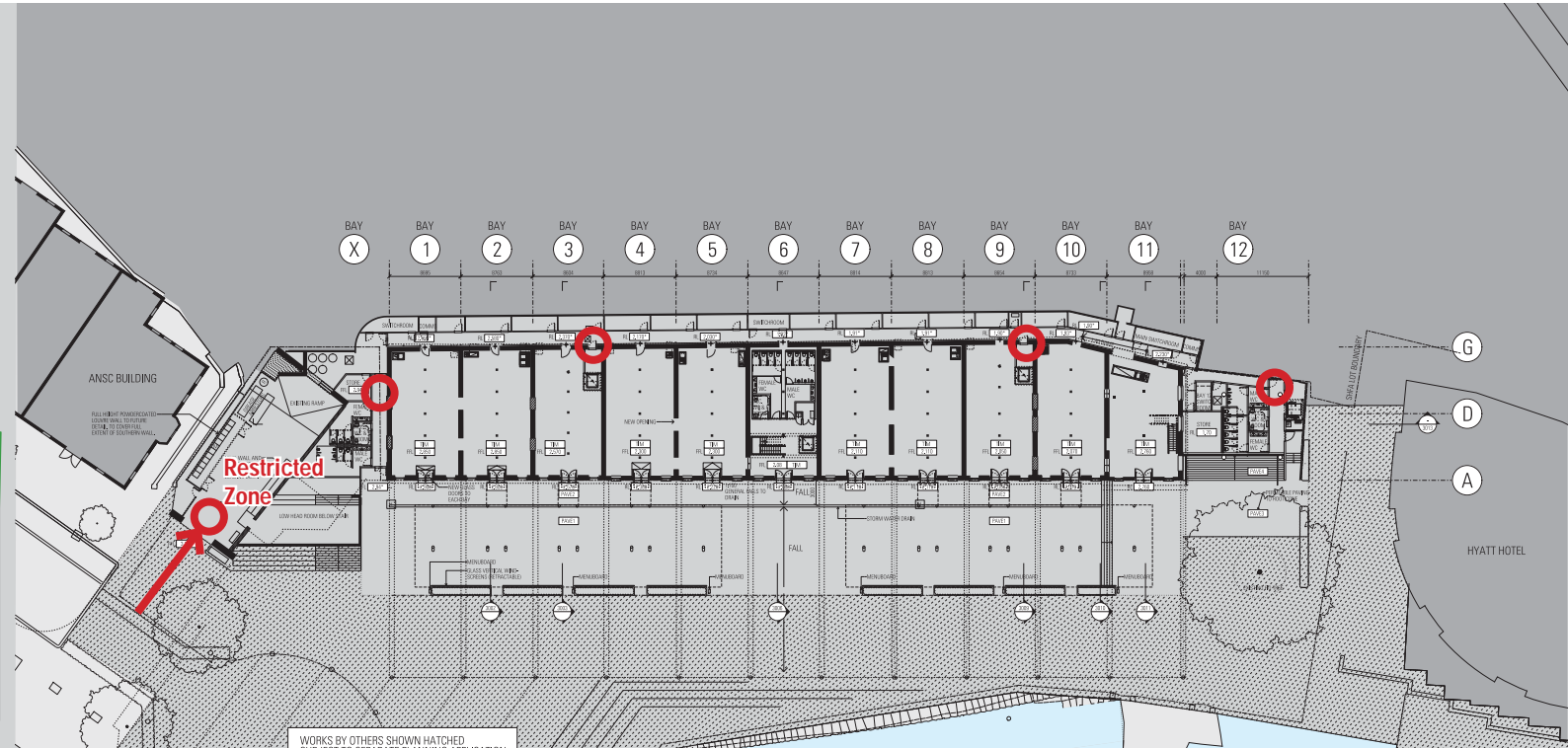


4.20

Design Components Security



PLAN DIAGRAM
Basement security points to BOH and loading areas

4.20.1 Site Security

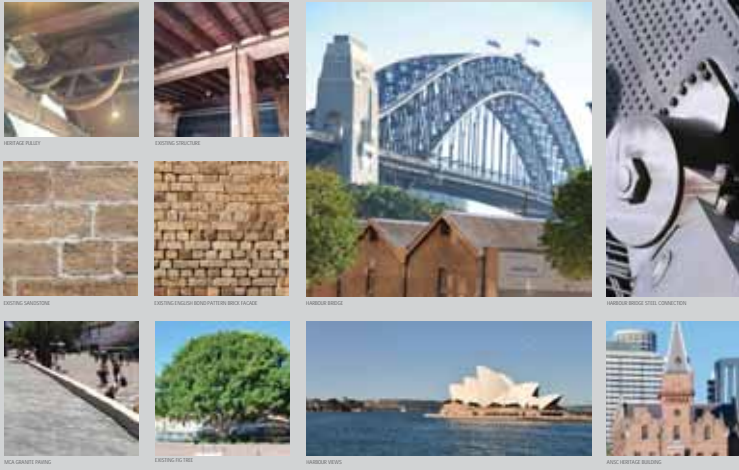
The back of house areas will be securitised per the above diagram from public access for safety. Lifts will be controlled via security card access where required for staff-only access to the BOH from upper floors.

4.20.2 After-hours Security

After-hours, the main building doors in the public bays will be locked for safety and security of patrons and to protect the heritage building.

4.21

Design Components Materials



EXTERNAL WORKS

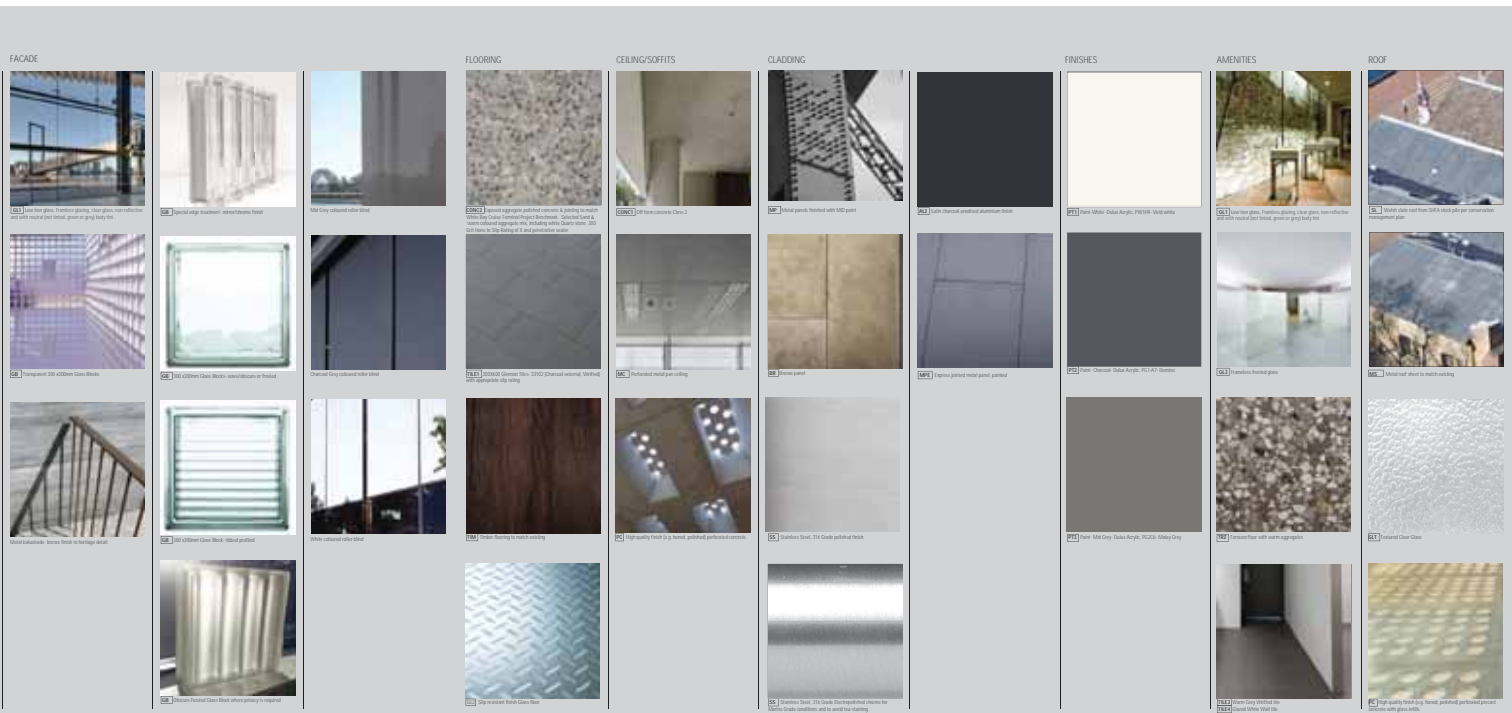


STRUCTURE



MATERIAL BOARDS Existing finishes

MATERIAL BOARDS New finishes



Design Approach:

- New Contemporary elements in contemporary materials
- Direct and simple detailing inspired by the robust, maritime and industrial nature of The Rocks and its buildings.

4.21.1 Existing Materials

The character of The Rocks is robust, maritime and industrial. Materials are commonly stone and steel elements with a human scale and character. Particular features include a variety of convict hewn sandstone and bricks and brick-bond patterns. The Sydney Harbour bridge offers queues for the use of steel, as a reference to the place.

Public domain paving consists of a variety of materials of a similar colour tone, but differing texture. The new finishes for the ground plane are intended to be consistent with this palette.

4.21.2 New Materials

The new building elements for the project will be a complimentary contrast to the existing built fabric. All of the new elements - both inside and outside the building - will be of the same family of materials. This will predominantly be steel and glass construction materials and technologies.

4.22

Design Components Visual Impact

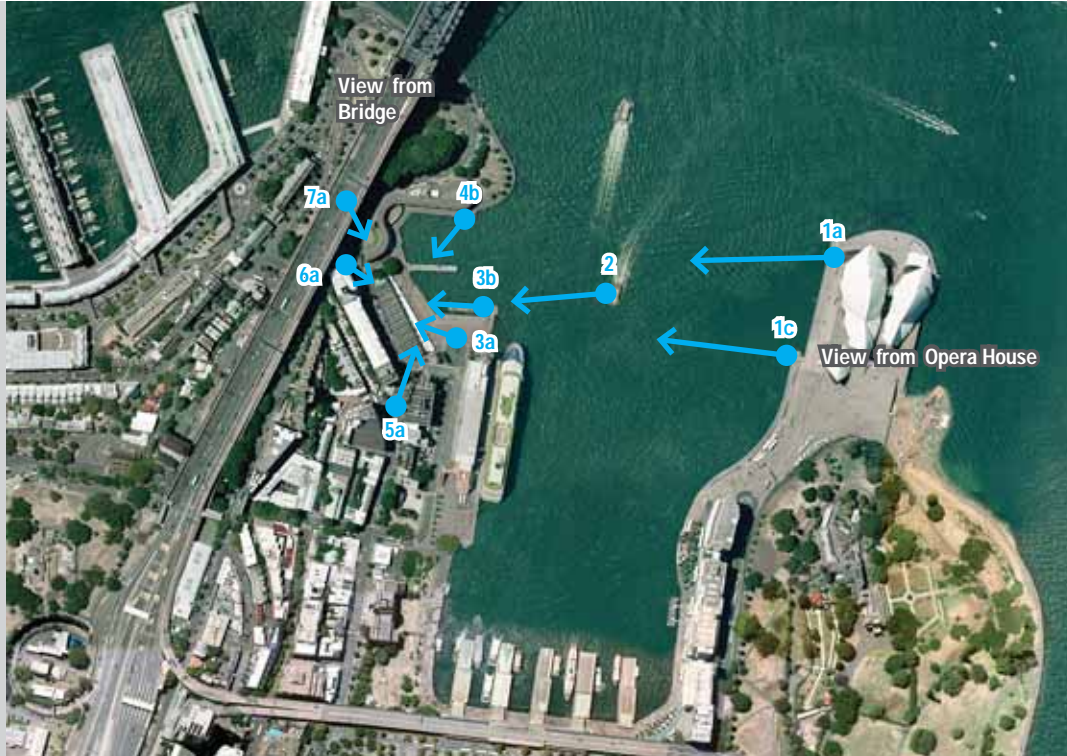


DIAGRAM
Camera positions nominated for Visual Impact Assessment

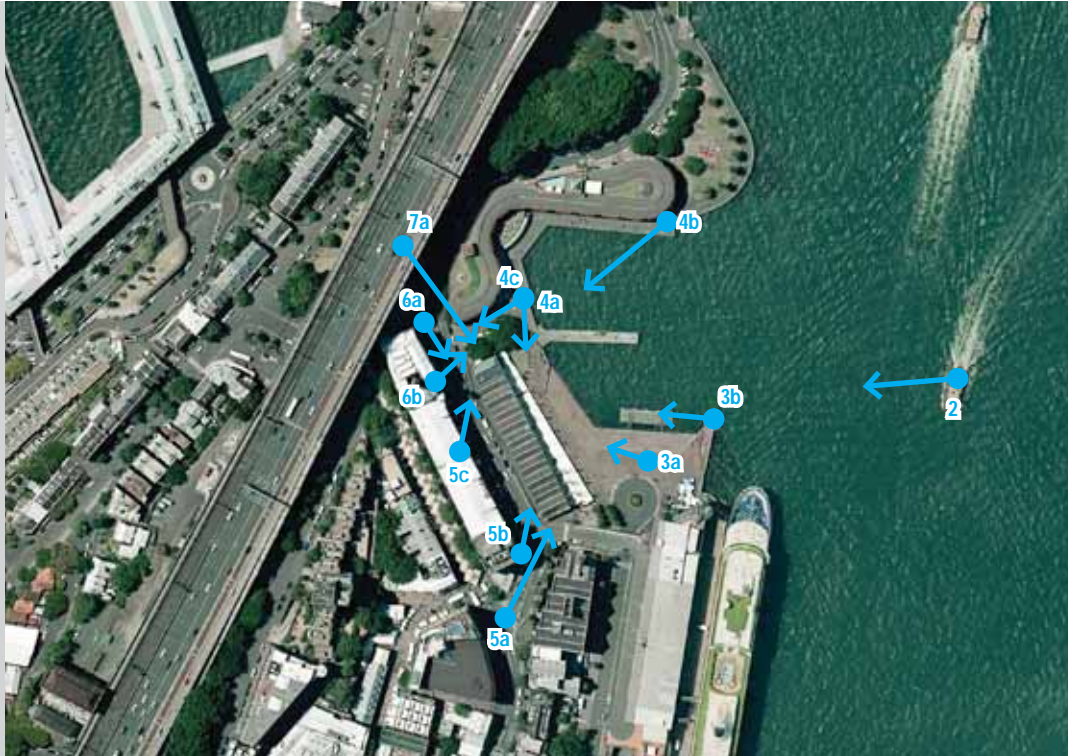


DIAGRAM
Detailed view of camera positions nominated for Visual Impact Assessment

4.22.1 View Preservation & Improvement

The new works to Campbell's Stores are designed to preserve, enhance and improve existing views to and from the Campbell's Stores building. The overall objective of the CMP is to reveal the building to the public by stripping back the current 'clutter' from the site to reveal the existing heritage fabric. The design approach has allowed the building to be more visible from the promenade and waterside to improve the visual amenity of Circular Quay.

The Hickson Road and Bay X sides of the building have been retained and revitalised with a renewed focus on the streetscape, public through-connections and pedestrian access.

The new building at Bay 12 is designed as an urban infill element to compliment the heritage stores and complete the streetscape to Hickson Road. Together, the introduction of the new awnings, Bay X signage, new entrances on Hickson Road and Bay 12 will announce the revitalisation of this precinct.

4.22.2 Independent Visual Impact Assessment

Due to the high significance of this site and heritage curtilage views from the Sydney Opera House, the design team have sought an independent Visual Impact Assessment to test and verify the visual impact of the design. This study is in addition to the studies undertaken by the team during the design process itself. The nominated viewpoints are shown in the above diagram.

JPW has included artistic impressions, prepared in-house, within this submission to help illustrate the design intent and ideas. This report should be read in conjunction with the professional rendered images for full comprehension of the scheme.

For further detail refer to separate design sections of this report, Appendix 2 'Artistic Impressions' and Visual Impact Assessment by Urbis, with Renderings prepared by Virtual Ideas.

Camera 1a

Design Components Visual Impact *Sydney Opera House*

Existing Marquees obstruct views to heritage facade



EXISTING view from Sydney Opera House Promenade

Photograph provided by Virtual Ideas



DIAGRAM
Camera position

View to heritage facade improved

New Bay 12 building concealed by Fig tree



PROPOSED view from Sydney Opera House Promenade
Photomontage provided by Virtual Ideas

Camera 1a: View Improvement

The world heritage view from the Sydney Opera House is carefully considered to improve the overall view.

The removal of the existing marquee, and open design of the new awning structures increases the visibility of the original heritage building to improve the amenity from this view point. The new Bay 12 building is hidden behind the existing Fig tree so as not to impact the view.

Camera 1c

Design Components Visual Impact *Circular Quay East*

Existing Marquees obstruct views to heritage facade



EXISTING *Hickson Road View from Bay 6*

Photograph provided by Virtual Ideas



DIAGRAM
Camera position

View to heritage facade improved

New Bay 12 building concealed by Fig tree



PROPOSED *Hickson Road View from Bay 6*

Photomontage provided by Virtual Ideas

Camera 1c: View Improvement

The removal of the existing marquee, and open design of the new awning structures increases the visibility of the original heritage building to improve the amenity from this view point. The new Bay 12 building is hidden behind the existing Fig tree so as not to impact the view.

Camera 2

Design Components Visual Impact *Ferry*

Existing Marquees obstruct views to heritage facade



EXISTING *View from Ferry*

Photograph provided by Virtual Ideas



DIAGRAM
Camera position

View to heritage facade improved

New Bay 12 building concealed by Fig tree



PROPOSED *View from Ferry*

Photomontage provided by Virtual Ideas

Camera 2: View Improvement

The removal of the existing marquee, and open design of the new awning structures increases the visibility of the original heritage building to improve the amenity from this view point. The new Bay 12 building is hidden behind the existing Fig tree so as not to impact the view.

Camera 3a

Design Components Visual Impact *Campbell's Cove Promenade*

Poor visual connection

Existing Marquees obstruct views to heritage facade



EXISTING *View from Promenade*

Photograph provided by Virtual Ideas



DIAGRAM

Detailed view of camera position

Improved visual connection

View to heritage facade improved

New Bay 12 building concealed by Fig tree



PROPOSED *View from Promenade*

Photomontage provided by Virtual Ideas

Camera 3a: View Improvement

The pedestrian view from Campbell's Cove Promenade is substantially improved via removal of the existing marquees and the design of the new awnings. The Bay 12 building is largely hidden behind the existing Fig tree, with some corner views possible. The transparent and reflective materials, and controlled scale of the building are designed to minimise any visual impact, and contribute positively to the amenity of users. Importantly, it is designed play a deferential role to the heritage building - to not over-power or detract from it.

Camera 3b

Design Components Visual Impact *Belvedere*

Poor visual connection

Existing Marquees obstruct views to heritage facade



EXISTING *View from Belvedere*

Photograph provided by Virtual Ideas



DIAGRAM

Detailed view of camera position

Improved visual connection

View to heritage facade improved

New Bay 12 building concealed by Fig tree



PROPOSED *View from Belvedere*

Photomontage provided by Virtual Ideas

Camera 3b: View Improvement

The view from the Belvedere is designed to open up the views of the heritage facade. The Bay 12 building is concealed by the existing Fig tree.

Camera 4a

Design Components Visual Impact *Fig Tree*

Existing Marquees obstruct views to heritage facade



EXISTING *View from Fig Tree*
Photograph provided by Virtual Ideas



DIAGRAM
Detailed view of camera position

View to heritage facade improved

Fig Tree retained and landscaping improved



PROPOSED *View from fig Tree*
Photomontage provided by Virtual Ideas

Camera 4a: View Improvement

The existing Fig Tree is retained and reinforced with new paving and planting arrangements. Views to the Heritage building are improved.

Camera 4b

Design Components Visual Impact *Park Hyatt Boardwalk*

Existing Marquees obstruct views to heritage facade



EXISTING *View from Boardwalk*

Photograph provided by Virtual Ideas



DIAGRAM
Detailed view of camera position

View to heritage facade improved

Fig Tree conceals Bay 12 building



PROPOSED *View from Boardwalk*
Photomontage provided by Virtual Ideas

Camera 4b: View Improvement

The views to the Heritage building are improved, and the Fig tree conceals the new building at Bay 12.

Camera 4c

Design Components Visual Impact *Park Hyatt Promenade*

Existing Marquees obstructs public domain



EXISTING View

Photograph provided by Virtual Ideas



DIAGRAM
Detailed view of camera position

Public domain connections improved

New Building matches scale of Park Hyatt



PROPOSED *View*

Photomontage provided by Virtual Ideas

Camera 4c: View Improvement

New connections are provided at ground-floor level within the public domain. The Fig Tree conceals the new building, with its scale matching the Park Hyatt.

Camera 5a

Design Components Visual Impact *George Street*

Poor Visual Connectivity



EXISTING *View from George Street*
Photograph provided by Virtual Ideas



DIAGRAM
Detailed view of camera position

New signage to improve visibility to foreshore connection



PROPOSED *View from George Street*
Photomontage provided by Virtual Ideas

Camera 5a: View Improvement

Improved signage and public domain are designed to create a more welcoming and inviting pedestrian connection through to the foreshore.

Camera 5b

Design Components Visual Impact *Hickson Road Bay X*

Poor Visual Connectivity



EXISTING *View from Fig Tree*
Photograph provided by Virtual Ideas



DIAGRAM
Detailed view of camera position

New signage to improve visibility to foreshore connection



PROPOSED *View from fig Tree*
Photomontage provided by Virtual Ideas

Camera 5b: View Improvement

Improved signage and public domain are designed to create a more welcoming and inviting pedestrian connection through to the foreshore.

Camera 5c

Design Components Visual Impact *Hickson Road*

Discontinuous streetscape

Poor Pedestrian connections



EXISTING *Hickson Road View from Bay 6*
Photograph provided by Virtual Ideas



DIAGRAM
Detailed view of camera position

New, transparent infill building

New entry portal creates legible entrance

New Ventilation opening

Kerb widening and footpath upgrades



PROPOSED *Hickson Road View from Bay 6*
Photomontage provided by Virtual Ideas

New street trees to define streetscape

Camera 5c: View Improvement

The Hickson Road pedestrian upgrades and streetscape definition are designed to improve the amenity (both physical and visual) for the public. The new infill building at Bay 12 is designed to sensitively integrate and blend with the surrounding via careful material selection and control of the building scale.

Camera 6a

Design Components Visual Impact *Hickson Road*

Discontinuous streetscape



EXISTING *Hickson Road View*

Photograph provided by Virtual Ideas



DIAGRAM

Detailed view of camera position

New, transparent infill building completes continuous streetscape



New street trees to define streetscape

PROPOSED *Hickson Road View*

Photomontage provided by Virtual Ideas with facade design adjustments by JPW Architects.

Camera 6a: View Improvement

New street tree plantings and public domain upgrades provide a high-quality public domain and help complete the continuous streetscape. The new building at Bay 12 is scaled in a considered manner, to complete the streetscape as an infill building. Materials are transparent and reflective to be sensitive, and deferential, to the surrounding buildings.

Camera 6b

Design Components Visual Impact *Hickson Road*

Discontinuous streetscape



EXISTING *Hickson Road View*

Photograph provided by Virtual Ideas



DIAGRAM

Detailed view of camera position

New, transparent infill building completes continuous streetscape

Facade used to mediate privacy to neighbours with some movement and circulation elements silhouetted to help provide interest and activation of the street.



PROPOSED *Hickson Road View*

Photomontage provided by Virtual Ideas with facade design adjustments by JPW Architects.

New street trees to define streetscape

New view to Sydney Opera House and public connection through to foreshore

Camera 6b: View Improvement

A new public-domain visual connection through to the foreshore is provided, underneath the existing fig-tree and new building. The new building is sensitively scaled and clad in transparent materials in order to fit appropriately into the context and complete the streetscape.

Camera 7a

Design Components Visual Impact *Sydney Harbour Bridge*

Discontinuous streetscape



EXISTING *Sydney Harbour Bridge*
Photograph provided by Virtual Ideas



DIAGRAM
Detailed view of camera position

Roof materials visually match existing roofscape



PROPOSED *Sydney Harbour Bridge*
Photomontage provided by Virtual Ideas

Camera 7a: View retention

The new building retains views over the site and to the Sydney Opera House and is designed to blend into the existing roofscape, with a matching material palette.

Appendices

5.0

- Appendix 1:** Architectural Drawings
- Appendix 2:** Photomontages & Artistic Impressions
- Appendix 3:** Materials Board
- Appendix 4:** *SCRA, GFA, Land-Use, Site Coverage & Heritage Impact Comparison Diagrams*

5.1

Appendix 1

Architectural Drawings

5.2

Appendix 2

Photomontages & Artistic Impressions

5.3

Appendix 3

Materials Board

5.4

Appendix 4

SCRA, GFA, Land-Use, Site Coverage & Heritage Impact Comparison Diagrams

Contact

JPW
JOHNSON PILTON WALKER

Johnson Pilton Walker Pty Ltd

ABN 28 095 778 886

Level 10 Plaza Building

Australia Square

95 Pitt Street

Sydney NSW 2000

Australia

Telephone +61 2 9259 5900

Facsimile +61 2 9259 5999

Email

paul.vanratingen@jpw.com.au

brendan.murray@jpw.com.au

Paul van Ratingen, Director

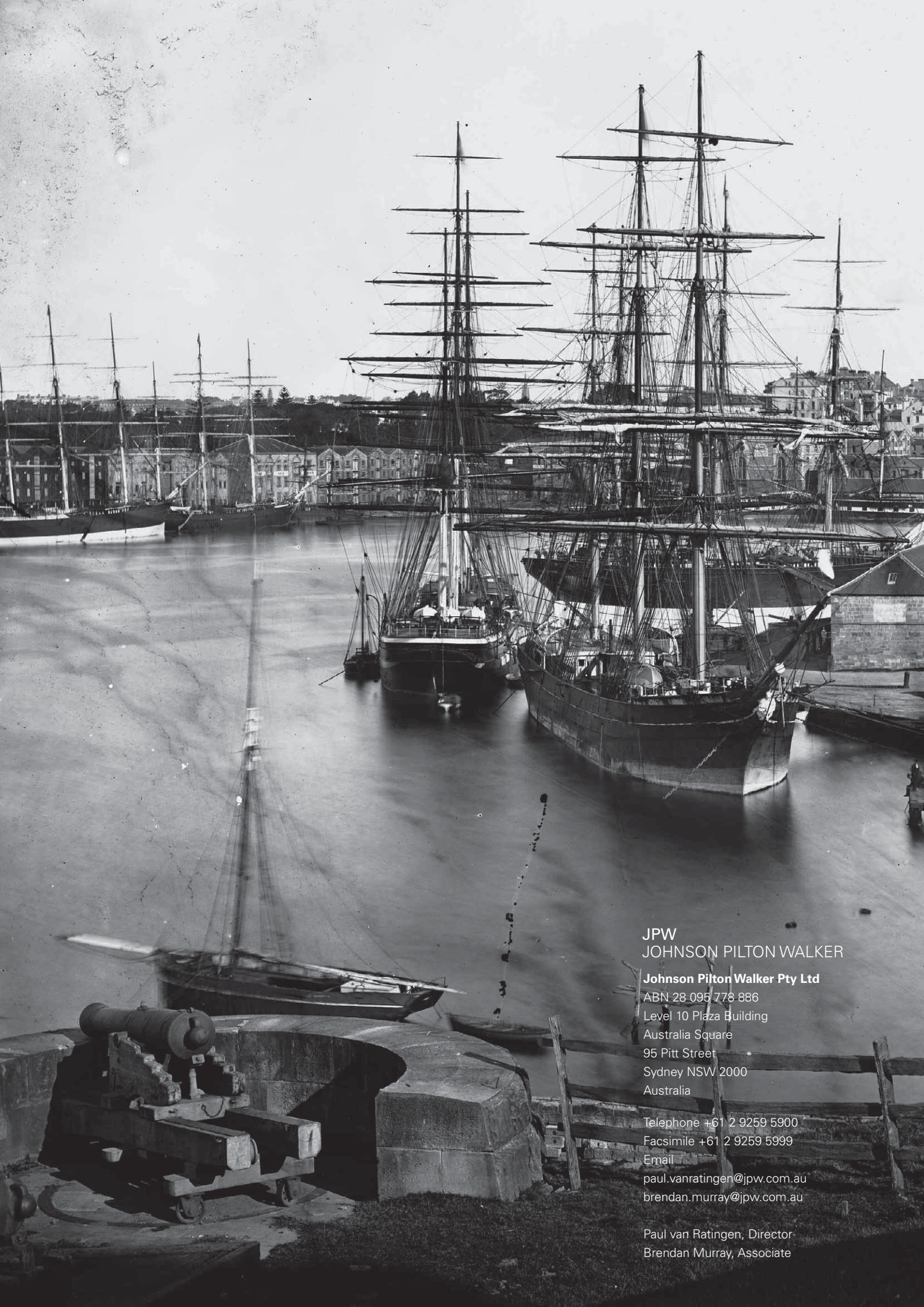
Brendan Murray, Associate



This document is double sided to save paper.
The type and font size has been selected to be legible at A3 or A4.

Options Recycled PC 100 is manufactured with non-polluting Green Power electricity generated from wind power.
It contains 100% post consumer waste which is independently certified.

Environmentally responsible, Options Recycled PC 100 is manufactured under a strict environmental management system.



JPW
JOHNSON PILTON WALKER

Johnson Pilton Walker Pty Ltd

ABN 28 095 778 886

Level 10 Plaza Building

Australia Square

95 Pitt Street

Sydney NSW 2000

Australia

Telephone +61 2 9259 5900

Facsimile +61 2 9259 5999

Email

paul.vanratingen@jpw.com.au

brendan.murray@jpw.com.au

Paul van Ratingen, Director
Brendan Murray, Associate