

One of the main objectives of the revised proposal for Block 4N is the redevelopment of the historical Australian Hotel and the adjacent Terraces and how their presence is accommodated within the overall design and massing of Block 4N.

This chapter focuses on the specific challenges which currently exist for these historic buildings and the measures being proposed to restore, develop and then incorporate them within the final design for Block 4N.



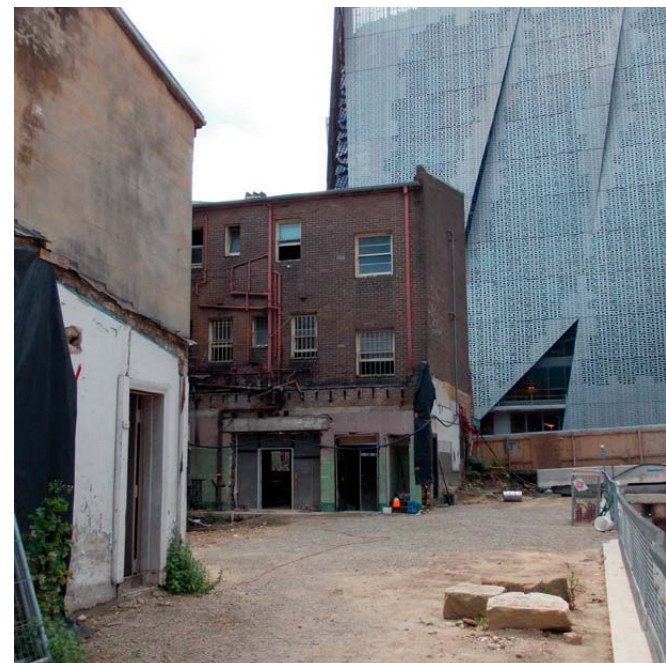
**Current Condition of the Buildings**

The Australian Hotel and adjacent Terraces which partially occupy the site for Block 4N were some of a series of heritage buildings which were located on the original CUB site and influenced the approved Concept Masterplan. This led to the introduction of the “city datum line” into the planning conditions which manifested itself as the Podium in the final scheme completed to date and are proposed in the proposed schemes for Block 1 and Block 4N.

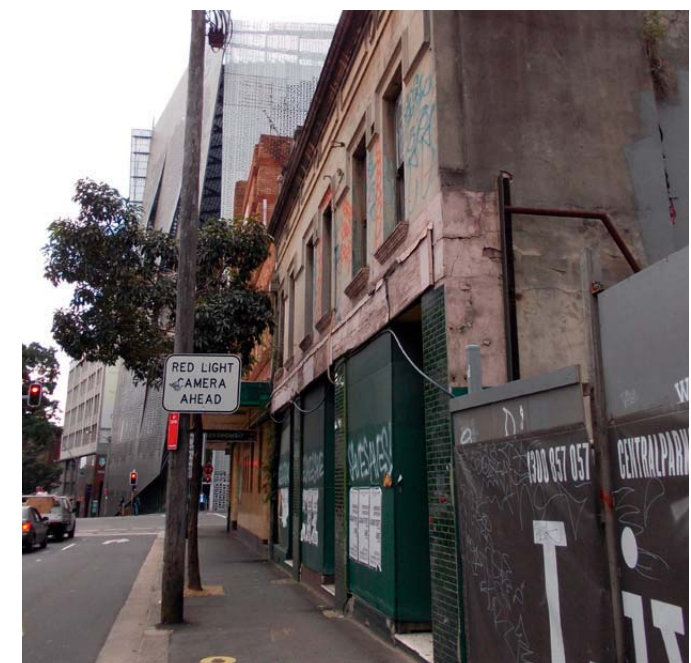
The photos on this page and opposite highlight the current condition of these historical buildings and the extent of restoration required. The following pages summarise the new proposals to restore them and introduce new life into their future by integrating them into the design of the new Block 4N by way of creating a Heritage Courtyard space while retaining their prominence at the corner of Broadway and Abercrombie Street.



View of the north-west corner of the Australian Hotel



View of the rear of the Australian Hotel



View along Abercrombie Street of the historical Terraces

**Current Condition of the Australian Hotel and Terraces**

Site Photos



View of the rear of the historical Terraces



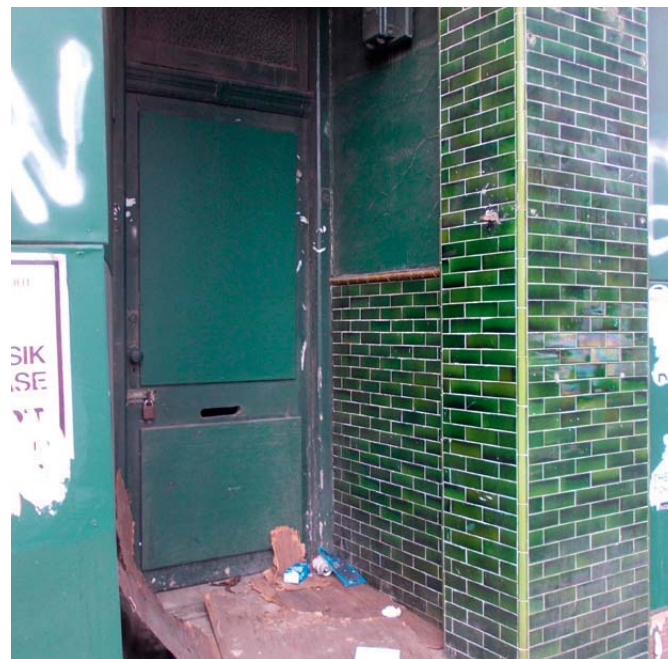
View the demolished extension to one of the Terraces



View of the demolished staircase to the Australian Hotel



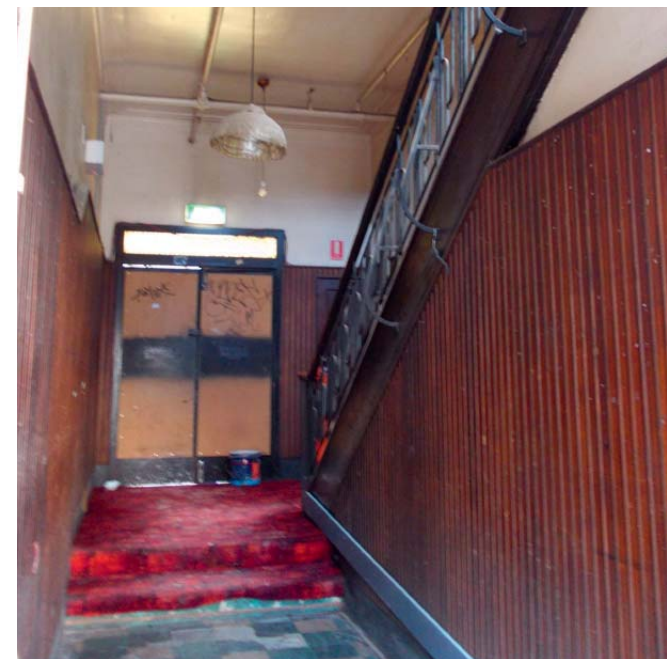
View of the rear of the Australian Hotel



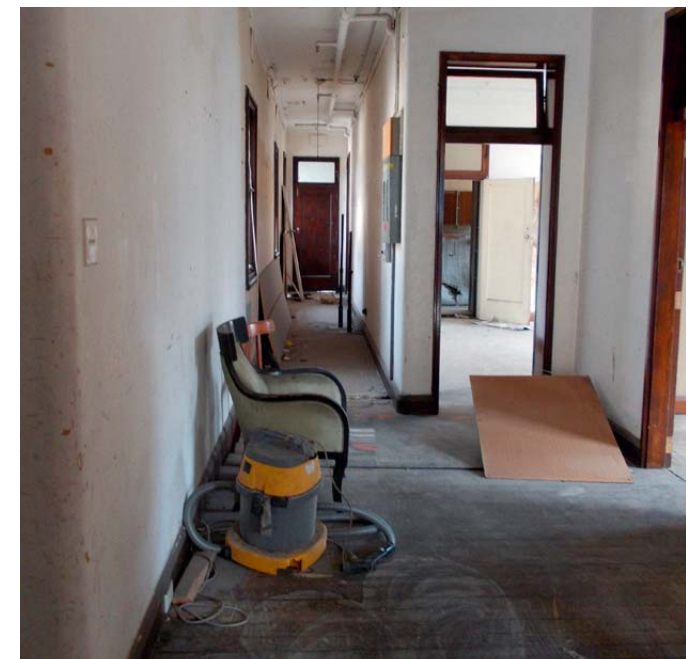
View of one of the doorways to the Terraces



View of one of the internal shop areas of the Terraces



View of the historical staircase within the Australian Hotel



View of one of the corridors on the upper floor of the Australian Hotel

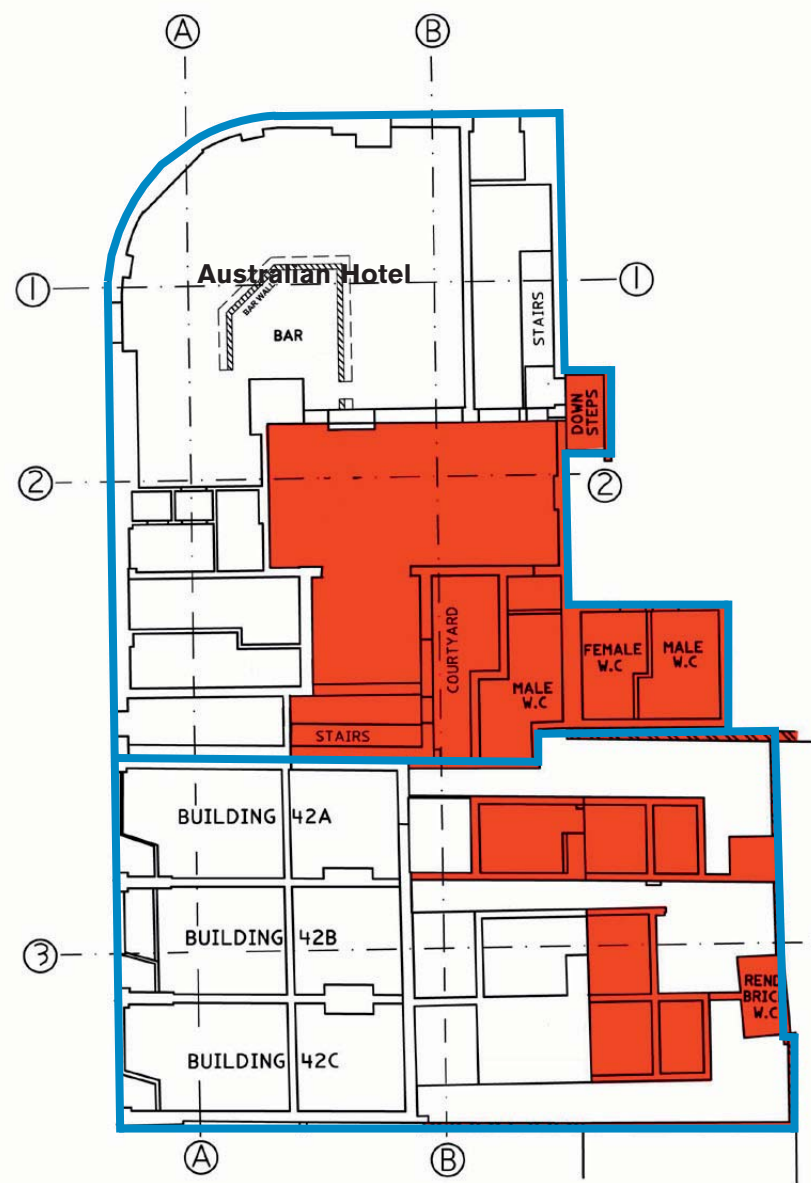
**Extent of Demolition**

In order to integrate the historic Australian Hotel and the adjacent Terraces into the overall design for Block 4N it is proposed that a new Heritage Courtyard is created which is read with the entrance lobby of the office, activating the rear of these historic buildings. It is envisaged that the buildings will retain its food and beverage use and utilise the new courtyard space as a sheltered outdoor seating area. The new Heritage Courtyard space will also be able to be accessed from Broadway and Abercrombie Street through the introduction of passageways or "laneways" providing a new pedestrian link which will connect to the new proposed residential/childcare passageway to the east within the same development.

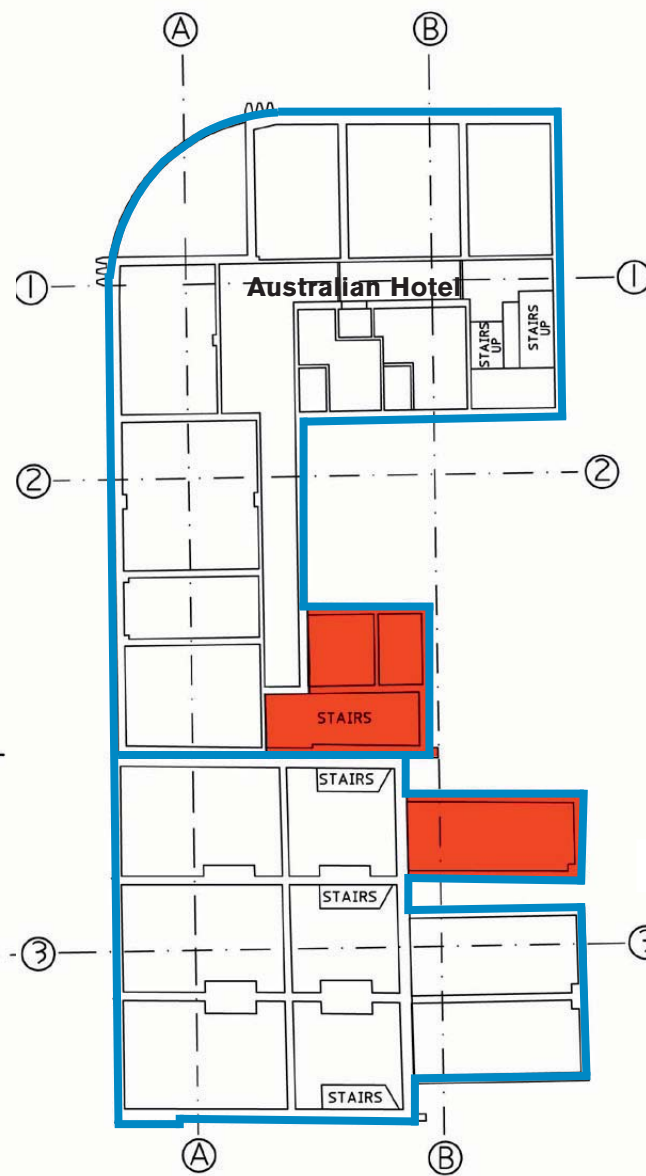
In order to create this new Heritage Courtyard, some parts of the Australian Hotel and adjacent Terraces have already been demolished in consultation with the advice provided by Urbis in accordance with their recommendations set out in their Special Element Consultation Plan report for these buildings dated 16th July 2009.

The diagrams in this chapter clarify the elements which have been demolished and the proposals to restore and repair these historic buildings for their future use.

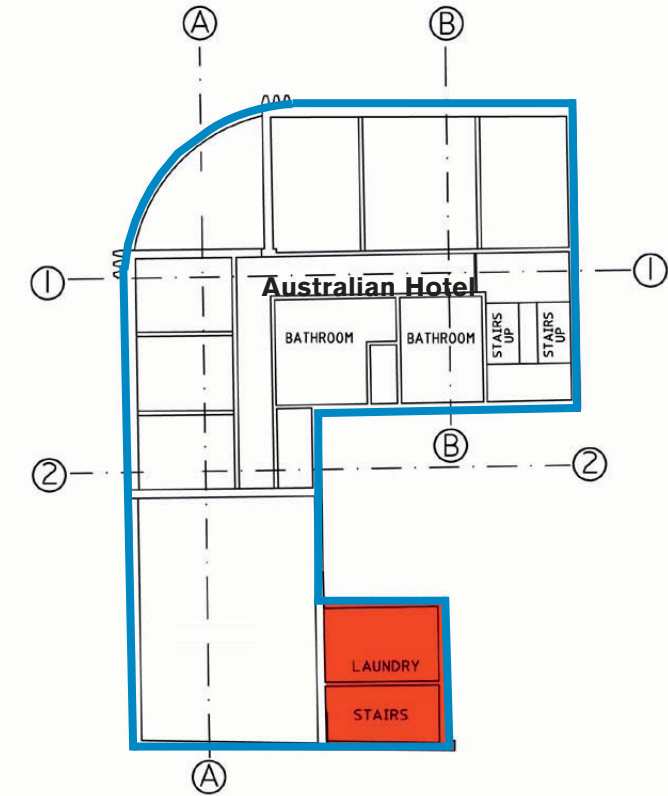
Level 00 Ground



Level 01



Level 02

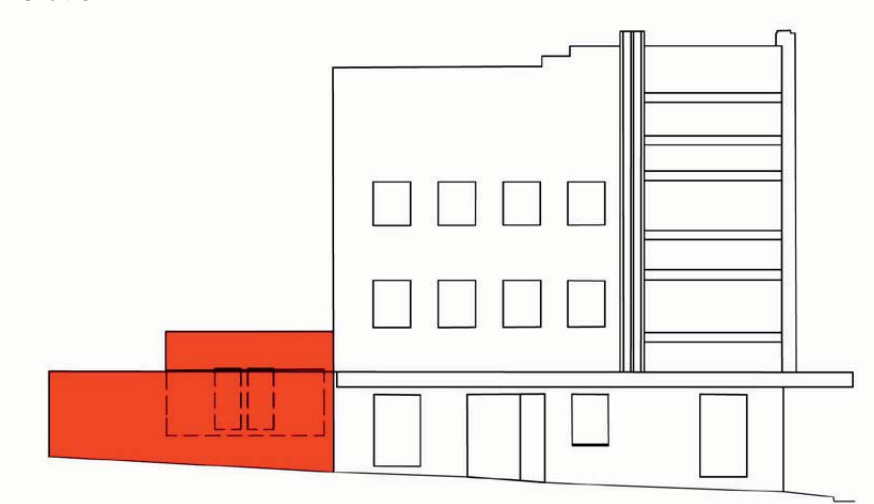


 Has been demolished



Images of the rear of the Abercrombie Street Terraces prior to the current demolition taking place.

**North Elevation**



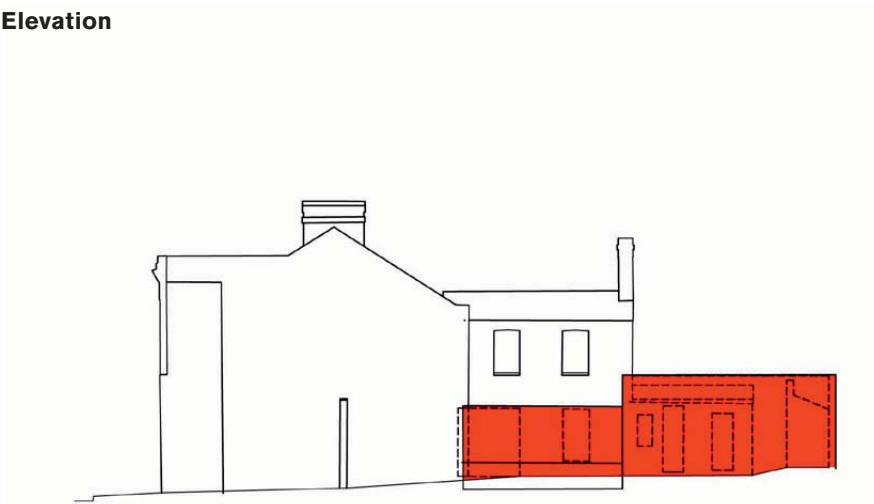
Broadway

**West Elevation**

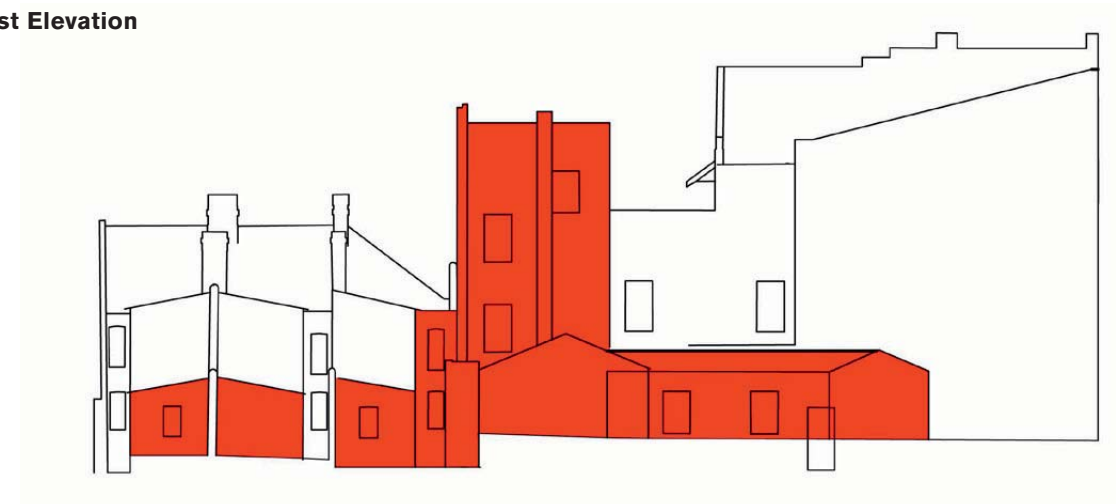


Abercrombie Street

**South Elevation**



**East Elevation**



Rear Elevation of  
Hotel



Has been  
demolished

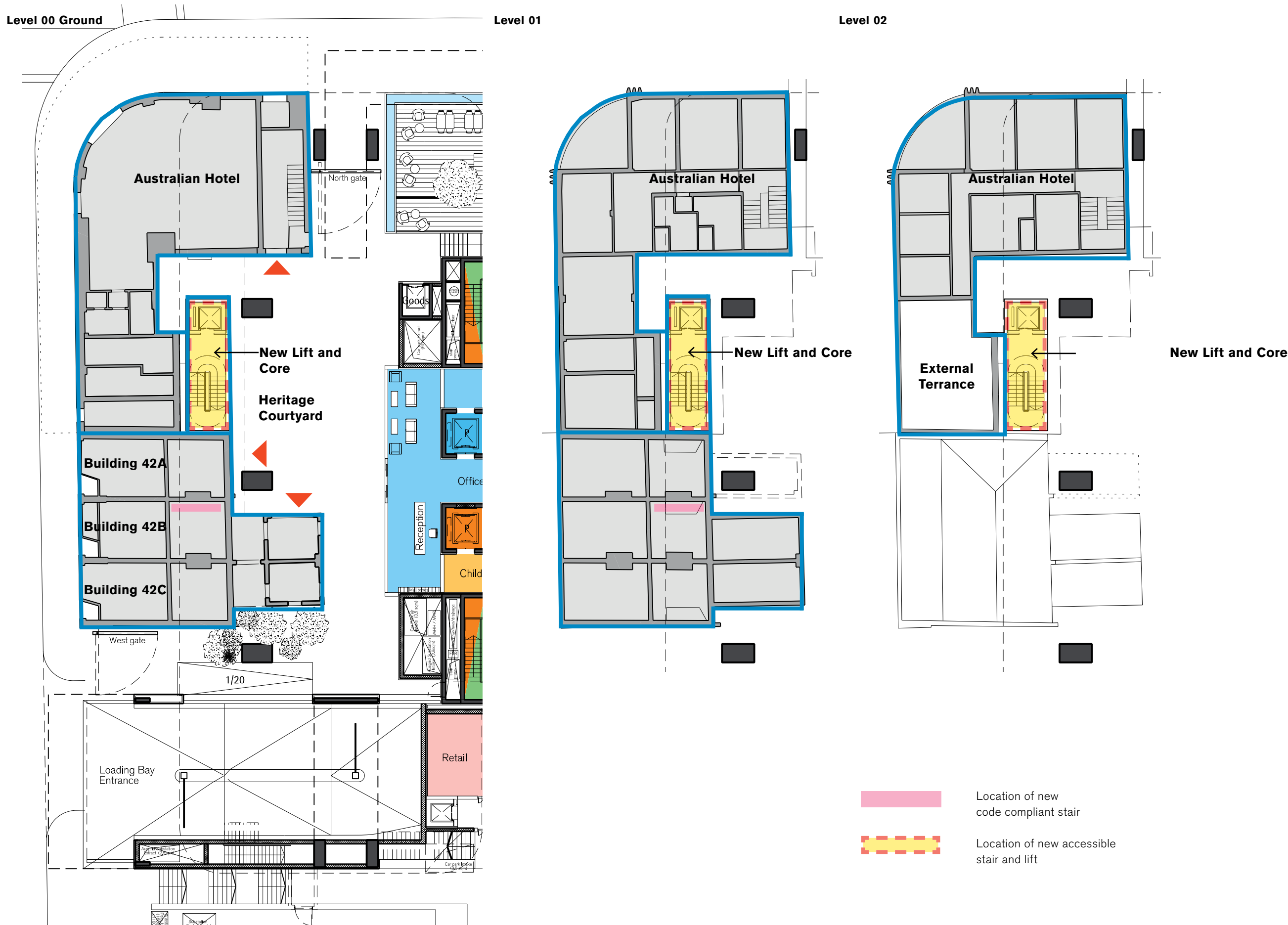
**Restoration of the buildings**

The Heritage Report (prepared by Urbis) provides clear guidance to which elements of these buildings should be retained as well as providing advice on the preferred method to repair the fabric of the building. In some instances this will include the structural rectification of floors, walls and ceilings as required (subject to further provision of a conservation schedule and supervision of a conservation architect.)

The report also highlights the need to provide additional items to bring the building in line with the latest building codes such as an accessible means to move around the building and to this extent it is proposed that a new stair and lift is introduced which complements and is sympathetic to the restoration.

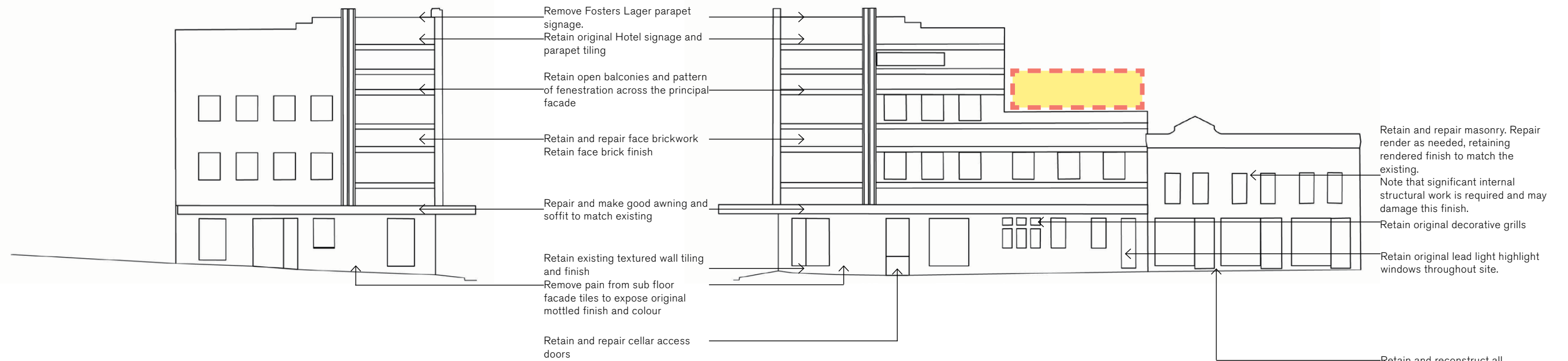
Additionally it is proposed to reinstate a code-compliant staircase in 42b Abercrombie Street in place of the existing location for the historical stair which has collapsed.

It is proposed that the works covering the restoration of the buildings to a "shell and core" tenancy will be covered as part of this SSDA for Block 4N and include the external fabric. The fit-out of these historical buildings will then form part of a separate DA submission.



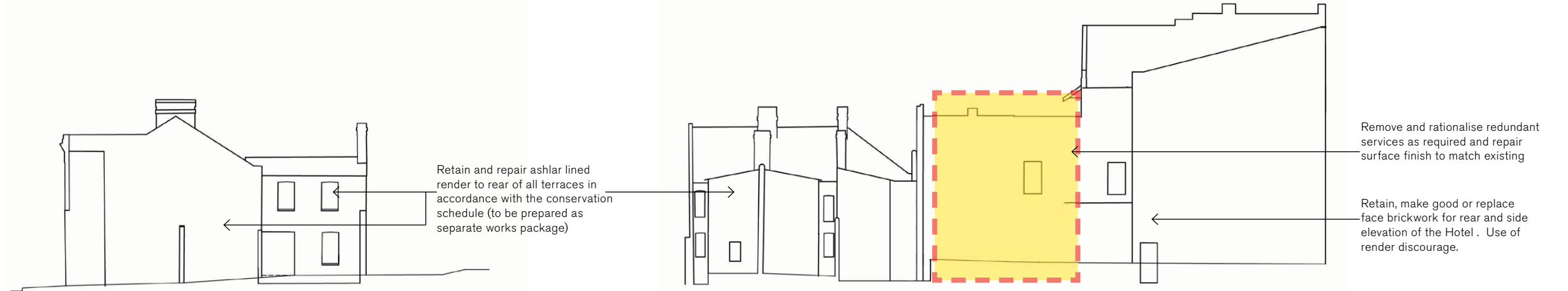
**North Elevation**

**West Elevation**



**South Elevation**



**East Elevation**



This document should be read in conjunction with the SECP as this document provides more detail on the significance of fabric, features and spaces.

**General notes:**

- 1) Remove all redundant services and repair surface to match existing
- 2) Remove all window mounted ventilation fans and replace glazing to match existing
- 3) Any proposed under awning and wall signage should be subject to heritage advice and there is an opportunity to reinstate/ interpret the original Hotel through appropriate Tothos or similar period pub signage
- 4) Original chrome hardware is to be retained
- 5) Reference should be made to the SECP for treatment of each individual external joinery component
- 5) The Abercrombie Street Terraces will be subject to a separate and detailed conservation schedule as a separate works package

-  Location of new code compliant stair
-  Location of new accessible stair and lift

**New urban destination**






As a counterpoint to the busy arteriole routes of Abercrombie Street and Broadway, it is intended to restore the Australian Hotel and adjacent Terraces back to a social hub and create to the rear a new urban destination, a retreat from the surrounding busy environment, a Heritage Courtyard. The intention is to capture the atmosphere of the rising popularity of "laneways" in the city.

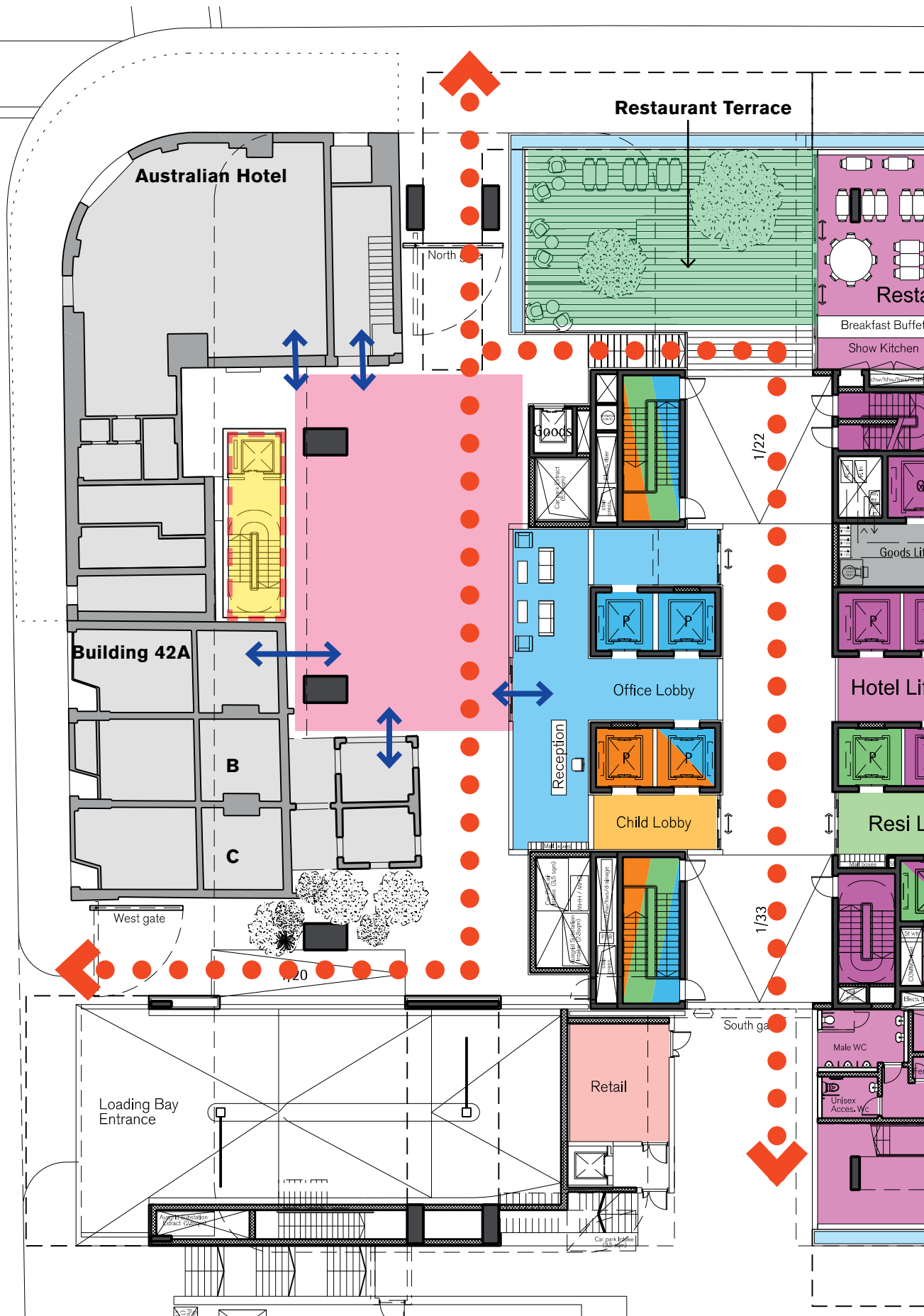
With the Heritage Buildings forming one side of the courtyard, the entrance lobby to the commercial office space and the elevated deck of the hotel restaurant terrace ensure there is activity on all four sides of the space while thoroughfares cut through the space connecting Abercrombie Street to Broadway and Central Park Avenue. The space is also overlooked by the re-activated terrace on Level 02 of the Australian Hotel as well as the retail above the loading bay entrance ramp to the south-west and the views through the office entrance lobby from the elevated residential/childcare passageway.

The revised massing over the Heritage Buildings (where the offices and residential block has now been setback eastwards by 6.0m in comparison to the approved Development Application) have also allowed the courtyard space to benefit by receiving a greater amount of daylight throughout the day. This is assisted at certain times of the day by the cladding of the office entrance lobby acting as a light scoop helping to reflect the western evening sun into the courtyard. Block 4N still overhangs this new urban space and the structural columns punctuate the courtyard as a reminder of this fact.

It is intended that the Heritage Courtyard would be perceived to extend into the entrance lobby of the office by continuing the floor finish into this reception space continuing the theme which connects Block 1 and Block 4N together by blurring the boundaries between the inside and the outside.

Level 00 Ground

-  Proposed entrance affronting onto the courtyard space
-  Pedestrian thoroughfares through the space
-  Hotel Restaurant Terrace
-  Proposed courtyard space
-  Location of new accessible stair and lift



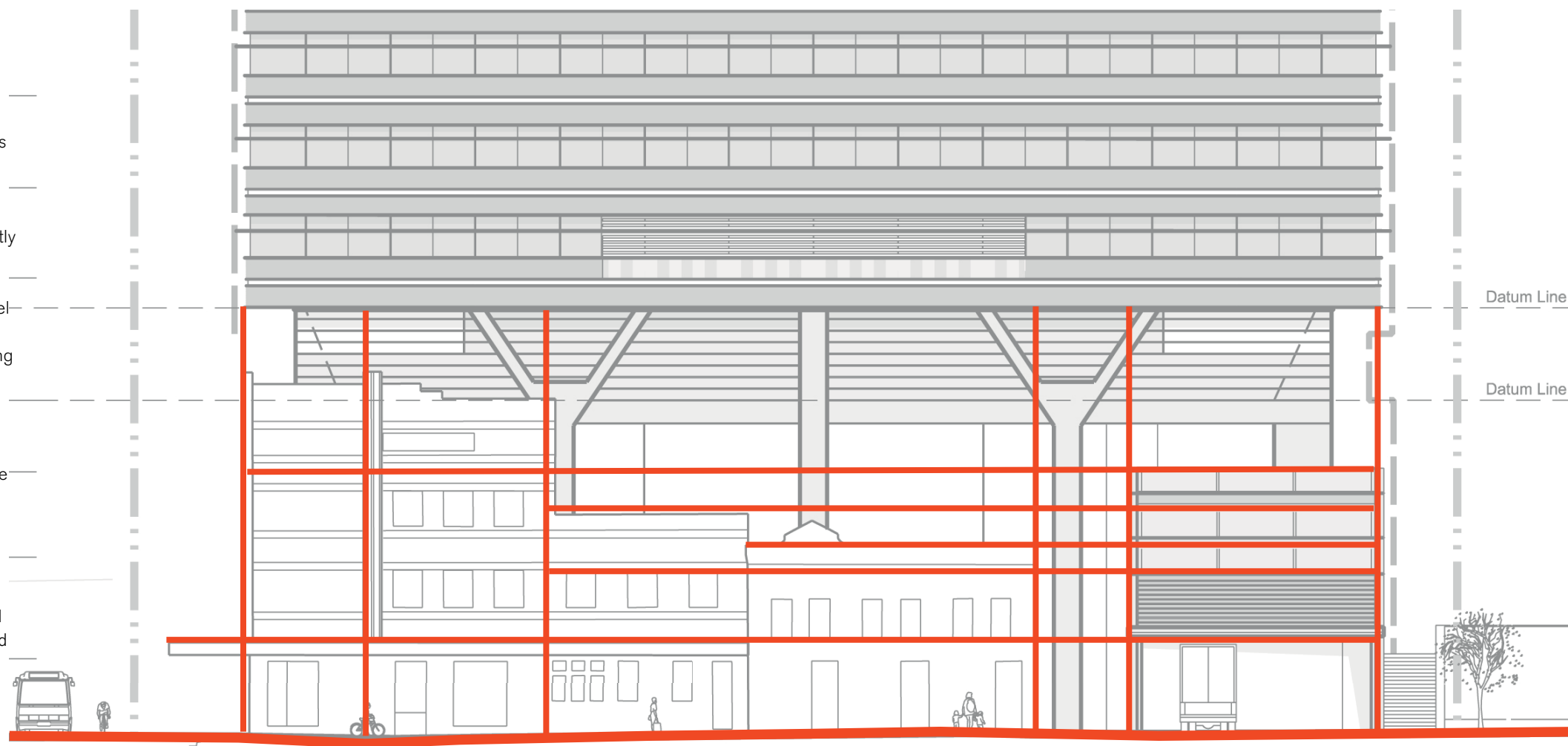
**Integration**

One of the key design decisions for the revised design of Block 4N has been the integration of the Heritage Buildings sympathetically.

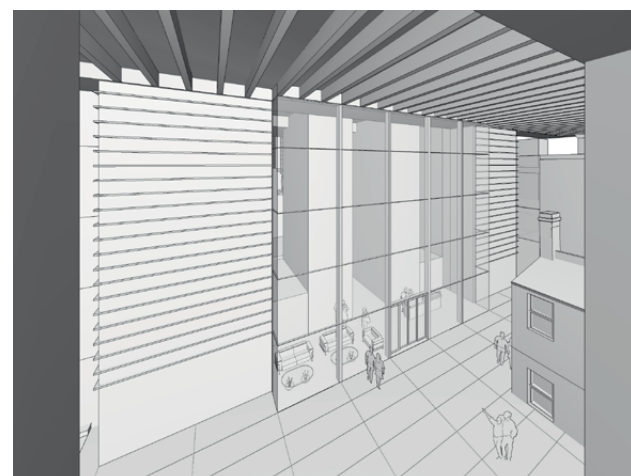
This led firstly in the massing of Block 4N being setback by 6.0m to significantly reduce the overhang of the previous approved commercial scheme. This gesture has allowed the Australian Hotel and the adjacent Terraces the space around it to be appreciated without being overwhelmed by the new development above.

The second aspect which was key to their integration was in the design of the massing over the loading bay entrance ramp located in the south-west corner of the Block 4N site, to the south of the Terraces. Developed as a potential commercial retail space (see Planning chapter earlier), its design concentrated on creating a form which was influenced by the datums and heights of the Heritage Buildings.

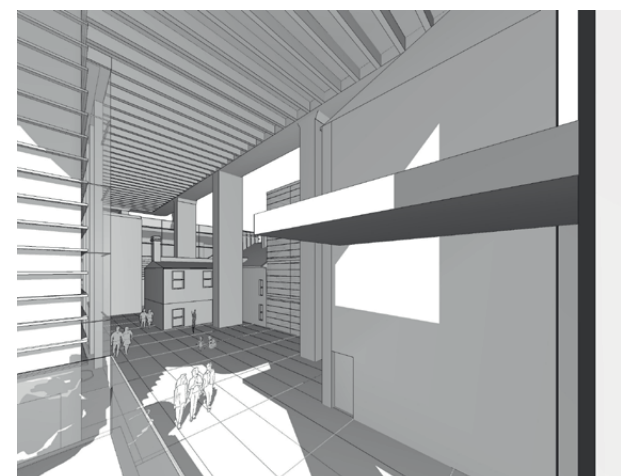
The final design, architecturally, aims to compliment the scale and rhythm set by the Heritage Buildings in both its height and width with the intention of it to "complete" the terrace block. Rather than be a pastiche from a tectonic perspective of the actual buildings,, the facade of the new massing at this scale is seen to be more contemporary without being jarring. The internal function of the commercial retail part of the massing marries well with the intention of the Heritage Courtyard while also dealing with the transition in levels between Central Park Avenue and Abercrombie Street.



Elevation clarifying the key datums of the Australian Hotel and Terraces which influenced the design of the massing over the loading ramp



Elevated view from Australian Hotel Terrace



View from Restaurant Terrace



View from within the office lobby looking west into Heritage Courtyard

## Heritage Courtyard

### Hidden Line Visual

7.4

#### Internal Courtyard Views

View looking south illustrating the improved daylight access into the Heritage Courtyard as a result of the overhead massing of Block 4N over the Australian Hotel and adjacent historical Terraces now being setback 6.00m from Abercrombie Street. It also shows the new Heritage Courtyard to the rear of these buildings which looks to provide a new urban space and destination. The proposed entrance into the Commercial Office Entrance Lobby can be seen to the left of the image which protrudes slightly forward of the adjacent fire egress cores to be visible from Broadway.



**Internal Courtyard Views**

The view looking north towards Broadway beyond and into the proposed new Heritage Courtyard illustrates how the setback of the Commercial Office and residential massing from Abercrombie Street allows for more daylight to enter the space from the west in relation to the previous approved design. The image shows how the Heritage Courtyard can be seen to extend into the Commercial Office Entrance Lobby and vice versa by continuing and sharing the proposed finishes between the two spaces. This blurs the boundaries of inside and out as seen throughout the design of the building as a whole.



