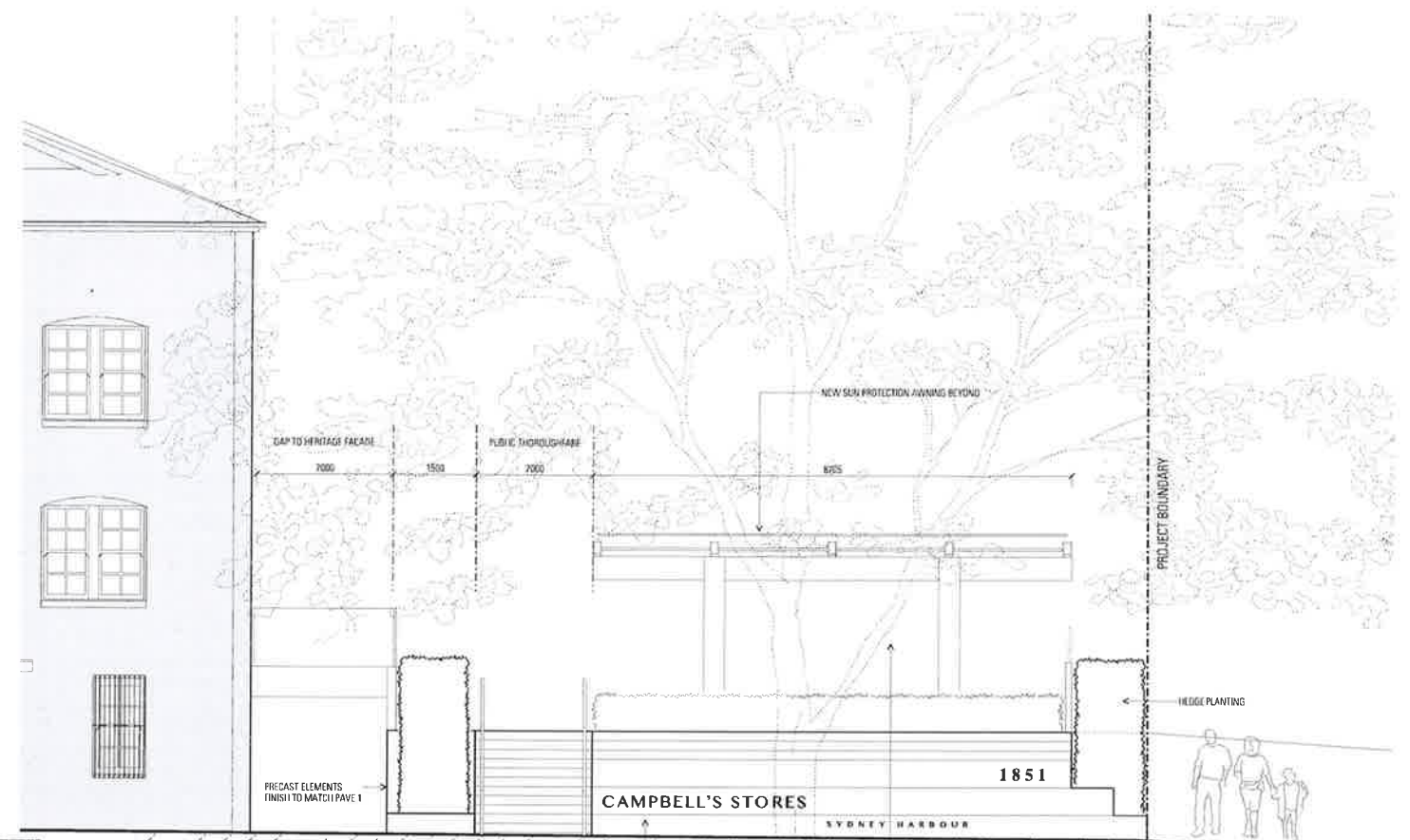
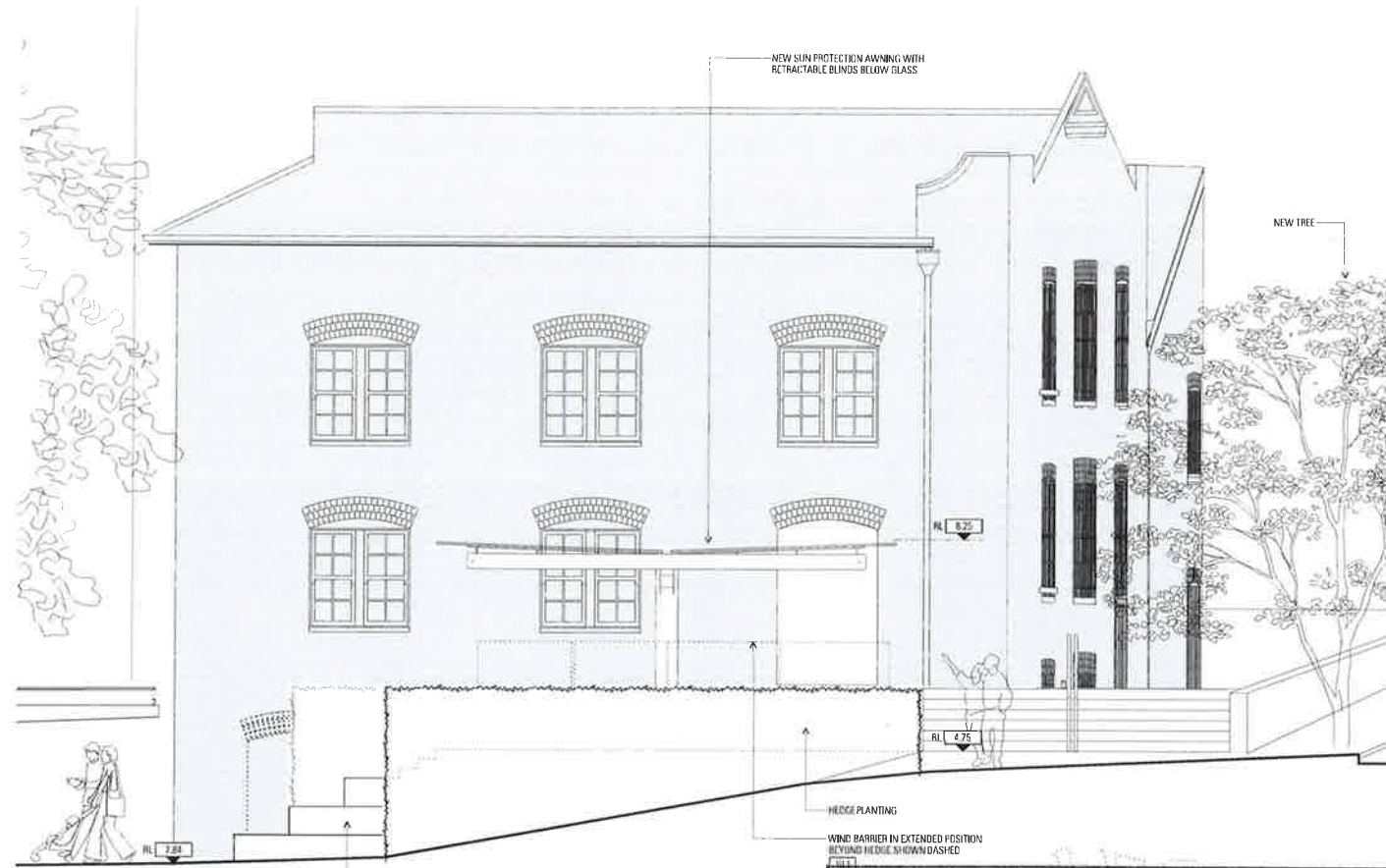




01 NORTH-WEST ELEVATION
SCALE 1:50

02 NORTH-EAST ELEVATION
SCALE 1:50

NSW GOVERNMENT
Planning

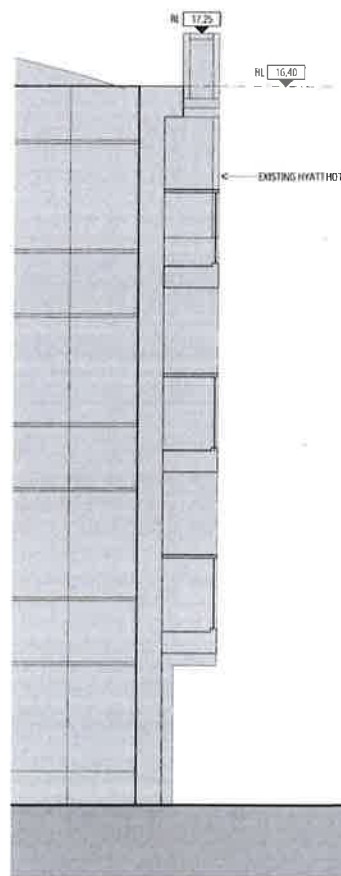
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Approved Application No. SSD 7056

granted on the 19 April 2017

Signed [Signature]

Sheet No. 21 of 40



03 HICKSON ROAD / SOUTH-WEST ELEVATION
SCALE 1:50

JPW
JOHNSON PILTON WALKER

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CAMPBELL'S STORES
SYDNEY HARBOUR

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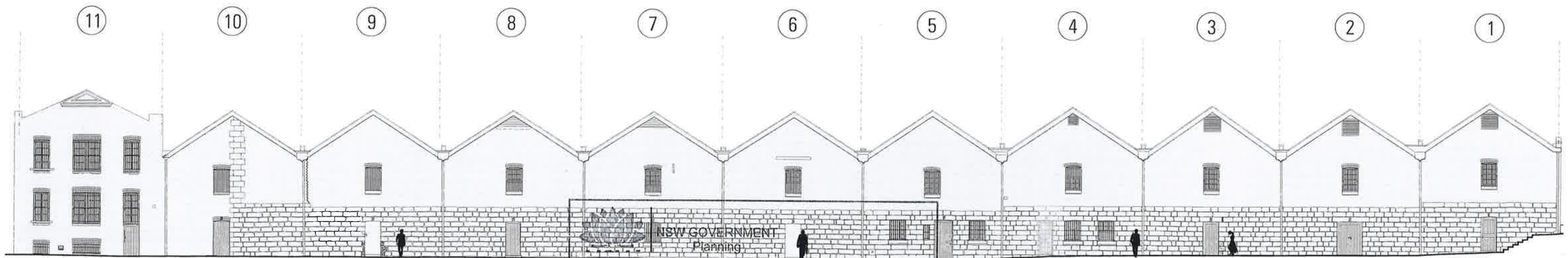
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100/101
100/101



01 EXISTING
SCALE 1:200

NSW GOVERNMENT
Planning

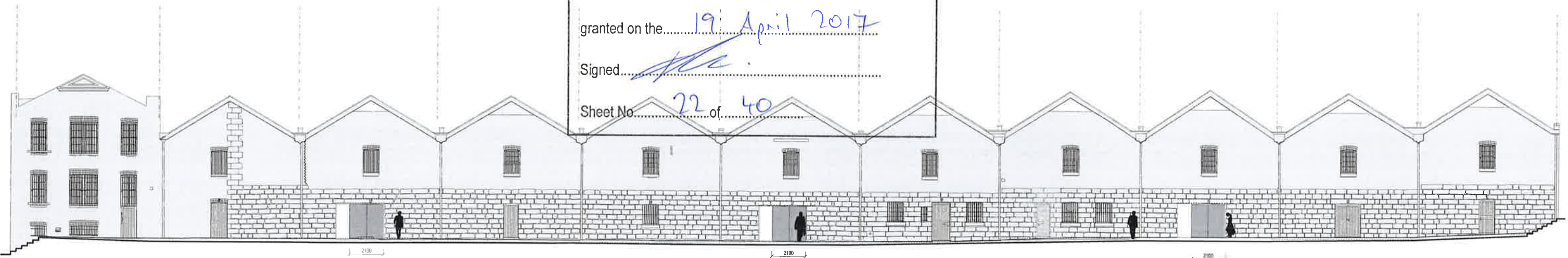
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 7056

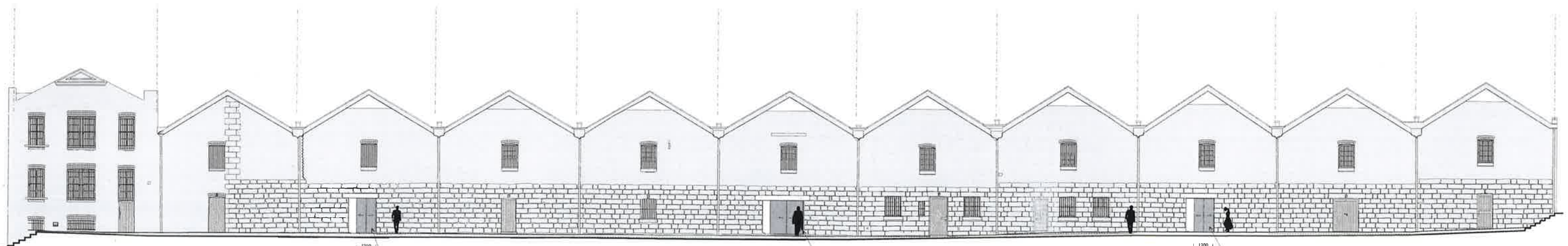
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Signed [Signature]

Sheet No. 22 of 40



02 EA SUBMISSION (OCTOBER 2016)
SCALE 1:200



03 REVISED DESIGN
SCALE 1:200

REFER TO DRAWING
A1101 FOR DETAILS

REFER TO DRAWING
A1101 FOR DETAILS

REFER TO DRAWING
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Material Schedule
Refer to Appendix 2 - Materials Schedule for Notes

PAVE1	GB1	CONC2	MP1	SL
PAVE2	GB2	TIM1	MP2	MS
PAVE3	GL1	TIM2	SS1	GLT
PAVE4	GL2	TIM3	PT1	PC
PAVE5	GL3	TIM4	PT2	
PAVE6	GL4	TIM5	PT3	
PAVE7	GL5	TIM6	PT4	
PAVE8	GL6	TIM7	PT5	
PAVE9	GL7	TIM8	PT6	
PAVE10	GL8	TIM9	PT7	
PAVE11	GL9	TIM10	PT8	
PAVE12	GL10	TIM11	PT9	
PAVE13	GL11	TIM12	PT10	
PAVE14	GL12	TIM13	PT11	
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PAVE217				



NSW GOVERNMENT
Planning

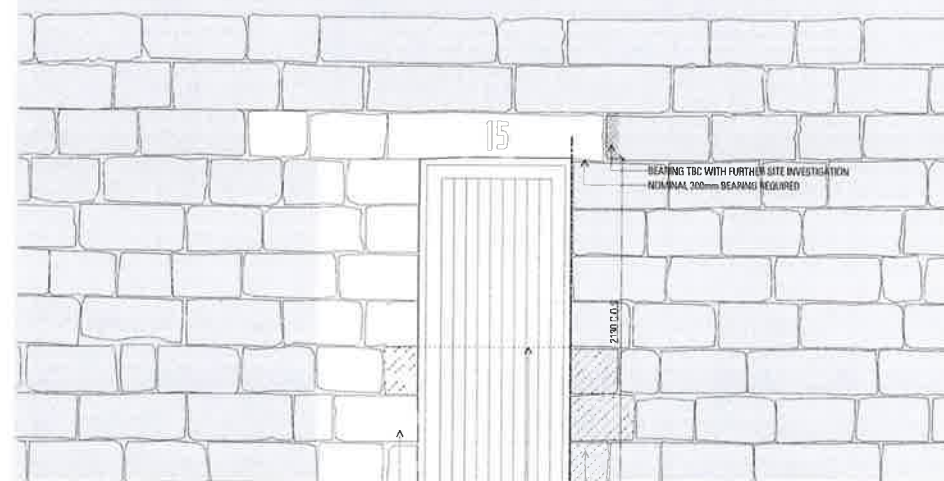
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Signed [Signature]

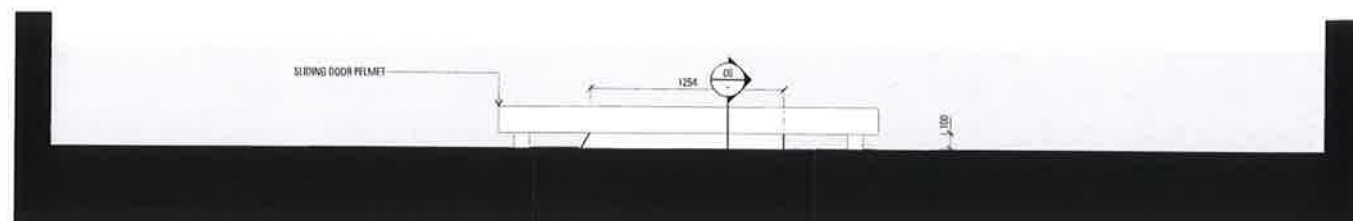
Sheet No. 23 of 40



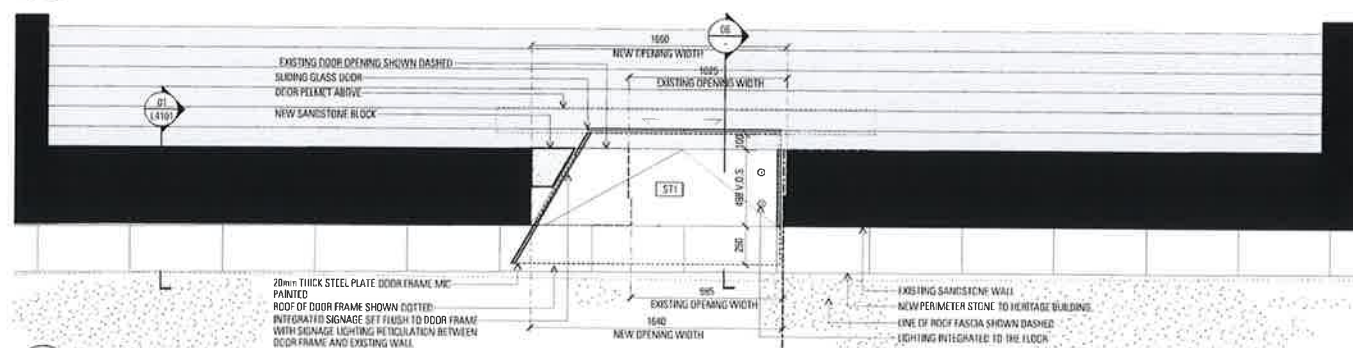
01 EXISTING ELEVATION
SCALE 1:20

DARK GREY SHADED AREA DENOTES STONES TO BE REMOVED/CUT FOR THE NEW OPENING

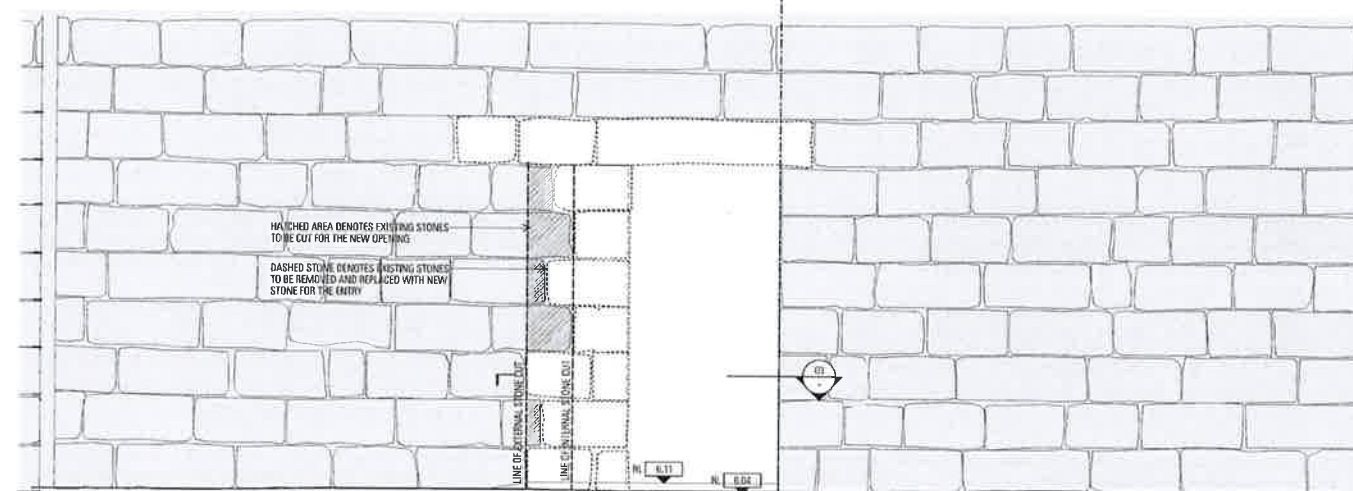
HATCHED AREA DENOTES NON ORIGINAL FABRIC
LINE OF ORIGINAL WINDOW JAMB



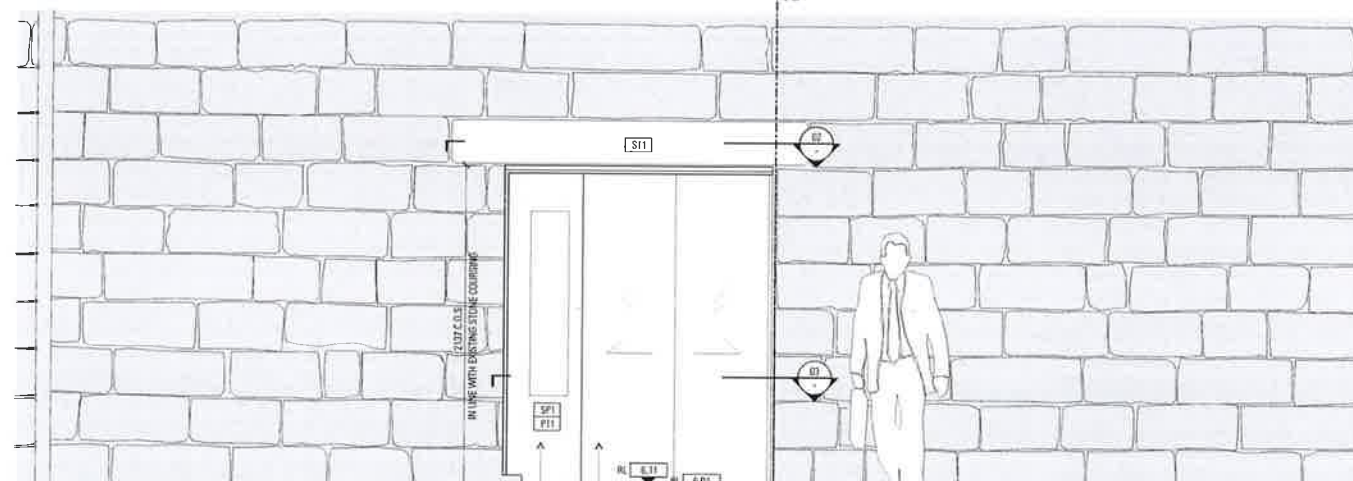
02 ROOF PLAN DETAIL
SCALE 1:20



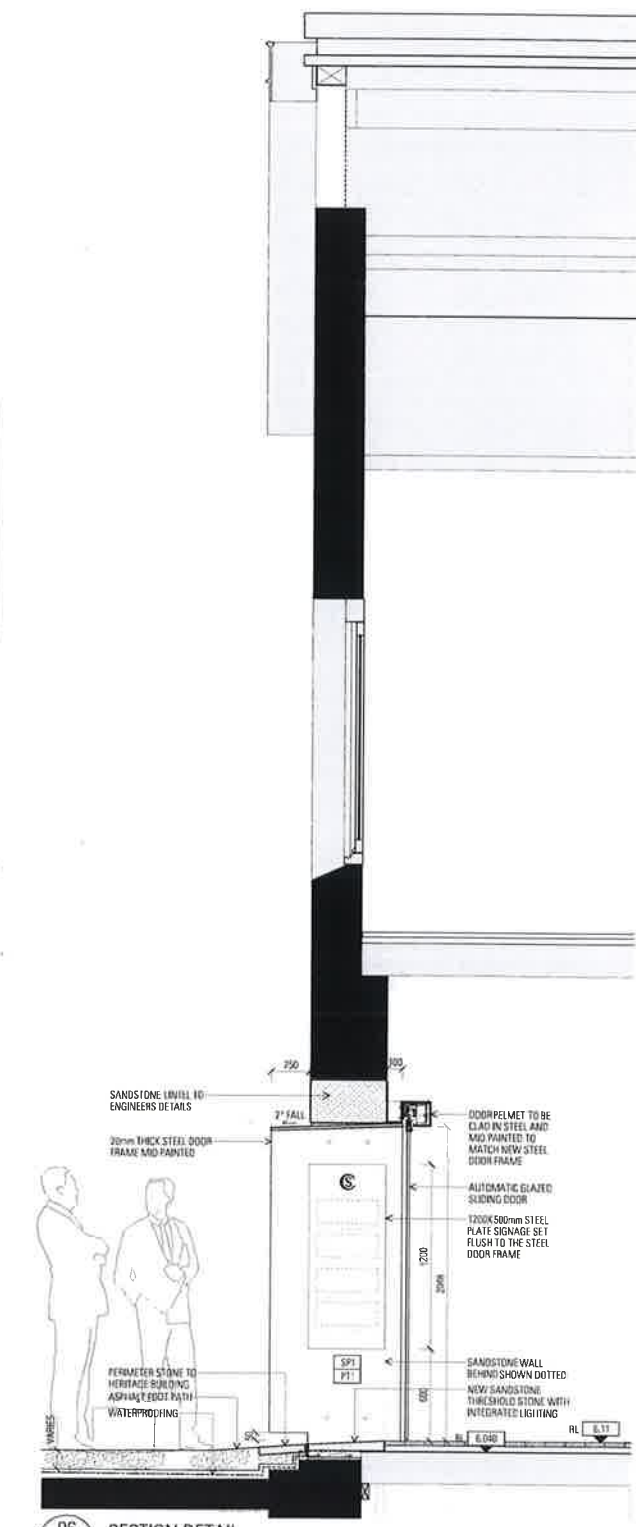
03 PLAN DETAIL
SCALE 1:20



04 PROPOSED STONE REMOVAL/CUT
SCALE 1:20



05 PROPOSED ELEVATION DETAIL WITH ENTRY PORTAL
SCALE 1:20



06 SECTION DETAIL
SCALE 1:20

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http://www.korhonen.com.au

Materials
Refer to Appendix 2 - Materials Board for finishes

Materials
Refer to Appendix 2 - Materials Board for finishes

Materials
Refer to Appendix 2 - Materials Board for finishes

Client
CAMPBELL'S STORES
SYDNEY HARBOUR

Survey Data
Drawings are based on As Built drawings and Survey data. The accuracy of the data is the responsibility of the client. The client is responsible for the accuracy of the data. The client is responsible for the accuracy of the data.

Rev. Date
A 10/04/16
App. Date
B 10/04/16
Rev. Date
A 10/04/16
App. Date
B 10/04/16

Scale: North Point
1:20 @ 1:20
1:50 @ 1:50
1:100 @ 1:100

App. Plan
1:20 @ 1:20
1:50 @ 1:50
1:100 @ 1:100

Drawing Title
HICKSON ROAD ENTRY
BAY 3 DOOR DETAIL

JPW Project Number
12006
Drawing Status
EA

Drawing Number
EA-A-4101
Revision
A



NSW GOVERNMENT
Planning

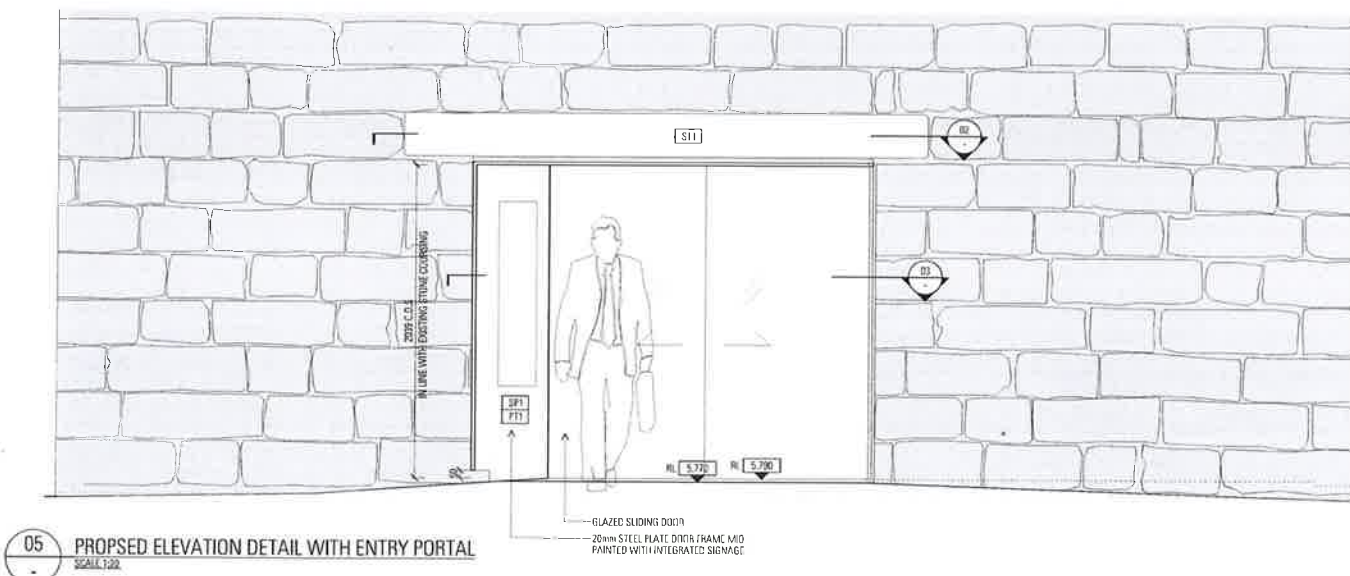
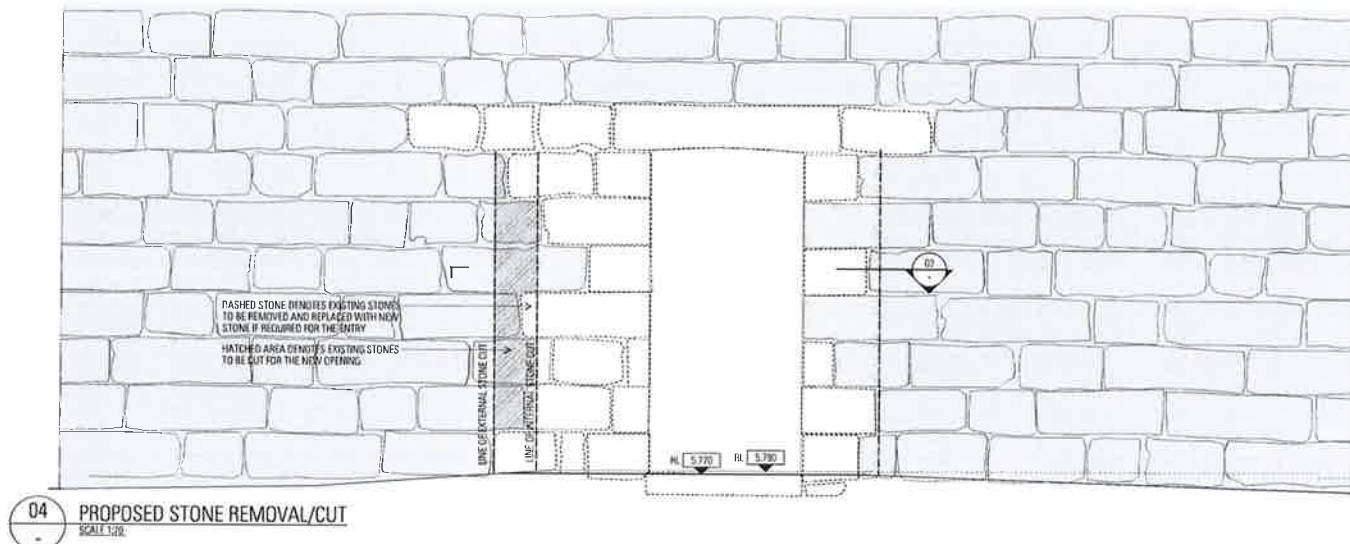
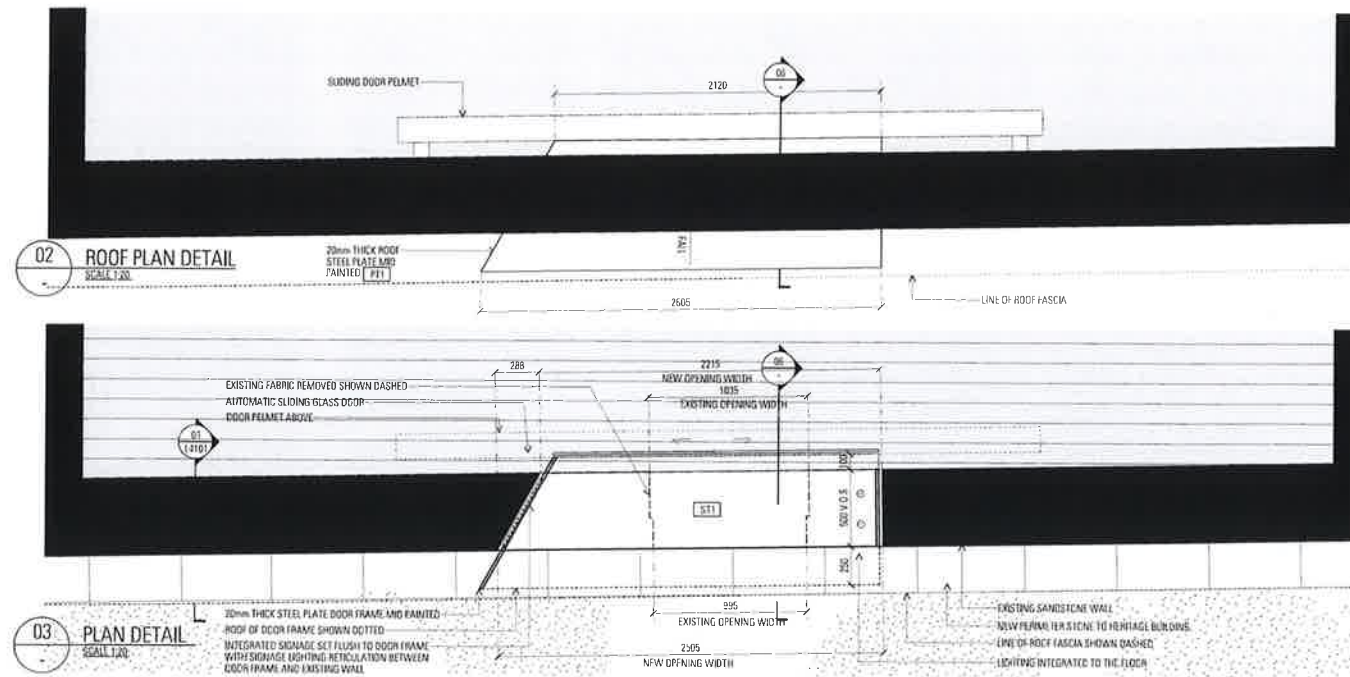
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Approved Application No. S5D 7056

granted on the 19 April 2017

Signed [Signature]

Sheet No. 24 of 40



01 EXISTING ELEVATION
SCALE 1:20

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Design Engineer
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Level 11, 355 Pitt St, Sydney NSW 2000

Materials
Refer to Schedule 2 - Materials and Finishes

Notes

CAMPBELL'S STORES
SYDNEY HARBOUR

Survey Notes
Ground level is based on the 1984 datum and is subject to change.

Rev. Date
A 10/01/16

Scale (Metric Units)
1:20, 1:50, 1:100, 1:200, 1:500, 1:1000

Key Plan
Location map showing the site location.

Drawing Title
HICKSON ROAD ENTRY
BAY 6 DOOR DETAIL



NSW GOVERNMENT
Planning

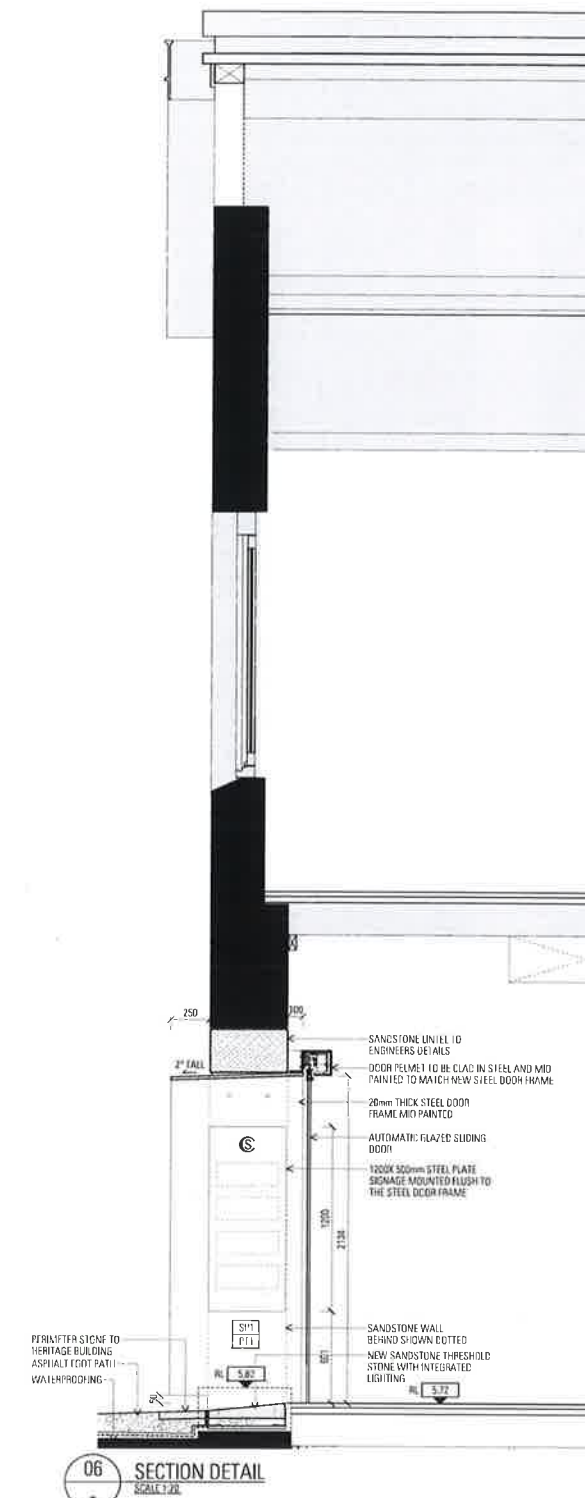
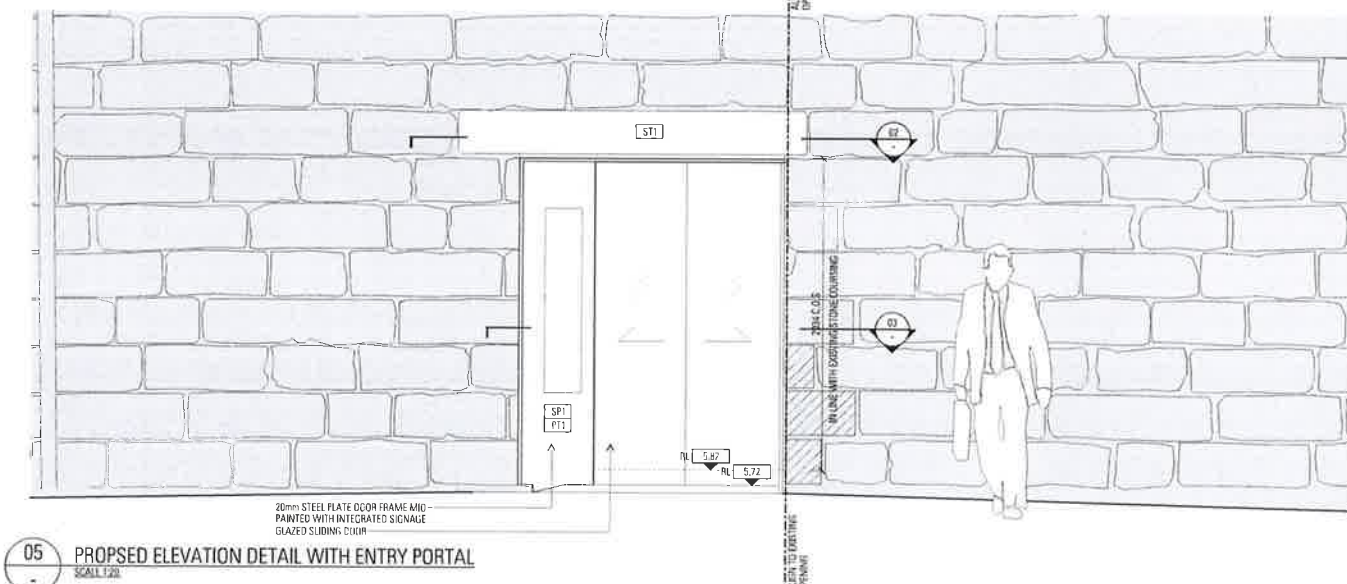
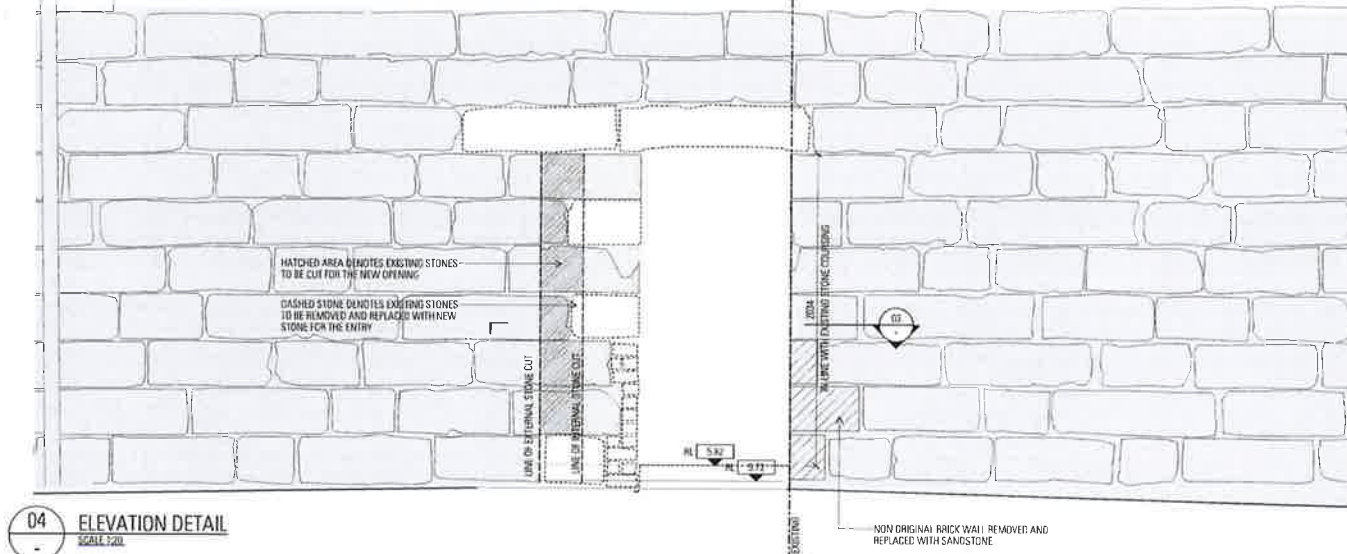
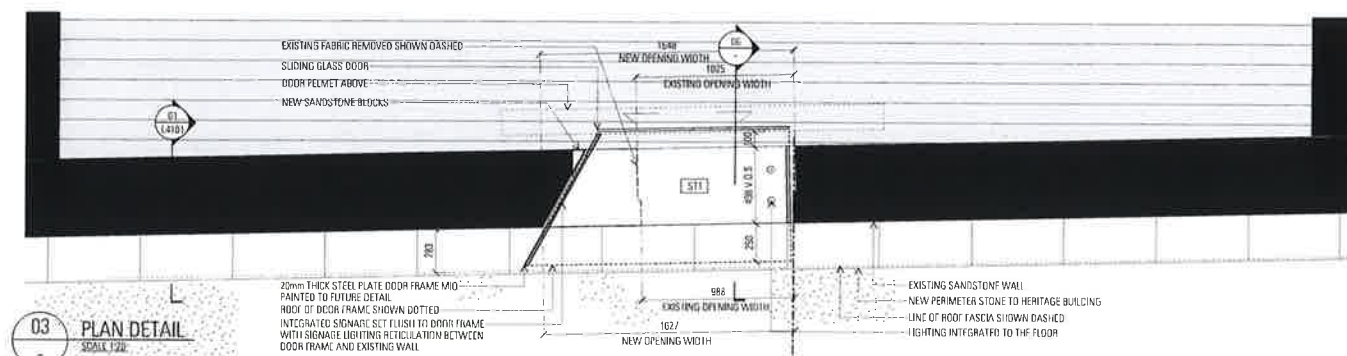
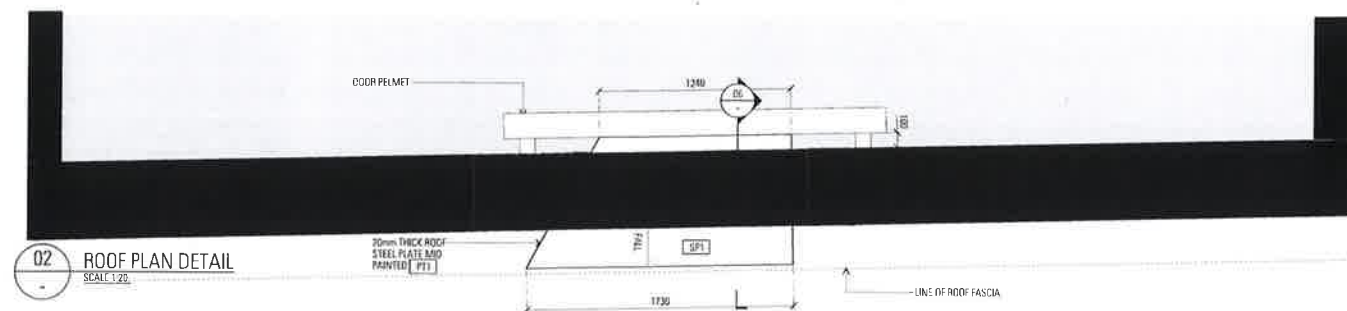
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Approved Application No. SSD 7056

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Sheet No. 25 of 40



01 EXISTING ELEVATION
SCALE 1:20

JPW
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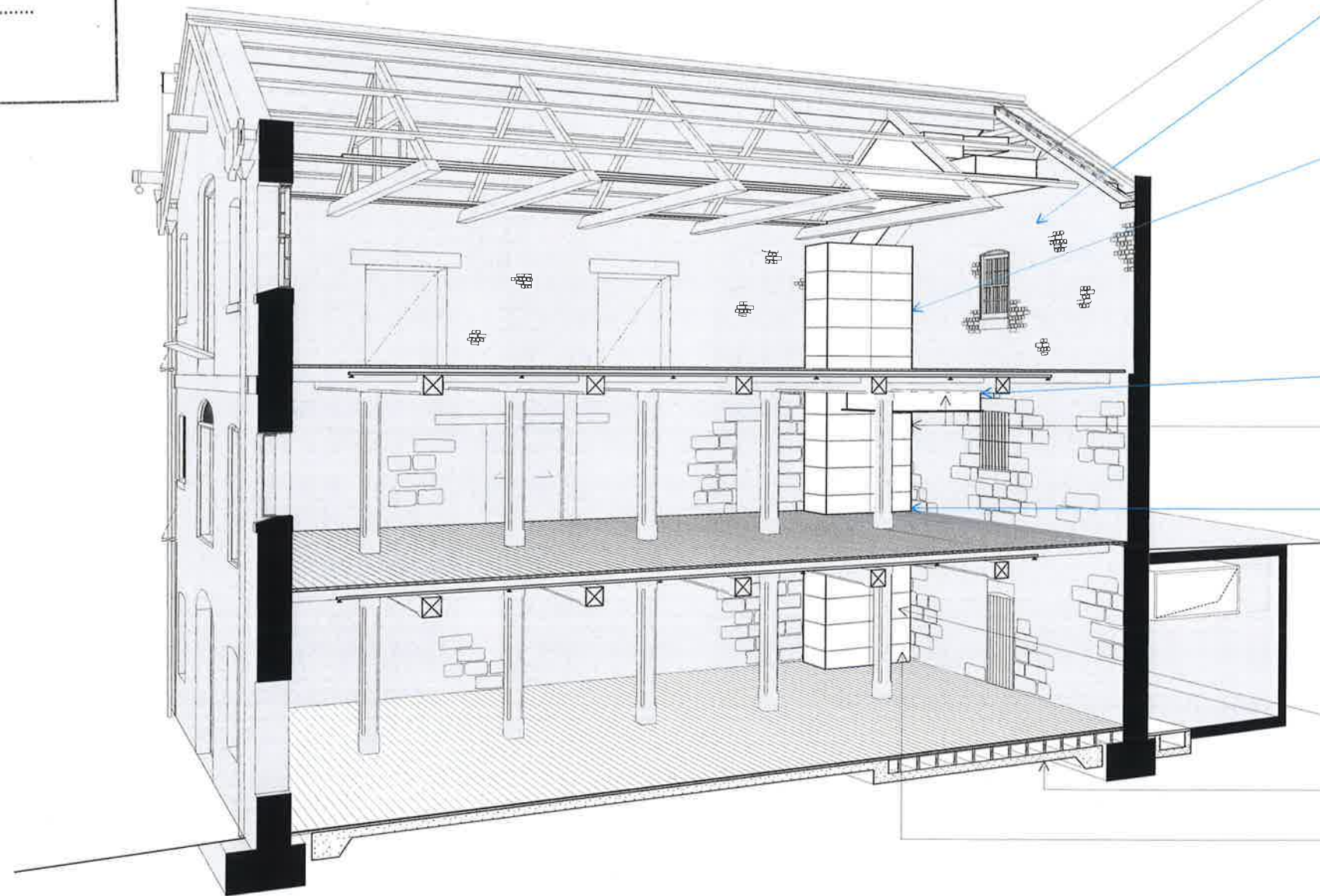


Approved Application No.SSD 7056.....

granted on the 19 April 2017

Signed.....

Sheet No. 26 of 40



CMP POLICY 18 GUIDELINE

CMP POLICY 18 GUIDELINE
CLEARLY ARTICULATED FREE STANDING
RISER SET OFF FROM EXISTING WALLS

'The introduction of new fabric should be undertaken in such a manner that it does not result in a lessening of the cultural significance of the place. New work should be identifiable as such and should, wherever possible, be capable of being removed without damage to significant fabric or spaces.'

CMP POLICY 20 GUIDELINE

BASE BUILDING SERVICES AND RISERS CONSOLIDATED
AND POSITIONED AT THE BACK OF EACH BAY.
HYDRAULIC/FIRE/ELECTRICAL RETICULATION
DISCRETELY LOCATED WITHIN JOIST SPACE

CMP POLICY 20 GUIDELINE

Plant and equipment should be discreetly located and is not to impact on the significant roofscape of the Stores. Ideally plant and equipment should be contained within existing ancillary structures and not impede on the original building envelope.

EXISTING PENETRATIONS TO WALLS TO BE INFILLED WHERE POSSIBLE. NEW SERVICES PENETRATION TO BE CONSOLIDATED TO ONE LOCATION AT EVERY BAY ON GROUND LEVEL LOCATED BEHIND THE RISER AWAY FROM VIEW

— FUTURE HYDRAULIC SERVICES TO RETICULATE BELOW FLOOR FINISH LEVEL TO MAXIMISE EXPOSURE OF THE ORIGINAL FABRIC

— RISER PANELS TO BE REMOVABLE FOR PLUG IN/ PLUG OUT OF KITCHEN SERVICES TO ALLOW FUTURE FLEXIBILITY AND FOR ANY SERVICES MAINTENANCE.



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DUCTS PLOUGHING INTO SERVICES IN THE
RISER
EXPRESSED METAL PANEL CLADDING TO
UNDERSIDE TO MATCH RISER [MP1 PT1]

ELECTRICAL AND FIRE SERVICES TO
RETICULATE ACROSS THE BAY AT HIGH
LEVEL BEHIND EXISTING BEAM AWAY
FROM VIEW
SPRINKLER PIPE RETICULATING
WITHIN JOIST ZONE PAINTED OUT TO
BE DISCRETE [PT5]
ELECTRICAL CABLE TRAY
RETICULATING WITHIN JOIST ZONE
PAINTED OUT TO BE DISCRETE [PT5]

TIMBER BOARD CLAD ZONE TO
ENCLOSE FAN, FCU AND DUCT WHICH
CONNECT TO THE WEST FACADE
OPENING, FOR MAKE UP AIR

S/S CLAD CYLINDRICAL
MAKE UP AIR DUCT

FIRE SERVICES (SPRINKLERS/
FIRE ALARM/SMOKE
DETECTORS) & ELECTRICAL
CABLE TRAY TO RETICULATE
NEATLY ABOVE EXISTING
TRUSS BEAMS. PAINTED OUT
TO BE DISCRETE

STEEL ANGLE SHADOW DETAIL
BETWEEN RISER AND EXISTING
WALL PAINTED TO MATCH
RISER

FREESTANDING METAL PANEL
CLAD SERVICES RISER OFFSET
FROM EXISTING SANDSTONE
WALL. PANELS TO BE
REMOVABLE FOR
MAINTENANCE AND FLEXIBLE
SERVICES CONNECTION

SPRINKLER PIPE
RETICULATING WITHIN
JOIST ZONE PAINTED
OUT TO BE DISCRETE

ELECTRICAL CABLE
TRAY RETICULATING
WITHIN JOIST ZONE
PAINTED OUT TO BE
DISCRETE

DUCT PAINTED OUT TO
MATCH FCU CLADDING
TO BE DISCRETE [PT5]
FCU ENCLOSED IN
EXPRESSED METAL
PANEL CLADDING
FINISHED TO MATCH
RISER

HINGED PANEL FOR
ELECTRICAL ACCESS
CONCEALED EPD/OD
OUTLETS

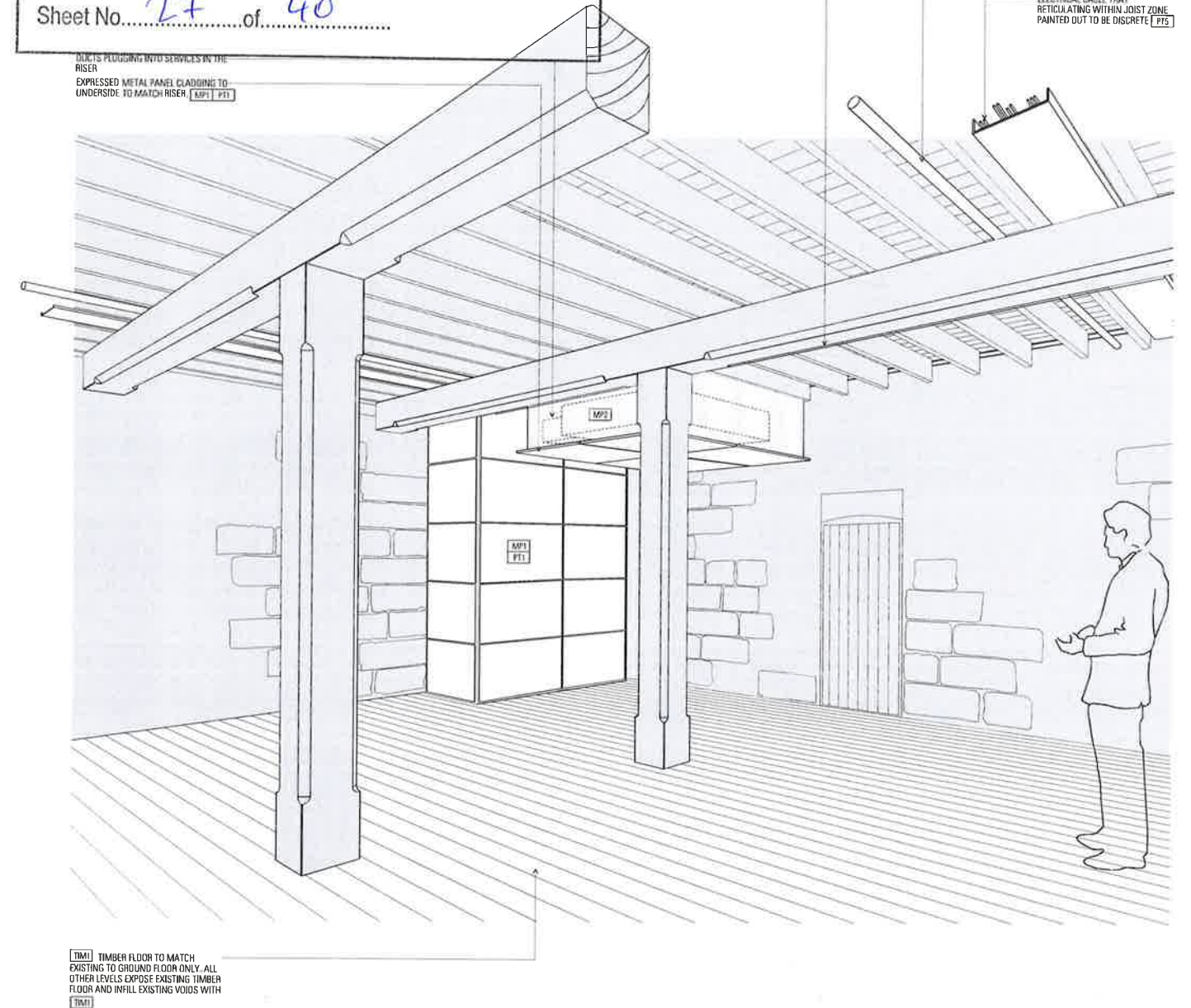
CONSOLIDATED
PENETRATION TO
BACK WALL BEHIND
RISER FOR SERVICES
RETICULATION
SHOWN DASHED

PATCH EXISTING
PENETRATIONS
WHERE POSSIBLE

NEW FLOOR TO ALLOW
SERVICES RETICULATION
BELOW FINISH LEVEL
MAXIMISING VIEW OF
EXISTING BUILDING

NEW SLAB OFFSET FROM
EXISTING WALL &
FOUNDATION FOR
BREATHABILITY TO
CONSERVATION DETAIL
ADVICE

01 NORTH SOUTH SECTION



TIM1 TIMBER FLOOR TO MATCH
EXISTING TO GROUND FLOOR ONLY. ALL
OTHER LEVELS EXPOSE EXISTING TIMBER
FLOOR AND INFILL EXISTING VOIDS WITH
TIM1

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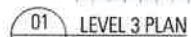
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Materials for
Rise to Level 2: Microsilica Based for fire test

Refer to Appendix 2: Materials for the Project				
PAVE1	GB1	CONC2	MP1	SL
PAVE2	GB2	TIM1	MP2	MS
PAVE3	GL1	TIM2	SS1	GLT
PAVE4	GL2	TILE1	PT1	PC
PAVE5	GL3	TILE2	PTS	
ASPHLT	GL4	TILE3	BL1	
ST1	CONC1	SP1	TR2	





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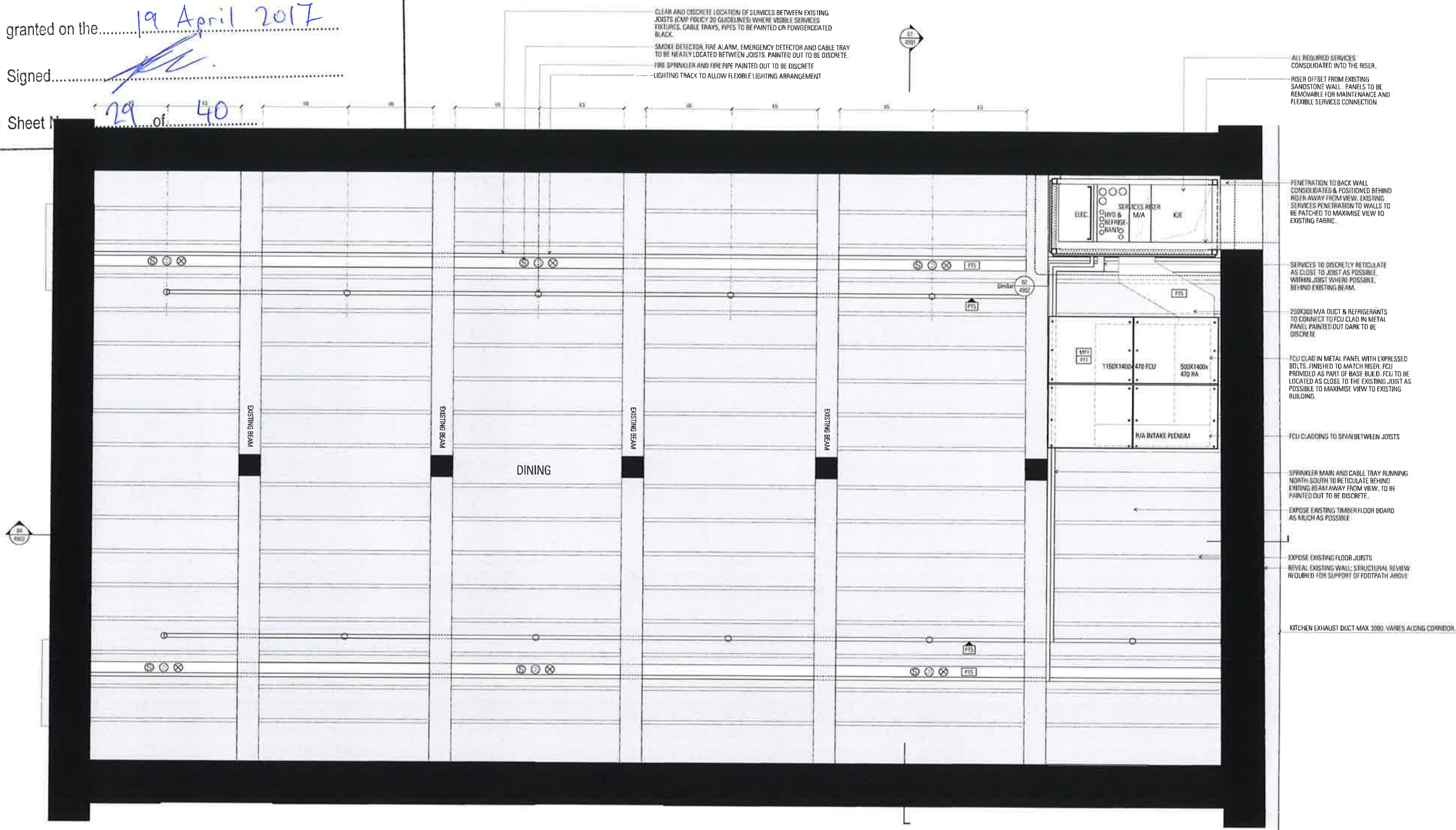
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Sheet 29 of 40



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Materials:
Refer to Appendix A - Materials Schedule for details

PAVE1	GB1	CONC2	MP1	SL
PAVE2	GB2	TRM1	MP2	MS
PAVE3	GL1	TRM2	SS1	GLT
PAVE4	GL2	TRM3	PT1	PC
PAVE5	GL3	TRM4	PT2	
ASPH1	GL4	TRM5	BL1	
ST1	CONC1	SP1	TR2	

Notes:

- Existing Walls
- New Walls
- Walls to existing opening
- Indication of new design part of the building

Notes:

CAMPBELL'S STORES
SYDNEY HARBOUR

Survey Data:
Drawings are based on A/L 1/1000 and Survey 1/1000 conducted by
SARS, 20/10/16, based on the following levels of 0.1m and 0.2m as well as the
1:1000 scale.

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Drawings are based on A/L 1/1000 and Survey 1/1000 conducted by
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1:1000 scale.

Revision:
Rev. 01: 10/10/16
Rev. 02: 10/10/16
Rev. 03: 10/10/16
Rev. 04: 10/10/16
Rev. 05: 10/10/16
Rev. 06: 10/10/16
Rev. 07: 10/10/16
Rev. 08: 10/10/16
Rev. 09: 10/10/16
Rev. 10: 10/10/16
Rev. 11: 10/10/16
Rev. 12: 10/10/16
Rev. 13: 10/10/16
Rev. 14: 10/10/16
Rev. 15: 10/10/16
Rev. 16: 10/10/16
Rev. 17: 10/10/16
Rev. 18: 10/10/16
Rev. 19: 10/10/16
Rev. 20: 10/10/16
Rev. 21: 10/10/16
Rev. 22: 10/10/16
Rev. 23: 10/10/16
Rev. 24: 10/10/16
Rev. 25: 10/10/16
Rev. 26: 10/10/16
Rev. 27: 10/10/16
Rev. 28: 10/10/16
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Rev. 30: 10/10/16
Rev. 31: 10/10/16
Rev. 32: 10/10/16
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Rev. 97: 10/10/16
Rev. 98: 10/10/16
Rev. 99: 10/10/16
Rev. 100: 10/10/16

Scale: 1:1000
125 0 25 50 75 100
Do not scale from drawing. Use marked dimensions
to be read in conjunction with all other drawings.
The Architect is to be responsible for any discrepancies
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Notes:



Notes:

BASE BUILDING SERVICES FITOUT
TYPICAL GROUND LEVEL RCP

JPW Project Number: 12006
Drawing Number: EA-A-4903
Drawing Status: EA
Revision: A



NSW GOVERNMENT
Planning

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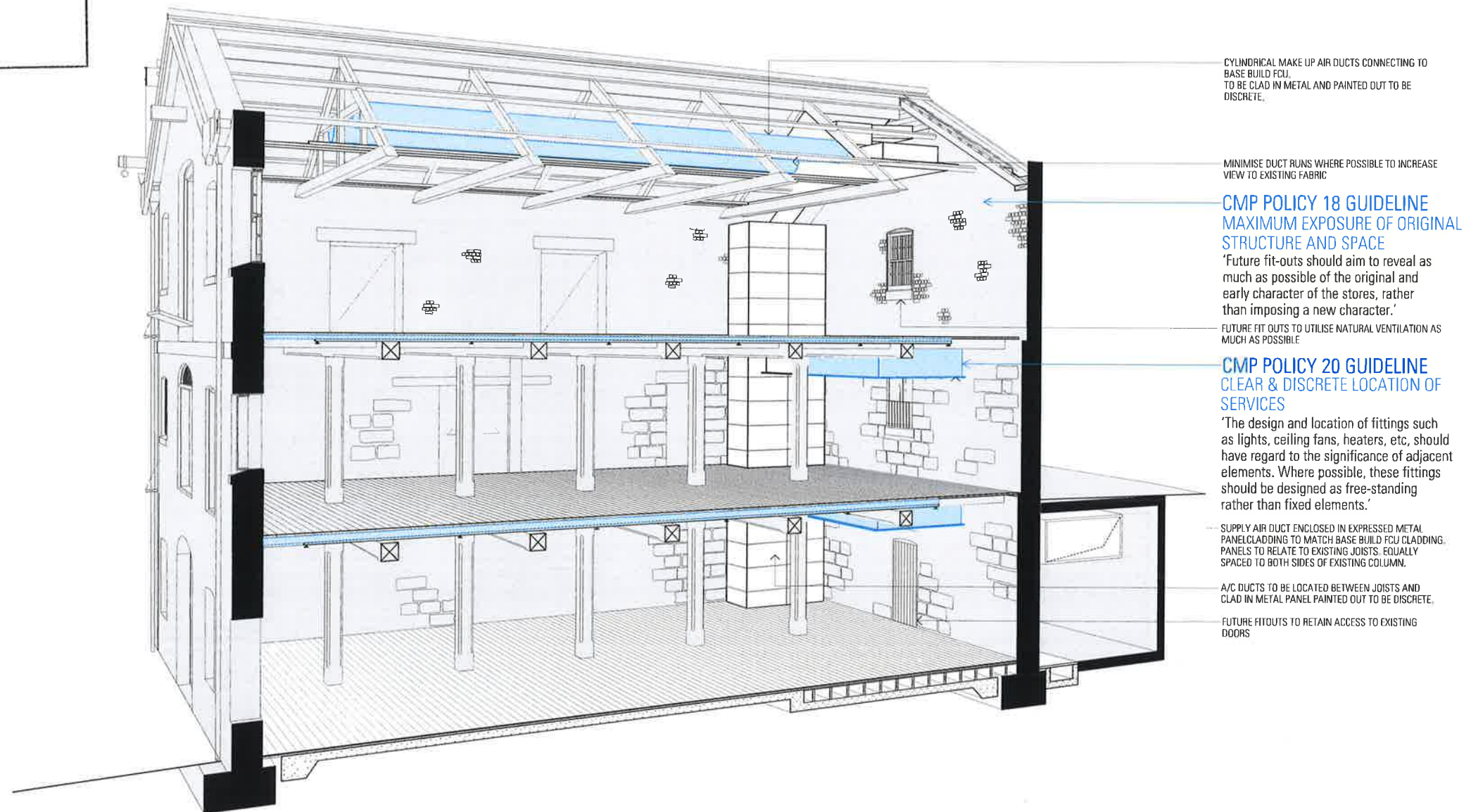
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Signed [Signature]

Sheet No. 30 of 40

NOTE:

INDICATIVE TENANCY FITOUT SHOWN IN BLUE
SUBJECT TO A SEPARATE DA APPLICATION.
NOT INCLUDED AS PART OF THIS APPLICATION.



CYLINDRICAL MAKE UP AIR DUCTS CONNECTING TO
BASE BUILD FCU.
TO BE CLAD IN METAL AND PAINTED OUT TO BE
DISCRETE.

MINIMISE DUCT RUNS WHERE POSSIBLE TO INCREASE
VIEW TO EXISTING FABRIC

CMP POLICY 18 GUIDELINE
MAXIMUM EXPOSURE OF ORIGINAL
STRUCTURE AND SPACE

'Future fit-outs should aim to reveal as
much as possible of the original and
early character of the stores, rather
than imposing a new character.'

FUTURE FIT OUTS TO UTILISE NATURAL VENTILATION AS
MUCH AS POSSIBLE

CMP POLICY 20 GUIDELINE
CLEAR & DISCRETE LOCATION OF
SERVICES

'The design and location of fittings such
as lights, ceiling fans, heaters, etc, should
have regard to the significance of adjacent
elements. Where possible, these fittings
should be designed as free-standing
rather than fixed elements.'

SUPPLY AIR DUCT ENCLOSED IN EXPRESSED METAL
PANEL CLADDING TO MATCH BASE BUILD FCU CLADDING.
PANELS TO RELATE TO EXISTING JOISTS, EQUALLY
SPACED TO BOTH SIDES OF EXISTING COLUMN.

A/C DUCTS TO BE LOCATED BETWEEN JOISTS AND
CLAD IN METAL PANEL PAINTED OUT TO BE DISCRETE.

FUTURE FITOUTS TO RETAIN ACCESS TO EXISTING
DOORS

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Materials
Refer to Appendix 2: Materials Board for Details

PAVE1	CONC2	AMP1	SL
PAVE2	CONC1	AMP2	MG
PAVE3	GL1	SS1	GL1
PAVE4	GL2	PT1	PC
PAVE5	GL3	PT2	
ASPH1	GL4	BL1	
SL1	CONC1	SPI	SPI2

Key
Existing Works
New Works
Indicative Fit and design not part of the fitout proposal

Project Title
CAMPBELL'S STORES
SYDNEY HARBOUR

Design Notes
Designs are based on As Built drawings and Survey Information provided by
SIBA. To be in the hands of the fitout team at least 21 days prior to the start of the
fitout works. Designers are responsible for the fitout team to verify the fitout team's
designs and ensure they are in accordance with the fitout team's design.
Where the fitout team have been provided with the fitout team's design, the
fitout team is responsible for ensuring the fitout team's design is in accordance
with the fitout team's design.

Rev. Date
A 10/04/18

App. Date
10/04/18

Scale: North Point

Do not scale from drawing. Use marked dimensions.
To be used in conjunction with all other documents. This drawing is a design
document and is not a construction document. It is not to be used for construction
purposes. It is a design document and is not a construction document.

Key Plan



INDICATIVE TENANCY FITOUT PRINCIPALS
TYPICAL BAY-RESTAURANT

JPW Project Number
12006
Drawing Number
EA-A-4905
Revision
A