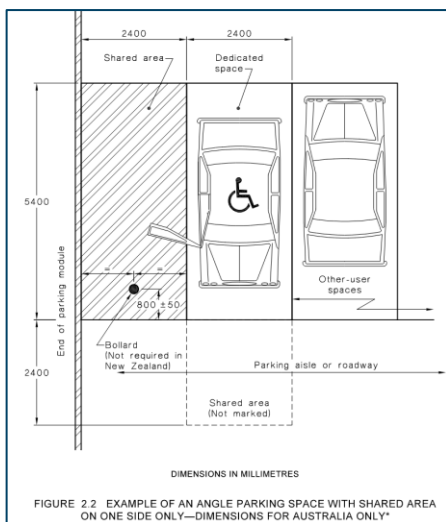
1. Tactile ground surface indicators will be installed at the top and bottom of stairways / ramps (other than fire isolated stairways / ramps); and where an overhead obstruction is less than 2 metres above the floor level. Tactile ground surface indicators will comply with Sections 1 and 2 of AS1428.4.1-2009 (incl. Amendments 1 and 2).
2. On an accessway where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights or glazing capable of being mistaken for a doorway or opening will be clearly marked and comply with Clause 6.6 of AS1428.1-2009. A solid non-transparent contrasting line not less than 75mm wide is to extend across the full width of the glazing panel. The lower edge of the contrasting line is to be located between 900-1000mm above the plane of the finished floor level. The contrasting line is to provide a minimum of 30% luminance contrast when viewed against the floor surface or surfaces within 2 metres of the glazing on the opposite side.
3. All doorways will have a minimum luminance contrast of 30% in accordance with Clause 13.1 of AS1428.1-2009.
4. Fixtures and fittings in accessible sanitary facilities will be provided and installed in accordance Clause 15 of AS1428.1-2009.
5. Fixtures and fittings in ambulant facilities will be provided and installed in accordance Clause 16 of AS1428.1-2009.
6. Walkways will comply with Clause 10 of AS1428.1-2009.
7. For the walkways, the floor or ground surface abutting the sides of the walkway will be firm and level of a different material to that of the walkway at the same level and follow the grade of the walkway and extend horizontally for a minimum of 600mm, or be provided with a kerb or kerb rail in accordance with Clause 10.2 of AS1428.1-2009.
8. Stairways will comply with Clause 11 of AS1428.1-2009.
9. The fire isolated stairs will comply with Clause 11.1(f) and (g) of AS1428.1-2009.
10. Handrails will comply with Clause 12 of AS1428.1-2009.
11. Grabrails will comply with Clause 17 of AS1428.1-2009.
12. Accessible car spaces will achieve compliant headroom clearances in accordance with Clause 2.4 of AS2890.6-2009. Refer to below for diagrammatic explanation.



13. Demarcation will be provided in the accessible car space and adjacent shared zone in accordance with Clause 3.1 and 3.2 of AS2890.6-2009. Refer to below for diagrammatic explanation.

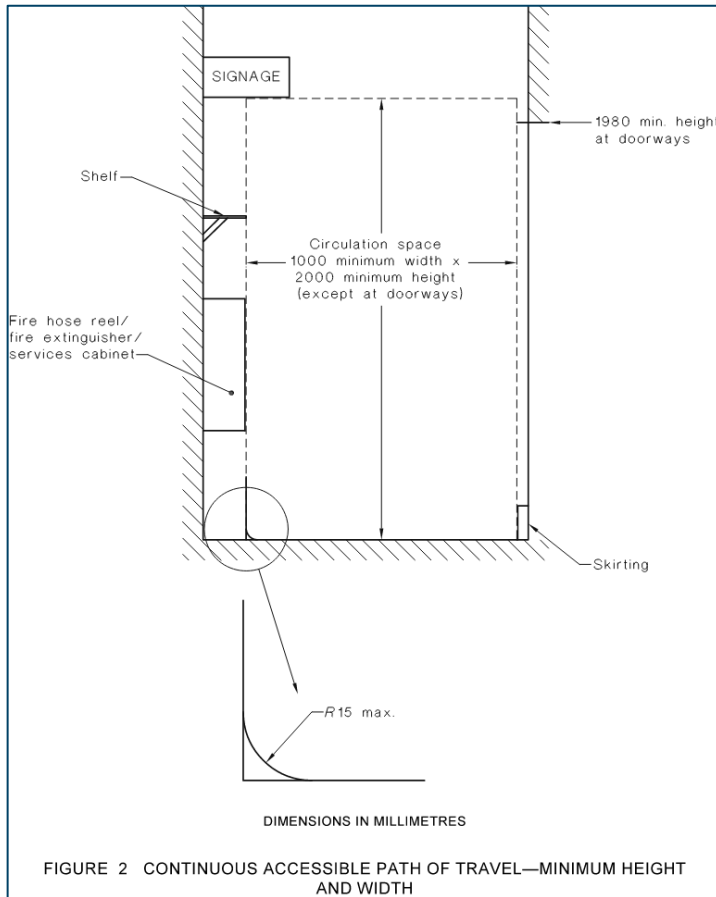


14. Bollards will be provided in the shared disabled car space area in accordance with Clause 2.2.1(e) of AS2890.6-2009. Refer to below for diagrammatic explanation.



15. Switches and power points will comply with Clause 14 of AS1428.1-2009.

- 16. Floor and ground floor surfaces on accessible paths and circulation spaces including the external areas will comply with Clause 7 of AS1428.1-2009. Any level difference over 3mm must be ramped according AS1428.1 Clause 10.5.
- 17. Braille and tactile signage will comply with BCA Clause D4D7 and Specification 15.
- 18. Signage will need to comply with Clause 8 of AS1428.1-2009.
- 19. The passenger lifts will comply with BCA E3D7, E3D8 and AS1735.12-2009.
- 20. The unobstructed height of a continuous accessible path of travel will be a minimum of 2000mm and 1980mm at doorways. Refer to below for diagrammatic explanation.



- 21. Door handles and the like will be in accordance with Clause 13.5 of AS1428.1-2009.