

Ground Plane Connectivity & Activation

3.10 Connections and Activation

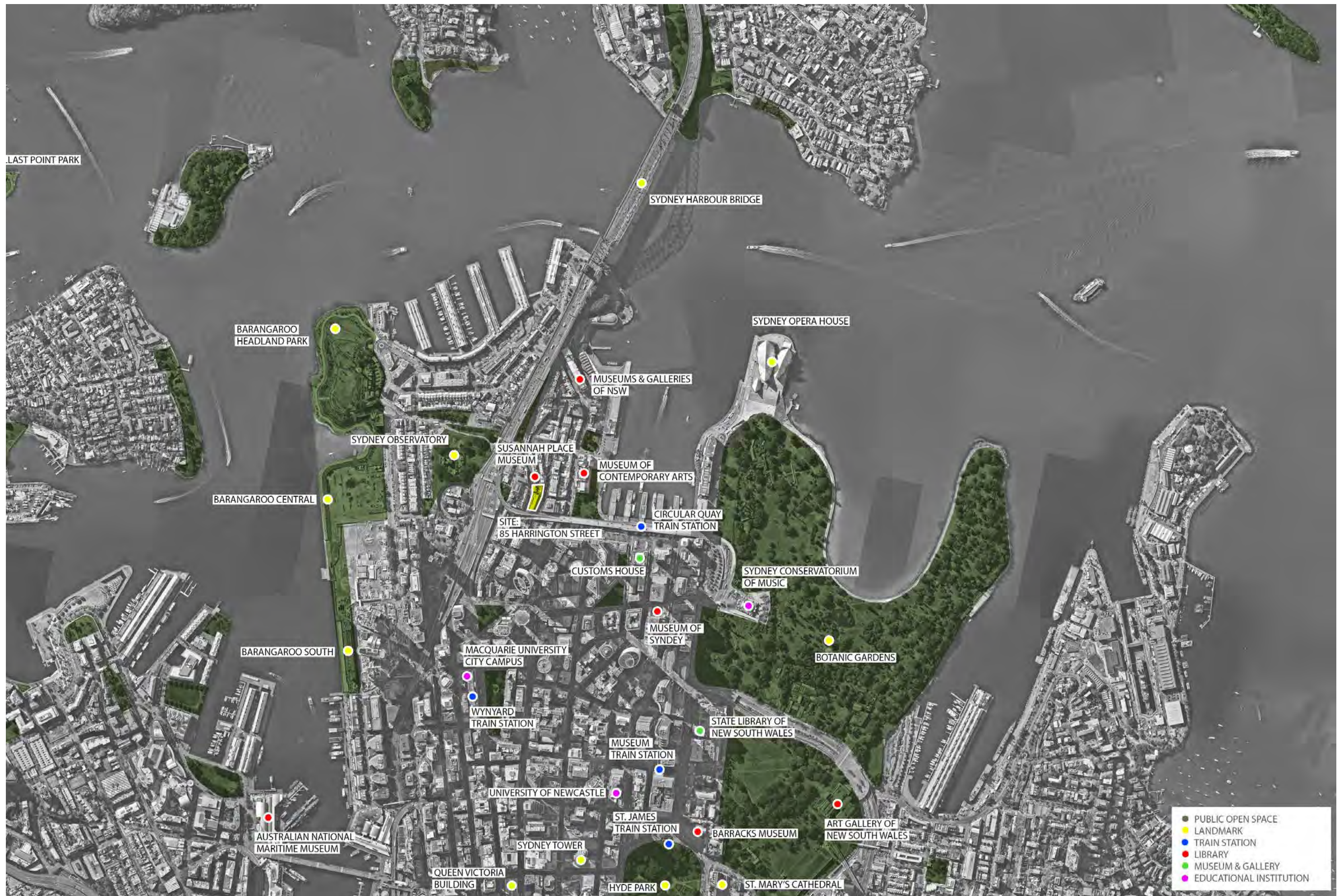
Integral to the streets, lanes and outdoor spaces of The Rocks is a level of active use and liveliness. The lanes and streets provide a range of outdoor settings which were traditionally bounded by shops, pubs and warehouses, randomly interspersed with residential use.

The key to social and urban sustainability is the reinvigorating of the lanes and places in The Rocks. The subject site is bisected by lanes and the current building has had an unfavourable impact upon their amenity and vibrancy. Reinstating a wider connection between Harrington and Gloucester Streets via Cumberland Place and aligned stairs, acknowledging the termination of Globe St and lanes west of the site as well as Cambridge St will strengthen the urban form of The Rocks.

The proposal seeks to strengthen the East-West Trail from Circular Quay through The Rocks via Globe Street and Cumberland Steps. Many Rocks pathways and links allow for glimpses to the Harbour, Circular Quay and the Bridge. The new open air link through the site has been realigned to allow for an axial approach from Globe Street and provides views through to destinations within the site and beyond. It also acknowledges that Cumberland Steps were once wider and more generous, creating places for play and meeting.

Throughout the area there is a limited amount of public open space as living was tight and communal gathering was frequently limited to corners, laneways and small pockets of space. The creation of Cumberland Place at the termination of Cambridge Street allows for an activated public domain, of modest scale but with adequate area for outdoor dining and seating areas, intersected by pathways and integrated within the urban fabric of the area.





Site Analysis

3.11 Gateway and Address

A unique opportunity is presented by the site to reinstate a greater level of connectivity between streets and pathways which once existed in this area. Originally Cambridge Street intersected with Harrington Street but the development of the Harbour Bridge and the current building subject site left Cambridge Street truncated. The adverse impact of the Cahill expressway on the Rocks also impacted upon the connectivity of both Harrington Street (visually) and Gloucester St. George Street remains the prime gateway into the Rocks with Harrington Street less favoured, partially due to a series of insensitive modern developments along Harrington Street which provide little interest or amenity.

It is possible to mitigate the significant impact of the Cahill Expressway, as it bifurcates Harrington Street, and offer visible destinations and active frontage to those areas of the street which are currently uninviting.

Additionally, the New Cumberland Steps have been aligned to directly connect with Globe Street and provide a visual linkage from East to West. The stairs are open to the sky offering greater amenity, sun access and sense of openness than the enclosed stair which currently exists.

The scheme orients to Harrington Street as its primary address, offering retail, lobbies and neighbourhood facing commercial space to the primary street. Gloucester Street maintains a more residential character bordered by separate townhouse entries reflecting the rhythm of existing residential addresses.

Cambridge Street has almost entirely lost its presence within The Rocks. Where once many small cottages, perched upon excavated rock shelves, faced this street there are almost no residences or businesses with Cambridge Street frontages or addresses today. Returning activity and vibrancy to this area will dramatically improve the pedestrian experience for visitors, workers and residents, providing a range of opportunities for passive and active use as well as greater surveillance, pedestrian permeability and access for people with disabilities.

3.12 Public Space

A new central courtyard is created by the extension of Cambridge Street into the site, forming a new Cumberland Place, more directly reflecting the original dimensions of Cambridge Street when it continued past the Bakers Terraces. Cambridge Street was once characterised by a sense of openness and connection which has been lost by large modern facades and erosion of its width. The new courtyard provides generous space for outdoor dining, broad circulation paths, landscape features and public seating, with ample opportunity to integrate interpretive features to enhance the visitor experience. In particular, the landscape design proposes to reflect the 'rock shelf' characteristic which once typified this area.

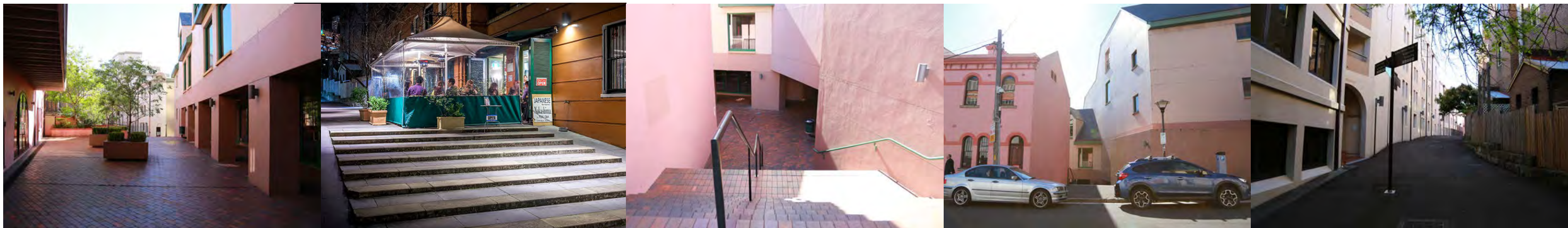
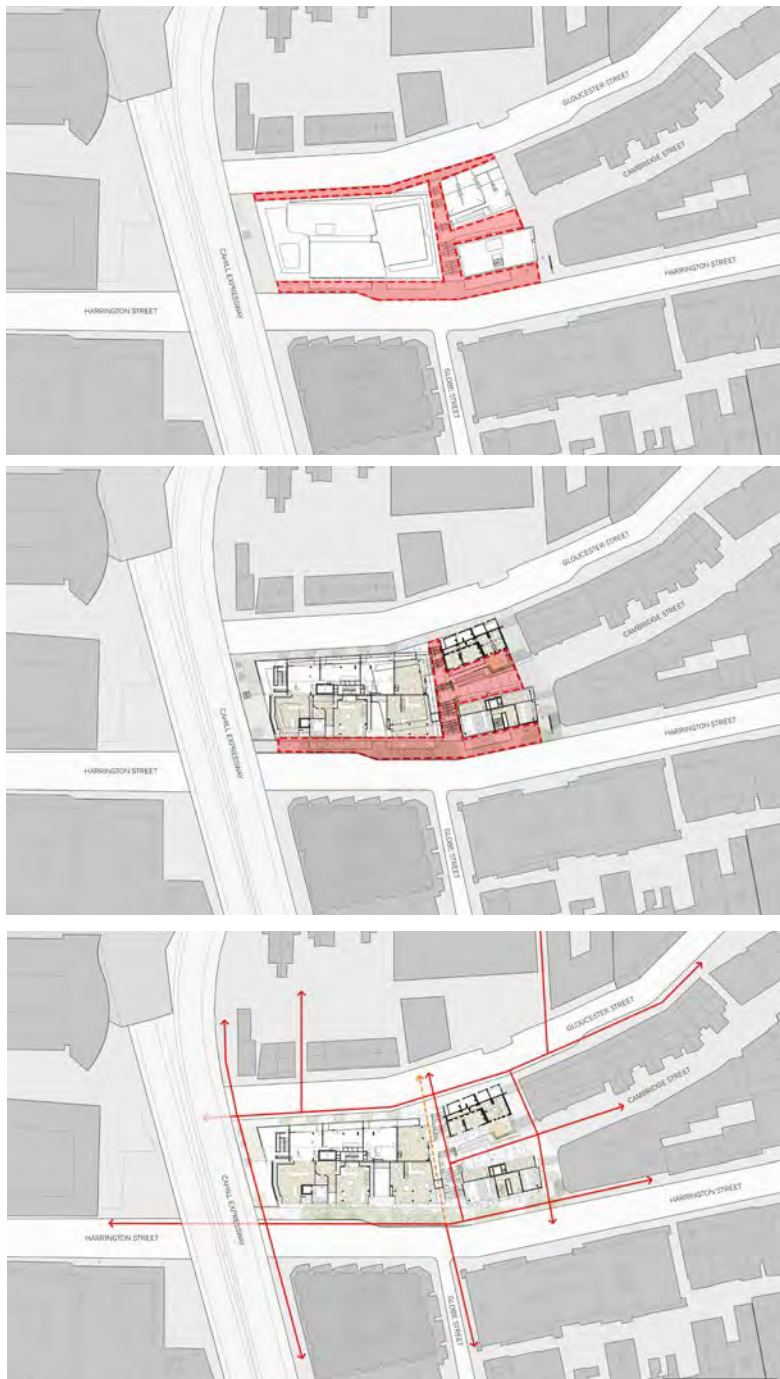
Setbacks at ground level are provided along the Harrington Street frontage. Along with access to the new steps and accessible lift, these initiatives will provide a much greater level of pedestrian amenity along Harrington Street promoting breakout, milling, outdoor dining and potential public seating. This will create a richer, more vibrant street character.

3.13 Urban Connectivity and Permeability

A complex series of existing and proposed pedestrian pathways connect the scheme to the existing urban fabric.

The proposal introduces a new East-West link through the site via the New Cumberland Stairs. Stairways, old and new, provide linkages through the site and connect to the greater Rocks area. Navigation through The Rocks for people with disabilities has been difficult to date. While the primary north-south roads offer accessible pathways through The Rocks, it is difficult, due to the topography, to pass through the East-West trails. Cambridge Street is also terminated by a raised terrace area which was introduced as part of the existing 85 Harrington Street building.

The opening up of Cumberland Place improves the intersection of stairways with Cambridge Street, allowing for greater



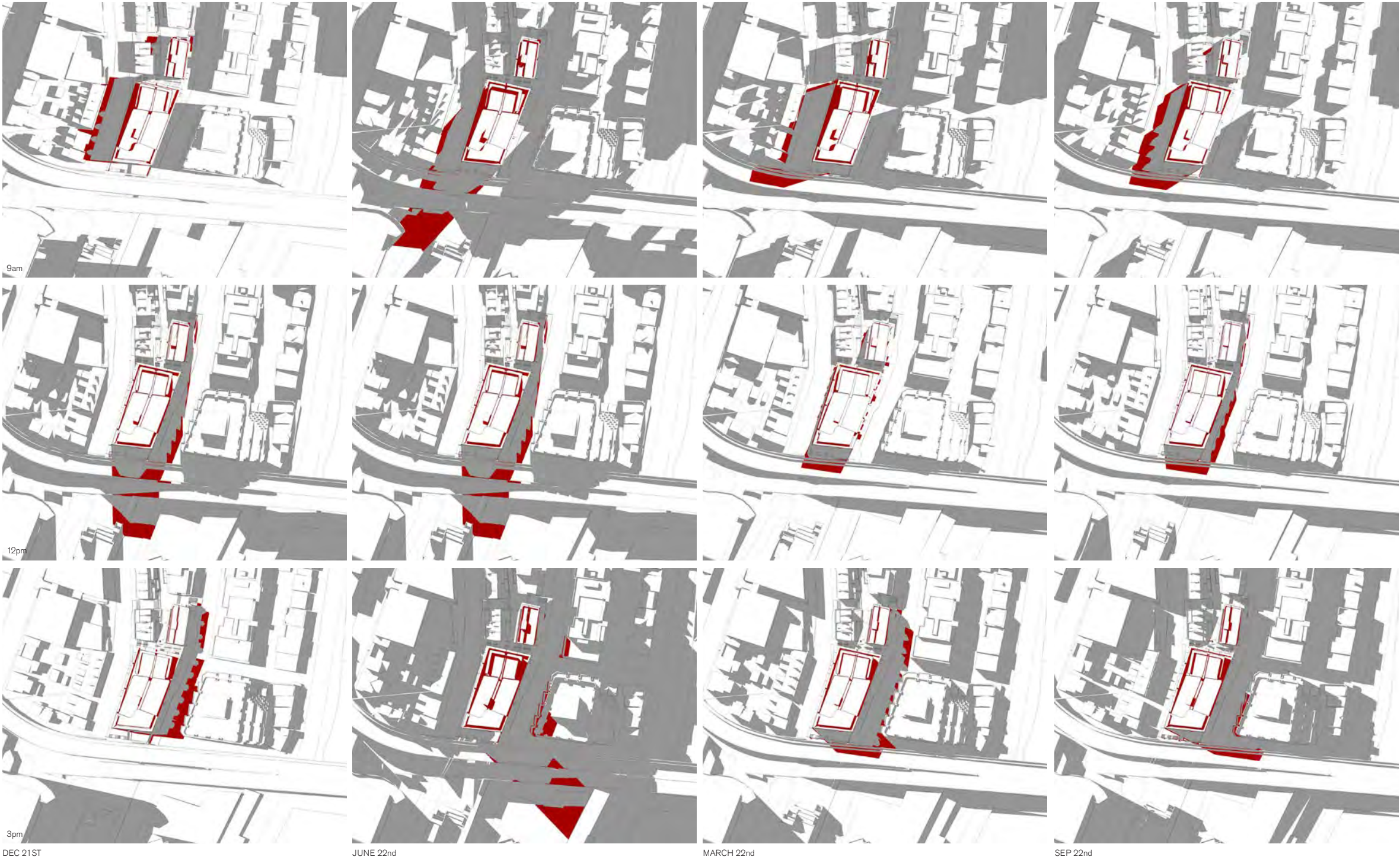


3.14 Solar Access

The location of the site ideal for limiting the impact of over-shadowing upon existing buildings. To the south, the Cahill Expressway provides an open space allowing sun access beyond. To the west, the wide expanse of Gloucester St and natural topography ensure that there is minimal impact on existing terraces including on the winter solstice. To the east, uses are primarily commercial and retail, and the impact of the shadows is minimal.

Sun access to the new 'Cumberland' place is assured around the lunch period given its location to the north of the site.

Sun access to the apartments is discussed within the ADG schedule. The site slopes to the south-east with prime views to the East towards the Opera House. This leads to the orientation of a number of apartments to the Sout-East to gain the amenity of the iconic views.



3.15 Views

Located in a highly sensitive heritage area, views to the site from prominent locations have been a critical element in the design and massing of the proposal. Of particular importance were views towards the Rocks, and the site, from prominent locations, streetscape and critical views to other heritage items. The massing has been carefully broken down, set back and articulated to retain the scale of streetscapes and follows both the rise in scale towards the south and the natural slope towards the Harbour from the Cahill Expressway.

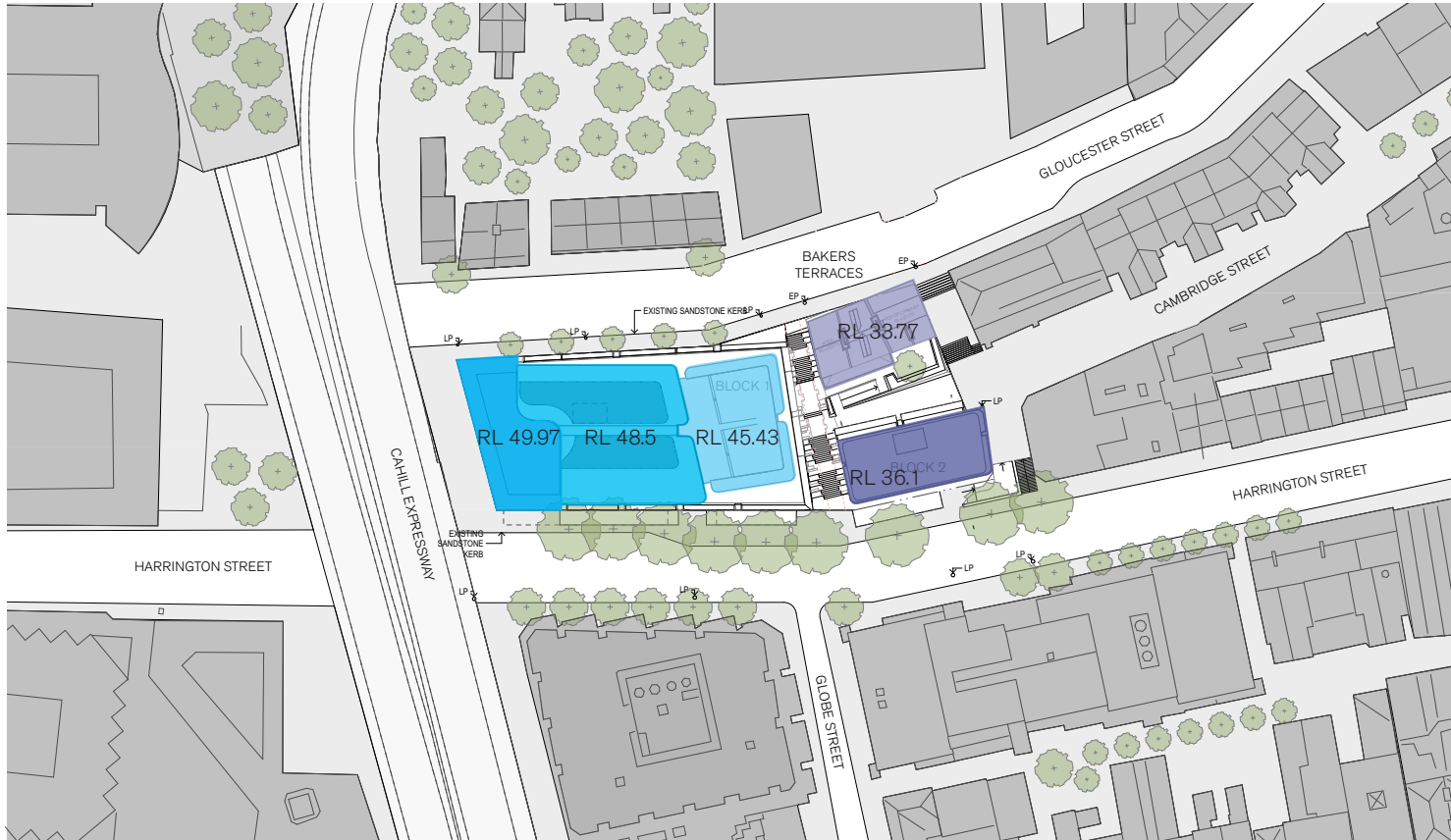
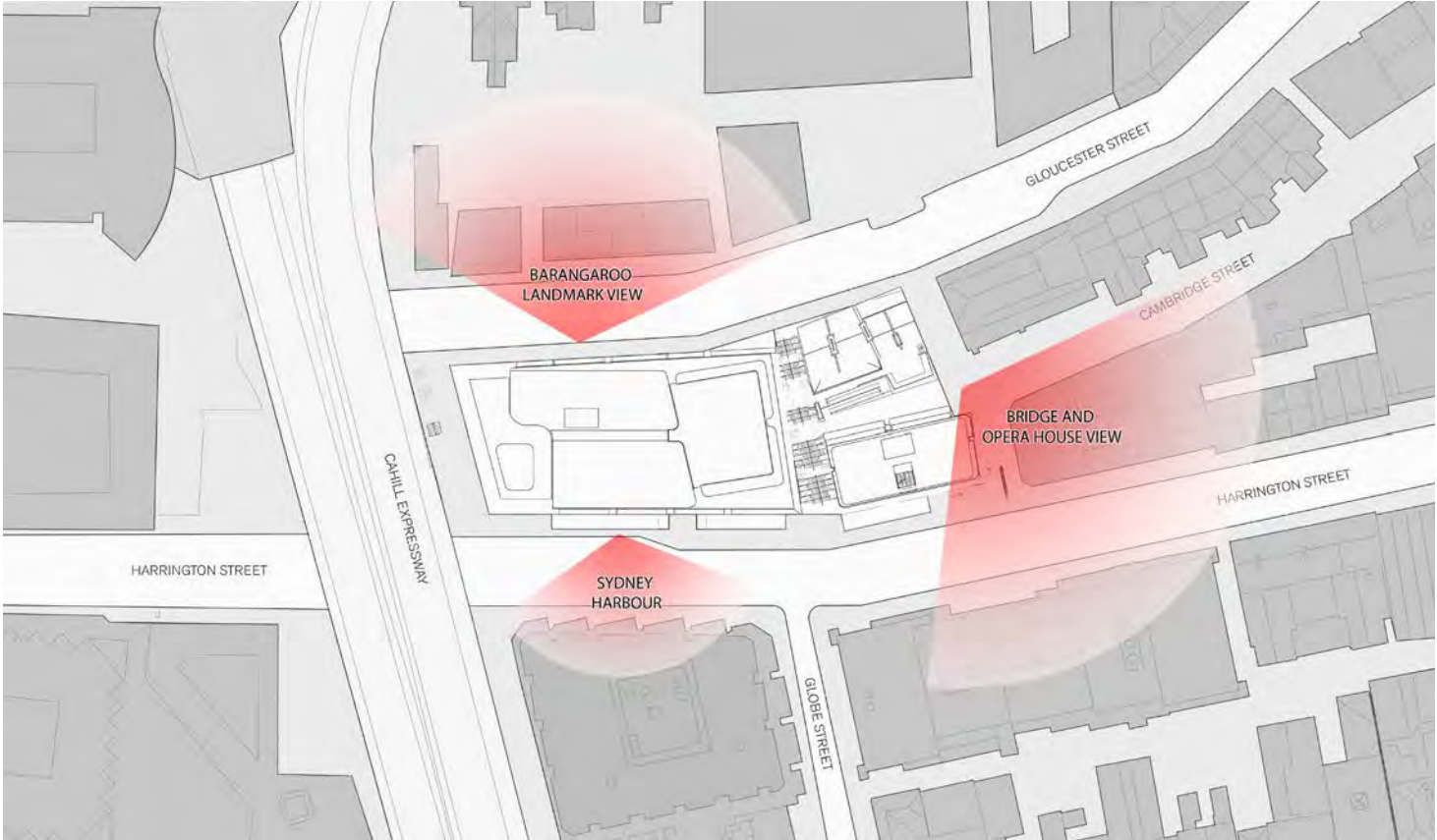
The impact of views by the proposal has been rigorously tested and reviewed by GMU, who tested views to the site from 18 distant and neighbouring view locations.

There is a heirarchy of views available from the site:

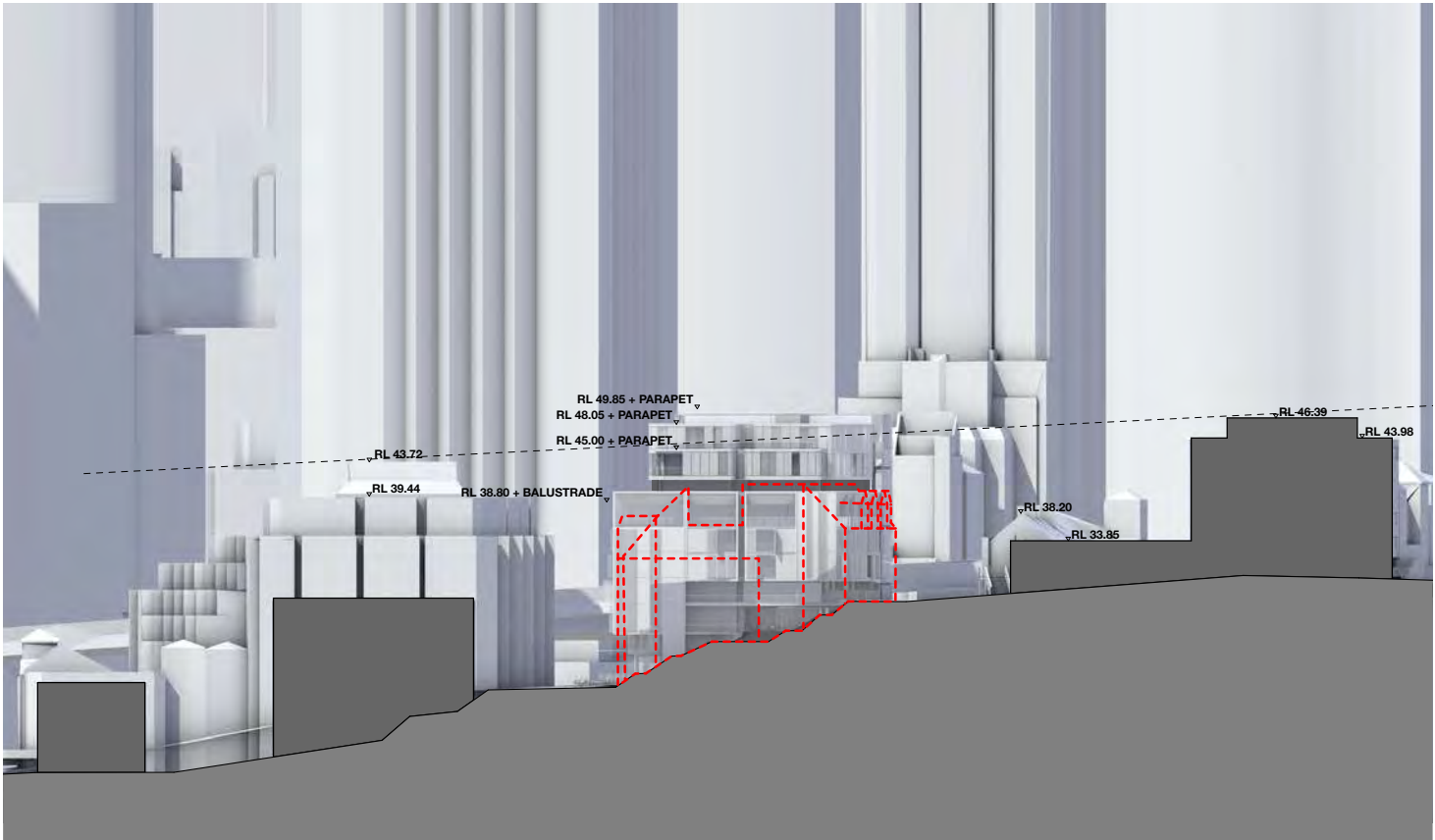
- 1. Barangaroo Landmark view; Block 1 has Western views towards Barangaroo
- 2. Bridge and Opera House views; North East views towards the bridge and opera house from the upper levels of Block 1 and 2
- 3. Harbour Views; to the East from the upper levels of Block 1
- 2. Bridge and Opera House views; North East views towards the bridge and opera house from the upper levels of Block 1 and 2
- 3. Harbour Views; to the East from the upper levels of Block 1

3.16 Urban Density

The Harrington Street development has established a clear relationship for density in response to its context, environment and statutory controls. The height of the development, which exceeds the current SCRA envelope has been studied in detail and in collaboration with SHFA and its Design Advisory Panel. In particular, views to the site and wider sections through the Rocks were analysed. It was acknowledged that a staggered rise in height towards the south and to the city was appropriate as long as existing streetscape scale and articulation were respected. The stepped nature of the built form reflects the surrounding scale. The highest point of the development to the south is influenced by higher density of Sydney CBD, and the development steps down towards the lower scale buildings to the north of the site. The scale of the streetscape is maintained through setbacks at the upper levels, and breaking down of the mass into local building modules and widths. See Building Massing Formation.



Heights of upper most slab - parapet and plant not included



4.0 Proposed Design Concepts

Building Massing Formation
Built Form and Architectural Character
Materiality
Formal Composition

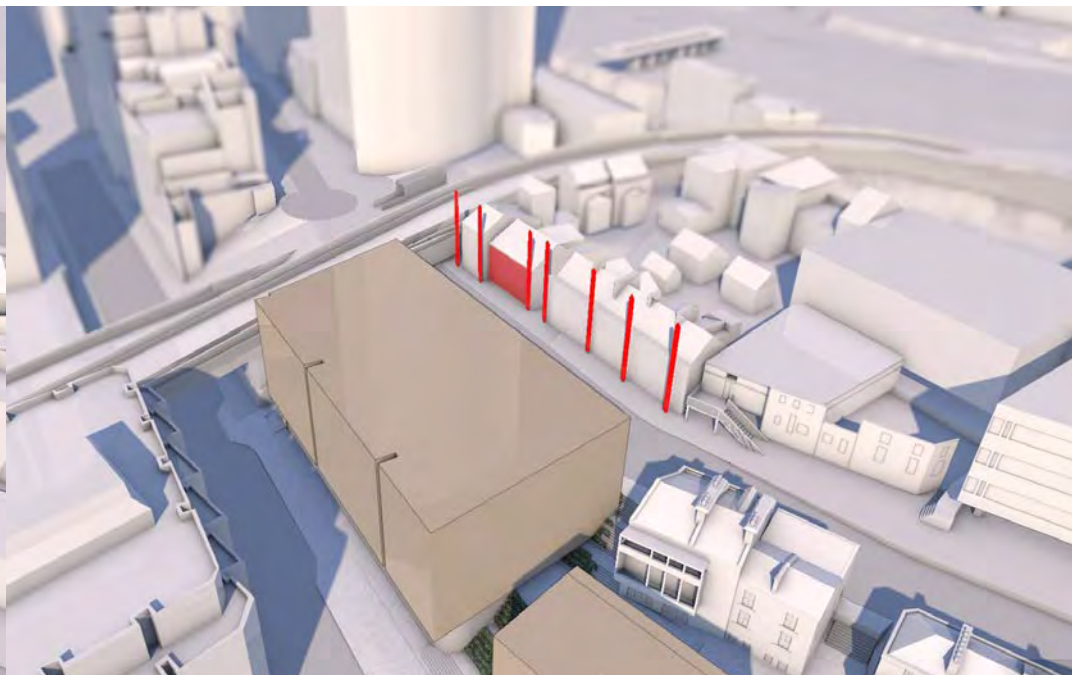


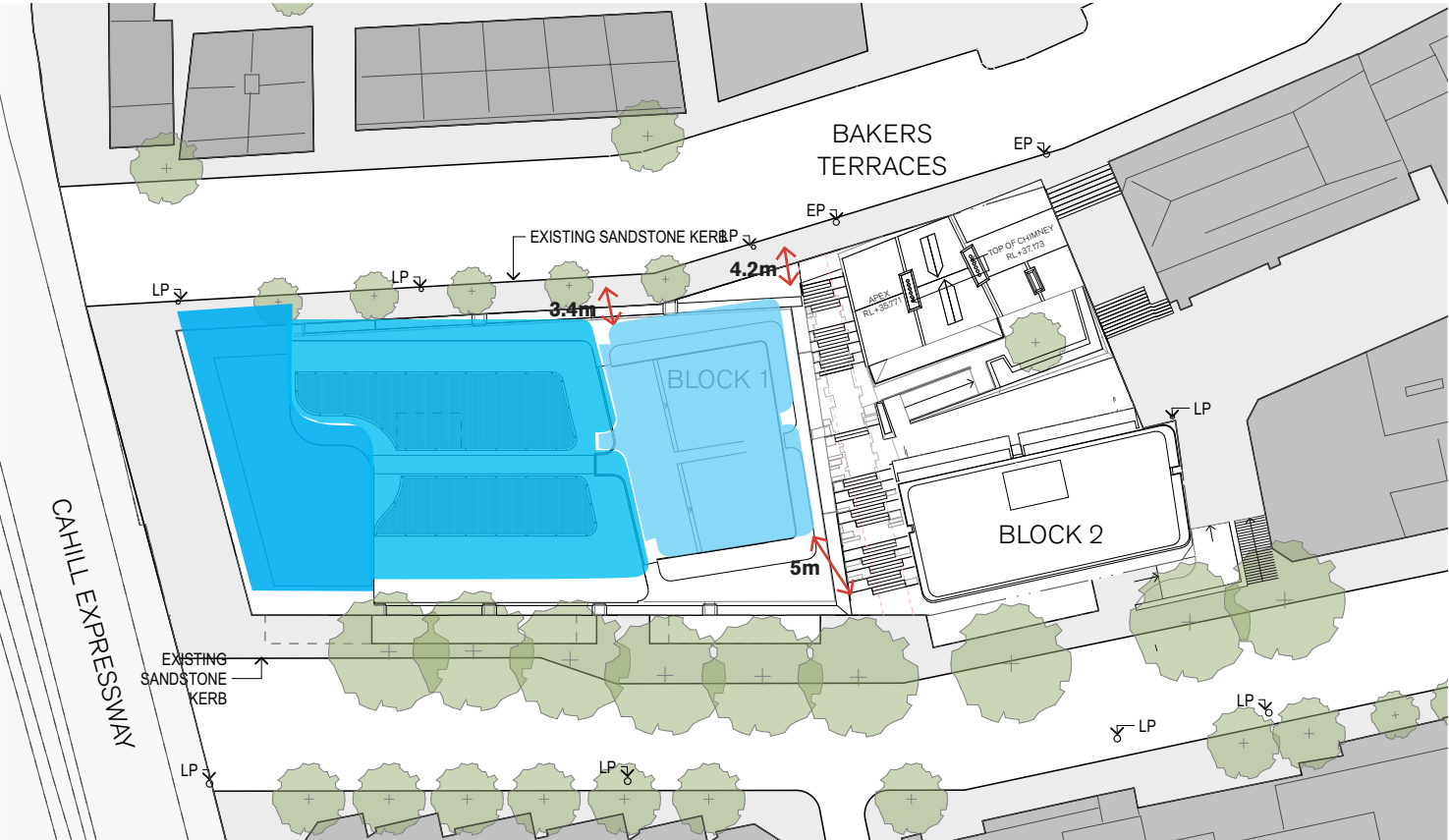
Building Massing Formation

4.1 Building Massing Formation

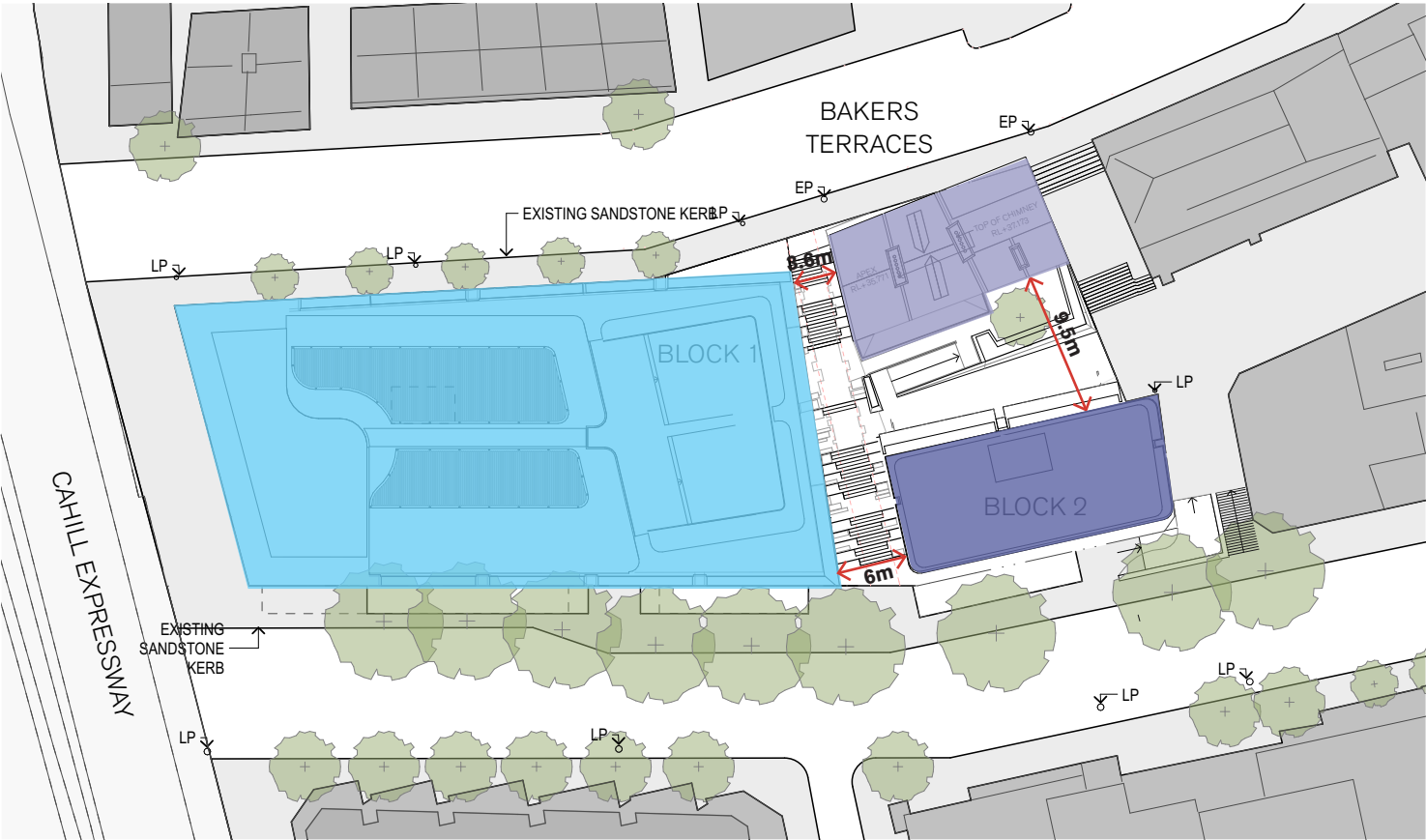
The massing of the proposal reflects the layered and varied scales evident throughout the Rocks. Dimensions of the articulated mass are drawn from adjacent heritage buildings while set back masses reflect the stepping topography of the precinct and assist in maintaining a streetscape datum. The width of the tenements and terraces along Gloucester Street vary in scale from 6 to 10m. Consequently the street aligned modules reflect this rhythm. Similarly the Harrington Street facade modules reflect a smaller scale, capped at the end by the slender form of the commercial building.

At the termination of the Cambridge Street, the new building offers a level of symmetry along its axis and a northern elevation which is divided into 4 clear parts. Building 2 sets back from the Bakers Terraces, aligning with the eastern wall facing Cambridge Street and street level. From Harrington Street, Block 2 is articulated as a completely separate building which transitions in scale to the buildings north of the site.





BUILT FORM SETBACKS



BUILDING SEPARATIONS WITHIN THE BOUNDARY

LEVEL	RESIDENTIAL GFA	COMMERCIAL GFA	RETAIL GFA	TOTAL GFA
Ground	74	323	438	835m2
Level 1	116	238		354m2
Level 2	748	182	315	1245m2
Level 3	983	268 including live/ work)		1251m2
Level 4	1154	182		1336m2
Level 5	975	182		1157m2
Level 6	652	182		984m2
Level 7	652	182		834m2
Level 8	648	182		830m2
Level 9	437			437m2
TOTAL	6439	1921	753	9113m2
SITE AREA				2110m2
FSR				4.31:1

Built Form & Architectural Character

4.2 Built Form & Architectural Character

Block 1 Residential

The street aligned primary residential block responds to the building module rhythm of the traditional Rocks streetscape. Varying in width, and further articulated from bottom to top, each module also responds to the human scale and pattern of the window and door openings throughout the Rocks elevation. The operable shutter pattern will vary with use, creating shadows and depth of articulation.

Block 1 Penthouses

Set back from the street aligned block below, the penthouses adopt a more contemporary and abstract aesthetic. Sitting behind a raised parapet and above a glazed set back level, the bronze storeys recede and subtly contrast against the terracotta and will age gracefully over time to blend into their surrounds. The sliding shutters will create a pattern of use which can be further enhanced by the perforation pattern chosen for the shutters. The flush nature of the sliding tracks and shutters will be strongly contrasted against the deep recesses of the private open spaces revealed behind when the shutters are open.

Block 2 Residential

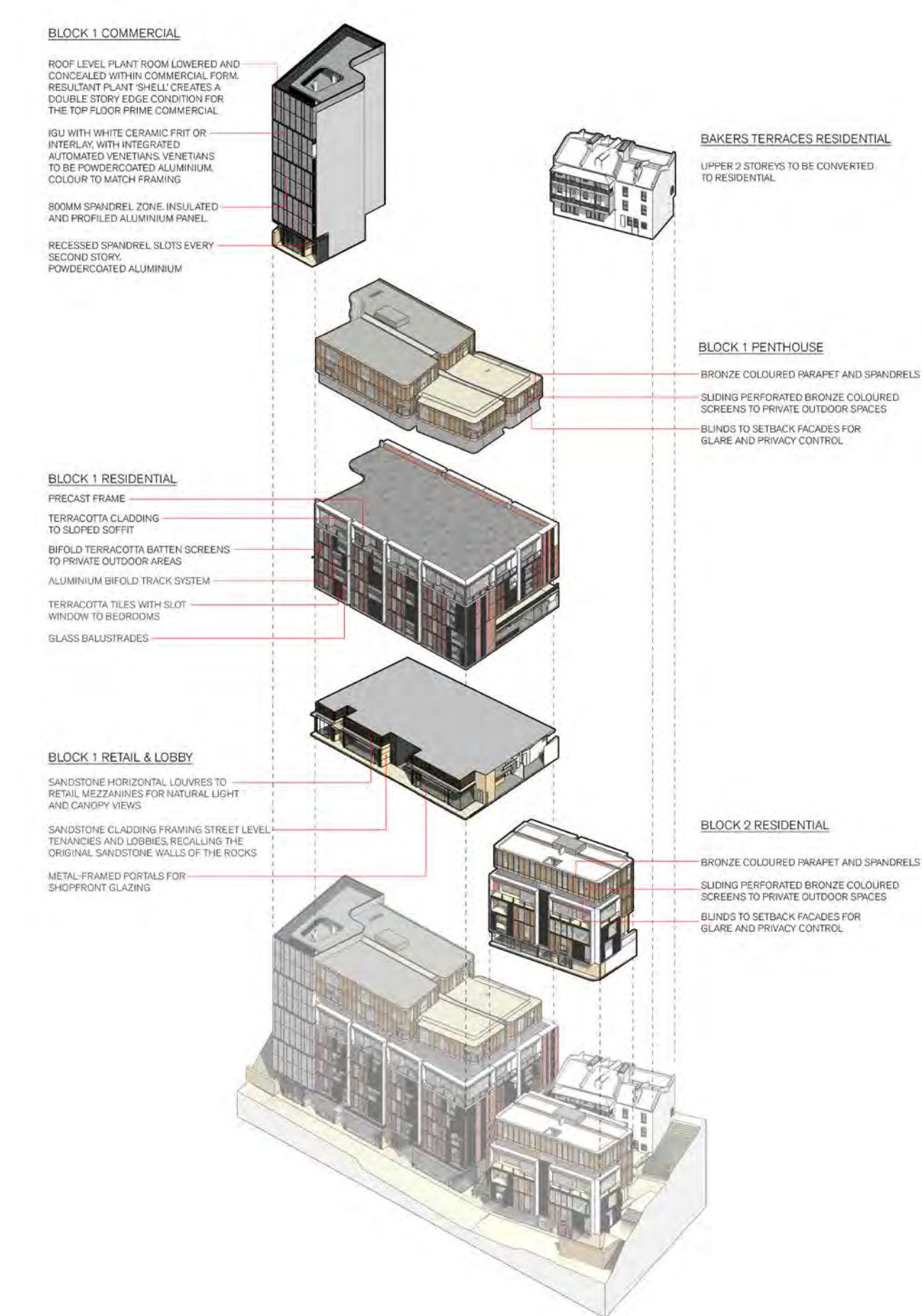
The Block 2 residential component offers a transition to the typical scale and datum of the northern end of Harrington Street. It is expressed as a separate, smaller scale building with a similar set back element above in bronze.

Block 1 Retail and Lobby

A 2 storey (ground and mezzanine) base offers high levels of activation and amenity to Harrington Street with retail / food & beverage, and lobbies for the residential and commercial components of block 1. Two levels of activity will overlook and engage with Harrington Street, with opportunity to create an operable facade to further open to the street. The retail frontage has been further enhanced by the removal of one drive, in comparison with the existing building, limiting vehicular crossings and unengaging carpark / loading entries. The shop front glazing line is set back 1200mm from the boundary increasing the area of pavement and providing the opportunity for outdoor dining. Solid, non-glazed zones are primarily clad in sandstone with the potential for reuse of stone, which is not maintained insitu, from the existing sandstone wall.

Commercial

The commercial use component of the building is specifically articulated as a slender, separate form which creates a transition to the city towers to the south. It is intended to break up the scheme's mass into separate elements reading as a composition of different buildings with separate addresses. It offers a buffer between the Cahill Expressway and the residential units, its smooth translucent facade a contrast to the adjacent highly articulated residential elevation.





Materiality

4.3 Materiality

The materiality of the Rocks represents the waves of development which have occurred since white settlement. Rocky, steeply sloping topography strongly influenced both building techniques and materiality. Originally small mud cottages perched upon the hewn rock shelves, and over time, the stone quarried from the region created more generous and elegant merchants' houses and inns. A historical spectrum of brickwork and ornament is evident complementing the warmth of sandstone and worn timber.

Few contemporary projects within The Rocks have offered sympathetic and complementary material palettes. Frequently lacking complexity and warmth, a number of the large developments appear monolithic and unarticulated.

The proposed palette offers a diverse range of complementary materials. The palette includes materials which are already evident within the Rocks such as sandstone, terracotta and timber, but also includes other warm, self finished materials which will age gracefully such as bronze. The scheme also offers diversity within each material selection (like the diversity evident in historic brickwork) by the specification of different colour, finishes and textures.

4.3.1 Finishes Board

Sandstone

The sandstone wall facing Harrington Street is a strong presence and reminder of the hewn rock shelves which once existed throughout The Rocks. It is intended that solid walls around ground level should either reuse any demolished sandstone blocks or utilise sandstone cladding. Sandstone is also proposed as flag stones for the base of the Bakers Terraces extending out to the porch space outside. Retaining walls in this area will offer a contemporary interpretation of the sandstone shelves.

Terracotta

Terracotta offers a large spectrum of profiles, textures and colours which can bring a richness of character and texture to the facades. Similar in colour and composition to brick, the terracotta palette offers colours from warm sandstone to strong brick red, as well as darker greys and browns. The profiles will include solid panels, battens and louvre blades which will bring a fine grain coursing to the elevations. A minimum of 3 colours will be used to diversify the colour range.

Other Natural Stones

Other natural stone will be used to complement and contrast with the sandstone including bluestone (in line with SHFA's draft Public Realm Strategy).

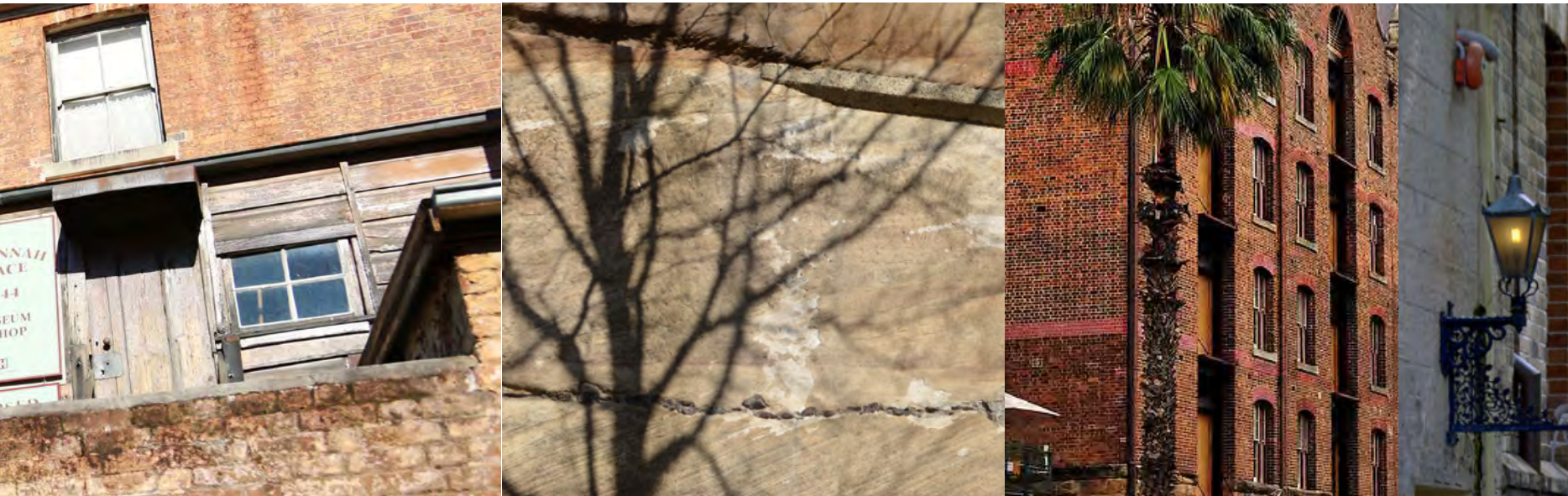
Bronze / Perforated Metal Screens

The upper set back levels of the scheme present a contemporary insertion of operable perforated bronze screens. Their pattern of use and the deep recesses behind the shutters,

where balconies lie, will bring a human, fine grain scale to the smooth face of the facade. Movement and depth will also be enhanced by the perforation patterns, which will vary across the panels.

White Ceramic / Aluminium

The commercial use component of the scheme is designed as a separate building with a distinctly different materiality reflecting a contemporary and elegant counterpoint to the residential portions of the building. The white translucent facade will contrast with the rich, textured frontages of the remainder of the streetscape, a silent backdrop. Slimline blinds and ceramic frits will create subtle texture within the glass.



Existing



EXTERNAL COLOUR SCHEME

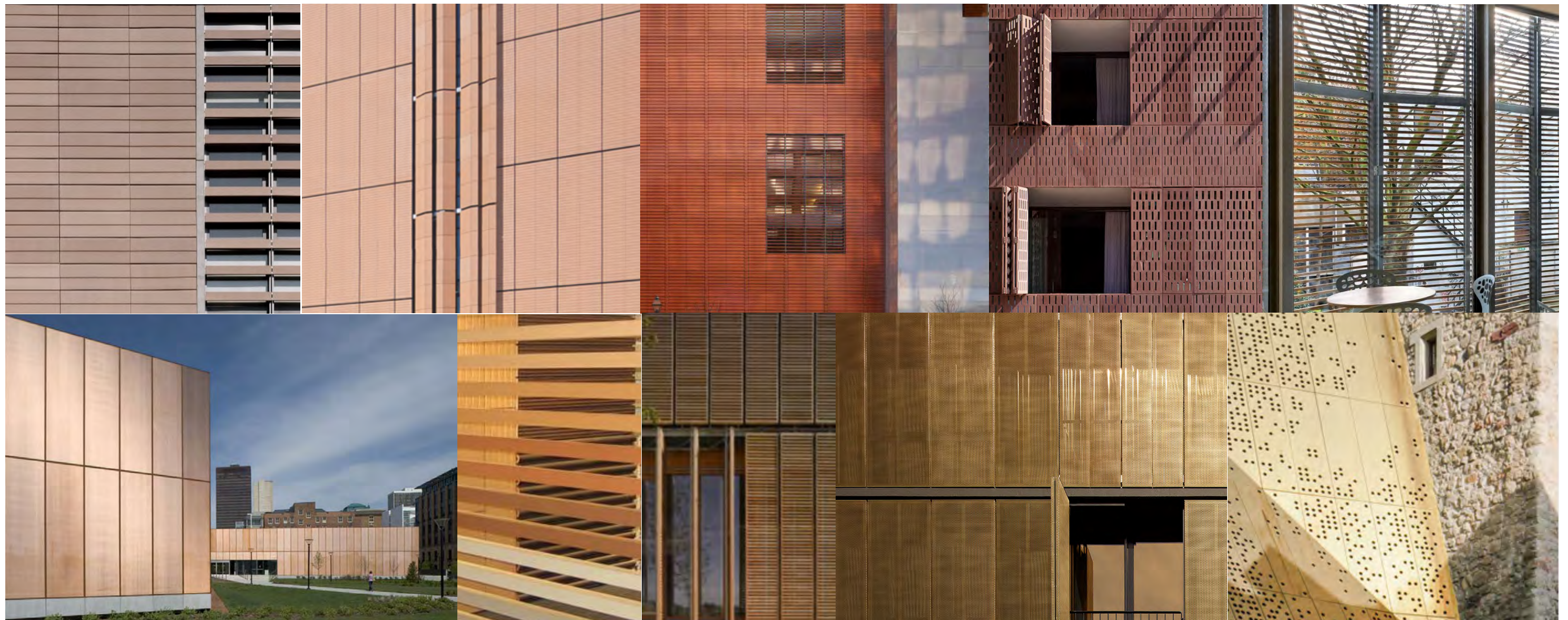
1. Commercial Tower Main Facade [AL1]
 - Aluminium Powder Coating 1
2. Penthouse Screen 1 [SC1]
 - Perforated Screen 1
3. Apartment Louvre Type 1 [TC1]
 - Terracotta Screen 1
4. Apartment Louvre Type 2 [TC2]
 - Terracotta Screen 2
5. Roof Cladding [P1]
 - Paint Colour 1
6. Penthouse Screen 2 [SC2]
 - Perforated Screen 2
7. Apartment Frame [ST1]
 - Stone 1
8. Balcony Floor Finish [PAV3]
 - Pavement 3
9. Apartment Frame Soffit [TIM]
 - Timber Composite Panel
10. Ground Floor Retail Frame [ALP]
 - Aluminium Composite Panel
11. Commercial Tower Frame [AL2]
 - Aluminium Powder Coating 2
12. Landscape Feature Band [PAV1]
 - Pavement 1
13. Landscape Pavement [PAV2]
 - Pavement 2
14. Ground Floor Retail Cladding [SS1]
 - Sandstone 1
15. Landscape Feature Cladding [SS2]
 - Sandstone 2
16. Apartment Louvre Type 3 [TC3]
 - Terracotta Screen 3

fjmt

			2		5	6	
			3			8	9
1	4		7				
10	11	12	13	14	15		



Proposed



Formal Composition

4.4 Formal Composition

The richness and variation of scale evident in the Rocks is reflected in the new scheme. Whilst the site is comparatively large, the scheme divides the elevation into 3 distinct buildings which are further articulated and honed to the local streetscape rhythm.

Block 1.

The larger building (Block 1) mass rises up towards the city with its highest component, a slim commercial tower, facing towards the towers of the CBD. Composed of over 10 distinct elements, the scheme has a clear base, middle and top, as well as horizontal variation and rhythm.

The base offers transparency and activity to the street and a sense of the cut sandstone which typifies the rocks North-South streets. Two storeys of activity will enliven Harrington Street with views to the retail / food and beverage interiors and by the setback zone which allows for street side dining and seating. Lobbies and driveway create a clear division between the retail elements breaking down the shop front into smaller parts.

The primary street aligned facade is divided into 4 modules which reflect the width and proportion of adjacent heritage buildings, each with a deeply recessed portal crown which brings greater dimension and contrast to the composition, also acknowledging the height datum of the adjacent building.

The 3 storey set back penthouse zone reads as a 2 storey element, as the first penthouse level is recessed and hidden by the portal parapet balustrade and by the dropping of the facade above.

To the north, the penthouse height datum drops to acknowledge the lower scale of the Rocks and the proximity of the heritage Bakers Terraces.

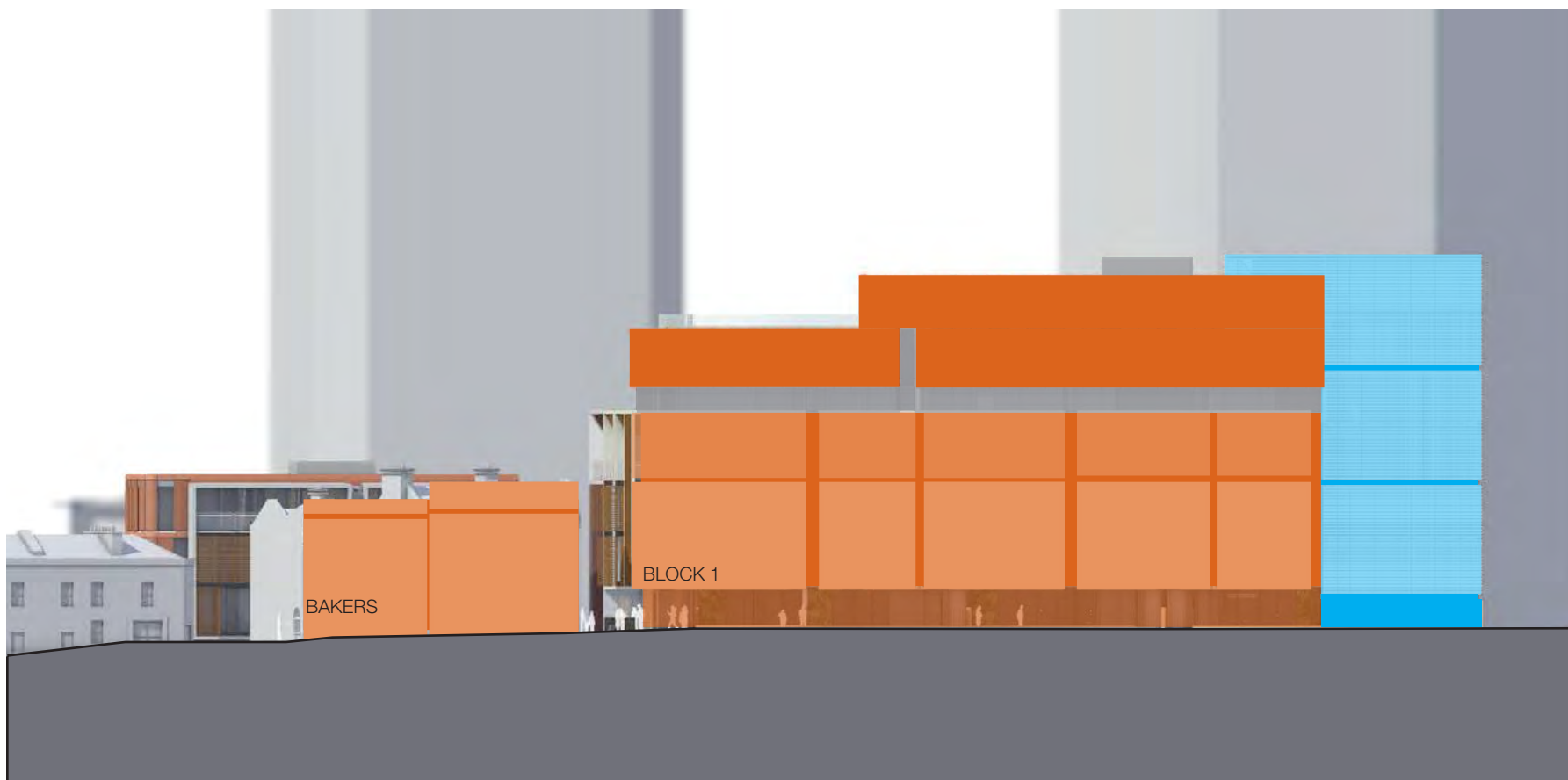
Block 2.

Block 2 is divided from Block 1 by a generous new public stair which connects Globe and Harrington Streets with Cambridge and Gloucester Streets. This smaller building provides a transition in scale to the north as well as acknowledging the need for a lower scale frontage to the newly created Cambridge Place. Similar articulation is used to Block 1 including breaking the street aligned facade into 2 modules reflecting the local scale. There is also a clear base, middle and top to the composition. Materiality and texture within the facade will vary to Block 1 but there will be a unity to the composition.

The base of this building provides a tenancy for neighbourhood facing commercial space and therefore adopts a lower ground level height in comparison to the double height retail space in Block 1.



HARRINGTON STREET FORMAL COMPOSITION



GLOUCESTER STREET COMPOSITION