



# CAMPBELL'S STORES

SYDNEY HARBOUR

29.10.2015

DESIGN STATEMENT

Prepared for Tallawoladah

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## Abbreviations

SHFA	Sydney Harbour Foreshore Authority
PANSW	Ports Authority of NSW
RMS	Roads and Maritime Services

**Cover Image:** Campbell's Stores circa 1870-1875.

## Document Verification

Date	Prep.By	Rev. By	JPW Approv.	Client Approv.	Rev. No.
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**Introduction**

**1.0**



### SHFA Vision Statement

“...to make extraordinary places the world talks about by preserving and enhancing the intergenerational value of the State, heritage and cultural assets it manages”

SHFA's Vision Statement



### 1.0.1 Purpose of this Document

This Design Statement is submitted to the NSW Government Department of Planning as part of an Environment Impact Statement (EIS) for the Campbell's Stores building located in Campbell's Cove.

The report describes the site, its context and presents the proposed development in terms of intent and functionality in response to the objectives of SHFA (Sydney Harbour Foreshore Authority), and the *Heritage Conservation Management Plan* (Godden Mackay Logan, December 2011).

This report should be read in conjunction with the Environmental Assessment Report prepared by Urbis Planning Consultants on behalf of Tallawoladah.

### 1.0.2 Contents of Report

The Report specifically addresses the following Secretary's Environmental Assessment Requirements, with reference also to Urbis's Planning documentation and associated specialist reports:

- 2. *Land Use and GFA*
- 3. *Design Excellence, Built form and Urban Design*
- 5. *Visual and View Impacts (in part)*
- 8. *Public Domain and Public Access*

*Plans and Documents:*

- *Architectural Drawings*
- *Landscape Plan*
- *Visual Impact Assessment (commentary to be read in conjunction with separate, specialist View Impact study)*

# 1.1

## Introduction Scope of Project & Land Ownership



Fig. 1.1.1 Diagram of land ownership (refer Lot plans for detailed description)

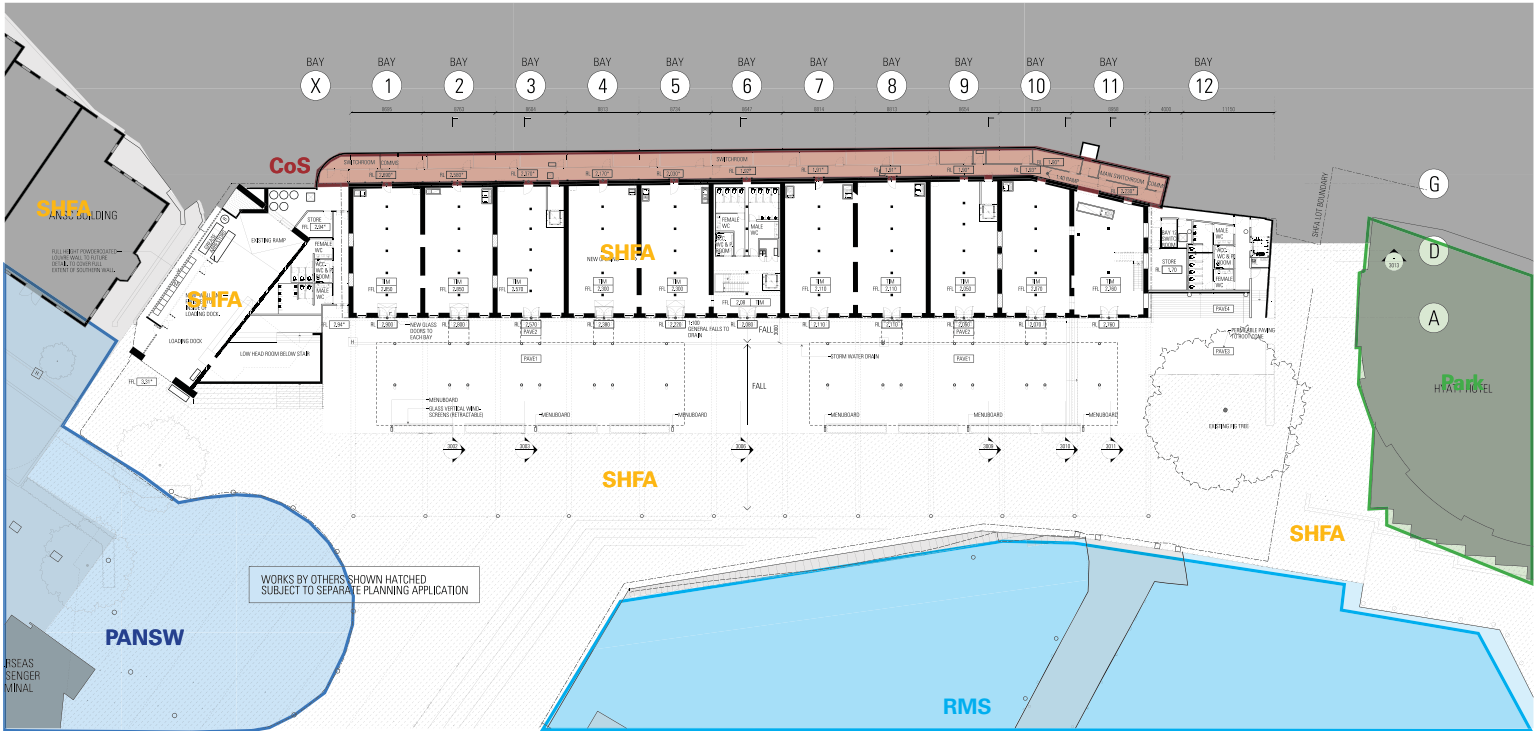


Fig. 1.1.2 Diagram of land ownership at Ground Level (promenade)

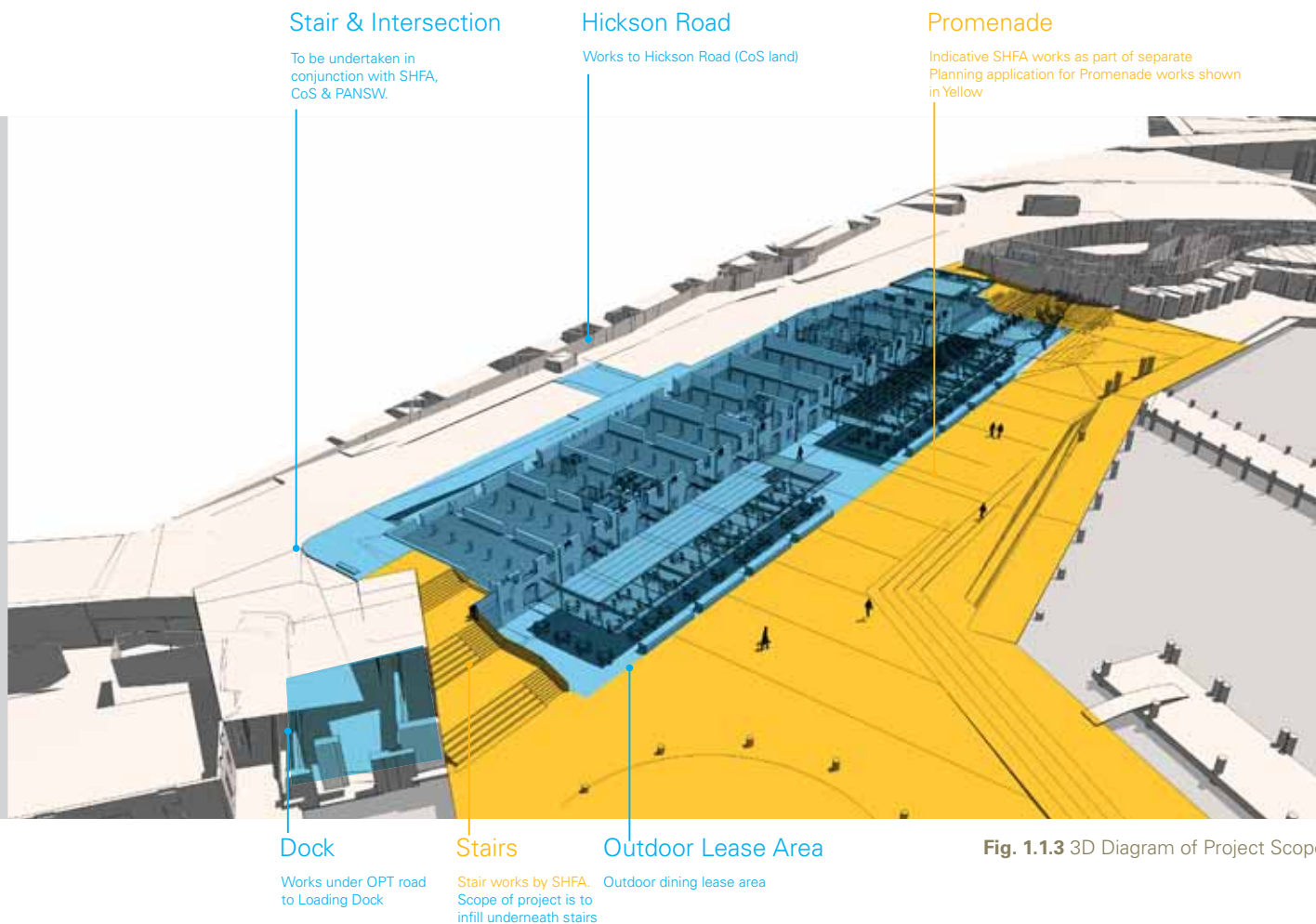


Fig. 1.1.3 3D Diagram of Project Scope

### 1.1.0 Scope Description

The project encompasses the existing Campbell's Stores buildings, immediately adjacent curtilage of Hickson Road, Campbell's Cove promenade and the existing loading dock as described in the above diagram (and as outlined in the Architectural Drawings, Appendix 1).

### 1.1.1 Land Ownership

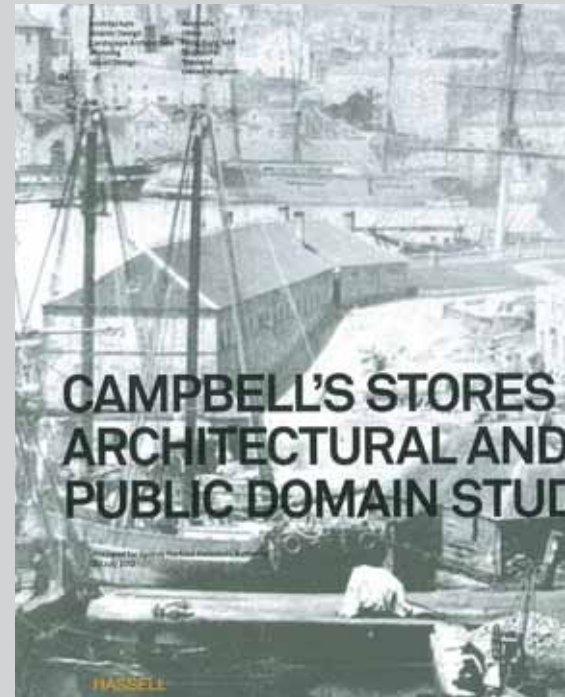
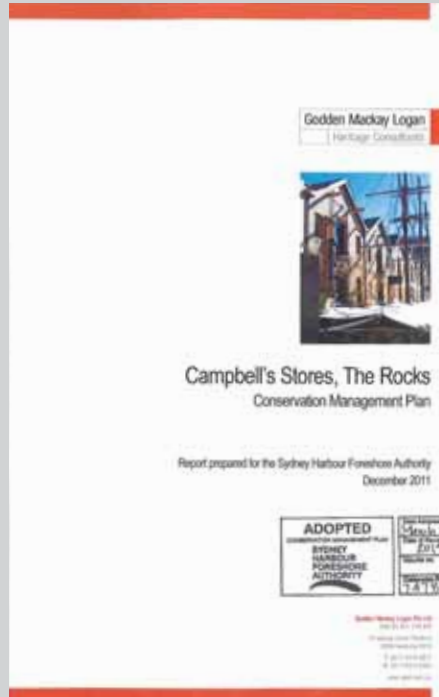
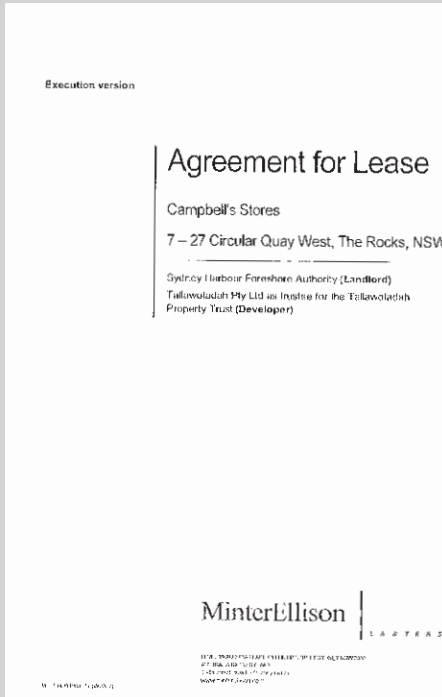
Land ownership is (broadly) as per the diagrams (left), with PANSW owning the overhead bridge to the OPT, and SHFA the loading dock underneath.

### 1.1.2 Associated Works

Associated work on the Campbell's Cove promenade forms part of a separate (and related) planning application by SHFA. For the purposes of this clarity, reference will be made to aspects of this separate proposal on occasion to explain how the developments intend to connect.

# 1.2

## Introduction Design Process & Important Documents



Agreement for Lease (2007)

Conservation Management Plan (2011)

Hassell Public Domain Study(2012)



JPW Concept Design (2014)

### 1.2.1 Design Excellence Process

The Campbell's Stores proposal has been developed in collaboration with SHFA and Tallawoladah, following JPW's appointment in 2012. A design excellence process has been implemented to involve a range of eminent experts and stakeholders to promote design excellence.

The guiding principles for the precinct emerged from a stakeholder workshop held early 2012, and Hassell Architects were appointed in 2012 to prepare an Architectural and Public Domain Study to formalise and document these for the Campbell's Cove Precinct. This document sought to outline Masterplan principles and seek feedback from key agencies and stakeholders in the precinct as to the future of this key Sydney location.

Following the Hassell Public Domain Study, and based on the approved principles, JPW was appointed to prepare a more detailed analysis and preliminary concept design

for the immediate Campbell's Cove and Stores building area. This document was completed September 2014. JPW have consulted closely with SHFA, Tallawoladah and surrounding landowners to draw together key objectives and improvements for the precinct.

The concept proposals have been tested by a full engineering design team to prove-up the concept design presented in this planning application.

### 1.2.2 Important Documents

Several key documents have informed the work presented in this proposal, and are listed above including:

- \_Agreement for Lease between Tallawoladah and SHFA,
- \_Conservation Management by GML
- \_Hassell Public Domain Study.

These documents are outlined in further detail in the Urbis Submission.



**Site Analysis**

**2.0**

# 2.0

## Site Context & Relationship to City



*Relationship of the Campbell's Stores with Circular Quay*





**Fig 2.0.1** The site forms a critical portion along the City of Sydney's proposed "Cultural Ribbon" - a pedestrian promenade connecting The Sydney Opera House to Circular Quay, the MCA, the OPT, Campbell's Cove, the Walsh Bay Arts Precinct, and eventually Barangaroo Headland Cultural Centre.

## 2.0.1 Context

The site of Campbell's Stores is located on the western side of Circular Quay and is one of the most historically important sites in Australia.

The site has high visibility to, and is highly visible from, the city. Panoramic views are afforded to significant Sydney landmarks including the Sydney Opera House, Sydney Harbour Bridge as well as the city itself. Neighbouring properties include The Rocks, the Park Hyatt Hotel, a Heritage streetscape along Circular Quay West Road, the Metcalfe Bond building and the Overseas Passenger Terminal.

The design response must carefully consider the site's visual prominence within the harbour setting, particularly with regard to the World Heritage Site Vista from the Sydney Opera House.

The Campbell's Stores site is part of Sydney's foreshore heritage. Its wharfage and built structures demonstrate the many changing phases of the maritime industry and together these represent the historical development of Sydney.

## 2.0.2 Relationship to Iconography of Sydney Harbour

The Campbell's Stores Site:

- Is located in a prominent position, visible from Circular Quay, the Harbour Bridge, Sydney CBD, and Sydney Opera House.
- Incorporates elements of the Industrial character of the area that have been noted for their heritage value to Sydney; and Sydney's Industrial Foreshore heritage.
- Is in close proximity to major cultural institutions and Tourist attractions such as the MCA, OPT and The Rocks
- Forms an important link along the foreshore to the Walsh Bay Arts Precinct, Circular Quay, The Rocks and the Sydney Opera House.
- Is sited on one of modern Australia's most significant historical sites, as the site of First Fleet settlement and rich indigenous heritage.

# 2.1

## Site Original Building



**Figure 2.1.1** Campbell's Stores 1870-75, 2 storey



**Figure 2.1.2** Campbell's Stores & Campbell's Wharves 1870-75

“Campbell’s Stores is a superb example of mid-nineteenth century warehouse buildings, now rare in Sydney... As a memorable landmark in The Rocks, visible from a wide area of Sydney Harbour, it is a symbol of mid-nineteenth century Sydney”

Statement of Significance: (CMP Extract, p. 123)

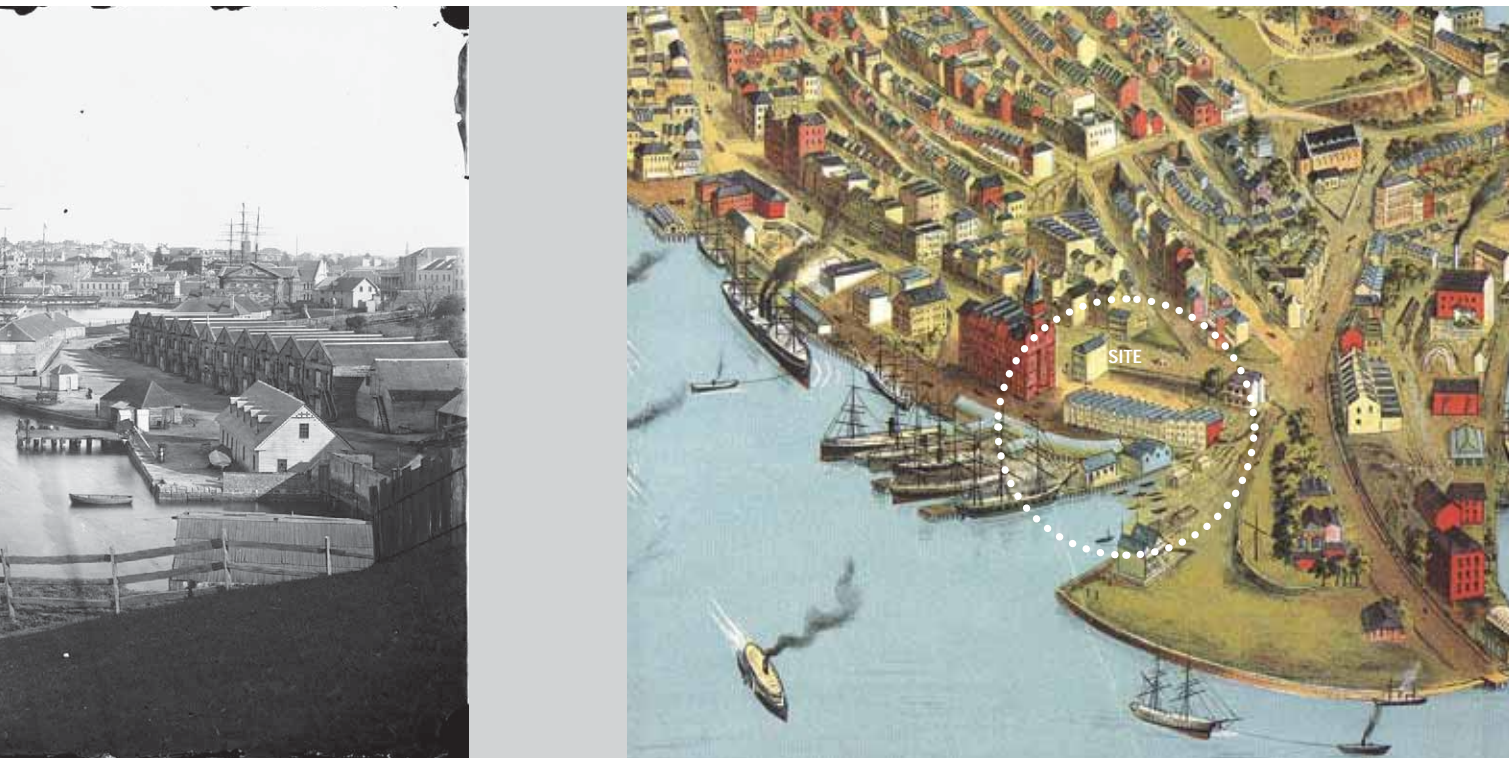


Figure 2.1.3 Campbell's Stores 1888

### 2.1.1 Original Building

The existing building is a fine example of mid-nineteenth century warehouse buildings, with a fine quality of distinguished austerity, notable for a handsome scale and character.

Originally used for bond-storage, the building is constructed of robust hardwood, shale, sandstone and brick.

### 2.1.2 Historic and social interpretation of Place

The redevelopment of this building and precinct provides an opportunity to not only conserve the heritage fabric, but to interpret the rich early maritime and trade history of the Campbell's Stores building and Campbell's Cove with great social and cultural benefit to both locals and tourists. Within this redevelopment also lies the possibility to improve pedestrian access and visual links to the foreshore.

# 2.2

## Site Heritage Conservation



**Figure 2.2.1** Example of empty bay at Hickson Road Level



**Figure 2.2.2** Example of section of wall deteriorating due to rising damp, including spalling.



**Figure 2.2.3** Example of existing sandstone with convict-hewn markings



**Figure 2.2.4** Example of existing internal extant pulley system located in Bays 3, 6, 9

### 2.2.1 Conservation of Heritage Fabric

The existing building is subject to significant deterioration of the existing sandstone walls at Ground level due to rising damp from the high tidal water table and poor stormwater drainage through the site. A more detailed summary of this condition and rectification measures are outlined in the Heritage Report by the Heritage Architect GBA and Stormwater report by TTW Engineers.

A conservation report was prepared in June 2008 by Design 5 Architects, identifying the potential causes of ground rising damp and recommendations for remedial works. It was found that a significant cause for the decay of the stone wall of the building were due to sodium chloride (salt). It also recommended the following:

*"It is important that the causes of rising damp are managed first, prior to carrying out repairs to the fabric. If this is not done the damage will continue. Thus, stone repairs should not be carried out without first addressing the issues of drainage, water levels and ground levels in and around the building"* (Design 5 Architect's Report, 2008)

The proposed remediation involved lowering the (currently raised) public pedestrian areas between the building and the harbour and the regrading of the site away from the building to improve surface drainage.

### 2.2.2 Conservation Management Plan (CMP) Summary:

The key CMP heritage issues in conservation and renewal policies can be summarised as follows:

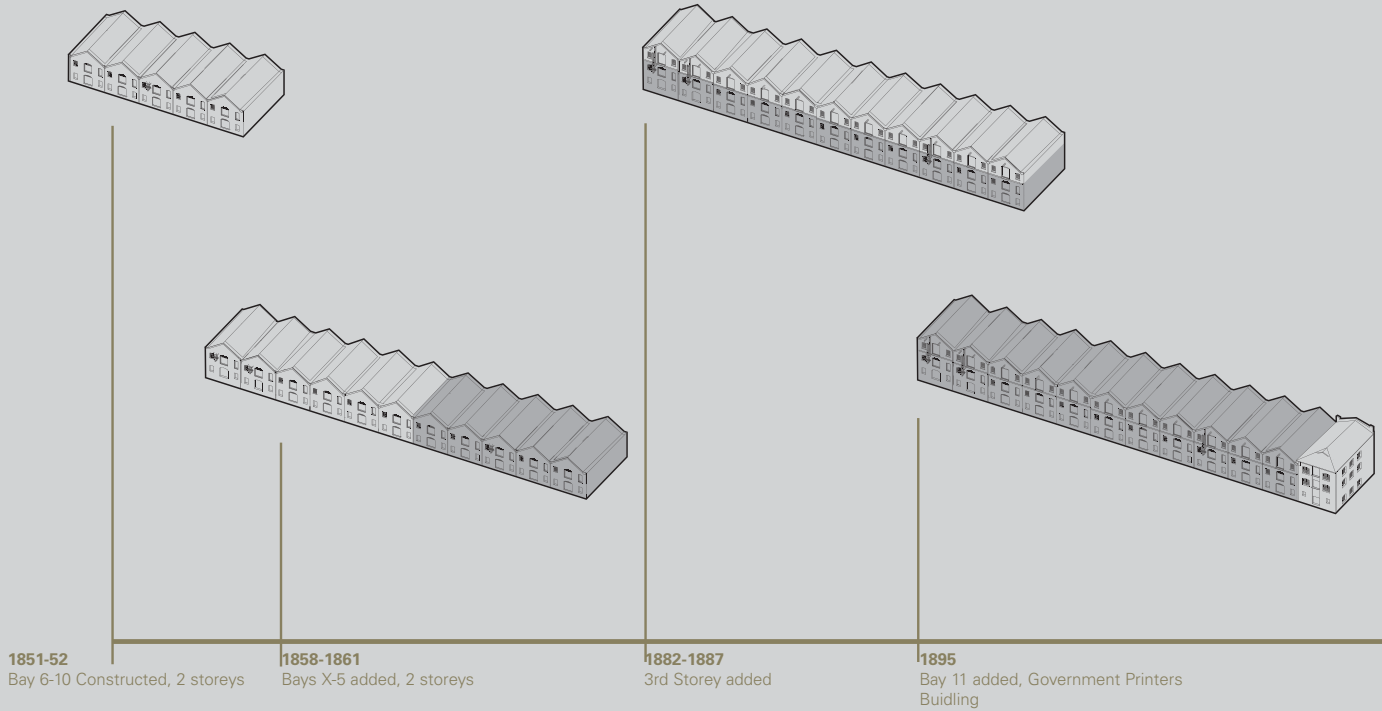
- \_Physical Conservation of heritage fabric and industrial heritage collection
- \_Ensure retention of fabric significance and minimise intervention
- \_Ensure the building is accessible to the public
- \_Ensure the building is meaningful to its users through interpretation
- \_Ensure viability of the building into the future through a comprehensive and holistic approach
- \_Recapture significance by the removal of intrusive elements
- \_Integrate the building into the context of Campbell's Cove and Hickson Road

This report discusses the new and heritage components in an integrated manner, to describe the inter-relationship.

*Refer GBA heritage report for further details*

# 2.3

## Site Building Timeline



“The changes made to Campbell’s Stores provide evidence of the changing commercial fortunes of maritime Sydney...”

Statement of Significance: (CMP Extract, p. 123)