



Accessibility Review Report – SSDA

Project Title: Crescent Parklands
1 Crescent Street, Holroyd

Job Number: 22626

Date: 1 October 2025

Prepared For: Tiberius (Holroyd) Pty Ltd (as trustee for the Holroyd Unit Trust)

Report Version: 22626_ADR_SSDA_v1.2

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Report	Revision	Date	Details
Draft	1.0	09 September 2025	For Review & Comment
Draft	1.1	17 September 2025	Updated for Review & Comment
Final	1.2	01 October 2025	For Submission

ACCESSIBILITY DESIGN REVIEW

PROJECT: Crescent Parklands

ADDRESS: 1 Crescent Street, Holroyd

1.0 INTRODUCTION

This Accessibility report has been prepared on behalf of Tiberius (Holroyd) Pty Ltd in association with a State Significant Development Application (**SSDA**) for a proposed mixed-use development at 1 Crescent Street, Holroyd (**the site**).

The report responds to matters raised by the Department of Planning, Housing and Infrastructure (**DPHI**), Cumberland City Council, other State government authorities /agencies, utility service providers and the community during public exhibition of SSD-70283710.

The report also assesses the proposed amendments to the original proposal, including changes to the following:

- Stage A – Mixed use podium, Buildings 1 to 3 and supporting infrastructure
- Stage B – Buildings 4 and 5 and supporting infrastructure
- Stage C – Buildings 6 and 7 and supporting infrastructure

The proposed changes extend beyond minor refinements which can be accommodated via a Submissions Report. As a result, a combined Submissions and Amendment Report has been prepared and consent sought from DPHI to amend the SSDA as per section 37 of the *Environmental Planning and Assessment Regulation 2021* (**the Regulation**).

To understand the cumulative impact of the above design refinements, the project description has been updated to reflect the proposed amendments to the scheme as originally lodged with DPHI for assessment.

The amended description is provided as follows:

- Site establishment works, tree removal, site preparation, earthworks and excavation, services augmentation, and remediation works.
- Development of seven residential buildings comprising four shop top housing buildings and three residential flat buildings as outlined below:
 - Buildings 1-3 are integrated with an eastern mixed-use podium building, while Building 4 is situated above mixed residential / commercial space, offering shop-top housing.
 - Buildings 5-7 consist of residential flat buildings.
- Delivery of 15% of the total floor space as affordable housing to be distributed across each of the 7 residential buildings, or within a consolidated building proposed proportionately as buildings are developed.
- Approximately 134,208 m2 total floor space comprising:
 - A total of 2,496 m2 retail GFA and approximately 2,710 m2 commercial GFA.
 - 1,374 residential apartments

- Communal amenity facilities for residents.
- Building services areas.
- Activation of Crescent Street through a mix of amenity areas and pockets of open space.
- Shared car parking for Buildings 1 to 3 and the commercial and retail tenancies within the podium.
- Shared car parking for Buildings 4 to 7 within the above ground parking structures adjoining Buildings 4 to 5 and 6 to 7.
- Landscaping and accompanying place making works including:
 - Public open space, hard and soft landscape works.
 - Ground and rooftop communal open space.
 - Publicly accessible through-site links.
 - At grade car parking for the park, forecourt and retail areas.
 - Vehicle access via a new internal publicly accessible road and vehicle accessway.
 - New pedestrian footpaths and access arrangements to the site.
 - Café tenancy within park-side structure.
- Staged completion of a public park.
- Associated works involving the widening of Crescent Street and upgrades to the Crescent Street and Woodville Road intersection.

Table 1 below identifies the relevant matters raised by DPHI / Cumberland City Council in specific relation to accessibility measures and sets out the Applicant's response to these submissions.

Table 1 Applicant Response to Submissions

No.	Issue Raised	Applicant Response	Refer to Section of Report
1	The lobby servicing building 7 provides a 'lift' refer to blue highlight below. It is unclear if this is a chair lift and if a ramp is also provided to access the 'lobby' area. The use of 'chair lifts are generally not supported and the Department should consider alternatives such as an access ramp to allow access for people with a disability.	Cl. E3D7 of the BCA permits the use of vertically travelling low-rise platform lift which does not travel more than 1000mm in vertical height. Within these building lobbies the vertical height difference travelled is less than 1000mm, meeting compliance with BCA. Refer below vertical travel of lifts – ➤ Building 5: 400mm ➤ Building 6: 400mm ➤ Building 7: 900mm.	Table E3D7 of Section 2.0 of the report.

- | | | | |
|---|--|---|------------------------------|
| 2 | <p>Further to the above, the Accessibility Review Report – SSDA dated 22 November 2024 states that buildings 4, 5 and 6 and 7 are identified as non-accessible entrances and will need to be addressed via a Performance Solution report. This should be addressed at the SSDA stage to avoid ‘chair lifts’.</p> | <p>An accessway to the entrances of Building 6 & 7 are now provided with the report. an accessible path of travel.</p> <p>The external pedestrian path of travel linking Crescent Street to Building 4 is proposed with the use of stairs (<i>refer red arrow in Figure 1 below</i>) due the the aggressive external height differences. This is a technical compliance departure to the BCA which will be requires to be addressed via Performance Solution Report.</p> <p>An accessway to the building is still provided via the adjacent external pedestrian pathways from Crescent Street as identified in green below.</p> | Table D4D3 of Section 2.0 of |
|---|--|---|------------------------------|

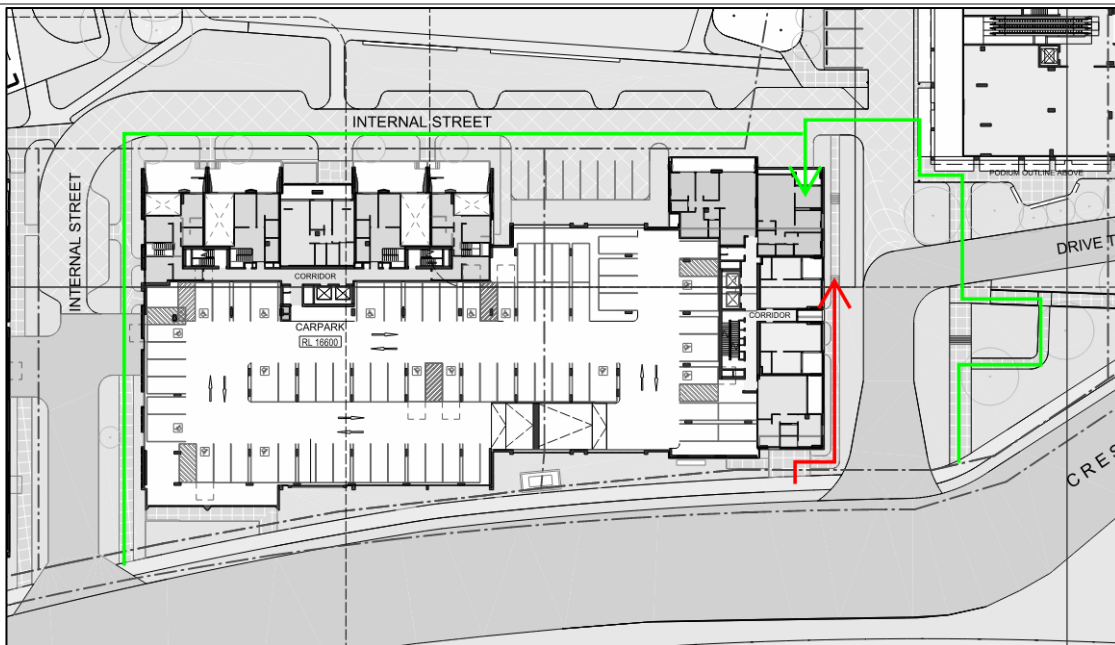


Figure 1 – Accessway to Stage B – Building 4 from Crescent Street.

- | | | | |
|---|--|----------|-----------|
| 3 | <p>Provide amended plans which address the Accessibility Review Report comments that Buildings</p> | As above | As above. |
|---|--|----------|-----------|

4, 5, 6 and 7 include non-accessible entrances in the current design. Also address Council's

comments about the inappropriate use of chair-lifts and the dislocation of the lowest residential

levels from adjoining footpaths.

1.1 Project Information & Classification

It is understood the following Building Code of Australia 2022 Amendment 2 building classification(s) apply to the subject building / building part (to be confirmed by the BCA Consultant / PCA) –

Stage A		
Level/Building Part	Building Classification	Use
Ground Floor	Class 6/ Class 7a	Retail/ Carpark
Level 1	Class 5/ Class 7a	Commercial/ Carpark
Level 2	Class 2/ Class 7a	Residential Apartments/ Carpark
Level 3 – 7	Class 2/ Class 7a	Residential Apartments / Carpark
Level 8	Class 2/ Class 10b	Residential Apartments/ Swimming Pool
Level 9 – 36	Class 2	Residential Apartments
Stage B		
Level/Building Part	Building Classification	Use
Lower Ground – Ground Floor	Class 2/ Class 6/ Class 7a	Residential Apartments/ Commercial/ Carpark
Level 1 – 3	Class 2/ Class 7a	Residential Apartments / Carpark
Level 4 – 19	Class 2	Residential Apartments
Stage C		
Ground Floor – Level 3	Class 2/ Class 7a	Residential Apartments / Carpark
Level 4 – 22	Class 2	Residential Apartments

1.2 Purpose of the Report

Tiberius (Holroyd) Pty Ltd (as trustee for the Holroyd Unit Trust) engaged the services of ABE Consulting as Accessibility Consultants for this project to undertake an assessment of the proposed design documentation in relation to the accessibility related requirements as identified in Part 1.3 of this report for submission to the Principal Certifying Authority as part of the Development Application documentation.

1.3 Report Scope

This report provides an Accessibility Design Review of the relevant project architectural documentation in the context of the following –

- Part D4, Clause E3D7, E3D8, F4D5, F4D6, F4D7, F4D12 & G7 ‘deemed-to-satisfy’ (DtS) requirements of Building Code of Australia 2022 Amendment 2 (BCA);
- The Disability (Access to Premises – Buildings) Standards Amendment (2024 Measures No. 1) Standards 2024.

This Accessibility Design Review is based on –

- Architectural design documentation prepared by Woods Bagot, Project No. 121784 as follow –

Dwg#	Title	Date – Issue
CP-AR- -0-12LG	Overall Plan Lower Ground	19.09.2025 – E
CP-AR- -0-1201	Overall Plan Level 01	19.09.2025 – E
CP-AR- -0-1202	Overall Plan Level 02	19.09.2025 – E
CP-AR- -0-1203	Overall Plan Level 03	19.09.2025 – E
CP-AR- -0-1204	Overall Plan Level 04	19.09.2025 – E
CP-AR- -0-1208	Overall Plan Level 08	19.09.2025 – E
CP-AR- -0-1210	Overall Plan Level 10	19.09.2025 – E
CP-AR- -0-1218	Overall Plan Level 18	19.09.2025 – E
CP-AR- -0-1219	Overall Plan Level 19	19.09.2025 – E
CP-AR- -0-1221	Overall Plan Level 21	19.09.2025 – E
CP-AR- -0-1224	Overall Plan Level 24	19.09.2025 – E
CP-AR- -0-1236	Overall Plan Level 36	19.09.2025 – E
CP-AR- -0-1237	Overall Plan Level 37	19.09.2025 – E
STAGE A		
CP-AR- -1-22LG	Lower Ground Floor Plan	19.09.2025 – F
CP-AR- -1-2200	Ground Floor Plan	19.09.2025 – G
CP-AR- -1-2201	Level 1	19.09.2025 – E
CP-AR- -1-2202	Level 2	19.09.2025 – E
CP-AR- -1-2203	Level 3	19.09.2025 – E
CP-AR- -1-2204	Level 4	19.09.2025 – E
CP-AR- -1-2205	Level 5	19.09.2025 – E
CP-AR- -1-2206	Level 6	19.09.2025 – E
CP-AR- -1-2207	Level 7	19.09.2025 – E
CP-AR- -1-2208	Level 8	19.09.2025 – E
CP-AR- -1-2209	Level 9 – 26	19.09.2025 – E
CP-AR- -1-2227	Level 27 – 33	19.09.2025 – E
CP-AR- -1-2234	Level 34	19.09.2025 – E
CP-AR- -1-2235	Level 35	19.09.2025 – E
CP-AR- -1-2236	Level 36	19.09.2025 – E
CP-AR- -1-2237	Level 37	19.09.2025 – E
STAGE B		
CP-AR- -2-22LG	Lower Ground Floor Plan	19.09.2025 – F
CP-AR- -2-2200	Ground Floor Plan	19.09.2025 – F
CP-AR- -2-2201	Level 1	19.09.2025 – F
CP-AR- -2-2202	Level 2	19.09.2025 – F

CP-AR- -2-2203	Level 3	19.09.2025 – F
CP-AR- -2-2204	Level 4	19.09.2025 – F
CP-AR- -2-2205	Level 5 – 18	19.09.2025 – F
CP-AR- -2-2219	Level 19	19.09.2025 – F
CP-AR- -2-2220	Level 20	19.09.2025 – F
STAGE C		
CP-AR- -3-22LG	Lower Ground Floor Plan	19.09.2025 – E
CP-AR- -3-2200	Ground Floor Plan	19.09.2025 – E
CP-AR- -3-2201	Level 1	19.09.2025 – E
CP-AR- -3-2202	Level 2	19.09.2025 – E
CP-AR- -3-2203	Level 3	19.09.2025 – E
CP-AR- -3-2204	Level 4	19.09.2025 – E
CP-AR- -3-2211	Level 5 – 21	19.09.2025 – E
CP-AR- -3-2222	Level 22	19.09.2025 – E
CP-AR- -3-2223	Level 23	19.09.2025 – E
ADAPTABLE		
CP-AR - 2-8142	Building 4 Unit Layouts 2 Bedroom	19.09.2025 – D
CP-AR - 2-8153	Building 5 Unit Layouts 3 Bedroom	19.09.2025 – D
CP-AR - 3-8164	Building 6 Unit Layouts 3 Bedroom	19.09.2025 – D
CP-AR - 3-8172	Building 7 Unit Layouts 2 Bedroom	19.09.2025 – D
CP-AR - 3-8173	Building 7 Unit Layouts 3 Bedroom	19.09.2025 – D
CP-AR -1-8111	Building 1 Unit Layouts 1 Bedroom	19.09.2025 – D
CP-AR -1-8112	Building 1 Unit Layouts 2 Bedrooms	19.09.2025 – D
CP-AR -1-8122	Building 2 Unit Layouts 2 Bedrooms	19.09.2025 – D
CP-AR -1-8132	Building 3 Unit Layouts 2 Bedrooms	19.09.2025 – D

- The Building Code of Australia 2022 Amendment 2 prepared by the Australian Building Codes Board.
- The Guide to the BCA 2022 Amendment 2, prepared by the Australian Building Codes Board.
- The Disability (Access to Premises – Buildings) Standards Amendment (2024 Measures No. 1) Standards 2024.
- Australian Standards AS 1428.1-2021 - Design for Access and Mobility - Part 1: General requirements for access - New building work.
- Australian Standards AS/NZS 2890.6-2009 – Off-street parking for people with disabilities.
- Australian Standards AS/NZS 1428.4.1-2009 - Design for Access and Mobility - Part 4.1: Means to assist the orientation of people with vision impairment – Tactile ground surface indicators.
- Australian Standards AS1735.12-1999 - Lifts, escalators and moving walks, Part 12: Facilities for persons with disabilities.
- Australian Standards AS4299-1995 – Class C adaptable housing units.
- Cumberland Council DCP 2021 – Part B5 Adaptable Housing & Housing Mix – 2.1 Adaptable Housing.

1.4 Limitations of the Report

The Disability Discrimination Act (DDA - 1992) is Federal Government legislation enacted in 1993 that seeks to ensure all new building infrastructure, refurbishments, services and transport projects provide functional, equitable and independent accessibility. The DDA is complaints based legislation, which is administered by the Australian Human Rights Commission (AHRC). For any built environment the key requirement of the DDA is to ensure functionality, equity and independence of movement by people with disabilities, their companions, family and carer givers.

A key component of compliance to the DDA is the use of the Disability (Access to Premises - Buildings) Standards Amendment (2024 Measures No. 1) Standards 2024, Part D4, Clause E3D7, E3D8, F4D5, F4D6, F4D7 & F4D12 of the Building Code of Australia 2022 Amendment 2 (BCA) and the relevant referenced standards primarily being Australian Standards Suite AS1428 and Australian Standards AS2890.6 – Off-street parking for people with disabilities. The AS 1428 series details technical requirements related to design for access and mobility.

The Building Code of Australia adopted key accessibility and DDA legislation into the 2011 BCA. In particular adherence to the Access to Premises Standard (2024); AS1428.1 2021; AS1428.4.1 2009 and AS2890.6 2009 has become mandatory. However, compliance with these elements does not necessarily result in compliance with the Disability Discrimination Act if the elements of equality, independence and functionality remain compromised within an environment.

This report does not include or assess the following –

- The provisions of the BCA not directly referenced in Part 1.3 of this report;
- Standards not directly referenced in this report; including AS4299-1995 (Adaptable Housing) unless otherwise explicitly specified in Part 1.3 of this report;
- Disability Discrimination Act 1992 (as explored earlier);
- Federal / State / Local planning policies and/or guidelines unless otherwise explicitly specified in Part 1.3 of this report;
- Work Health & Safety considerations or Work Cover Authority requirements;
- This report does not provide any performance based assessments (Performance Solutions) of the BCA;
- This report does not provide any exemptions from the requirements of the BCA.
- This report is not a Part 4A compliance certificate under the Environmental Planning & Assessment Act 1979 or Regulation 2000;
- Review or specification of slip-resistance classification(s) for floor surface finishes / materials. We recommend surface finish advice be sought from an independent specialist slip safety consultant.

1.5 The Disability (Access to Premises – Building) Standards Amendment (2024 Measures No. 1) Standards 2024

The Disability (Access to Premises - Buildings) Standards Amendment (2024 Measures No. 1) Standards 2024 provides the prescriptive requirements set out regarding the upgrade of an existing building where works are being undertaken.

The Premises Standards apply to:

- a new building
- a new part of an existing building
- the *affected part* of an existing building.

The new parts of a building and any subsequent affected part are outlined as per the below extracts of The Disability (Access to Premises - Buildings) Standards Amendment (2024 Measures No. 1) Standards 2024 –

New Part:

A part of a building is a **New Part** of the building if it is an extension to the building or a modified part of the building about which:

- *An application for approval for the building work is submitted, on or after 1 May 2011, to the competent authority in the state or territory where the building is located; or*
- *All of the following apply:*
 - i. *The building work is carried out for or on behalf of the Crown;*
 - ii. *The building work commences on or after 1 May 2011;*
 - iii. *No application for approval for the building work is submitted, before 1 May 2011, to the competent authority in the state or Territory where the building is located.*

Affected Part:

- *the principal pedestrian entrance of an existing building that contains a new part and*
- *any part of an existing building that contains a new part, that is necessary to provide a continuous accessible path of travel from the entrance to the new part.*

Furthermore, Part 4 of the Disability (Access to Premises - Buildings) Standards Amendment (2024 Measures No. 1) Standards 2024 sets out applicable exceptions and concessions. In this instance the following lessee concession is provided –

Lessees:

If the lessee of a *new part* of a building submits an application for approval for the building work, the following people do not have to ensure that the *affected part* of the building complies with these Standards:

- The building Certifier;
- The building developer;
- The building manager.

Building is considered to be a new development, therefore, an “affected part” is not triggered as part of the works. New works will be completed in-line with BCA requirements in relation to accessibility Clauses.

2.0 ACCESSIBILITY DESIGN REVIEW

The following tables provide an assessment of the architectural design documentation in relation to the DtS provisions of the BCA / Premises Standards in the context as outlined in Part 1 of this report.

The tables identify each of the relevant assessment outcomes into six (6) main categories, as follows –

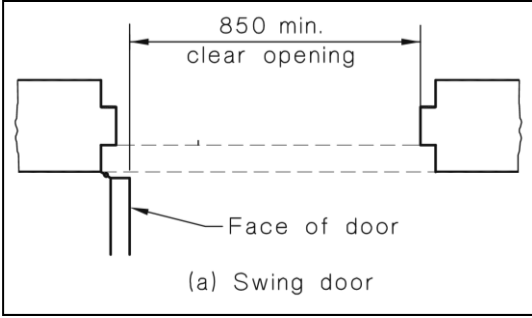
<u>Capable of Complying (CoC) –</u>	Spatial allowance has been made to accommodate compliance where the specification provided has been satisfied.
<u>Compliance Departure (CD) –</u>	A compliance departure with the DtS provisions of the BCA.
<u>Design Detail (DD) –</u>	A detail commentary/specification is offered within the report.
<u>Performance Solution (PS) –</u>	A Performance Solution Report is being pursued to justify the compliance departures
<u>Not Applicable (N/A) –</u>	Not applicable or not relevant to the project. Commentary provided.
<u>Informational (Info) –</u>	Provided for informational purposes

Interpretation Note(s) –

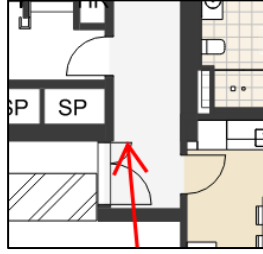
- Readily moveable furniture has been treated as indicative only unless otherwise noted within the report as it is not considered to form part of the building as addressed by the BCA.

BCA Part D4 – ACCESS FOR PEOPLE WITH DISABILITIES

Cl. D4D2: General building access requirements

DtS Provision	Comment(s)/Recommendation(s)	Status
Buildings and parts of the building must be accessible as required by D4D2 (Table D3.1 - 2019), unless exempted by D4D5. D4D2 requires that access is provided – <u>Class 2 –</u> - From a pedestrian entrance required to be accessible to at least 1 floor containing sole-occupancy units and to the entrance doorway of each sole-occupancy unit located on that level. - To and within not less than 1 of each type of room or space for use in common by the residents, including a cooking facility, sauna, gymnasium, swimming pool, common laundry, games room, individual shop, eating area, or the like. - Where a ramp complying with AS 1428.1 or a passenger lift is installed— a) to the entrance doorway of each sole-occupancy unit; and b) to and within rooms or spaces for use in common by the residents, located on the levels served by the lift or ramp. <u>Class 5 & 6 –</u> - To and within all areas normally used by the occupants. <u>Class 7a –</u> - To and within any level containing accessible carparking spaces. <u>Class 10b –</u> - To and into swimming pools with a total perimeter greater than 40 m, associated with a Class 1b, 2, 3, 5, 6, 7, 8 or 9 building that is required to be accessible, but not swimming pools for the exclusive use of	Access is generally proposed throughout the required portions of the building as prescribed by Cl. D4D2 of the BCA. Further review of detailed building elements will be required as the design progresses. <u>Doorways</u> All doorways along an accessway are required to have a clear door opening width no less than 850mm clear and be provided with door circulation spaces as prescribed by AS1428.1-2021.  Generally common use doorways are afforded with a minimum 850mm clear door opening width. <u>Compliance Departure:</u> Due to obstructions, placement of door or reduced width of corridor latch-side clearances and circulation spaces at the following doorways are reduced. The following doorways are identified: <u>Issue 1:</u> Building 4-5: Level 1 - 3: Side approach to doorway from carpark is only provided with a 1600mm clearance in lieu of a 1670mm width.	CD & DD

occupants of a Class 1b building or a sole-occupancy unit in a Class 2 or Class 3 building.

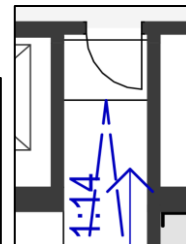
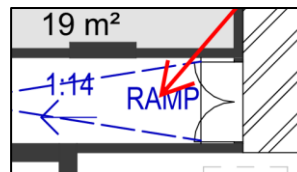


Corridor to be widened to a 1670mm clearance.

To be redesigned to achieve compliance during detail design stage.

Issue 2:

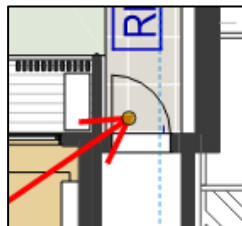
Building 6-7: Level GF: Front door approach to both doorways from ramps lack a minimum 1450mm clearance between the ramp and doorway (handrails are not permitted to cause an obstruction to the door circulation space).



To be redesigned to achieve compliance during detail design stage.

Issue 3:

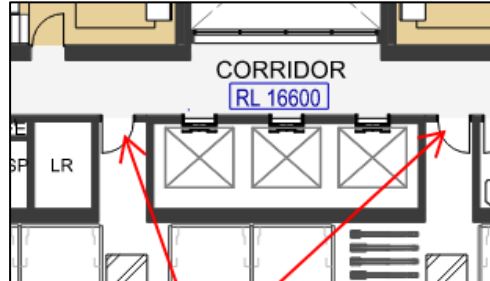
Building 6-7: Level GF: doorway between lobby and external area lacks a 530mm latch-side clearance to both approaches of the doorway.



To be redesigned to achieve compliance during detail design stage.

Issue 4:

Building 6-7: Level 1-3: Doorways (x2) between lobby and carpark lacks a 530mm latch-side clearance to both approaches of the doorway.



To be redesigned to achieve compliance during detail design stage.

Detail Design:

Generally, compliance has been observed, however in a few instances, doorways are provided with nil tolerance to doorway circulation spaces as prescribed in AS1428.1-2021. Examples of these doorways include:

- Garbage rooms.
- Building Managers Office Door Ground Floor.

It is recommended that as the design progresses that tolerance is applied to door latch-side clearances.

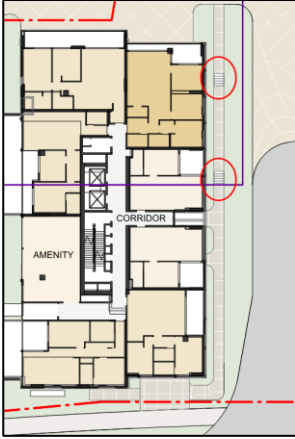
Design Detail –

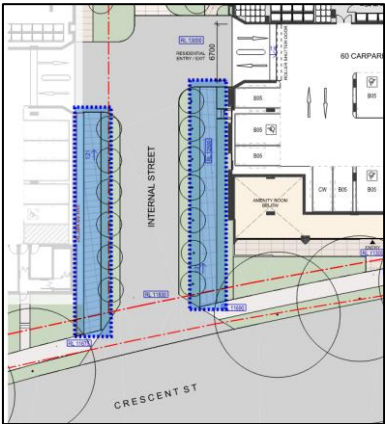
The following items shall be specified and installed to comply with AS1428.1-2021 –

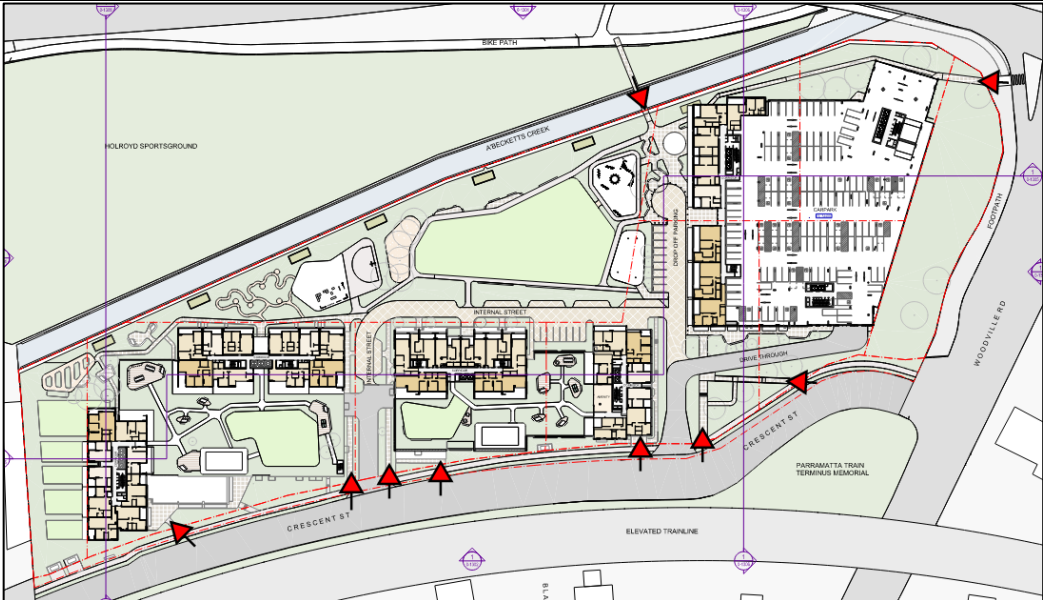
- All floor surface materials comply with the material, profile, abutment and design tolerances of AS1428.1-2021 including BCA Cl. D4D4 (g) & (h) for carpets.
- All doorways along an accessway are required to have a clear door opening width no less than 850mm clear and be provided with door circulation spaces as prescribed by AS1428.1-2021.

	• All accessway will need to have the prescribed circulation and landing areas as outlined in AS1428.1-2021. • Walkways are to have a complying abutment as prescribed in AS1428.1-2021. • Ramps and stairways are to comply with clause D4D4 of the BCA and AS1428.1-2021.	
	<u>Access between areas</u> Access is required to and within all areas normally used by the occupants (excluding areas that are unsafe or unsuitable for everyday access, refer D4D5 exemptions). Access is indicated as being provided to and within all part of the building. An accessway is identified as being provided to all areas of the development as required by the BCA. Further review will be required during the detailed design stage of the project.	CoC & DD
	<u>Paths of travel</u> All pathways require a minimum unobstructed width of 1000mm. Pathways shall not include impediments such as steps or turnstiles without an accessible alternative provided. Circulation spaces prescribed by AS1428.1-2021 are required at changes in direction and other circumstances may require a greater width than 1000mm. The following summary of AS1428.1-2021 requirements for accessways is provided to assist the project team during specification/construction. <u>Design Detail:</u> Verification of slip resistant surface finishes on all accessways should be provided prior to OC sign off. It is recommended to refer to HB-198 for area ratings and test in accordance with AS4586-2013.	CoC & DD

Cl. D4D3: Access to Buildings

DtS Provision	Comment(s)/Recommendation(s)	Status
An accessway must be provided to a building required to be accessible – - from the main points of pedestrian entry at the allotment boundary; and - from another accessible building connected by a pedestrian link; and - from any required accessible carparking space on the allotment. In a building required to be accessible, an accessway must be provided through the principal pedestrian entrance, and – - through not less than 50% of all pedestrian entrances including the principal pedestrian entrance; and - in a building with a floor area more than 500m², a pedestrian entrance which is not accessible must not be located more than 50m from an accessible pedestrian entrance. except for pedestrian entrances serving only areas exempted by D4D5.	<u>Allotment Boundary</u> The development is bound by 2x street frontages being: - Crescent Street; - Woodville Road; and - A link bridge across A’becketts Creek (<i>to be confirmed with the bridge is part of our allotment or public domain works</i>). The entrances off the street frontage has been identified in the below figure at the end of this table. <u>Performance Solution:</u> BCA requires an accessway to be provided from the main points of pedestrian entry off the allotment boundary. 1x entrances off the Crescent Street frontage is not provided with an accessway due to the use of stairway access (as identified within Table 1 of this report) - Buildings 4 + 5 – Stairway Access only on right hand side of building. This issue will be captured via a Performance Solution report on the basis of the adjacent pathways will provide ample access from the allotment boundary of Crescent Street.  <u>Compliance Departure:</u> - A’becketts Creek bridge confirm whether this feature is part of the	CD & DD

	clients allotment or whether this is part of council's public domain. If part of the clients allotment, these feature will be required to achieve compliance with AS1428.1-2021. Pathways along the side of Stages B & C are indicated with pathways which do not meet AS1428.1-20021 compliance.  To be redesigned to achieve compliance during detail design stage. Further review of detailed building elements will be required as the design progresses.	
	<u>Other Accessible Buildings</u> A number of internal pathways are proposed throughout the site which link all buildings and all street frontages and external common use features. Drawings indicate that the internal pathways between all buildings link at an RL of 13000. The pedestrian link between buildings required to be accessible is to achieve compliance with AS1428.1-2021. Further review of detailed building elements will be required as the design progresses.	CoC
	<u>Accessible Parking</u> Accessible parking spaces are proposed within basement/ carparking areas of the development.	CoC

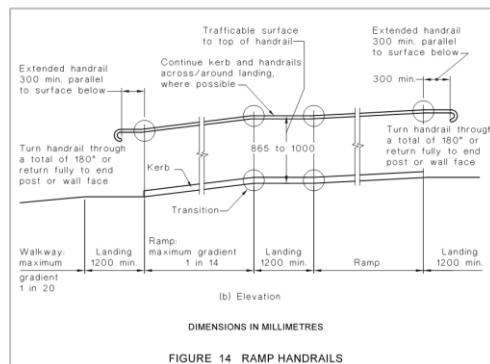
	Multiple passenger lifts are provided providing access between accessible parking spaces and buildings.	
	<u>Principal Pedestrian Entrances (Building)</u> Pedestrian entrance to all building parts (residential lobby's, retail, commercial lobbies) are capable of achieving compliance with AS1428.1-2021. <u>Detail Design:</u> Entrances are to be provided with doorways and circulation spaces complying with AS1428.1-2021. Further review of detailed building elements will be required as the design progresses. Further review will be required during the detailed design stage of the project.	CoC
 The diagram is a detailed site plan for a development. It shows several building footprints, some with internal room layouts. A large parking area is located to the right of the buildings. The site is bounded by Crescent St to the south and Abbeckett Creek to the north. Other features include the Parramatta Train Terminus Memorial, an elevated trainline, and various pedestrian paths and ramps indicated by red arrows. The plan also shows surrounding areas like the Holroyd Sportsground and Woodville Rd.		

Cl. D4D4: Parts of buildings to be accessible

DtS Provision	Comment(s)/Recommendation(s)	Status
In a building required to be accessible every ramp and stairway, except for ramps and stairways in areas exempted by D4D5, must comply with –		
for a ramp, except a fire-isolated ramp, clause 7 of AS 1428.1; and	All non-fire-isolated ramps are required to comply with AS1428.1-2021. A number of ramps are indicated throughout the development. <u>Compliance Departure:</u> Drawings indicate ramps within Stages B & C Ground Floor carpark. Ramps lack clearances at upper and lower landings. Clearances at landings are to achieve compliance with AS1428.1. To be redesigned to achieve compliance during detail design stage. <u>Compliance Departure:</u> Drawings indicate walkways which are identified with intervals between landings exceeding 15m. To be redesigned to achieve compliance during detail design stage. <u>Design Detail –</u> - Ramp construction – key details from AS1428.1-2021: - Ramps to be setback from boundary lines – minimum 900mm; - Ramps to be setback from internal corridor junctions – minimum 400mm; - Ramp gradient to be consistent throughout the ramp (1:14-1:19 for access ramps). Note step ramps gradients are permitted to be 1:10 and kerb ramps 1:8 as per AS1428.1-2021;	CD & DD

- Ramp width must be a minimum 1m (note additional width is required for landings and turning/circulation areas);
- Ramps must have sharp transitions at the landings;
- Landings to be provided at the top and bottom of the ramp (1200mm if in the direction of travel or 1500mm if there is a change in direction);
- Mid-landings to be provided at the specified internals (min 1200mm long in the direction of travel or 1540mm wide to allow a 180 degree turn).
- Maximum run for a 1:14 ramp is 9m before a mid-landing is required;
- Ramps and landings must be slip resistant as per clause D2.14 of the BCA;
- Handrails and kerb rails to be provided as per AS1428.1-2021;
- Handrails must not encroach into circulation areas; and
- Tactile indicators to be provided as per clause D4D9 of the BCA and AS/NZS1428.4.1-2009.

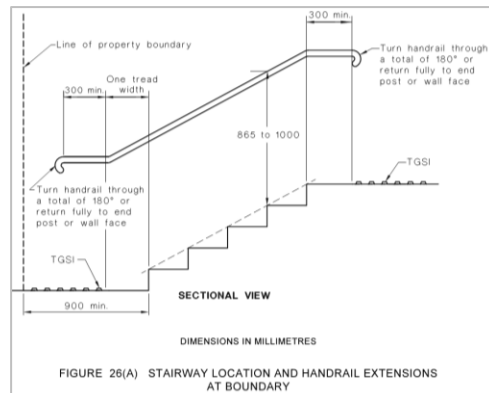
Refer to figure below from AS1428.1-2021 (Figure 14):

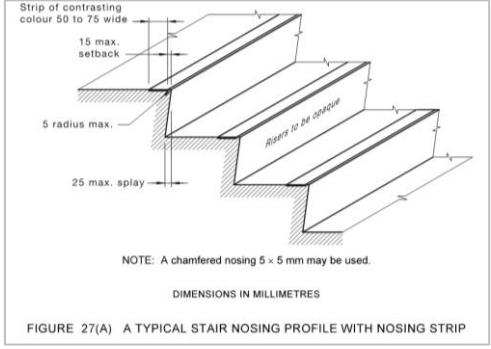


- Walkway construction – **key** details from AS1428.1-2021:
 - Walkways must be a minimum 1m wide (note additional wide is required for turning and passing spaces);

	○ Curved walkways must be a minimum 1500mm wide; ○ Allowance for passing bays, 180 and 90 degree turning space is required as per the clause D4D4 of the BCA and AS1428.1-2021. ○ Walkway gradient to be consistent throughout (1:20-1:33). ○ Walkways must have sharp transitions at the landings; ○ Landings to be provided at the top and bottom of the walkways (1200mm if in the direction of travel or 1500mm if there is a change in direction); ○ Mid-landings (min 1200mm long) to be provided at the specified internals. Maximum run for a 1:20 walkway is 15m before a mid-landing is required; and ○ Compliant walkway abutment to be provided as prescribed in AS1428.1-2021. Further review of external ramps are to be developed as the design progresses.	
• for a stairway, except a fire-isolated stairway, clause 8 of AS 1428.1; and	All non-fire-isolated stairways are required to comply with AS1428.1-2021. The following stairways are identified as being subject to this requirement: • Open stairways external to the buildings. • Common area stairways within lift lobby's. Further design development and/or specification required at the Detailed Design Stage. <u>Design Detail –</u> • Single steps are not 'stairways'. Discuss the provision of a single step and any features required with the PCA/BCA Consultant. • Stairway construction – key details from AS1428.1-2021:	CoC & DD

- Refer to figures below from AS1428.1-2021
(Figures 26A and 27A):



		
for a fire-isolated stairway, clause 8.1(f) and (g) of AS 1428.1; and	Compliance is readily achievable with further design development and/or specification required at the Detailed Design Stage. <i>N.B. – Cl. D2.17(a)(vi) of the BCA is generally assessed by the PCA / BCA Consultant. Note to assist, please ensure stairways are offset one-tread width to allow for a compliant handrail design.</i>	CoC
Accessways must have— - passing spaces complying with AS 1428.1 at maximum 20 m intervals where a direct line of sight is not available - turning spaces complying with AS 1428.1 at 20m intervals or within 2m of the termination of an accessway.	<u>Internal Corridors –</u> Internal corridors are generally provided with a clear width of 1600mm. However, there are a couple of location where a wheelchair circulation space is not provided. Note – circulation space is to be provided clear of any intrusions including skirting boards or the like. <u>Compliance Departure:</u> - Wheelchair 180 degree turning spaces are not provided within base building garbage chute rooms within Building and Buildings 6-7. All garbage chute rooms are to be provided a minimum internal clear space of 1540mm x 2070mm. - Wheelchair 180 degree turning spaces are not provided within Ground Floor of the base building within Buildings 4-5. To be redesigned to achieve compliance during detail design stage.	CD & DD

	<u>Detail Design:</u> • Ground Floor of Building 1-3 amenities corridor exceeds a length of 20m without a wheelchair passing bay (2000mm x 1800mm) & a wheelchair tuning space within 2m of the end of the accessway within the amenities area. • Level 1 of Building 1-3 commercial corridor exceeds a length of 20m without a wheelchair passing bay (2000mm x 1800mm) & a wheelchair tuning space at 20m intervals. <u>External Corridors/Pathways –</u> Further design development is required of the external pathways. Ensure 180° turning spaces (1540mm x 2070mm) are provided at 20m intervals or within 2m of the termination of an accessway. Provide passing spaces (1800mm x 2000mm) at 20m intervals where a direct line of sight is not available. <u>Bin Rooms, Mail Rooms and Storage Areas –</u> Bin rooms and Storage Areas require minor design development to ensure a 180° turning spaces (1,540mm X 2,070mm) and door circulation space are provided within the bin rooms. It is noted that storage areas within the basement are provided with wheelchair turning spaces. All bins rooms (other than identified below) are provided with wheelchair tuning spaces. It is noted that Building G garbage chute rooms are drawn with nil construction tolerance.	
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Cl. D4D5: Exemptions

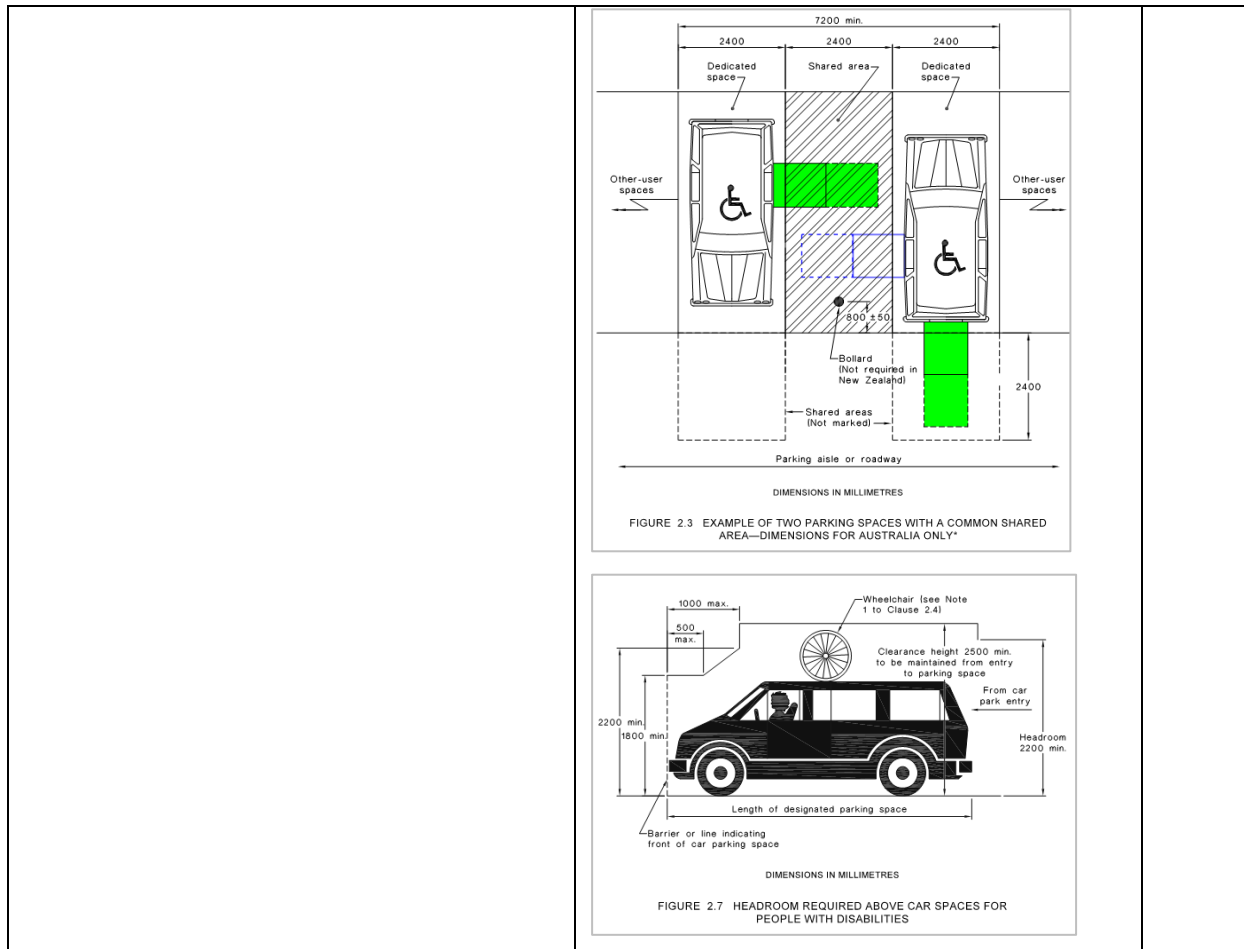
DtS Provision	Comment(s)/Recommendation(s)	Status
The following areas are not required to be accessible – • An area where access would be inappropriate because of the particular purpose for which the area is used. • An area that would pose a health or safety risk for people with a disability. • Any path of travel providing access only to an area exempted by (a) or (b).	Exemptions are to be reviewed on a case by case basis. We highlight that the following parts of the building have been offered an access exemption (not exhaustive) – - Plant & equipment room(s) - Loading Dock - Storage rooms - Fire Control - Sprinkler/ Hydrant Pump rooms - External Garden Levels 3-6 of the High-rise Building (service personnel access only)	Info

Cl. D4D6: Accessible carparking

DtS Provision	Comment(s)/Recommendation(s)	Status
Accessible carparking spaces are to be provided in accordance with Cl. D4D6 of the BCA in a Class 7a building and a carparking area on the same allotment as a building required to be accessible. Accessible carparking spaces – • are to comply with AS2890.6-2009. • need not be provided in a Class 7a building or a carparking area where a parking service is provided and direct access to any of the carparking spaces is not available to the public • need not be designated where there is a total of not more than 5 carparking spaces, so as to restrict the use of the carparking space only for people with a disability <u>Class 5, 7, 8 or 9c –</u> 1x space for every 100 carparking spaces or part thereof. <u>Class 6 –</u> 1x space for every 50 carparking spaces or part thereof.	Accessible car spaces have been provided throughout the development within the designated parking areas. The following compliance parameters are noted: <u>Class 2 Buildings/Part –</u> The BCA does not prescribe the provision of accessible carparking spaces for Class 2 buildings. The provision for “adaptable car spaces” is outlined in the Council’s Development Control Plan (DCP). We have identified that the allocated “adaptable car spaces” have been designed as “accessible car spaces” which are capable of complying with AS/NZS2890.6-2009. Council DCP requires that each adaptable apartment is allocated with an accessible parking space. A minimum 275x adaptable apartments are to be provided throughout the site, each stage is to be allocated an adaptable parking space. The project matrix is to be updated to	CD & DD

	include number of adaptable parking spaces allocated to adaptable apartments. <u>Compliance Departure:</u> A number of instances are provided where columns within accessible shared zones impact the loading and un-loading zones of the adaptable parking spaces. These columns have been identified in correspondence and will need to be relocated. The subject parking spaces are currently unable to be counted as an accessible/ adaptable parking space. <u>Performance Solution:</u> A number of adaptable parking spaces are identified with columns causing an obstruction within the shared zone. In these instances a performance solution will be required to be prepared to address this compliance departure. Address this compliance departure via a Performance Solution at CC stage. <u>Visitor Carparking –</u> The BCA does not specify any requirements for visitor car parking / accessible car spaces for visitors. This item is driven by the Council DCP requirements. Within the development visitor parking is provided. Stages A, B & C indicate accessible car spaces allocated for visitors. <u>Class 5 (Commercial) Buildings/Part –</u> Stage A indicates 6x commercial accessible parking spaces. Stage B indicates 1x commercial accessible parking spaces.	
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	<u>Performance Solution:</u> A number of commercial parking spaces are identified with columns causing an obstruction within the shared zone. In these instances a performance solution will be required to be prepared to address this compliance departure. Address this compliance departure via a Performance Solution at CC stage. <u>Class 6 (Retail) Buildings/Part –</u> Stage A indicates 8x retail accessible parking spaces. <u>Design Details –</u> • Minimum 2.2m head height clearance from the entrance to the accessible carparking spaces. • Minimum 2.5m head height clearance at the accessible carparking spaces and shared zones. Ensure any proposed mechanical ducting / services within the identified zones does not encroach on the specified height above an accessible car space. • Minimum dimensions of accessible car spaces and shared zones 5400mm x 2400mm. • Line marking, bollards and signage to be specified and comply with AS/NZS2890.6-2009. • Structural columns or other encroachment are not permitted in the accessible car space or shared zones. • Accessible car space must be on-grade and not have a fall or crossfall steeper than 1:40. • An accessway from any accessible car space must be provided to the building/passenger lift/lobby etc. Refer to key figures/extracts below from AS/NZS2890.6-2009:	
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Cl. D4D7: Signage

DtS Provision	Status
In a building required to be accessible signage complying with Spec. 15, AS1428.1-2021 and incorporating the appropriate recognised symbol (as appropriate) for persons with disability must be provided as follows — • braille and tactile signage must identify each sanitary facility and space with hearing augmentation; • braille and tactile signage must identify each door required by E4D5 to be provided with an exit sign and state “Exit” and “Level” followed by the floor level number; • signage must be provided within a room containing a hearing augmentation system identifying; the type of system, the area covered within the room and if receivers are being used and where the receivers can be obtained; • signage must be provided for accessible unisex sanitary facilities to identify if the facility is suitable for left or right handed use; • signage to identify an ambulant accessible sanitary facility must be located on the door of the facility; • directional signage where a pedestrian entrance is not accessible.	CoC

directional signage where a bank of sanitary facilities are not provided with an accessible sanitary facility. Signage shall be installed in accordance with and a design/install certificate is to be provided to confirm compliance with the relevant provisions of the BCA and Australian Standards.	
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Cl. D4D8: Hearing augmentation

DtS Provision	Comment(s)/Recommendation(s)	Status
A hearing augmentation system must be provided where an inbuilt amplification system, other than one used only for emergency warning, is installed – - in a room in a Class 9b building; - in an auditorium, conference room, meeting room or room for judicatory purposes; - at any ticket office, teller's booth, reception area or the like, where the public is screened from the service provider. Any screen or scoreboard associated with a Class 9b building and capable of displaying public announcements must be capable of supplementing any public address system, other than a public address system used for emergency warning purposes only.	If an inbuilt amplification systems (other than one used solely for emergency warning) is provided within the building; suitable hearing augmentation systems are to be provided in these areas. It is unlikely that inbuilt amplification will be provided within this development. Further review of detailed building elements will be required as the design progresses.	CoC

Cl. D4D9: Tactile indicators

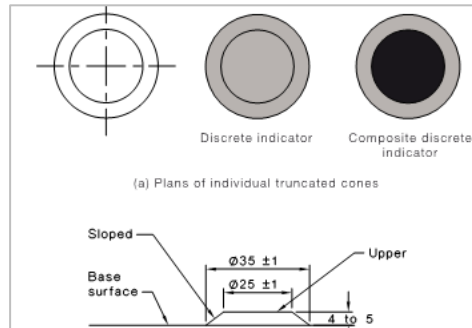
DtS Provision	Comment(s)/Recommendation(s)	Status
Tactile ground surface indicators complying with sections 1 and 2 of AS/NZS 1428.4.1:2009 must be provided to warn people who are blind or have a vision impairment that they are approaching – - a stairway, other than a fire-isolated stairway; - an escalator/moving walk; - a ramp other than a fire-isolated ramp, step ramp, kerb ramp or swimming pool ramp; - in the absence of a suitable barrier an overhead obstruction less than 2 m and where an accessway meeting a vehicular	TGSI's TGSIs are to be provided to – - a ramp other than a fire-isolated ramp, step ramp, kerb ramp or swimming pool ramp; - all stairway landings other than where handrails are continuous at mid landings and fire-isolated stairways; - Upper and lower landings of escalators; - where an accessway meeting a vehicular way adjacent to any pedestrian entrance to a building. Further review of detailed building elements will be required as the design progresses.	CoC

way adjacent to any pedestrian entrance to a building.

Design Detail –

TGSIs shall be specified and installed to comply with AS/NZS1428.4.1-2009 including size, spacing, width, depth and luminance contrasting as follows –

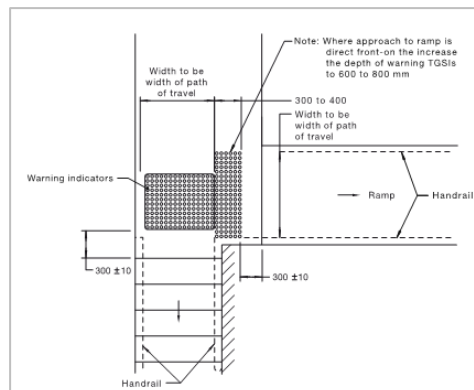
- 30% - Integrated TGSIs
- 45% - Discrete TGSIs
- 60% - Composite Discrete TGSIs



TGSIs are to be installed $300\text{mm} \pm 10\text{mm}$ from the hazard (i.e. nosing, ramp transition, vehicular way, etc.).

TGSIs need only be a depth of 300mm - 400mm in locations where the next hazard/building element is $\leq 3000\text{mm}$ away. TGSIs shall be 600mm - 800mm deep when the hazard is $\geq 3000\text{mm}$ away.

Refer to key extracts from AS/NZS1428.4.1-2009 below:



	Suitable Barrier A suitable barrier is required to be installed to the underside of stairways where there is a 2m or less head height clearance. The underside of the commercial stairway on the Ground Floor will need to be installed with a suitable barrier to restrict access to the hazard.	CoC & DD
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Cl. D4D10: Wheelchair seating spaces in Class 9b assembly buildings

N/A – No fixed seating is proposed within the Class 9b portion of the development.

Cl. D4D11: Swimming pools

DtS Provision	Comment(s)/Recommendation(s)	Status
• Not less than 1 means of accessible water entry/exit in accordance with Specification 16 must be provided for each swimming pool required by Cl. D4D2 to be accessible. • An accessible entry/exit must be by means of— ○ a fixed or movable ramp and an aquatic wheelchair; or ○ a zero depth entry at a maximum gradient of 1:14 and an aquatic wheelchair; or ○ a platform swimming pool lift and an aquatic wheelchair; or ○ a sling-style swimming pool lift. • Where a swimming pool has a perimeter of more than 70 m in length, at least one accessible water entry/exit must be provided by a means specified in (b)(i), (ii) or (iii). • Latching devices on gates and doors forming part of a swimming pool safety barrier need not comply with AS 1428.1.	The perimeter of the pools in Stage A is >40m but less than 70m; therefore, one of the following accessible pool entrances is required – ○ a fixed or movable ramp and an aquatic wheelchair; or ○ a zero depth entry at a maximum gradient of 1:14 and an aquatic wheelchair; or ○ a platform swimming pool lift and an aquatic wheelchair. ○ A sling-style swimming pool lift. Swimming pools are readily capable of being installed with an accessible pool entry as per Cl. D4D11 and Spec. 16. Drawings indicate a sling style lift to be installed at the pool. Further review of detailed building elements will be required as the design progresses.	CoC & DD

Cl. D4D12: Ramps

DtS Provision	Comment(s)/Recommendation(s)	Status
On an accessway; a series of connected ramps must not have a combined vertical rise of more than 3.6 m; and a landing for a step ramp must not overlap a landing for another step ramp or ramp.	A number a ramps are proposed throughout the development. Drawings indicate ramps with a vertical height difference of less than 3.6m.	CoC

Cl. D4D13: Glazing on an accessway

DtS Provision	Comment(s)/Recommendation(s)	Status
Where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening, must be clearly marked in accordance with AS 1428.1. Further details to be provided at the design development stage.		CoC

BCA Part E3 – LIFT INSTALLATIONS

Cl. E3D7: Passenger lifts

DtS Provision	Comment(s)/Recommendation(s)	Status
Every passenger lift must – • be one of the types identified in Cl E3D7, subject to the limitations on use specified in the Table; and • have accessible features in accordance with Cl. E3D8; and • not rely on a constant pressure device for its operation if the lift car is fully enclosed.	Building Passenger Lifts All passenger lifts are indicated as being electric/ electrohydraulic type passenger lifts. There is no limitation on the use of these passenger lifts. A total of 19x passenger lifts are proposed as part of the development. Platform Lifts In addition to the building passenger lifts 3x platform lifts are proposed within residential lift lobby's. Vertically travelling low-rise platform lifts which do not travel more than 1000mm in vertical height are permitted to be used for these buildings. Within these building lobbies the vertical height difference travelled is less than 1000mm, meeting compliance with BCA. Refer below vertical travel of lifts – ➤ Building 5: 400mm ➤ Building 6: 400mm ➤ Building 7: 900mm.	CoC

Cl. E3D8: Accessible features required for passenger lifts

DtS Provision	Comment(s)/Recommendation(s)	Status
Passenger lifts shall have the following features – • Handrail complying with the mandatory handrail provisions of AS1735.12, • Lift floor dimensions not less than 1,100mm x 1,400mm where the lift vertical travel is less than 12m, OR Lift floor dimensions not less than 1,400mm x 1,600mm where the lift vertical travel is more than 12m, • Minimum clear door opening complying with AS1735.12, • Passenger protection system complying with AS1735.12, • Lift landing doors at the upper landing, • Lift car and landing control buttons complying with AS1735.12, • Lighting in accordance with AS1735.12, • Automatic audible/visual information within the lift car and at the landings as prescribed, • Emergency hands-free communication, including a button that alerts a call centre of a problem and a light to signal that the call has been received.	A design compliance certificate is be obtained from the lift designer to confirm compliance with the relevant provisions of the BCA and Australian Standards at detail design stage. <u>Design Detail:</u> Ensure lift landing controls are provided no less than 500mm from an internal corner.	CoC & DD

BCA Part F4 – SANITARY AND OTHER FACILITIES

Cl. F4D5: Accessible sanitary facilities

DtS Provision	Comment(s)/Recommendation(s)	Status
In a building required to be accessible: • Accessible unisex sanitary compartments must be provided as in accordance with Table F4D5(a), • Accessible unisex showers must be provided in accordance with Table F4D5(b), • At each bank of toilets where there is one or more toilets in addition to an accessible unisex sanitary compartment at that bank of toilets, a sanitary compartment suitable	<u>Accessible sanitary compartments</u> Amenity banks are proposed a multiple locations throughout the development. Specific detail of bathroom spaces are yet to be indicated in these areas. It is considered that there is sufficient space for accessible bathrooms to be provided at these identified amenity areas.	CoC & DD

for a person with an ambulant disability in accordance with AS 1428.1 must be provided for use by males and females. • An accessible unisex sanitary compartment must contain a closet pan, washbasin, shelf or bench top and adequate disposal of sanitary towels. • Circulation spaces, fixtures and fittings of all accessible sanitary facilities must comply with AS1428.1. • An accessible unisex sanitary facility must be located so that it can be entered without crossing an area reserved for one sex only; and • Where two or more of each type of accessible unisex sanitary facility are provided, the number of left and right handed mirror image facilities must be provided as evenly as possible.	<u>Detail Design:</u> BCA requires an accessible sanitary facility to be provided at all accessible banks of toilets throughout the development. Further review of internal accessible bathroom layouts will occur as the design develops. <u>Ambulant sanitary compartments:</u> Amenity banks are proposed a multiple locations throughout the development. Specific detail of bathroom spaces are yet to be indicated in these areas. <u>Detail Design:</u> Ambulant cubicles are required where male and female toilets are provided in addition to an accessible bathroom. Further review of internal accessible bathroom layouts will occur as the design develops.	
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Cl. F4D12: Accessible adult change facilities

N/A – Accessible adult change facilities are not required as part of this development.

3.0 RELEVANT DCP CONDITIONS & ADAPTABLE HOUSING REVIEW

The following is an extract of the relevant adaptable housing provisions of the Local Council DCP being – Cumberland DCP - PART B5 – 2.1 Adaptable Housing.

A summary of the above DCP Requirements and the compliance status and any comments of the proposed design are provided within the table below –

Item	Control Description	Comments(s)								
C1.	Adaptable housing complying with AS 4299 is to be provided in multi-dwelling housing, residential flat buildings, and the residential component of mixed use developments in accordance with the following: <table><tr><th>Total number of dwellings</th><th>No. of adaptable dwellings required</th></tr><tr><td>Less than 10</td><td>1</td></tr><tr><td>10 – 20</td><td>2</td></tr><tr><td>More than 20</td><td>20% (unless justification provided for consideration by Council)</td></tr></table>	Total number of dwellings	No. of adaptable dwellings required	Less than 10	1	10 – 20	2	More than 20	20% (unless justification provided for consideration by Council)	The development proposes a total of 1374x Class 2 apartments split into the following: ○ Stage A: 697 ○ Stage B: 279 ○ Stage C: 398 Based on the DCP requiring 20% of apartments being allocated as adaptable, a minimum of the following apartments are to be design as adaptable. ○ Stage A: 139 ○ Stage B: 56 ○ Stage C: 80 Pre & post adaptable apartment layouts are yet to be provided for assessment.
Total number of dwellings	No. of adaptable dwellings required									
Less than 10	1									
10 – 20	2									
More than 20	20% (unless justification provided for consideration by Council)									

Stage	Building	No. of Apartments
Stage A	1	56
Stage A	2	53
Stage A	3	30
Stage B	4	27
Stage B	5	29
Stage C	6	36
Stage C	7	44
		TOTAL 275

To comply with the requirements of AS4299, Class C Adaptable Housing Units must include all 'essential' features.

The following table provides a review against AS4299 – Class C adaptable housing units. The tables identify each of the relevant adaptable housing unit features–

ESS Essential – Required for Class C adaptable housing unit

Item No.	Description	Clause No.	Comments	
DRAWINGS				
1	Provision of drawings showing the housing unit in its pre-adaption and post-adaption stages along with a description of how the adaptation is to be achieved shall also be provided.	2.3	Pre & Post Adaptation plans have been provided for a minimum of 275 adaptable apartments. Refer to table above for drawings. Plans indicating pre-adaption and post-adaption stages have been provided and can comply with design development at the Detailed Design Stage to incorporate all features prescribed by AS4299-Class B adaptable housing units. Capped services are to be provided where required in order to provide a suitable adaptation process. The key elements which cannot be adapted are the location of service risers, any change to structural building members or common property. The number of bedrooms/bathrooms is to remain consistent pre and post adaptation. Pre & post drawings have been provided	ESS
SITING				
3	A continuous accessible path of travel from street frontage and vehicle parking to entry complying with AS1428.1	3.3.2	As per the BCA review table of this report.	ESS
SECURITY				

LETTERBOXES IN ESTATE DEVELOPMENTS				
11	Letterboxes to be on hard standing area connected to accessible pathway	3.8	Complies. Mid & High rise buildings are provided with mail rooms within Ground Floor Lobby areas.	ESS
PRIVATE CAR ACCOMODATION				
14	Carparking space or garage min. area 6.0m x 3.8m.	3.7.2	Refer to Table Cl. D4D6 of this report. A minimum of 275x adaptable parking spaces are to be allocated to adaptable apartments within basement/ parking areas/ levels. Drawings indicate the following compliance departure to the adaptable parking spaces: a. Accessible Parking spaces are indicated with a minor obstruction to the shared zone via a column. This compliance departure is capable of being addressed via a Performance Solution report at CC stage of the project.	ESS
ACCESSIBLE ENTRY				
20	Accessible entry	4.3.1	Entry doorways to adaptable units are to achieve compliance with AS1428.1-2021 from the pre-adaptation phase. Drawings indicate compliance is readily achievable.	ESS
22	Accessible entry to be provided with a landing outside the door with a maximum fall of 1:40 with a low threshold if not protected from weather by a minimum of 1,600mm overhang.	4.3.2	Unit entrance doors are located within internal common/public corridors.	ESS
23	Threshold to be low-level	4.3.2	Where threshold ramps are proposed to service external areas they must comply with AS1428.1 and AS4299.	ESS

24	Landing to enable wheelchair manoeuvrability	4.3.2	Compliance is readily achievable.	ESS
25	Accessible entry door to have 850 mm min. clearance	4.3.1	Drawings indicate a minimum 850mm clear open doorway.	ESS
27	Door lever handles and hardware to AS1428.1 clause 11.1 door to be unlocked and opened with one hand. Where lever handles are provided, the clearance between the handle and the back plate or door face at the centre of the handle shall be not less than 35 mm and not more than 45 mm.	4.3.4	To be provided/specified at the Construction Certificate Stage.	ESS
EXTERIOR: GENERAL				
INTERIOR: GENERAL				
32	Internal doors to have 820 mm min. clearance	4.3.3	It is to be noted that AS4299 is superseded in this case by AS1428.1 which requires the appropriate 850mm clear opening width of all accessible doors. Internal doors to areas required to be adaptable are required to comply including – • Adaptable bedroom; • Sanitary facility; • Kitchen (where a doorway is provided); and • Laundry (where a doorway is provided). Post adaptable drawings are readily capable of complying with internal doorways achieving an 850mm clear door opening. Further review will occur at detailed design stage.	ESS
33	Internal corridors min. Width of 1000mm	4.3.7	Drawings indicate compliance is readily achievable.	ESS
34	Provision for compliance with AS1428.1 for door approaches	4.3.7	Drawings indicate compliance is readily achievable.	ESS

LIVING ROOM & DINING ROOM				
36	Provision for circulation space of min. 2250 mm diameter	4.7.1	Post adaptable drawings are readily capable of complying. Further review will occur at detailed design stage.	ESS
38	Telephone adjacent to GPO	4.7.4	Compliance is readily achievable with appropriate specification at CC Stage.	ESS
41	Potential illumination level min. 300 lux	4.10	Compliance is readily achievable with appropriate specification at CC Stage.	ESS
KITCHEN				
42	Minimum width 2.7 m (1,550 mm clear between benches)	4.5.2	Post adaptable drawings are readily capable of complying. Further review will occur at detailed design stage. Floor & wall surface finishes which extend under the cabinets will allow benches to be relocated/replaced in the future. Capped services are to be provided and confirmed at the Construction Certificate Stage.	ESS
43	Provision for circulation at doors to comply with AS1428.1	4.5.1	N/A – Kitchens are open areas (no doorways are provided)	ESS
44	Provision for benches planned to include at least one worksurface of 800mm length, adjustable in height from 750mm to 850mm or replaceable. Refer to Figure 4.8	4.5.5	Refer to Item 42.	ESS
45	Refrigerator adjacent to work surface	4.5.5	Refer to Item 42.	ESS
46	Kitchen sink adjustable to heights from 750mm to 850mm or replaceable	4.5.6	Refer to Item 42.	ESS
47	Kitchen sink bowl max. 150mm deep	4.5.6	Refer to Item 42.	ESS
48	Tap set capstan or lever handles or lever mixer	4.5.6(e)	Refer to Item 42.	ESS
49	Tap set located within 300mm of front of sink	4.5.6(e)	Refer to Item 42.	ESS

51	Cooktops to include either front or side controls with raised cross bars	4.5.7	Refer to Item 42.	ESS
52	Cooktops to include isolating switch or gas stop valves which can be easily and safely operated while the cooktop is in use.	4.5.7	Refer to Item 42.	ESS
53	Worksurface min. 800 mm length adjacent to cooktop at same height.	4.5.7	Refer to Item 42.	ESS
54	Oven located adjacent to an adjustable height or replaceable work surface	4.5.8	Refer to Item 42.	ESS
59	GPOs to comply with AS1428.1. At least one double GPO within 300 mm of front of worksurface	4.5.11	To be provided/specified at the Construction Certificate Stage.	ESS
60	GPO for refrigerator to be easily reachable when the refrigerator is in its operating position	4.5.11	To be provided/specified at the Construction Certificate Stage.	ESS
61	Slip-resistant floor surface	4.5.4	To be provided/specified at the Construction Certificate Stage.	ESS
MAIN BEDROOM				
62	At least one bedroom of area sufficient to accommodate queen size bed and wardrobe and circulation space requirements of AS1428.2	4.6.1	Post adaptable drawings are readily capable of complying. Further review will occur at detailed design stage. AS1428.2 requires a 1000mm clearance to either side of the bed and a 1540mm x 2070mm circulation space provided at the foot of the bed.	ESS
OTHER BEDROOMS				
BATHROOM				
75	Provision for bathroom area to comply with AS1428.1; circulation spaces at doors and around WC pans, washbasins and showers shall be able to be provided without major plumbing changes. Also:	4.4.1	Post adaptable drawings are readily capable of complying. Further review will occur at detailed design stage. The minimum sized of an adaptable compartment is to be 2650mm (l) X 2300mm (w) based on the orientation of	ESS

	- toilet paper dispenser (see Clause 10.2.7AS1428.1) - Flushing control (see Clause 10.2.6AS1428.1)		fixtures and fittings within the adaptable bathroom. OR 1900mm + (width of the folded shower seat) based on AS1428.1-2021. Capped services, wall reinforcement and the like are to be provided to allow future adaptation of the sanitary facility. Further review of the pre and post-adaption bathroom layouts is required to ensure the intent of the adaptable housing code is satisfied (major refurbishments are not permitted). Pre-adoption bathroom layout is to be modified to allow for simplistic adaption of future fittings and fixtures (as required).	
76	Slip-resistant floor surface	4.4.2	To be provided/specified at the Construction Certificate Stage.	ESS
77	Shower recess-no hob. Minimum size 1160 x 1100 to comply with AS1428.1 (refer Figures 4.6 and 4.7)	4.4.4(f)	Refer to Item 75.	ESS
78	Shower area waterproofed to AS3740 with floor to fall to waste	4.4.4(f)	Refer to Item 75.	ESS
79	Recessed soap holder	4.4.4(f)	Refer to Item 75.	ESS
80	Shower taps positioned for easy reach to access side of shower sliding track	4.4.4(f)	Refer to Item 75.	ESS
82	Provision for adjustable, detachable hand held shower rose mounted on a slider grabrail or fixed hook (plumbing and wall-strengthening provision)	4.4.4(h)	Refer to Item 75.	ESS
83	Provision for grabrail in shower (refer to Figure 4.7 in AS 4299) to comply with AS1428.1	4.4.4(h)	Refer to Item 75.	ESS
86	Taps sets to be capstan or lever handles with single outlet	4.4.4(c)	Refer to Item 75.	ESS
88	Provision for washbasin with clearances to comply with AS1428.1	4.4.4(g)	Refer to Item 75.	ESS

90	Double GPO beside mirror	4.4.4(d)	Refer to Item 75.	ESS
TOILET				
92	Provision of either 'visitable toilet' or accessible toilet	4.4.3	An AS1428.1-2021 compliant sanitary compartment as per the above 'bathroom' section capable of being provided with the appropriate grabrails at a later stage will comply with the requirements of this clause. Drawings indicate compliance is readily achievable.	ESS
93	Provision to comply with AS1428.1	4.4.1	Refer to Item 75.	ESS
94	Location of WC pan at correct distance from fixed walls	4.4.3	Refer to Item 75.	ESS
95	Provision for grabrail zone. (refer Figure 4.6)	4.4.4(h)	Refer to Item 75.	ESS
96	Slip resistant floor surface (vitreous tiles or similar)	4.4.2	Refer to Item 75.	ESS
LAUNDRY				
98	Circulation at doors to comply with AS1428.1	4.8	Doorways are not proposed to laundry.	ESS
99	Provision for adequate circulation space in front of or beside appliances (min. 1550 mm depth)	4.8	Post adaptable drawings are readily capable of complying. Further review will occur at detailed design stage.	ESS
100	Provision for automatic washing machine	4.8(e)	To be provided/specified at the Construction Certificate Stage.	ESS
102	Where clothes line is provided, an accessible path of travel to this	4.8(a)	N/A – No clothes line is proposed.	ESS
105	Double GPO	4.8(g)	To be provided/specified at the Construction Certificate Stage.	ESS
108	Slip-resistant floor surface	4.9.1	To be provided/specified at the Construction Certificate Stage.	ESS
Storage				

Door Locks				
110	Door hardware operable with one hand, located 900-1100 mm above floor	4.3.4	To be provided/specified at the Construction Certificate Stage.	ESS
FLOOR COVERINGS				
ANCILLARY ITEMS				
GARBAGE				

4.0 ACCESSIBILITY COMPLIANCE STATEMENT

This report has provided a review of the relevant project design documentation to determine the compliance status of the proposed development against Part D4, Clause E3D7, E3D8, F4D5, F4D6, F4D7, F4D12 & G7 'deemed-to-satisfy' (DtS) requirements of the Building Code of Australia 2022 Amendment 2 (BCA), The Disability (Access to Premises - Buildings) Standards Amendment (2024 Measures No. 1) Standards 2024 and the pertinent Australian Standards.

Furthermore, this report has provided an assessment of the proposed adaptable housing units against the relevant adaptable housing provisions of the relevant Council DCP requirements and AS4299-1995 Class C adaptable housing unit checklist.

Following this review and with the adoption of the recommendations/Performance Solutions proposed, ABE Consulting are able to confirm that at the Development Application stage of design, the development can readily achieve compliance with the aforementioned BCA provisions.

5.0 REVIEW PROVIDED BY

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