

ONE SYDNEY HARBOUR

BARANGAROO SOUTH



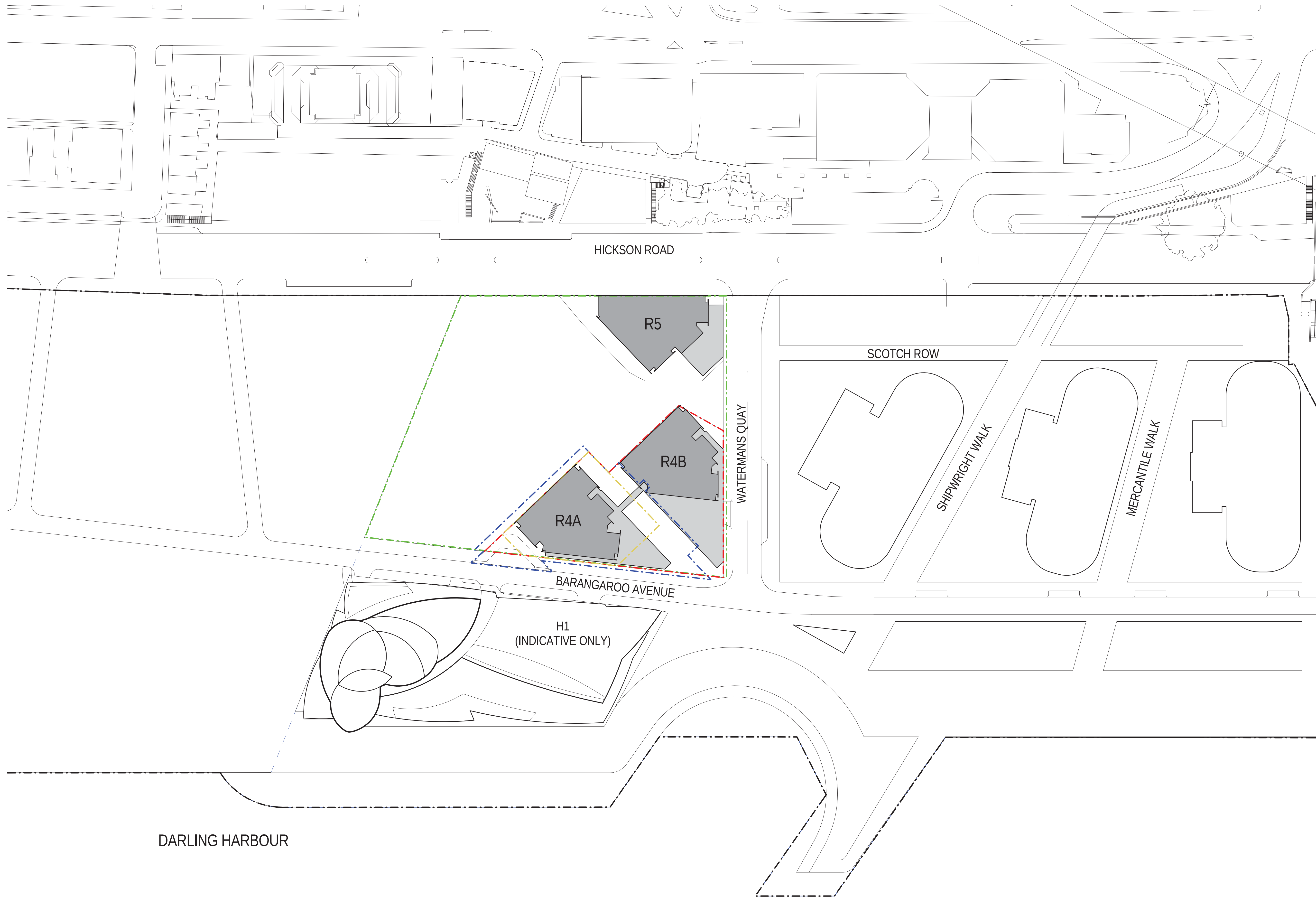
Stage 1B - Building R4A

Development Application

ARCHITECTURAL DRAWINGS

BR4A _ASD_PA1_0000	TITLE SHEET AND DRAWING LIST
BR4A _ASD_PA1_0001	CONTEXT PLAN
BR4A _ASD_PA1_0002	SITE PLAN
BR4A _ASD_PA1_0004	SITE PLAN SETTING OUT
BR4A _ASD_PA1_0005	THERMAL PERFORMANCE ASSESSMENT
BR4A _ASD_PA1_1001	SETOUT PLAN BASEMENT LEVEL B4
BR4A _ASD_PA1_1002	SETOUT PLAN BASEMENT LEVEL B3
BR4A _ASD_PA1_1003	SETOUT PLAN BASEMENT LEVEL B2
BR4A _ASD_PA1_1004	SETOUT PLAN BASEMENT LEVEL B1
BR4A _ASD_PA1_1005	SETOUT PLAN BASEMENT LEVEL B0
BR4A _ASD_PA1_2000	PLAN GROUND FLOOR LEVEL 00
BR4A _ASD_PA1_2001	PLAN PODIUM LEVEL P1
BR4A _ASD_PA1_2002	PLAN PODIUM LEVEL P2
BR4A _ASD_PA1_3001	PLAN LOWER PLATE LEVEL 01
BR4A _ASD_PA1_3002	PLAN LOWER PLATE LEVEL 02-03
BR4A _ASD_PA1_3004	PLAN LOWER PLATE LEVEL 04-19
BR4A _ASD_PA1_3020	PLAN PLANT LEVEL 20
BR4A _ASD_PA1_3021	PLAN LOWER PLATE TYPICAL 21-32
BR4A _ASD_PA1_3033	PLAN MID PLATE LEVEL 33-40
BR4A _ASD_PA1_3041	PLAN MID PLATE LEVEL 41
BR4A _ASD_PA1_3042	PLAN MID PLATE LEVEL 42-43
BR4A _ASD_PA1_3044	PLAN MID PLATE LEVEL 44
BR4A _ASD_PA1_3045	PLAN MID PLATE LEVEL 45-51
BR4A _ASD_PA1_3052	PLAN PLANT LEVEL 52
BR4A _ASD_PA1_3053	PLAN UPPER PLATE LEVEL 53-60
BR4A _ASD_PA1_3061	PLAN UPPER PLATE LEVEL 61-67
BR4A _ASD_PA1_3068	PLAN PENTHOUSE LEVEL 68
BR4A _ASD_PA1_3069	PLAN PENTHOUSE LEVEL 69
BR4A _ASD_PA1_3070	PLAN ROOF LEVEL 70

BR4A _ASD_PA1_4001	ELEVATION NORTH - EAST (PARK)
BR4A _ASD_PA1_4002	ELEVATION WEST (BARANGAROO AVE)
BR4A _ASD_PA1_4003	ELEVATION SOUTH - EAST (LIFT LOBBY)
BR4A _ASD_PA1_4004	ELEVATION SOUTH (WATERMANS QUAY)
BR4A _ASD_PA1_4005	NORTH - EAST ENLARGED ELEVATION (PARK) - LOW RISE
BR4A _ASD_PA1_4006	NORTH - EAST ENLARGED ELEVATION (PARK) - MID RISE
BR4A _ASD_PA1_4007	NORTH - EAST ENLARGED ELEVATION (PARK) - HIGH RISE
BR4A _ASD_PA1_4008	WEST ENLARGED ELEVATION (BARANGAROO AVE) - LOW RISE
BR4A _ASD_PA1_4009	WEST ENLARGED ELEVATION (BARANGAROO AVE) - MID RISE
BR4A _ASD_PA1_4010	WEST ENLARGED ELEVATION (BARANGAROO AVE) - HIGH RISE
BR4A _ASD_PA1_4201	SIGNAGE ZONE NORTH - WEST ELEVATION
BR4A _ASD_PA1_5001	OVERALL SECTION AA
BR4A _ASD_PA1_5002	OVERALL SECTION BB
BR4A _ASD_PA1_6001	WINTERGARDEN + BALCONY FACADE DETAILS
BR4A _ASD_PA1_6002	OPEN CAVITY FACADE DETAILS
BR4A _ASD_PA1_6003	PENTHOUSE NORTH FACADE DETAILS WINTERGARDEN
BR4A _ASD_PA1_6004	PENTHOUSE NORTH FACADE DETAILS OPEN CAVITY FACADE
BR4A _ASD_PA1_6005	PENTHOUSE WEST FACADE DETAILS
BR4A _ASD_PA1_6006	PLANT LEVEL FACADE DETAILS
BR4A _ASD_PA1_6007	NORTH - WEST, SOUTH, AND SOUTH - EAST FACADE DETAILS
BR4A _ASD_PA1_6008	PODIUM FACADE DETAILS
BR4A _ASD_PA1_6009	LOBBY FACADE DETAILS
BR4A _ASD_PA1_6010	TYPICAL RETAIL ENTRY SYSTEMS
BR4A _ASD_PA1_9000	GFA CALCULATION
BR4A _ASD_PA1_9001	GFA CALCULATION PLAN - SHEET 1
BR4A _ASD_PA1_9002	GFA CALCULATION PLAN - SHEET 2
BR4A _ASD_PA1_9003	GFA CALCULATION PLAN - SHEET 3
BR4A _ASD_PA1_9004	GFA CALCULATION PLAN - SHEET 4
BR4A _ASD_PA1_9005	GFA CALCULATION PLAN - SHEET 5
BR4A _ASD_PA1_9006	GFA CALCULATION PLAN - SHEET 6
BR4A _ASD_PA1_9007	GFA CALCULATION PLAN - SHEET 7



KEY PLAN

LEGEND

BARANGAROO SITE BOUNDARY

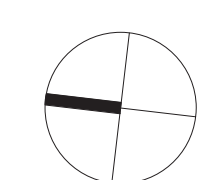
DEVELOPMENT APPLICATION BOUNDARY

BUILDING ENVELOPE BOUNDARY

BUILDING ENVELOPE TOWER BOUNDARY

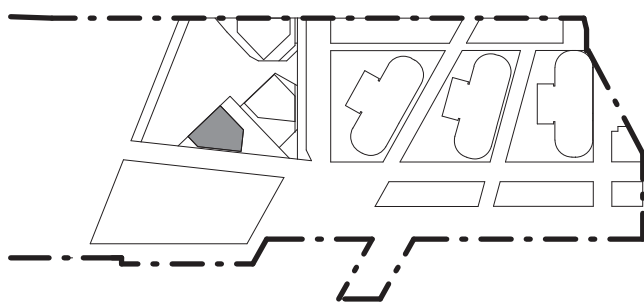
BASEMENT FOOTPRINT BELOW

DARLING HARBOUR



HICKSON ROAD

KEY PLAN

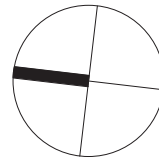


LEGEND

- BARANGAROO SITE BOUNDARY
- DEVELOPMENT APPLICATION BOUNDARY
- BUILDING ENVELOPE BOUNDARY
- BUILDING ENVELOPE TOWER BOUNDARY
- BASEMENT FOOTPRINT BELOW

WATERMANS QUAY

BARANGAROO AVENUE

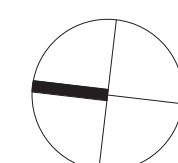




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- BARANGAROO SITE BOUNDARY
- DEVELOPMENT APPLICATION BOUNDARY
- BUILDING ENVELOPE BOUNDARY
- BUILDING ENVELOPE TOWER BOUNDARY
- BASEMENT FOOTPRINT BELOW



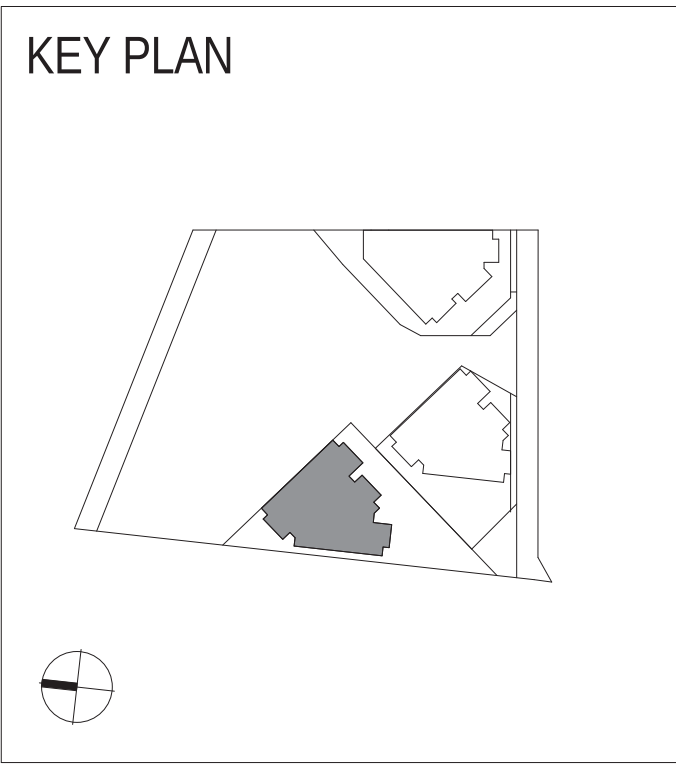
Considering code requirements and the thermal performance of the apartments as assessed with Accurate for BASIX compliance, the minimum thermal performance requirements are given below for the dwellings in the R4A building only. Note that these requirements are for thermal purposes only and do not consider Acoustic requirements or other which may dictate insulation or other for non-thermal purposes.

Typical Thermal Performance – subject to design development and final façade design

Area	Build Up	Minimum Thermal Performance Requirements
SW External Wall to Conditioned Space for LA-04 level 1	Outside to Inside: Concrete, Thermal Insulation (R2.0, up to 100mm thickness) and foil faced air gap; Plasterboard	This represents the minimum performance for a SW facing external wall
External Wall to Conditioned Space	Outside to Inside: Concrete, Thermal Insulation (R1.0, up to 50mm thickness) and foil faced air gap; Plasterboard	This represents the minimum performance for all other external walls
Internal wall to Corridor	Plasterboard; Concrete or concrete block; Plasterboard	No thermal insulation required.
Internal Wall to Core / BoH	Plasterboard; Concrete or concrete block	No thermal insulation required.
Internal walls between dwellings	Uninsulated concrete with plasterboard lining	No thermal insulation required.
Internal walls within dwellings	Plasterboard on studs	No thermal insulation required.
West, North East Glazed Façades		
Typical Excluding penthouses		Overall system properties (Glass + Frame) must be equal to or better than; U-value 2.92 W/m².K SHGC 0.42
Penthouse		Overall system properties (Glass + Frame) must be equal to or better than; U-value 2.00 W/m².K SHGC 0.18
Wintergarden/ balcony doors		
Typical Excluding penthouse		Overall system properties (Glass + Frame) must be equal to or better than; U-value 4.80 W/m².K SHGC 0.59
Penthouse		Overall system properties (Glass + Frame) must be equal to or better than; U-value 3.60 W/m².K SHGC 0.54
North-West, South & South East Façades		
Typical Excluding penthouse		System properties must be equal to or better than; U-value 4.80 W/m².K SHGC 0.59
Penthouse		System properties must be equal to or better than; U-value 2.90 W/m².K SHGC 0.51
Penthouse – roof level clerestory		System properties must be equal to or better than; U-value 3.60 W/m².K SHGC 0.54
Lift Lobby Glazed Facades		
Typical		System properties must be equal to or better than; U-value 4.80 W/m².K SHGC 0.59
Penthouse – lift lobby corridor		Overall system properties (Glass + Frame) must be equal to or better than; U-value 2.90 W/m².K SHGC 0.51
Floors/Ceilings		
Floor finish	Not yet specified except for apartment PA-01 where tiles or stone	

	floor finishes are to be used throughout the apartment	
LA-04 level 1 Floors exposed to ambient on underside	Floor finish (as above); Concrete; Thermal insulation (R2.0, up to 100mm thickness); Fibre cement sheet	This represents the minimum performance for flooring to LA-04 level 1.
Floors exposed to ambient on underside	Floor finish (as above); Concrete; Thermal insulation (R1.0, up to 50mm thickness); Fibre cement sheet	This represents the minimum performance for all other flooring to ambient on underside.
Typical between dwellings	Suspended plasterboard ceiling; concrete slab	No thermal insulation required.
Floors adjacent to plant	<u>Typical</u> Floor finish (as above); Concrete; Thermal insulation (R1.0, up to 50mm thickness)	This represents the minimum performance.
Ceilings adjacent to plant	<u>Typical</u> Concrete; Thermal insulation (R1.0, up to 50mm thickness)	This represents the minimum performance.
Roof - Penthouse	<u>Typical</u> Concrete; Thermal insulation (R2.5, up to 100mm thickness)	This represents the minimum performance.

13/10/15

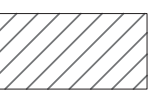




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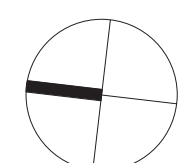


LEGEND

-  VOID
-  CONCRETE IN-SITU STRUCTURAL WALL
-  CARS R4A
-  RETAIL CARS
-  RESIDENTIAL STORAGE (FITOUT AND USE)
-  RETAIL STORAGE (FITOUT AND USE)
-  EXTENT OF SHARED BASEMENT FACILITIES
-  EXTENT OF RESIDENTIAL TOWER FACILITIES (FITOUT AND USE)
-  PERIMETER RETAINING WALL COVERED UNDER NO. SSD5897

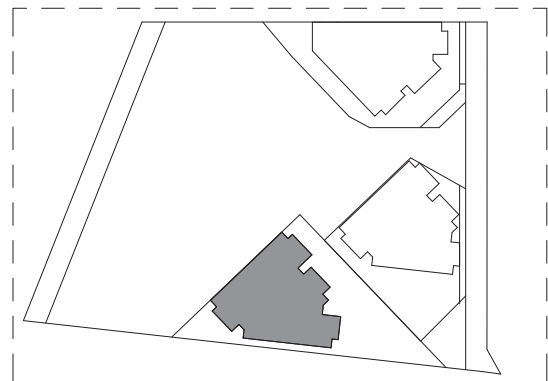
NOTES

BASEMENT CONSTRUCTION UNDER SEPARATE DEVELOPMENT APPLICATION.





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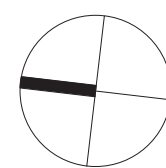


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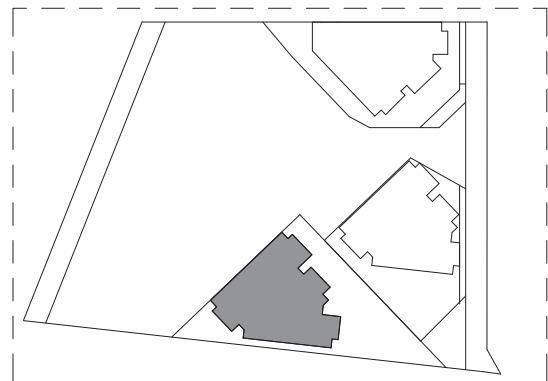
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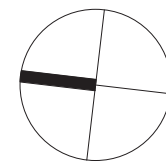


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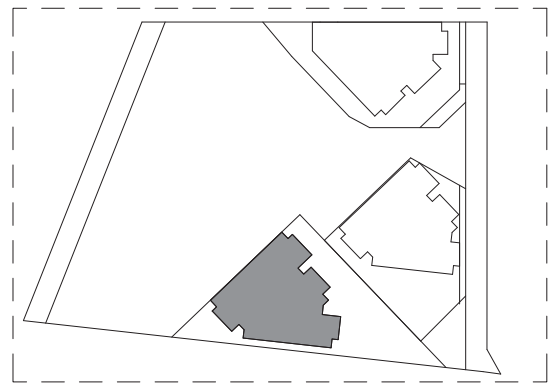
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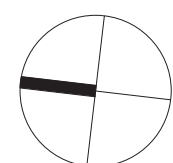


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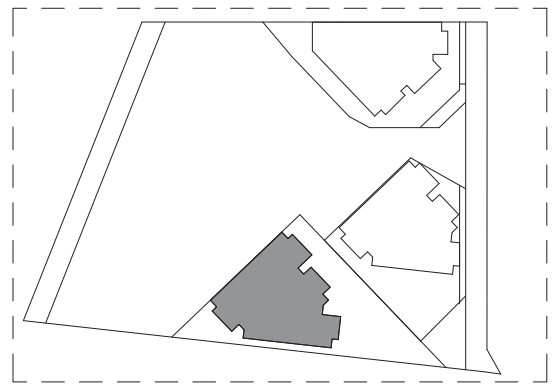
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