

PRE-CONSTRUCTION CONDITION SURVEY (DILAPIDATION REPORT)

ON

PUBLIC AND COUNCIL PROPERTIES

REPORT NUMBER: S26211301 - 001

PREPARED FOR: Lipman

PROJECT: 6 Halifax Street, Macquarie Park NSW 2113

INSPECTION DATE: 17th April 2026

INSPECTED BY: Roni Shlemon

REPORT PREPARED BY: Roni Shlemon

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1.0 INTRODUCTION

Shlemon Consulting Engineers (SCE) has been engaged by Lipman to conduct a **pre-construction condition survey (Dilapidation Report) of public properties and council assets surrounding the proposed development at 6 Halifax Street Macquarie Park NSW 2113**. The dilapidation inspection was conducted on 17/04/2026.

2.0 INVESTIGATION

Shlemon Consulting Engineers (SCE) was instructed to report on any current defects and damages to the inspected areas which include settlement, cracking, and any obvious areas of deterioration of render, brickwork, and concrete etc. The inspection has been carried out based on a walk-through type of inspection of visible structures where reference photos of obvious damages to the structural components and attached finishes have been taken and included in the report.

The inspection areas of the entire dilapidation survey are limited to:

- Exterior and interior elements adjacent to the proposed development for properties of
 - **Adjacent property of 4 Halifax Street, Macquarie Park – 2m from boundary fence**
 - **Adjacent property of 8 Halifax Street, Macquarie Park – 6m from boundary fence**
- All existing **public and council assets** surrounding the site including road pavement, footpath, kerb, gutter, surface pit covers, street furniture, lighting poles, traffic poles, signs, and the like.
- Trees, shrubs, and grasses.

Only a visual inspection was carried out, which was used to create this report, no core drilling, testing or structural sampling has been carried out. The report will also comment on any obvious signs of damages to finishes in these areas but will exclude the following:

- Areas surrounding not listed above.
- Fit outs which are not parts of the finishes such as light, kitchen and theatre fixtures and the likes.
- Building interior existing services such as electrical, air conditioning, lift, water, telecom, fire, and the likes.
- Doors and windows.
- The interior room surfaces.

3.0 COMMENTS

The sections of council properties which are associated with the subject site was inspected and photographic evidence compiled to depict the condition of the council assets along this stretch of roads before the construction work begin at subject site. This section can be seen in the map in item 5.1 of the report.

The road surface on Halifax Street was in a good condition overall with little evidence of cracking, abrasion and material loss. The kerb, gutter and footpath which accompany the roadway were also inspected. At the time of this inspection, they were found to be in a good condition overall with little signs of cracking/damage observed to footpath, vehicular crossing kerb & gutter. There were roadworks being performed so there was debris on the surface of the road at certain sections.

The condition of the telegraph poles and street signs were also inspected and were determined to be in a good condition.

4.0 DISCLAIMER

Important information regarding the scope and limitations of the inspection and report:

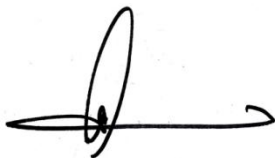
1. This report is NOT an all-encompassing report dealing with the building from every aspect. This report is not a Certificate of Compliance with the requirements of any Act, Regulation, Ordinance or By-law. It is not a Structural Report. Should you require any advice of a structural nature you should contact a structural engineer.

2. THIS IS A VISUAL INSPECTION ONLY limited to those areas and sections of the property fully accessible and visible to the inspector on the date of the inspection and in accordance with AAS 4349.0. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including but not limited to foliage, mouldings, roof insulation/ insulation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards, other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any invasive procedures. Visible timbers cannot be destructively probed or hit without written permission of the property owner.

3. This report does not and cannot make comment upon: defects that may have been concealed: the assessment or detention of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; the presence or absence of timber pests, gas-fittings, common property areas, environmental concerns; the proximity of the property to flight paths, railways or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identifications of illegal plumbing work; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant. Accordingly, this Report is not a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. (NB: such matters may upon request be covered under the terms of a special purpose property report.)

Yours Faithfully,

Shlemon Consulting Engineers (SCE)

A handwritten signature in black ink, consisting of a large, stylized loop followed by a horizontal line that ends in a small upward flick.

Roni Shlemon

Bachelor of Engineering (Hons) MIEAust CPEng NER – EA ID 4158374

Professional Engineer Registration (NSW) – PRE0001882

Design Practitioner Registration (NSW) – DEP0003001

Practicing Registered Professional Engineer of Queensland (RPEQ) - 34879

5.0 DETAILED INSPECTION PHOTOS

5.1 Council Assets

This section considers the existing condition of **council assets** including but not limited to road, footpath driveway, power pole, trees, nature strip, Telstra pits, stormwater pits, kerb and gutter and other elements.



Figure A – Extent of photographic survey for public and council properties shown in yellow. Proposed development is shown in red.



Figure 1 – General view of council footpath.



Figure 2 – General view of council footpath.



Figure 3 – General view of council footpath and tree pit.



Figure 4 – General view of council footpath.



Figure 5 – General view of kerb and council tree pit.

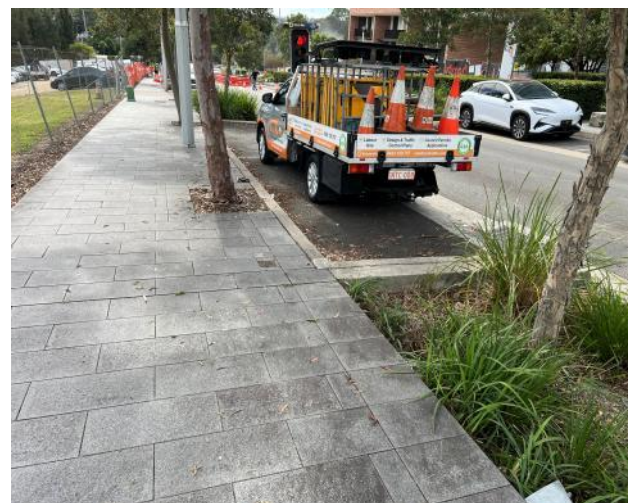


Figure 6 – General view of council footpath.



Figure 7 – General view of road pavement at parking bay.



Figure 8 – General view of council footpath.



Figure 9 – General view of council footpath, kerb and gutter.



Figure 10 – General view of footpath and kerb.



Figure 11 – General view of road pavement at parking bay.



Figure 12 – General view of road pavement.



Figure 13 – General view of road pavement.



Figure 14 – General view of road pavement.



Figure 15 – General view of road pavement.



Figure 16 – General view of road pavement.



Figure 17 – Current condition of road pavement.



Figure 18 – Current condition of tree pit.



Figure 19 – General view of road pavement.



Figure 20 – Current condition of road pavement.



Figure 21 –



Figure 22 – General view of tree on council footpath.



Figure 23 – Stormwater pit.



Figure 24 – General view of tree and kerb on council land.



Figure 25 – General view of footpath and power pole.



Figure 26 – General view of base of power pole.



Figure 27 – General view of base of power pole.



Figure 28 – Tree base.



Figure 29 – Current condition of kerb around tree/shrub pit.



Figure 30 – Current condition of kerb and gutter.



Figure 31 – kerb on council land.



Figure 32 – kerb and council road pavement.



Figure 33 – General view of kerb.

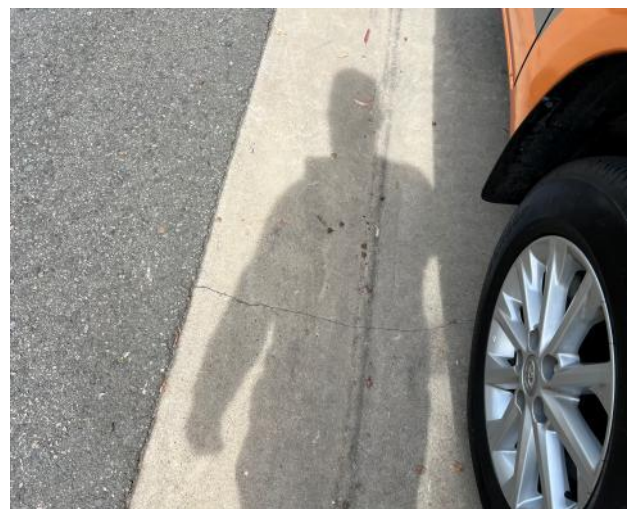


Figure 34 – Cracking to gutter.



Figure 35 – General view of council road.



Figure 36 – General view of council road.



Figure 37 – General view of council road.



Figure 38 – Gutter.



Figure 39 – General view of council road.



Figure 40 – General view of nature strip.



Figure 41 – Council nature strip.



Figure 42 – Tree.



Figure 43 – General view of council footpath.



Figure 44 – Current condition of electrical pit/box.



Figure 45 – General view of council footpath.



Figure 46 – Tree on council land.



Figure 47 – General view of council footpath.



Figure 48 – General view of council road.



Figure 49 – General view of road pavement.



Figure 50 – General view of road pavement.



Figure 51 – General view of road pavement. Cracking to gutter.



Figure 52 – General view of road pavement.



Figure 53 – General view of road pavement.



Figure 54 – General view of road pavement.



Figure 55 – General view of road pavement. Cracking to gutter.



Figure 56 –



Figure 57 – General view of road pavement.



Figure 58 –



Figure 59 – General view of boundary fence.



Figure 60 – General view of council footpath.



Figure 61 – General view of service pit.



Figure 62 – General view of road pavement.



Figure 63 – General view of service pit.



Figure 64 – General view of road pavement.



Figure 65 – Current condition of gutter.



Figure 66 – Kerb and gutter.



Figure 67 – General view of council footpath.



Figure 68 – General view of council footpath and road pavement.

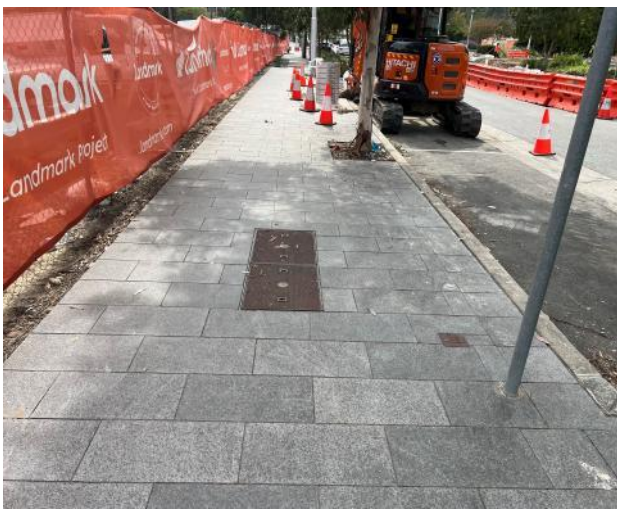


Figure 69 – General view of council footpath.



Figure 70 – General view of council footpath.

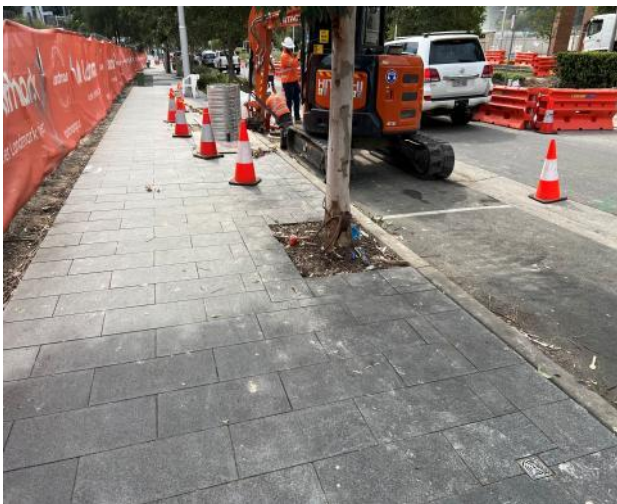


Figure 71 – General view of council footpath.



Figure 72 – General view of road pavement.



Figure 73 – General view of parking bay.



Figure 74 – General view of road pavement.



Figure 75 – General view of road pavement.



Figure 76 – General view of road pavement.



Figure 77 – Tree pit.



Figure 78 – General view of council footpath.



Figure 79 – General view of council footpath.



Figure 80 – General view of service pit.

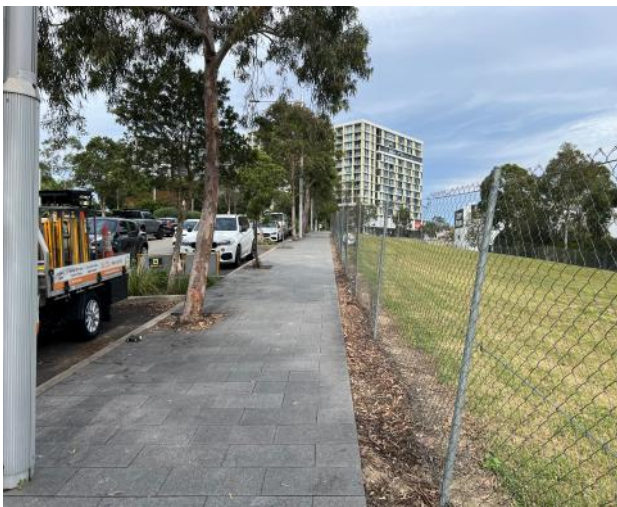


Figure 81 – General view of council footpath.



Figure 82 – General view of council footpath.

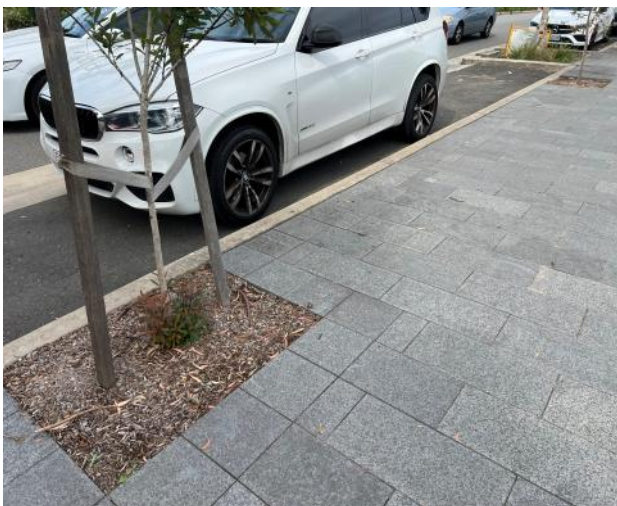


Figure 83 – General view of council footpath.



Figure 84 – General view of council footpath.



Figure 85 – General view of road pavement.



Figure 86 – General view of council road.



Figure 87 – General view of road pavement.



Figure 88 – General view of road pavement.



Figure 89 – Current condition of road pavement.



Figure 90 – Current condition of road pavement.



Figure 91 – General view of council footpath.

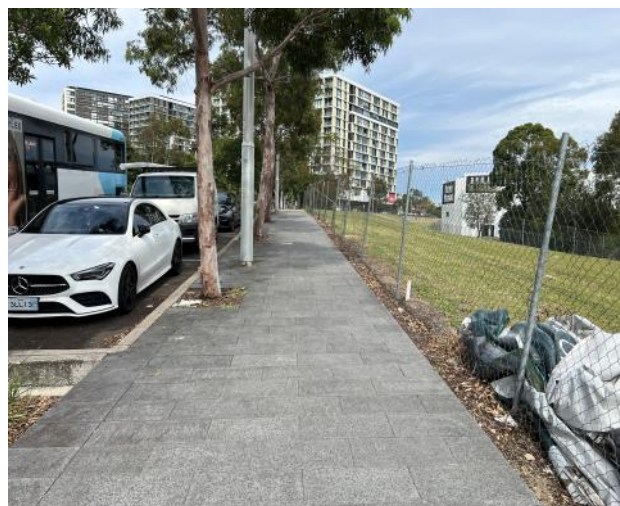


Figure 92 – General view of council footpath.



Figure 93 – General view of council tree pit.



Figure 94 – General view of tree on council land.



Figure 95 – Kerb and road pavement at parking bay.

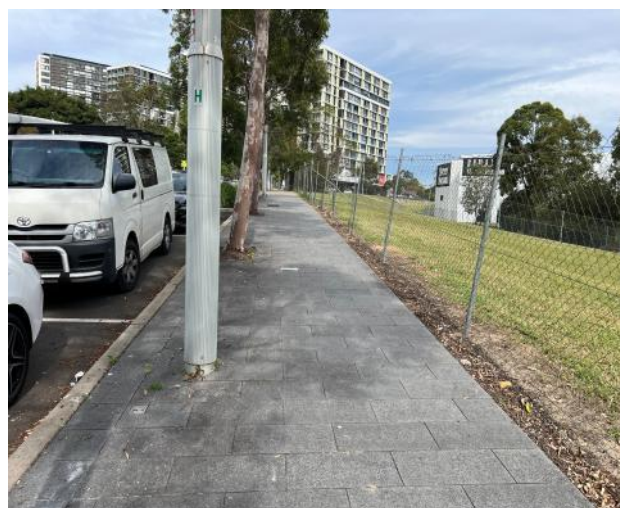


Figure 96 – General view of power pole.



Figure 97 – General view of council footpath.



Figure 98 – General view of council footpath.



Figure 99 – Current condition of council footpath.



Figure 100 – Power pole on council land.

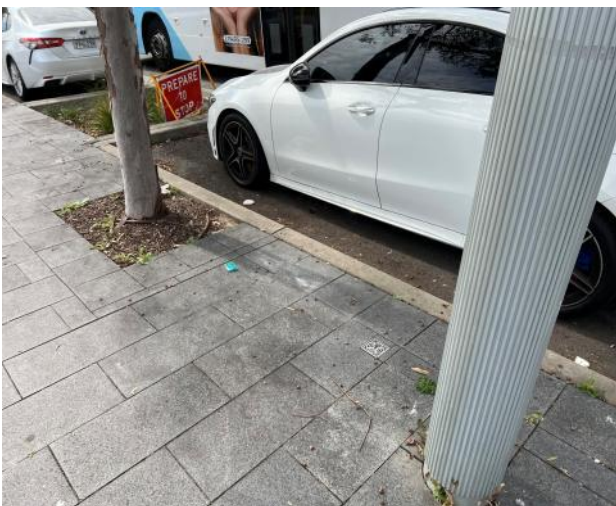


Figure 101 – General view of council footpath.

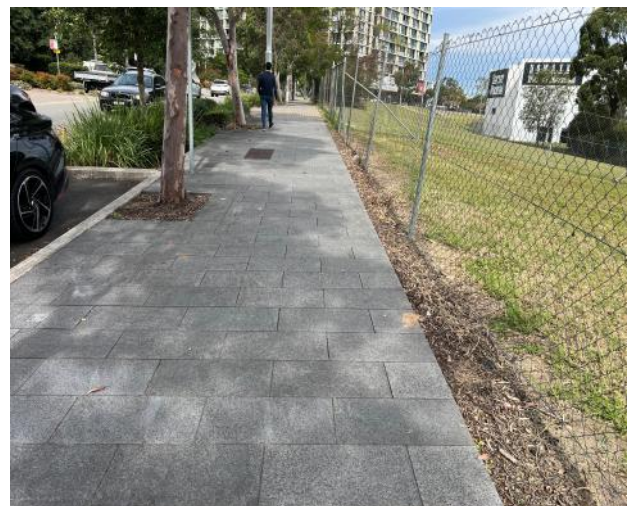


Figure 102 – General view of council footpath.



Figure 103 – Parking bay road pavement.



Figure 104 – kerb and road pavement.



Figure 105 – Tree on council land.



Figure 106 – General view of council footpath.

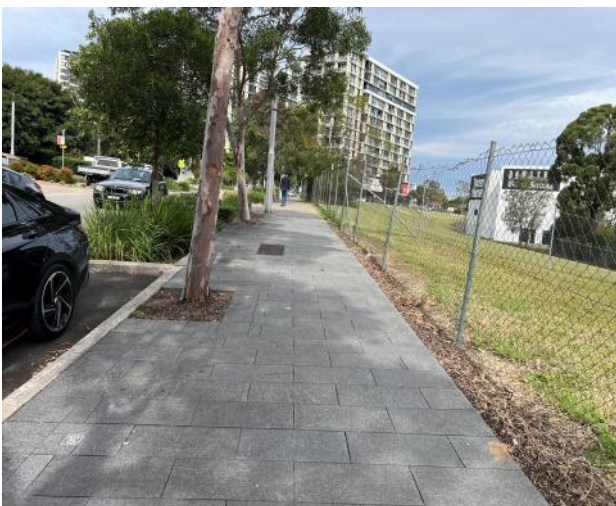


Figure 107 – General view of council footpath.



Figure 108 – General view of road pavement.



Figure 109 – General view of road pavement.



Figure 110 – General view of road pavement.

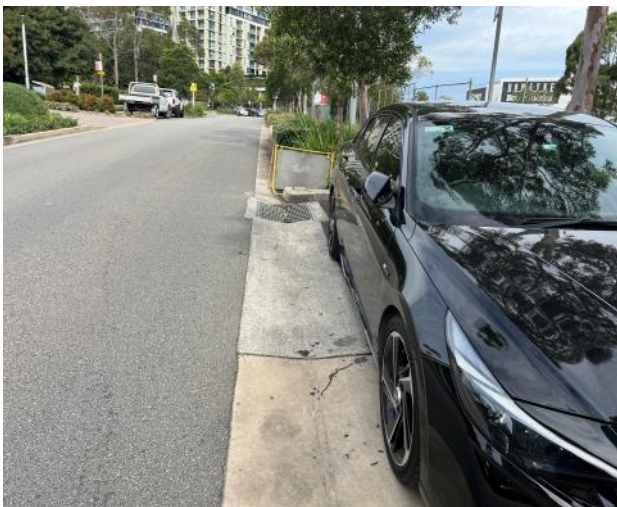


Figure 111 – General view of road gutter.



Figure 112 – General view of road gutter.



Figure 113 – General view of road pavement.



Figure 114 – Stormwater pit.



Figure 115 – Nature strip on council land.



Figure 116 – Cracking to road gutter.



Figure 117 – General view of road pavement.

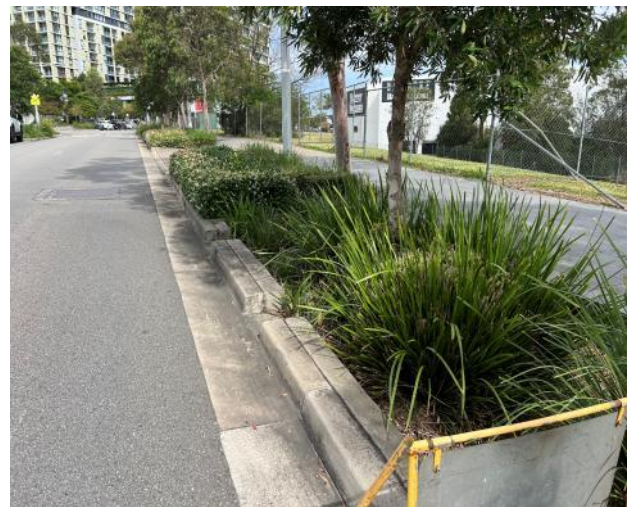


Figure 118 – Kerb and gutter.



Figure 119 – General view of road pavement.



Figure 120 – Cracking to gutter.



Figure 121 – kerb and nature strip.



Figure 122 – General view of nature strip.



Figure 123 – Service pit in road pavement.



Figure 124 – Council footpath.

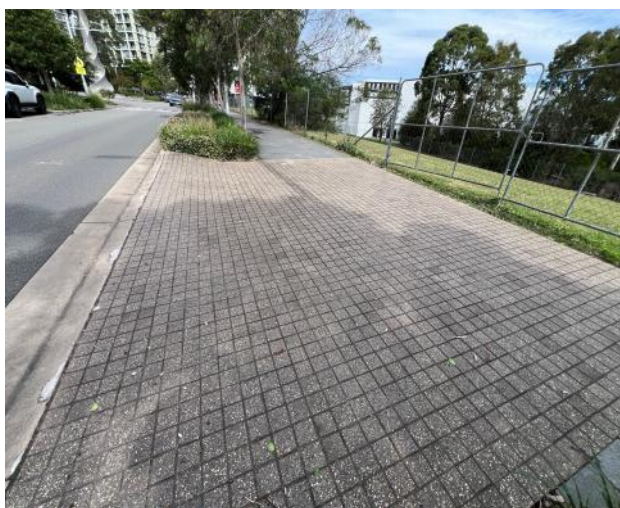


Figure 125 – General view of council footpath.



Figure 126 – General view of road pavement.



Figure 127 – General view of road pavement.



Figure 128 – General view of road pavement and service pit.



Figure 129 – General view of road pavement, kerb and gutter.



Figure 130 – General view of road pavement, kerb and gutter.



Figure 131 – General view of road pavement.



Figure 132 – General view of council footpath.



Figure 133 – General view of council footpath.



Figure 134 – General view of road pavement.



Figure 135 – General view of road pavement.



Figure 136 – General view of road pavement.

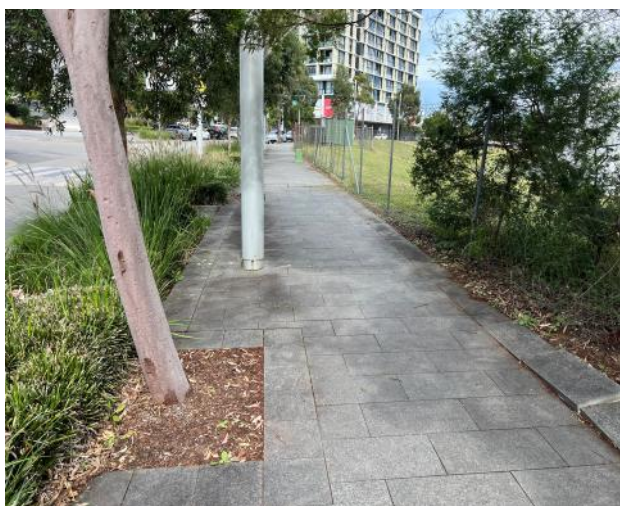


Figure 137 – General view of council footpath.



Figure 138 – General view of council footpath.



Figure 139 – General view of council footpath.



Figure 140 – General view of council footpath.

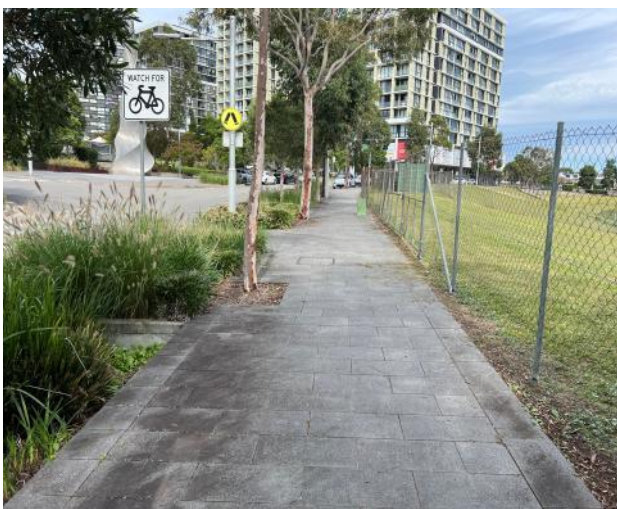


Figure 141 – General view of council footpath.

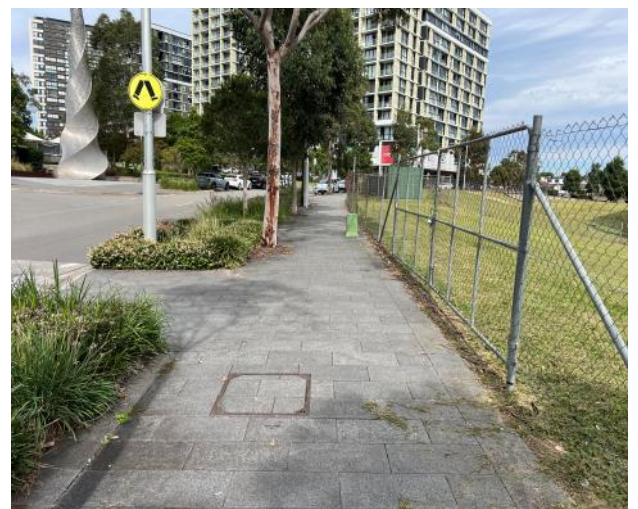


Figure 142 – General view of council footpath.



Figure 143 – General view of road crossing.



Figure 144 – General view of road crossing.



Figure 145 – General view of road crossing.



Figure 146 – General view of road pavement.



Figure 147 – General view of road pavement.



Figure 148 – General view of road pavement.



Figure 149 – General view of road pavement.



Figure 150 – General view of road pavement, kerb and gutter.



Figure 151 – General view of road pavement.



Figure 152 – General view of road pavement.