



SYDNEY INTERNATIONAL CONVENTION, EXHIBITION AND ENTERTAINMENT PRECINCT
DARLING SQUARE

RESPONSE TO SUBMISSIONS FOR THE NORTH PLOT AND SQUARE

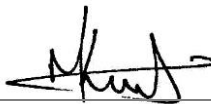
LENLEASE PTY LTD

RESPONSE TO SUBMISSIONS FOR THE NORTH PLOT AND SQUARE –

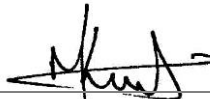
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Approver M. Kurtz

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Report No 161209 N Plot and Square RtS - Services Infrastructure Report

Date 09/12/2016

This report has been prepared for Lendlease Developments Pty Limited in accordance with the terms and conditions of appointment for Lendlease (Haymarket) Pty Ltd. Hyder Consulting Pty Ltd (ABN 76 104 485 289) cannot accept any responsibility for any use of or reliance on the contents of this report by any third party.

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APPENDICES

Appendix A : Combined Services Plan

1

Hyder Consulting has been requested by Lendlease (Haymarket) Pty Ltd to prepare this Services Infrastructure Report in response to design changes to the North plot and Square as a result of design refinement during the Response to Submissions, as part of the Sydney International Convention, Exhibition and Entertainment Precinct, in Darling Harbour.

Hyder has previously assessed the infrastructure servicing requirements of the site for the original lodgement of the development application for the North Plot and Square (SSD 7021). This document should be read in conjunction with the original assessment report titled *The Darling Square Precinct – North Plot & The Square Services Infrastructure Report DN00352* dated 02/02/2016. This document should also be read in conjunction with a concurrent s96 modification application to the North-East Plot (SSD 6626), with consequential amendments to this approval proposed in order to accommodate servicing and functions generated by the North Plot.

2 SITE DESCRIPTION

The SICEEP Site is located within Darling Harbour. Darling Harbour is a 60 hectare waterfront precinct on the south-western edge of the Sydney Central Business District that provides a mix of functions including recreational, tourist, entertainment and business.

With an area of approximately 20 hectares, the SICEEP Site is generally bound by the Light Rail Line to the west, Harbourside shopping centre and Cockle Bay to the north, Darling Quarter, the Chinese Garden and Harbour Street to the east, and Hay Street to the south. The SICEEP Site has been divided into three redevelopment areas – Bayside, Darling Central and The Haymarket.

The North Plot and Square (refer to Figure 1) is located within the centre of the site and towards the northern end. Bound by the NE plot to the east, the SE plot to the south, the boulevard to the west and Little Pier Street / the Pumphouse to the north.

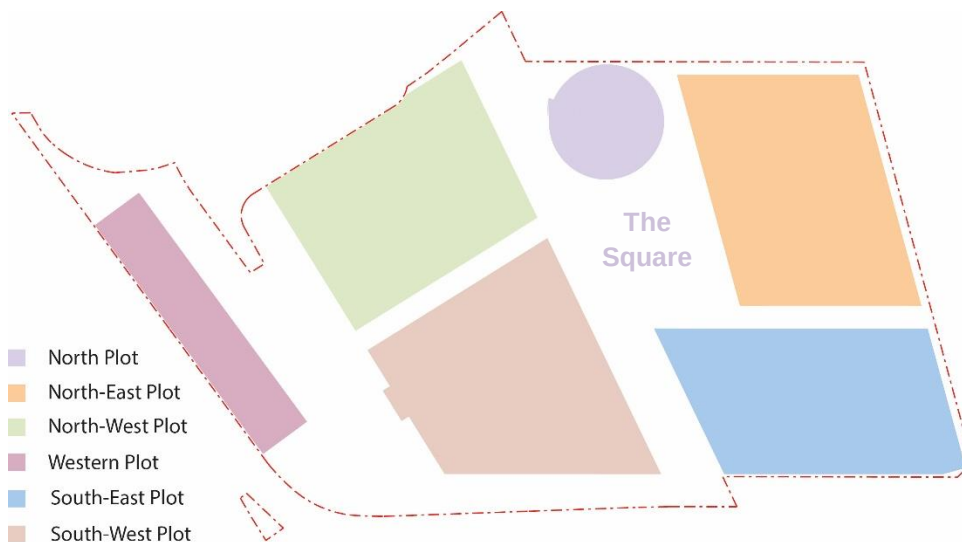


Figure 1 – Development Plots

3 PROPOSED AMENDED DEVELOPMENT

Since public exhibition of the proposal, generally minor amendments and improvements have been made to the proposed development. The final project design includes amendments made by Lend lease pursuant to Clause 55 of the Environmental Planning & Assessment Regulation, including changes to address matters raised in the submissions.

The following key amendments have been made to the proposal:

- minor increase in overall site area;
- minor increase in Gross Floor Area;
- changes to the external building design including a revision of the external stair, shifting of floor plates and resultant changes of revised internal planning;
- slight adjustment to the site boundary, increasing to accommodate the revised Darling Exchange building and public domain interface enhancements;
- revisions and enhancements to the proposed public domain treatments;
- revised loading and servicing strategy; and
- inclusion of fitout and operation of the child care facility.

The final proposal seeks approval for the following key development:

- Construction and use of a six (6) storey building (known as The Darling Exchange) containing the following uses:
 - Retail tenancies/market hall (such as market stalls, food and beverage premises and bar/restaurant operations);
 - Community uses (such as a library including IQ Hub and child care); and
 - Fitout and operation of the ground level and mezzanine market hall, the child care facility, and the food and beverage offering (bar/restaurant) within The Darling Exchange.
- Public domain improvements, including:
 - Creation of a new publically accessible square (The Square) with space for markets, outdoor events, passive and active recreation;
 - Provision of a timber canopy extending from The Darling Exchange along the western edge of The Square;
 - Provision of two kiosk-style retail pods below the canopy;
 - Creation of Little Hay Street, a new pedestrian only laneway between the North-East Plot and South-East Plot; and
 - Completion of general interface works to connect areas of new public domain with the existing public domain.
- Remediation as may be required; and
- Extension and augmentation of physical infrastructure/utilities as required.

4 CIVIL DESIGN REFINEMENTS

Throughout the time since the North Plot and Square were submitted for assessment and in response to submissions, there have been some changes and refinement to the design of the public realm and civil infrastructure in order to provide improved pedestrian amenity and connectivity, better coordinate infrastructure with the buildings and public realm and achieve an inviting, accessible public open space and market venue.

The design level for the ground floor of the North Plot Building has been revised from RL3.60 to RL3.45. In response, the ground plane across the Square has been adjusted to interface with the North Building at its adjusted level as well as the adjacent North East and South East Plot buildings, and to better interface with the Boulevard. The accessible ramp has been relocated to provide improved access to the North Plot and Square as well as to integrate with the North Plot building design. The change to the design level of the North Plot and Square maintain the proposed plinth, elevating the Square approximately 1m above the boulevard level. This will allow utilities installation above any level of archaeological significance.

The Utilities proposed to service the North Plot and Square remain in similar locations to what was originally proposed and have been lowered slightly to coordinate with the refined design surface level. The sewer and stormwater services will be installed the deepest throughout this area due to the need to install these services with grade. The lowest proposed invert level of these gravity reliant services is RL1.50 which is approximately 1.0m below the existing surface level however above the water table and areas of archaeological significance.

Other, non-gravity reliant, services are not proposed to be installed any deeper than the above gravity reliant services. Refer to The Darling Square Precinct – North Plot & The Square Services Infrastructure Report DN00352 dated 02/02/2016 for further details of proposed utilities.

The refinement of the design has also been assessed in the whole of precinct flood model to make sure that the design remains compliant with the INSW brief that 'the Project Company must ensure that no part of the Project Works result in adverse flooding or risk of flooding for any external property or Third Party Facility'. The proposed design of the north Plot, Square and works within the boulevard area remain compliant with the INSW brief. Refer also to the Flooding, Stormwater & WSUD report for SSDA10 (Number DN00350) dated 02/02/2016 and the Flood Assessment – Landscape Update Darling Square North (Reference: AA004399-Stormwater-Flood-2016-04) dated 08/12/2016.

5 CONCLUSION

The proposed design remains consistent with the requirements of SSDA2 and the originally submitted design with design refinements made throughout the North Plot and Square undertaken as a result of the Response to Submissions as well as to improve the amenity of this proposed development.

All design changes have considered the implication on existing and proposed utilities, areas of archaeological significance, impacts to flooding and overland flow routes and pedestrian connectivity.

APPENDIX A

COMBINED SERVICES PLAN