

Consultation Outcomes Report

40 The Retreat, Bradfield

Submitted to Department of Planning, Housing and Infrastructure
on behalf of SCG Development



'Gura Bulga'

Liz Belanjee Cameron

'Gura Bulga' – translates to Warm Green Country. Representing New South Wales.



'Dagura Buumarri'

Liz Belanjee Cameron

'Dagura Buumarri' – translates to Cold Brown Country. Representing Victoria.



'Gadalung Djarri'

Liz Belanjee Cameron

'Gadalung Djarri' – translates to Hot Red Country. Representing Queensland.

Ethos Urban acknowledges the Traditional Custodians of Country throughout Australia and recognises their continuing connection to land, waters and culture.

We pay our respects to their Elders past, present and emerging.

In supporting the Uluru Statement from the Heart, we walk with Aboriginal and Torres Strait Islander people in a movement of the Australian people for a better future.

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Version No.	Date of issue	Prepared by	Approved by
1.0 (DRAFT)	29/04/2024	ZC, VH	NW
2.0 (FINAL)	13/06/2024	VH	NW

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B. Social Impact Assessment Engagement	<i>Ethos Urban</i>
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1.0 Executive Summary

1.1 Purpose of Report

Ethos Urban has prepared this Consultation Outcomes Report (the Report) on behalf of SCG Development (the Proponent), to outline the key issues raised by immediate neighbours, the local community and government agencies during the preparation of the State Significant Development Application (SSDA) (the Proposal) for a mixed-use residential development located at 40 The Retreat, Bradfield (formerly Bringelly) (the Site).

With full consideration given to the Secretary's Environmental Assessment Requirements (SEARs) issued on 18 January 2023, this Report details the approach to engagement, the various communication tools utilised, engagement activities undertaken, the feedback received to date, and recommendations for further consideration as the project progresses.

1.2 Overview of the Proposal

This State Significant Development Application seeks consent for the detailed design and delivery (including construction and use) of a new mixed use residential development, to be developed in two (2) stages. Specifically, development consent is sought for:

Stage 1

- Overall site clearing and preparation works, including demolition of all existing development on the Site;
- The redevelopment of the northern portion of the Site, comprising:
 - Temporary Site access to the northern portion of the Site from The Retreat;
 - Temporary bin enclosure adjacent the temporary access;
 - Excavation works and construction of a shared two (2) storey basement to a maximum depth of RL 60.60, with capacity for 311 vehicle car spaces;
 - Construction of three (3) individual mixed use buildings, comprising:
 - Maximum building heights between 30.4m and 39.8m;
 - A total Gross Floor Area (**GFA**) of 26,204sqm, comprising 25,744 sqm of residential GFA, 248 sqm of non-residential GFA and 212 sqm of retail GFA, distributed across the three buildings;
 - 254 residential units, distributed across the three buildings.
 - Associated landscaping, communal open space and embellishment works; and
 - Delivery and augmentation of services.

Stage 2

- The redevelopment of the southern portion of the Site, comprising:
 - Removal of the Stage 1 temporary access from The Retreat;
 - Connection and access of the Stage 1 basement to the western boundary (to become a future Collector Road);
 - Excavation works and construction of a shared three (3) storey basement to a depth of RL 56.35, with capacity for 336 vehicle car spaces;
 - Site and basement access from the western boundary (to become a future Collector Road);
 - Construction of three (3) individual mixed use buildings, comprising:
 - Maximum building heights between 23.8m and 39.9m;
 - A total Gross Floor Area (**GFA**) of 29,126 sqm, comprising 28,540 sqm of residential GFA, 212 sqm of retail GFA and 374 sqm of non-residential GFA, distributed across the three buildings;
 - 279 residential units, distributed across the three buildings.
 - Associated landscaping, communal open space and embellishment works; and
 - Delivery and augmentation of services.

A detailed description of the proposed development is detailed in Section 3.0 of the Environmental Impact Statement prepared by Ethos Urban.

It is envisioned this development will contribute to the precinct activation of master planned Bradfield City Centre, which is set to become Australia's newest city on the doorstep on the new Western Sydney International Airport.

1.3 Consultation Overview






Ethos Urban was engaged to support community and stakeholder consultation over the core period of March to April 2024. The purpose of engagement on the proposal was to present the Proposal plans and designs for the site and provide opportunities for those closely impacted and interested in the development to learn more, ask questions, and provide feedback to help inform and improve the final design.

This early engagement process provided opportunities for open conversations and feedback from:

- Immediate neighbours located within a 500m+ radius of the site;
- Interested community members and stakeholder group representatives; and
- Several key government agencies and service providers.

Table 1 below includes a high-level summary of the engagement activities undertaken during this process:

Table 1 *Engagement outcomes from pre-lodgement consultation*

 <p>Community notification</p> <ul style="list-style-type: none"> • 80 letters distributed on 16 March 2024 to surrounding properties and businesses located within a 500m radius from the site inviting residents and community members to attend a community webinar to learn more and ask questions 	 <p>Stakeholder outreach</p> <ul style="list-style-type: none"> • Direct email outreach to 2 key stakeholders <ul style="list-style-type: none"> - Immediate neighbour at 30 The Retreat, Bradfield (Kelvin Park Homestead) - Western Parkland City Authority
 <p>Community webinar</p> <ul style="list-style-type: none"> • 7 registrants and 3 attendees at the community webinar held on 27 March 2024 	 <p>Social Impact Assessment (SIA) Survey</p> <ul style="list-style-type: none"> • 0 responses received on the online SIA survey, active until 23 April 2023
 <p>Stakeholder briefings</p> <ul style="list-style-type: none"> • 4 stakeholder briefings held with: <ul style="list-style-type: none"> - 1 x Department of Planning, Housing and Infrastructure on 14 September 2023 - 2 x State Review Design Panel meetings on 2 August 2023 and 15 November 2023 - 1 x Western Parkland City Authority on 1 March 2024 	 <p>Project email and phone</p> <ul style="list-style-type: none"> • As of 29 April 2024, 1 community enquiry received via a dedicated project email and phone. Contact channels will continue to be monitored until SIDA lodgement

1.4 Key Feedback

Feedback raised during the SIDA pre-lodgement consultation related to:

- **Bradfield Town Centre**, including staging and cumulative development impacts.
- **Design and landscaping strategy**, including Connecting with Country initiatives, integration with Thompson's Creek, and careful transition of landscaping and built form with surrounding context including Kelvin Park Homestead and nearby development, and public, communal and private open space design.
- **Building height, bulk, density and land use**, including proposed floor space ratio, housing diversity, solar access compliance
- **Site access and connectivity**, including road layout, pedestrian links and designing for flexibility
- **Service and utility infrastructure**, related to the provision of water and electricity to the Aerotropolis Core Precinct, water management strategy and topography.
- **Delivery team**, including developer background.

1.5 Key Considerations

Considering the detailed feedback received during early consultation, Ethos Urban recommends the following approach to guide ongoing engagement as the project progresses:

- Build on early relationships established with key stakeholders and immediate neighbours most impacted by the development through ongoing project updates via email as the project continues. This will help uphold SCG Development's position as a responsible corporate entity and a good neighbour invested in delivering the best development outcomes. Importantly, it will help SCG Development prepare for and navigate the future, more complex phases of the project pending relevant planning approvals.
- Continue to provide further opportunities for consultation as the project progresses through proactive outreach and efforts to participate in local community events.

1.6 Next Steps

Feedback received during pre-lodgement consultation provides the project team with a better understanding of the local context and concerns from neighbouring residents and key stakeholders. The community and stakeholders will have another opportunity to provide formal feedback on the scheme via the public exhibition process, to be managed by the NSW Department of Planning and Environment.

Should the SSDA receive approval from the Department of Planning, Housing and Infrastructure, SCG Development recognises the importance of continued engagement with nearby neighbours, businesses and the wider Bradfield community as it continues to grow.

2.0 Project Introduction

2.1 The Site

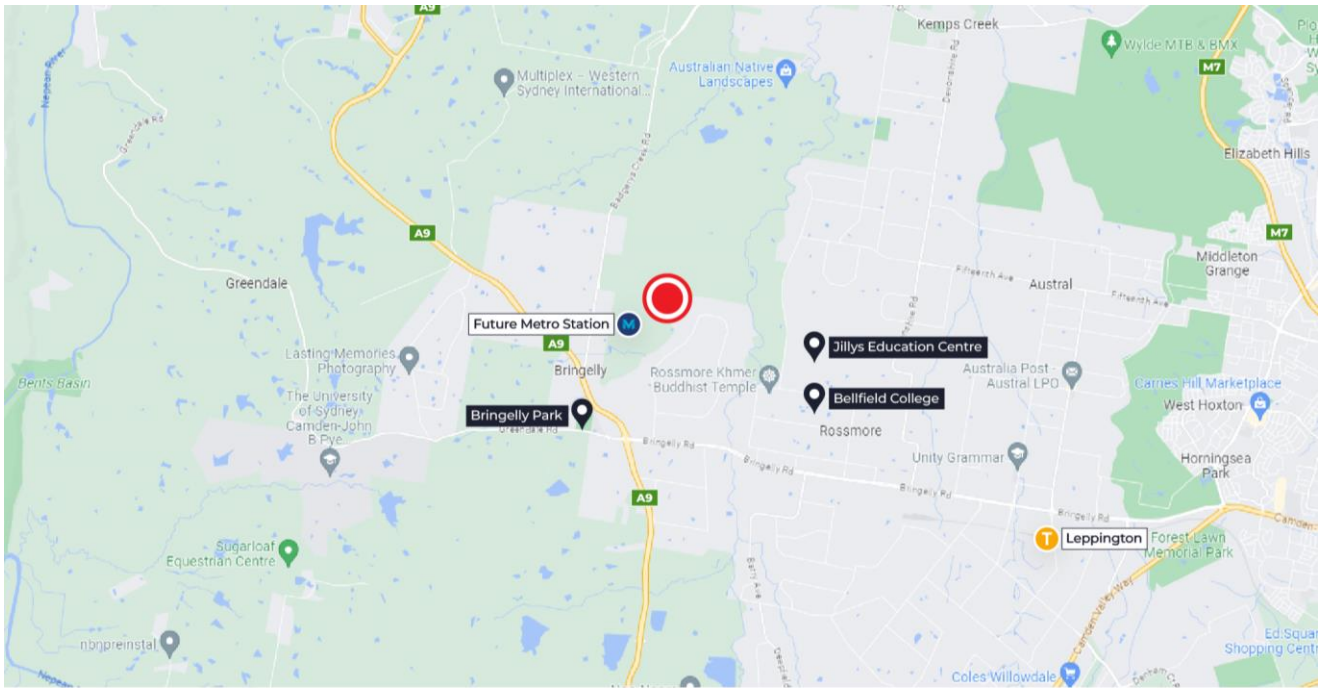
2.1.1 Site Context

The site located within Dharug Land, in the Liverpool Local Government area (LGA). The site is located within the Aerotropolis precinct. The Aerotropolis represents a new priority growth precinct designed to leverage off the Western Sydney International (Nancy-Bird Walton) Airport and Aerotropolis Metro.

Within the Aerotropolis, the site is located within the Aerotropolis Core precinct. This precinct is planned to be a dense urban precinct planned around the Aerotropolis Metro Station comprising a commercial precinct for jobs, advanced manufacturing, and high technology to support up to 50,000 to 60,000 jobs. The Aerotropolis Core will also contain a residential sub-precinct in walking distance to the Metro or other public transport, Wianamatta-South Creek, and Thompsons Creek, in identified areas not impacted by significant aircraft noise.

The site's western boundary adjoins the Government-owned Bradfield City Centre, of which a Masterplan has been prepared by the Western Sydney Parkland Authority (**WSPCA**). The Bradfield Centre contains the Aerotropolis Metro Station (which has commenced construction) and two advanced Manufacturing Research Facility buildings (one of which is approved and one of which is currently in planning).

The Bradfield City Centre more broadly, is planned to be the heart of the Aerotropolis Core precinct. It will deliver more than 17,000 jobs, open space, retail, entertainment, and cultural facilities. **Figure 1** illustrates the site's surrounding context.



📍 The Site



NOT TO SCALE

Figure 1 Site Context

Source: Ethos Urban

2.1.2 Site Description

The site is a single lot known as 40 The Retreat, Bradfield and is legally described as Lot 272 DP 803167. The site currently accommodates a large seven-bedroom dwelling. The site is characterised by grass cover with minimal trees and vegetation. The site contains sheds and used cars at the site's northern boundary. An aerial image of the site is provided in **Figure 2** below.



📍 The Site



NOT TO SCALE

Figure 2 Site Aerial

Source: Nearmap, edits by Ethos Urban

2.2 Proposed Development

This SSDA seeks consent for the detailed design and delivery (including construction and use) of a new mixed use residential development, to be developed in two (2) stages. Specifically, development consent is sought for:

Stage 1

- Overall site clearing and preparation works, including demolition of all existing development on the Site;
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 - Associated landscaping, communal open space and embellishment works; and
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Stage 2

- The redevelopment of the southern portion of the Site, comprising:
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 - Connection and access of the Stage 1 basement to the western boundary (to become a future Collector Road);
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 - Maximum building heights between 23.8m and 39.9m;
 - A total Gross Floor Area (**GFA**) of 29,126 sqm, comprising 28,540 sqm of residential GFA, 212 sqm of retail GFA and 374 sqm of non-residential GFA, distributed across the three buildings;
 - 279 residential units, distributed across the three buildings.
 - Associated landscaping, communal open space and embellishment works; and
 - Delivery and augmentation of services.

A detailed description of the proposed development is detailed in Section 3.0 of the Environmental Impact Statement prepared by Ethos Urban.

2.3 Relevant Planning Policies and Strategies

The proposal aligns with a series of local and regional planning policies and strategies, as outlined in **Table 2** below.

Table 2 *Relevant Planning Policies and Strategies*

Strategic Plan	Strategic Context
Greater Sydney Region Plan – A Metropolis of Three Cities	The Greater Sydney Region Plan – A Metropolis of Three Cities (Region Plan) prepared by the then Greater Sydney Commission (GSC) is the overarching strategic plan to manage change and growth in the Greater Sydney Region. It sets a 40-year vision where most residents live within 30-minutes of their jobs, education and health facilities, services and great places.
	The project's primary function is to provide residential development. The residential development will service the needs of the Airport and WSA workforce. The proposed development is consistent

Strategic Plan

Strategic Context

with the broader strategic vision as detailed in the Greater Sydney Region Plan, namely by responding to the liveability principle and increasing the housing supply in the Western Parkland City. The proposal will deliver residential development that connects to its surrounding heritage and natural environmental landscape.

Western City District Plan

The Western City District Plan (District Plan) builds upon the Regional Plan's vision, objectives and strategies to provide a 20-year plan to manage growth in the Western Sydney District.

The District Plan places significant emphasis on the (Western Sydney Aerotropolis) WSA as a driver for growth within the region. In particular, the proposed development will support high quality residential development and communal open space within the WSA and will provide economic flow-on benefits to surrounding future employment development.

Western Sydney Aerotropolis Plan 2020

The Site is located within the Aerotropolis Core Precinct. The project is consistent with the key considerations within the Plan, including;

- Supporting the investment of the new Metro Station through facilitating residential development and public spaces and bringing homes closer to transport and employment areas.
- Providing medium density housing in walking distance to public transport with appropriate amenity to support the centre and integration of commercial and employment communities.

Future Transport 2056

Future Transport 2056 emphasises the key role transport has in supporting new economic and social opportunities, particularly supporting the development of the Western Parkland City, the Aerotropolis and surrounding lands, including the location of the Site. The strategy reaffirms the proposal's vision to be highly connected to the Airport, WSA and wider Western Sydney Region

Liverpool Local Strategic Planning Statement 2020

The LSPS identifies the Airport and WSA as major drivers of employment and economic growth within Liverpool. The LSPS also highlights the importance of high-quality accessible living spaces that are supported by communal open space and infrastructure aligned growth.

2.4 Project Vision

The vision for this project is to deliver residential accommodation and ground floor retail that responds to the Site's unique context, designed to support the anticipated growth and demand for housing arising from the broader growth of the Aerotropolis Core.

The objectives of the proposed development include:

- Transition: The built form and landscape carefully transitions between the scale of Thompson Creek, Kelvin Park Homestead and the larger massing of Bradfield City Centre and the Aerotropolis Core Precinct.
- Living Option: The project will deliver a diverse range of living options for a growing precinct.
- Establishing Connections and Permeability: The project will maximise walkability within a permeable, connected precinct.
- Solar amenity and ground plane: The project will ensure adequate solar amenity is achieved for future residents and surrounding development.

A series of project benefits are envisioned, including:

- Unlock greater housing choice and diversity
- Create new communities within the Aerotropolis Core Precinct bringing
- Enhance local residential liveability and services
- Integrate with connections to the Bradfield City Centre for an improved public experience.
- Provide welcoming and inclusive communal spaces, facilities and services
- Activate the street and the precinct by providing new ground floor retail opportunities.

2.5 Engagement Context and Requirements

2.5.1 Secretary’s Environmental Assessment Requirements (SEARs)

In accordance with section 4.39 of the *Environmental Planning & Assessment Act 1979 (EP&A Act)*, Secretary’s Environmental Assessment Requirements (SEARs) for SSD 49645977 were issued on 18 November 2022. This report has been prepared to respond to the relevant issued SEARs, as set out in the table below.

25. Engagement

- Detail engagement undertaken and demonstrate how it was consistent with the *Undertaking Engagement Guidelines for State Significant Projects*. Detail how issues raised, and feedback provided have been considered and responded to in the project. In particular, applicants must consult with:
 - the relevant Department assessment team
 - any relevant local councils.
 - any relevant agencies.
 - the community
 - if the development would have required an approval or authorisation under another Act but for the application of s 4.41 of the EP&A Act or requires an approval or authorisation under another Act to be applied consistently by s 4.42 of the EP&A Act, the agency relevant to that approval or authorisation.

Table 3 outlines how relevant sections of this Report respond to the SEARs.

Table 3 SEARS Requirement – 25. Engagement

SEARS Requirement – 25. Engagement	Report Reference / Response
<i>The relevant Department assessment team.</i>	<ul style="list-style-type: none"> • Section 4.8.1 outlines engagement with the Department of Planning, Housing and Infrastructure, which has mainly occurred during the scoping phase of the project • DPHI will continue to be engaged as part of lodgement of the final SSDA, of which this Report forms part of. • SCG Development and Ethos Urban remain committed to working closely with DPHI throughout the upcoming public exhibition period to address any issues raised.
<i>Any relevant local councils</i>	<ul style="list-style-type: none"> • Section Error! Reference source not found. details the Engagement Process and Delivery, with Section Error! Reference source not found. related specially to engagement with Liverpool City Council. • Section 4.7 details feedback received to date from Council.
<i>Any relevant agencies.</i>	<ul style="list-style-type: none"> • Section 4.7 details consultation conducted with relevant government agencies and authorities, including: <ul style="list-style-type: none"> - Department of Planning, Housing and Infrastructure - State Review Design Panel - Western Parkland City Authority - Sydney Water - Transport for NSW
<i>The community</i>	<ul style="list-style-type: none"> • Section Error! Reference source not found. details the Engagement Process and Delivery

- **Sections 4.2 and 4.3** detail feedback received from frontline engagement channels and the community webinar

2.5.2 DPHI Engagement Guidelines

The NSW Department of Planning, Housing and Infrastructure's (DPHI) ***Undertaking Engagement Guidelines for State Significant Projects 2021*** sets out the following nine objectives to consider when undertaking engagement for an SSDA:

1. Engagement is about transparency and fairness.
2. Engagement is not about doing what everyone wants.
3. It is about identifying and understanding the competing needs and priorities of all those with an interest in a project and demonstrating how these needs and priorities have been considered.
4. Engagement does not mean 'asking' the community for permission for the project to proceed.
5. However, proponents do need to demonstrate that they understand what concerns, issues and impacts a project may have for those who live close to a development.
6. Local residents have a right to object to changes in their neighbourhood.
7. Engagement is about facilitating a civil dialogue that can explore whether differences can be addressed, and needs met. If this doesn't happen, clear reporting should show why this is not possible, together with an identification of what has changed and why.
8. Engagement is not about making a project more complicated, costly or creating red tape.
9. Engagement is about engaging early, so the issues are known, and providing transparency about how these issues have been considered.

These guidelines assist us to ensure that our engagement process is fair, equitable and transparent and importantly will stand up to rigorous assessment.

The engagement process for this project sought to capture an accurate understanding of key local issues, identify how to respond to these, and deliver clear communication between stakeholders and the project team. To determine the appropriate level of engagement for a project, Ethos Urban has considered the Department's guidelines to Planning Engagement for State Significant Projects.

Figure 3 below outlines how the Proponent can meet the expectations of the department's *Undertaking Engagement Guidelines for State Significant Projects*. It has been designed to support the planning and delivery of engagement that is proportionate and appropriate based on scale and impact of a project.

Given the response to the question above the most appropriate level of engagement for this project would be **'Moderate and Focused'**.

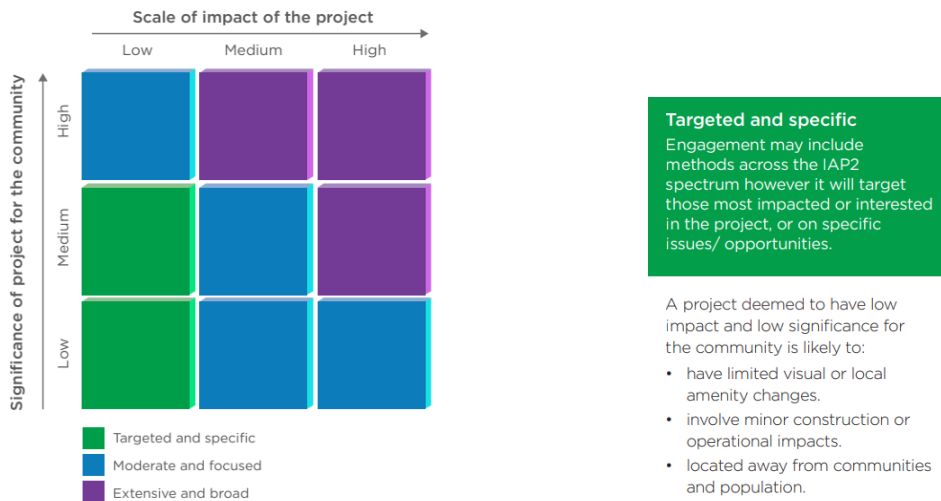


Figure 3 Engagement Matrix

Source: DPE's Undertaking Engagement Guidelines for State Significant Projects.

2.5.3 Bradfield City Centre and Western Parkland City Authority (WPCA)

Western Parkland City Authority (WPCA) is responsible for the broader master planning of the Bradfield City Centre. The proposal site boundary adjoins immediately to the east of the Bradfield City Centre Masterplan area and will rely on future supporting infrastructure to service the development. As such, consultation with WPCA is important to ensure development plans and cumulative impacts are considered and a mutually beneficial outcome is realised for both parties.

A meeting was held between the Proponent and WPCA on 26 September 2023 to present the draft Bradfield Masterplan and the initial concept scheme for this proposal. The proposed road layouts presented in the draft Bradfield Masterplan were deemed incongruent to the Aerotropolis Precinct Plan, which the initial concept design for this Proposal was based on. It was therefore noted that earlier consultation on the draft Bradfield City Centre Masterplan would have been preferable.

The draft Bradfield City Centre Masterplan was subsequently publicly exhibited from 5 February to 4 March 2024. Following a review of the draft masterplan and supporting documentation, the Proponent prepared a public submission raising the key concerns related to:

- Street alignment
- Development staging and infrastructure delivery
- Impacts on adjacent landowners
- Consultation.

This was designed as constructive feedback for WPCA and DPPI to ensure desired strategic outcomes for the Bradfield City Centre are achieved.

As public submissions for the draft Masterplan are under consideration, the project team remains committed to ongoing consultation with WPCA to ensure development is cohesive and in the best of public interest.

2.5.4 Liverpool City Council

Although not the consent authority via the SSDA planning pathway, Liverpool City Council remains a key stakeholder throughout the project's lifespan.

To date, consultation with Council has been minimal, however the project team recognises the importance of ongoing collaboration to seek Council's strategic input and advice on planning, design, and the wider consultation process. This ensures that local issues are identified and appropriately addressed to deliver the project vision in line with Council's planning policies, and community needs and expectations.

3.0 Engagement Approach

3.1 Strategic Engagement Principles

In order to develop trust with the community and stakeholders, SCG Development has worked to adopt a genuine and proactive approach to engagement. Engagement principles throughout this process include:

- **Timely** – provided the community and stakeholders with the opportunity to provide important feedback prior to lodgement of the SSDA.
- **Genuine and constructive** – provided transparent and genuine opportunities for people to participate.
- **Accessible** – ensured it is easy and straight forward to provide feedback and provided multiple convenient options to provide that feedback.
- **Informative** – educated community and stakeholders on project elements, benefits, and constraints to draw out meaningful feedback.

3.2 Alignment with IAP2 Public Participation Spectrum

The engagement process for this project sought to capture an accurate understanding of key local issues, identify how to respond to these, and deliver clear communication between stakeholders and the project team.

The IAP2 Spectrum articulates the commitment that a project team makes to its public, expressing the level of decision making. This project sits at Consult on the IAP2 Spectrum and commits to “obtaining feedback on analysis, alternatives or decisions” from the community to inform the final project outcome.

The following figure provides an overview of this spectrum.



Figure 4 IAP2 Spectrum of Public Participation

Source: IAP2

3.3 Local Considerations

Key considerations when planning engagement activities were based on the surrounding local context and likely lifestyle patterns of neighbouring residents:

- **Dispersed and expansive properties** suggest residents value privacy and may not necessarily require or be receptive to traditional group community engagement activities. Flexibility is important here, and ensuring information provided is accessible, simple, easily read and shareable
- **Timing and method** for engagement should consider the semi-rural lifestyles and workforce patterns. Asking residents how they would like to receive information will help plan future engagement (e.g., home visits, phone calls, web-based meetings, and email updates may be more appropriate).

3.4 Tools and Activities

Table 4 provides a summary of the tools and collateral that contributed to the engagement process.

Table 4 Engagement Tools and Collateral

Activity/Tool	Description	How engagement informed the project	Target Audience	Level of Engagement
Stakeholder & community invite letters	Letter emailed or distributed via letterbox drop informing stakeholders and the community about the project and inviting them to attend a consultation event.	Ensured that key stakeholders and local residents to the site are aware of the project and had the opportunity to attend an event and provide feedback.	Local residents and businesses, Key stakeholders	Inform
Project overview presentation	Detailed the objectives, vision and key deliverables of the site. Used in the community webinar and stakeholder briefings.	Provided visual aids to stakeholders and the community during engagement events.	Key stakeholders, Community webinar attendees	Inform
Community Information Webinar	Hosted a 1-hour webinar for community members to learn about the project, meet the project team, provide feedback on key topics and ask questions.	Provided a welcoming forum for community members to be able to find out more about the project and provide feedback.	Local community Immediate neighbours	Consult
Stakeholder briefings	Invited key stakeholders to meet with the project team to learn about the project, provide feedback and ask questions.	Created an open dialogue between key local stakeholders to ask questions and provide feedback throughout the project lifecycle.	Key stakeholders	Consult
1800 phone number and consultation email address	Established a project enquiry 1800 number, email address and enquiry database for stakeholders, and monitored and responded to enquiries up until lodgement.	Provided all stakeholders a direct point of contact for any enquiries and assisted them in understanding the project.	All	Consult

4.0 Engagement Process and Feedback

4.1 Notifications

4.1.1 Community Letter

A community notification letter was delivered to approximately 88 letterboxes of surrounding residents and businesses on 16 March 2024. The letter included information about the proposal and invited community members to join a webinar information session with the project team. A copy of this letter and the delivery radius can be found in **Appendix A**.

4.1.2 Stakeholder Outreach

In addition to the wider community notification, the project team undertook targeted outreach with key immediate neighbours and stakeholders to provide further opportunities for direct dialogue with the project team, as outlined in **Table 5**.

Table 5 Stakeholder Outreach and Outcomes

Stakeholder	Outreach purpose	Outcome
Owner of 30 The Retreat, Bradfield (Kelvin Park Homestead)	To discuss proposal and seek feedback from key impacted neighbour	Meeting held 29 February 2024. See Section 4.6 for further details.
Western Parkland City Authority	To better understand social infrastructure planning and delivery, to inform the Social Impact Assessment	Meeting declined, referred to the WPCA Social Infrastructure Plan as the best source of information. See Section 4.4.2 for further details.
Liverpool City Council	To facilitate Voluntary Planning Agreement (VPA) – to be undertaken in tandem with final SSDA submission	Local contributions will be proposed via a VPA with Council, to be initiated alongside the SSDA proposal. See Section 4.7 for further details.

4.2 Project Email and 1800 Number

A project email address, consultation@ethosurban.com and telephone number, 1800 870 549, were set up and communicated through printed collateral and email outreach to provide community and stakeholders with a channel to ask questions and provide feedback throughout the engagement period.

As of 29 April 2024, one enquiry was received during the consultation period seeking further information regarding the orientation of the site map provided on the community notification. This was explained and closed via phone and no further enquiries have been received since.

The email and phone number will continue to operate until lodgement of the final SSDA.

4.3 Community Webinar

An online community webinar was held on 27 March 2024 from 6:00 – 7:00pm to provide a structured presentation of the proposal, address questions and seek community feedback. 7 registrations were confirmed, with 3 community members in attendance during the session.

The presentation included:

- Welcome, Acknowledgement of Country and team introductions
- Project overview
- Planning context
- Design response
- Additional engagement
- Q&A
- Next steps and contact information

A copy of the presentation is available at **Appendix C**

Participants were encouraged to ask questions at throughout the presentation to facilitate discussion. A summary of webinar feedback is outlined in **Table 6** below.

Table 6 Community Webinar Participation

Topic	Detail	Project Response
Construction Timeline	<ul style="list-style-type: none"> • Queries around the timing of construction 	The Project Team noted that construction is anticipated for late 2025. However, this is largely dependent on the

Topic	Detail	Project Response
		completion of the Metro in 2036 and the provision of utilities and infrastructure from Sydney Water
Thompson's Creek	<ul style="list-style-type: none"> Queries around how Thompson's Creek has been integrated into the proposed design 	The Project Team notes that the proposed design is grounded in connecting with country design principles that seek to restore the natural creek line and flow of water across the site. As such Thompson's Creek is integrated as a natural asset to the new community 40 The Retreat. The proposed design transitions from high-density residential down to one-storey of Kelvin Park Drive and further Thompson's Creek.
Provision of Utilities	<ul style="list-style-type: none"> Queries around the provision of utilities (water and electricity) to the Aerotropolis Core Precinct 	The Project Team notes that we are working with our services consultant and are in correspondence with Sydney Water, energy providers and Western Sydney Parkland Authority to ensure the development is coordinated to the provision of utilities. It was clarified that as part of the SSDA process, the relevant government agencies and services will be notified via a referral process. Feedback from these agencies is anticipated to inform the timing of the second stage of development.
Bradfield Masterplan	<ul style="list-style-type: none"> Queries around the development of the Bradfield Town Centre 	The Project Team notes that the Western Sydney Parkland Authority has recently exhibited a masterplan for the Bradfield Town Centre with the Western Sydney Aerotropolis Core Precinct. The masterplan details what is envisioned on the site and how it will connect to the Metro and surrounding land. It was noted that development within the Bradfield Town Centre and its interface of our project is largely out of our control. It was reiterated that this is a strategic plan that has been adopted by the State Government.
Proponent/Developer	<ul style="list-style-type: none"> Queries around who the developer of the site is 	It was clarified that SCG Development were the proponent of this SSDA and would be developing the site.

4.4 Social Impact Assessment (SIA) Engagement

To accompany the SSDA, a Social Impact Assessment (SIA) has been prepared to analyse the potential social impacts that may arise from the development, during construction and operational phases. It subsequently recommends appropriate social mitigation and benefits optimisation measures.

The SIA draws on the analysis of the current and forecast social conditions of the defined study area/s, along with details of the proposed development, to assess its likely social impacts. It also draws on the outcomes of community consultation that has been specially undertaken to inform the SIA, as outlined in the following section.

Refer to the *Social Impact Assessment* prepared by Ethos Urban for further information and complete analysis of outcomes.

4.4.1 SIA Survey

To gather feedback on the potential social impacts, both positive and negative, that may arise from the proposed development, a short online survey was prepared and made live until 23 April 2024. The survey was promoted via email to those who registered for the webinar and the owner of Kelvin Park Homestead. This included outreach on 11 April 2024 and a reminder on 18 April 2024, as demonstrated in **Appendix B**.

No submissions were received during the survey consultation period.

4.4.2 Additional WPCA Correspondence

On 2 April 2024, the WPCA was contacted by the SIA project team to arrange an interview to discuss social infrastructure planning and sequencing for the area in context of the Bradfield City Centre Masterplan. On 17 April 2024, a representative from the WPCA advised:

- The Social Infrastructure Strategy report submitted as part of the Master Plan provides an overview of the recommended social infrastructure to be delivered to Bradfield City Centre and;
- Social infrastructure planning and sequencing for the wider area is beyond the scope of the Master Plan.

A copy of this correspondence is included in **Appendix B**.

4.5 First Nations Engagement

First Nations engagement has been a crucial element throughout the design process for the project. The SSDA will be inclusive of a landscape-led approach informed by the design principle 'Start with Country' which will inform the site's built form and character.

Hardy Hardy, a First Nations design studio, was engaged to lead the Connection with Country workstream, which included a Walk on Country attended by representatives from the development and design team, SDRP, Arcadia landscape team and Dharug Traditional Owners. This process contributed to a more holistic architectural response that gives Country an active voice in the design.

As a result, a series of Dharug Design Principles were developed and reflected into the overarching design and landscaping. Consultation was also undertaken with Aboriginal groups during the preparation of the Aboriginal Cultural Heritage Assessment (ACHAR), led by Artefact Consultants.

Refer to separate outputs prepared by relevant consultants, including Hardy Hardy, Arcadia, and Artefact, for further details the First Nations engagement, outcomes, and feedback.

4.6 30 The Retreat (Kelvin Park Homestead)

As an immediate neighbour and heritage-listed site, consultation with the landowner at 30 The Retreat has been an important part of the planning and design process. A meeting was held on 29 February 2024 to discuss the proposal and plans for future growth in the area.

As outlined in **Section 4.1.1**, the neighbour also received a physical letter advertising the community webinar, however meeting records indicate they did not attend.

The project team remain open and committed to ongoing consultation with the owner as the project progresses.

4.7 Liverpool City Council

Although not the consent authority via the SSDA planning pathway, Liverpool City Council remains a key stakeholder throughout the project's lifespan.

To date, consultation with Council has been minimal, however the project team recognises the importance of ongoing collaboration to seek Council's strategic input and advice on planning, design, and the wider consultation process. This ensures that local issues are identified and appropriately addressed to deliver the project vision in line with Council's planning policies, and community needs and expectations.

It is noted that local contributions will be proposed via the Voluntary Planning Agreement (VPA) with Council. The VPA will be a monetary contribution equivalent to draft contribution plan. State contributions will be via work-in-kind agreement to provide the relevant infrastructure.

4.8 Government Agency and Authority Engagement

SCG Development and their consultants have been in ongoing correspondence with key government agencies and public authorities throughout the planning process for the entire site.

It is noted the following agencies and authorities were contacted by the Department of Planning, Housing and Infrastructure (DPHI) for input in preparation for the SEARs. The final SSDA therefore addresses any requirements raised during this process.

- Civil Aviation Safety Authority
- Heritage NSW
- Liverpool City Council
- NSW Department of Climate Change, Energy, the Environment and Water
- NSW Environmental Protection Authority
- NSW Rural Fire Service
- Sydney Water
- Water NSW
- Western Parkland City Authority

A summary of other relevant pre-lodgement consultation, key feedback and the project response is provided in this section.

4.8.1 Department of Planning, Housing and Infrastructure (DPHI)

The Ethos Urban Planning team has led engagement with DPHI throughout the project. A meeting was held on 14 September 2023 to present a summary of the proposal, including the planning context, the site, design principles, progress from the first State Design Review Panel.

The SEARs were subsequently issued on 18 November 2022.

On 4 March 2024, the project team submitted a cover letter and the urban design study on the Bradfield City Centre Master Plan via email. These components form key parts of the Proponent's SSDA submission, with the team requesting this information be shared with the appropriate parties at within DPHI for consideration.

As the consent authority for the proposal, SCG Development and their project consultants will continue to work DPHI to address any requests or queries throughout the planning approval process.

4.8.2 State Design Review Panel (SDRP)

Consultation with the NSW Government Architect is conducted via a series of State Design Review Panel (SDRP) meetings where expert panellists provide independent, consistent design quality advice on projects that have or will undergo assessment by the state.

The project team has met twice with the SDRP, with details outlined below.

SDRP #1 – 2 August 2023

The first SDRP was held on 2 August 2023. The project team presented a presentation and physical model for review by the SDRP. Their comments have been detailed in **Table 7**.

Table 7 SDRP #1 Feedback

Topic	SDRP Comments	Project Response
Connecting with Country	<ul style="list-style-type: none"> • Implement the 'start with Country' principle into overall design. • Consider propagation of seeds from nearby Grandmother tree prior to development. 	Comments have been addressed as part of the design package presented at the 2 nd SDRP presentation.
Site strategy and landscape	<ul style="list-style-type: none"> • Ensure careful transition of landscape and built form with key local landforms and nearby development. • Further demonstrate relationship of design strategy with Kelvin Park. • Demonstrate compatibility of site's water management strategy with existing topography and water flows. 	Comments have been addressed as part of the design package presented at the 2 nd SDRP presentation.
Architecture	<ul style="list-style-type: none"> • Confirm details of preliminary yield calculations. • Demonstrate sufficient height is provided within the proposed 40m overall building height. • Clarify exact floorspace/area for proposed uses. • Demonstrate approach to housing diversity. • Further develop the podium and ground place design. 	Comments have been addressed as part of the design package presented at the 2 nd SDRP presentation.

SDRP #2 – 15 November 2023

The second SDRP was held on 15 November 2023. The project team presented an additional presentation as a follow up to the first SDRP, detailing how they have addressed previous comments. Feedback from the SDRP is detailed in **Table 8**.

Table 8 SDRP #2 Feedback

Topic	SDRP Comments	Project Response
Connecting with Country	<ul style="list-style-type: none"> • Ensure ongoing engagement of Aboriginal expertise. • Continue to refer to project aspirations and GANSW Connecting with Country framework. 	The final SSDA will address all SDRP comments. The project team will continue to engagement with the SDRP and First Nations stakeholders as the project progresses.
Site strategy and landscape	<ul style="list-style-type: none"> • Provide a comparative assessment of current massing proposal. • Knit together natural and urban character through development of the built form expression. • Develop the landscape design to offer public, communal and private open space. • Design for future flexibility of east-west link. • Include east-west link in stage 1. • Improve pedestrian priority along Collector Road. • Provide sufficient deep soil coverage. 	The final SSDA will address all SDRP comments. Please refer to the Urban Design Report by DKO.

Topic	SDRP Comments	Project Response
	<ul style="list-style-type: none"> • Further develop the water management strategy. • Reduce carparking quantity. • Target canopy cover of at least 20% site cover. 	
Architecture	<ul style="list-style-type: none"> • Strike balance between solar access compliance and usability on apartment and balcony layouts. • Ensure sufficient height allowances are provided on upper-level roofs. • Provide detailed basement plans. 	The final SSDA will address all SDRP comments. Please refer to the Urban Design Report by DKO.

4.8.3 Western Parkland City Authority (WPCA)

As outlined in **Section 2.5.3**, the Proponent undertook early consultation with WPCA via an initial meeting held on 26 September 2023 to view the draft Bradfield City Centre Masterplan and present the initial concept scheme for the Proposal at site 40 The Retreat, Bradfield, during which the proposed road layouts in the draft Bradfield Masterplan were noted as inconsistent with the Aerotropolis Precinct Plan.

The draft Bradfield City Centre Masterplan was subsequently publicly exhibited from 5 February to 4 March 2024. Following a review of the draft masterplan and supporting documentation, the Proponent prepared a public submission on 4 March 2024 raising the key concerns related to:

- **Street Alignment** – The proposed amendment to the Street Alignment Plan in the draft revisions to the Aerotropolis Precinct Plan, results in a diminished ability for the orderly development of 40 The Retreat. The proposed realignment of a collector road in the current Aerotropolis Precinct Plan, removes access which has long been intended to be delivered along the eastern boundary of Bradfield. Sufficient justification of this design amendment has not been provided given the significant impact this realignment has on accessibility.
- **Development Staging and Infrastructure Delivery** – The draft masterplan indicates that the roads within the area adjacent to 40 The Retreat will be delivered beyond 2035, so it is unclear when these will be realised. This approach is not consistent with the Aerotropolis Precinct Plan which identifies 40 The Retreat as being within the ‘First Priority Area’, which aligns with the first stages of transport and utility infrastructure delivery and is intended to be the initial stage of development in the Aerotropolis. The owners of 40 The Retreat are motivated to develop the site in accordance with the current Aerotropolis Precinct Plan, which is highlighted in their SSDA ready development plans.
- **Impacts on Adjacent Landowners** – The Masterplan Report (as exhibited) states that “the proposed re-alignment of indicative Local Streets is not considered to have any negative impacts on the adjoining landowners.” This is incorrect as the collector road realignment will create illogical boundary and cadastral conditions between the Bradfield landholding and neighbours and will make the redevelopment of sites external to Bradfield more challenging to be realised in the short term.
- **Consultation** – The owners of 40 The Retreat contend that adequate consultation was not undertaken with adjoining key landholders in the design process for the draft Bradfield City Centre Masterplan.

This was designed as constructive feedback for WPCA and DPPI to ensure desired strategic outcomes for the Bradfield City Centre are achieved.

As public submissions for the draft Masterplan are under consideration, the project team remains committed to ongoing consultation with WPCA to ensure development is cohesive and in the best of public interest.

4.8.4 Sydney Water

The project team submitted a request for feasibility assessment to Sydney Water on 3 August 2023 to understand their ability to support the proposed development. On 4 December 2023, Sydney Water provided a response outlined relevant servicing requirements.

SDG Development and their consultants will continue to engage with Sydney Water as required as the project progresses.

4.8.5 Transport for NSW

Consultation regarding traffic and transport impacts, including any relevant engagement with Transport for NSW, is being led by The Transport Planning Partnership (TTPP) on behalf of SCG Development, with correspondence to be undertaken and continued as needed.

TTPP notes a meeting was held on 1 March 2024 between DPHI and WPCA to discuss the proposed access arrangements to the site, with no objections raised to the proposed provision of one collector road along the site frontage.

SDG Development and their consultants will continue to engage with Transport for NSW as required as the project progresses.

5.0 Conclusion

SCG Development and the wider project team recognises the importance of enabling community feedback and stakeholder input into any future plans for the development of 40 The Retreat, Bradfield.

Feedback received during pre-lodgement consultation included:

- **Bradfield Town Centre**, including staging and cumulative development impacts.
- **Design and landscaping strategy**, including Connecting with Country initiatives, integration with Thompson's Creek, and careful transition of landscaping and built form with surrounding context including Kelvin Park Homestead and nearby development, and public, communal and private open space design.
- **Building height, bulk, density and land use**, including proposed floor space ratio, housing diversity, solar access compliance
- **Site access and connectivity**, including road layout, pedestrian links and designing for flexibility
- **Service and utility infrastructure**, related to the provision of water and electricity to the Aerotropolis Core Precinct, water management strategy and topography.
- **Delivery team**, including developer background.

This feedback provides the project team with a better understanding of the local context and the concerns from neighbouring residents, government agencies and service providers.

Given the growth of the surrounding area, many of the groups consulted have been aware of the impending development for some time. As such, the minimal interest suggests a reasonable level of acceptance and desire to proceed with the completion of the precinct.

It will be important to demonstrate how this feedback is considered in any future development designs for the site, with a thorough consideration of local character and community expectations. The community and stakeholders will have another opportunity to provide formal feedback on the SSDA via the public exhibition process, to be managed by the Department of Planning, Housing and Infrastructure.

Appendix A

Community Letter – 16 March 2024

16 March 2024

Dear Neighbour,

RE: 40 The Retreat, Bradfield – Proposed redevelopment and engagement opportunities

We are writing to provide you with an update about the proposed redevelopment of the site located at 40 The Retreat, Bradfield (formerly Bringelly) into a new mixed-use community, including upcoming opportunities to learn more about the project.

Project background

The surrounding area is set to be transformed with the growth of the Western Sydney Aerotropolis, arrival of the new Metro Station and future Bradfield City Centre. To support this, a number of residential sub-precincts are planned to enable workers in supporting industries like advanced manufacturing and high technology to live closer to home. This will help create attractive and convenient places for workers, residents and visitors in the region, and help contribute to a thriving economic and jobs hub in Western Sydney.

Proposed development

Our site located at 40 The Retreat, Bradfield is a proposed residential mixed-use development by SCG Developments. The design will respond to the unique natural surrounds of Wianamatta South Creek and Thompsons Creek and will support the anticipated demand for housing arising from the broader growth of the Western Parkland City.

The proposed redevelopment includes:

- Six mixed use buildings comprising approximately 533 residential apartments and ground-floor retail
- Residential amenities including a pool, gym, public and private open spaces
- Basement car parking
- Public domain improvements including landscaping and pedestrian links
- Internal road and pedestrian layouts and site access points

To bring this to life, SCG Developments is preparing to lodge a State Significant Development Application (SSDA) to the NSW Department of Planning, Housing and Infrastructure (DPHI) seeking approval for a residential mixed-use development on the site to contribute to the activation of the fringes of Bradfield City Centre.

Pending relevant planning approvals, the project will be delivered in two stages, with Stage 1 construction anticipated to commence in 2025. Completion of the new residential community will be subject to neighbouring infrastructure upgrades as part of the Bradfield City Centre. A site map and staging plan is included on the next page.

Opportunities for consultation

SCG Developments is committed to ensuring the community is consulted throughout the process. Ethos Urban has been engaged to help support our community consultation for this project and to ensure we have captured your feedback ahead of final lodgement to DPHI.

We invite you to attend an online Zoom Community Webinar on Wednesday 27th March 2024, from 6-7pm to learn more about the project, provide feedback, and ask any questions you may have. Please scan the QR code on the next page and follow the prompts to register.

Once the SSDA is lodged in the coming months, there will also be the opportunity to provide formal feedback during the public exhibition process, which will be managed by DPHI.

Join our Zoom Webinar to learn more:

When: Wednesday 27th March 2024, 6:00 – 7:00pm
Where: Online via Zoom. Please scan the QR code to register.
For assistance, contact the project team by calling 1800 870 549 or emailing consultation@ethosurban.com during business hours.

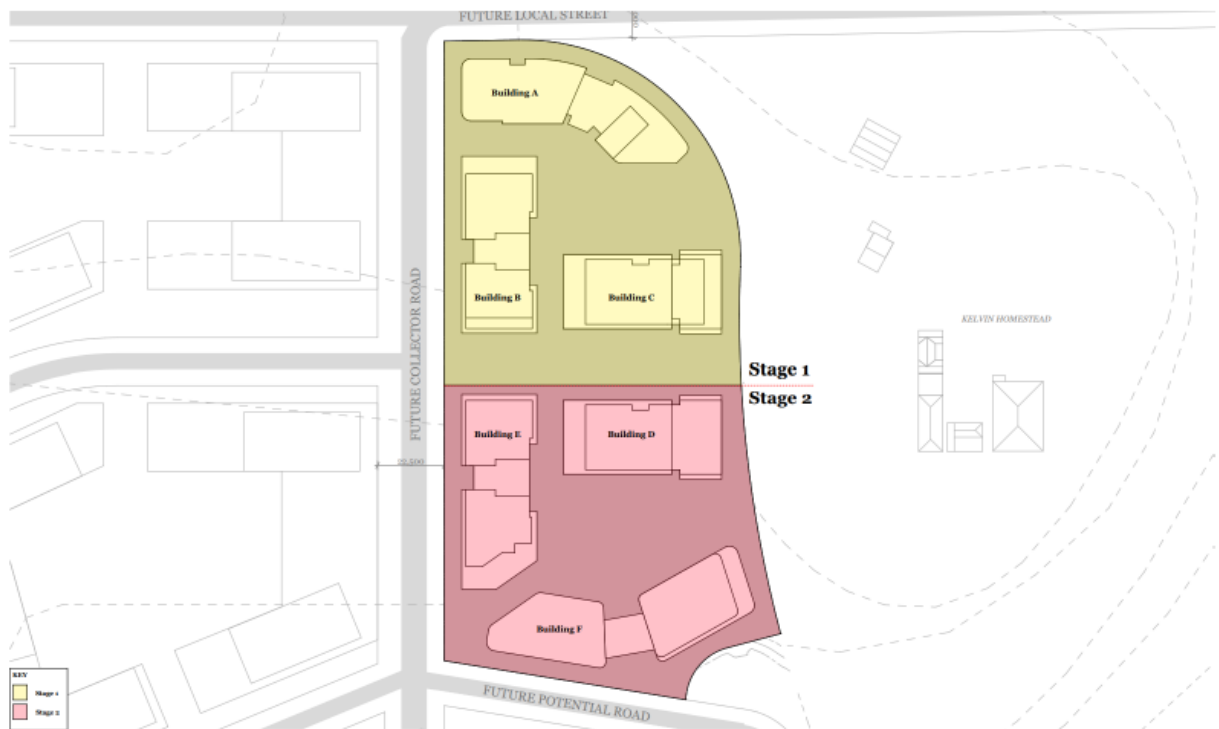


We hope you can join us and look forward to meeting you soon.

Get in touch

For any queries related to this letter or the project, please contact our Ethos Urban engagement team by calling 1800 870 549 during business hours or emailing consultation@ethosurban.com with subject line '40 The Retreat, Bradfield'.

Site map and project staging



Yours sincerely,

Willam Lam
Head Of Developments, SCG Developments

Letterbox Radius – 16 March 2024



Appendix B

Social Impact Assessment Survey – Email outreach to webinar attendees

Invitation - 40 The Retreat Bringelly - Social Impact Assessment Survey

Ethos Urban Consultation <consultation@ethosurban.com>

Thu 2024-04-11 1:32 PM

Cc: Ethos Urban Consultation <consultation@ethosurban.com>

Good afternoon

Thank you for your interest in the proposed development at 40 The Retreat, Bringelly.

We are reaching out to those who registered for the community webinar held on 27 March to invite you to participate in a survey to help inform the project's Social Impact Assessment (SIA).

The SIA is part of the development application, and seeks to understand the local social context where new development is taking place, assess the likely social impacts and benefits, and recommend mitigation strategies to potential negative impacts, and maximise the benefits of new projects for the community.

To inform the SIA, we would like your perspective on the likely impacts of the proposed development. We know that community members have valuable insight into what matters and how local people may be affected by the proposal.

A short survey is linked below and should only take about 5 minutes to complete. We really appreciate your time and input.

[Click here to complete the survey](#)

If you have any questions, please contact us by reply email or on the details below.

Kind regards,

Kate

Ethos Urban Engagement Team

P. 1800 870 549

E. consultation@ethosurban.com

W. ethosurban.com



Sydney

L4, 180 George St
Sydney
NSW 2000

Melbourne

L8, 30 Collins St
Melbourne
VIC 3000

Brisbane

L4, 215 Adelaide St
Brisbane
QLD 4000

Social Impact Assessment Survey – Email outreach to Kelvin Park Homestead

Invitation - 40 The Retreat Bringelly - Social Impact Assessment survey

Thu 2024-04-11 2:19 PM

To:

Cc:

Hi Adrian

I am working with Daniel Howard on the State Significant Development Application (SSDA) for 40 The Retreat Bringelly, on behalf of our clients, Sathio Group. I understand you met with Daniel on 29 February to discuss the project.

We are preparing a Social Impact Assessment (SIA) as part of the SSDA, and would like to invite you to complete a short survey to help inform the assessment, as a close neighbour to the site and considering the heritage value of Kelvin Park Homestead.

The SIA seeks to understand the local social context where new development is taking place, assess the likely social impacts and benefits, and recommend mitigation strategies to potential negative impacts, and maximise the benefits of new projects for the community.

A short survey is linked below and should only take about 5 minutes to complete. We really appreciate your time and input.

[Click here to complete the survey](#)

If you have any questions, please don't hesitate to contact me.

Kind regards,

Social Impact Assessment – Email correspondence with WPCA

From: Kate I

Sent: Tuesday, April 2, 2024 3:36 PM

To: @wpcasdney

Cc:

Subject: SIA engagement - 40 The Retreat Bringelly

Hi Hannah

I'm preparing a Social Impact Assessment for a proposed development at 40 The Retreat Bringelly within the Aerotropolis.

As part of the SIA, we undertake engagement to help inform the assessment, and are particularly interested to understand more about the social infrastructure planning and sequencing for the area. Daniel Howard, or Planning Project Director, passed on your contact details and suggested you may be able to assist.

Would you be available sometime next week for a short interview (max. 30 mins, via Teams)? I could do any day next week after 1pm.

Thanks,
Kate

From: [redacted]@wpca.sydney>
Sent: Wednesday, April 17, 2024 12:17 PM
To: [redacted]@ethosurban.com>
Subject: Re: SIA engagement - 40 The Retreat Bringelly

OFFICIAL

Hi Kate,

The only information we would be able to provide is information that has already been publicly exhibited.

The Social Infrastructure Strategy report submitted as part of the Master Plan provides an overview of the recommended social infrastructure to be delivered to Bradfield City Centre.

Social infrastructure planning and sequencing for the wider area is beyond the scope of the Master Plan.

Hope this offers some assistance.

Regards

Hannah

Appendix C

Community Webinar Presentation – 27 March 2024



40 The Retreat, Bradfield – SSSDA

Community Webinar

27 March 2024

Acknowledgement of Country

Ethos Urban acknowledges the Traditional Custodians of Country throughout Australia and recognises their continuing connection to land, waters and culture.

We acknowledge the Gadigal people, of the Eora Nation, the Traditional Custodians of the land where this presentation takes place, and all peoples and nations from lands affected.

We also remember and extend our respect to the Cabrogal (Cobragal) clan of Dharug Ngurra (Country) where this development is located.

We pay our respects to their Elders past, present and emerging.

Agenda

1. Introductions
2. Project Overview
3. Design Response
4. Planning Context
5. Project Timeline & Opportunities for Engagement
6. Q&A
7. Next Steps

Housekeeping



Please respect other people's time and contributions.



We ask that you keep your microphone off during the presentation.



We will address questions during a Q&A at the end of the presentation.



Use the meeting chat function to provide any questions or comments

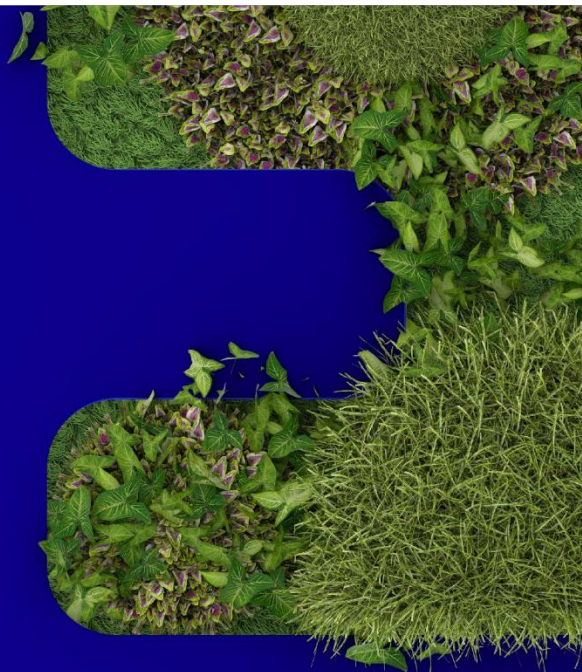


Use the Raise Hand function to speak



We will be recording this session for internal notetaking purposes only

Introductions



About the Project Team

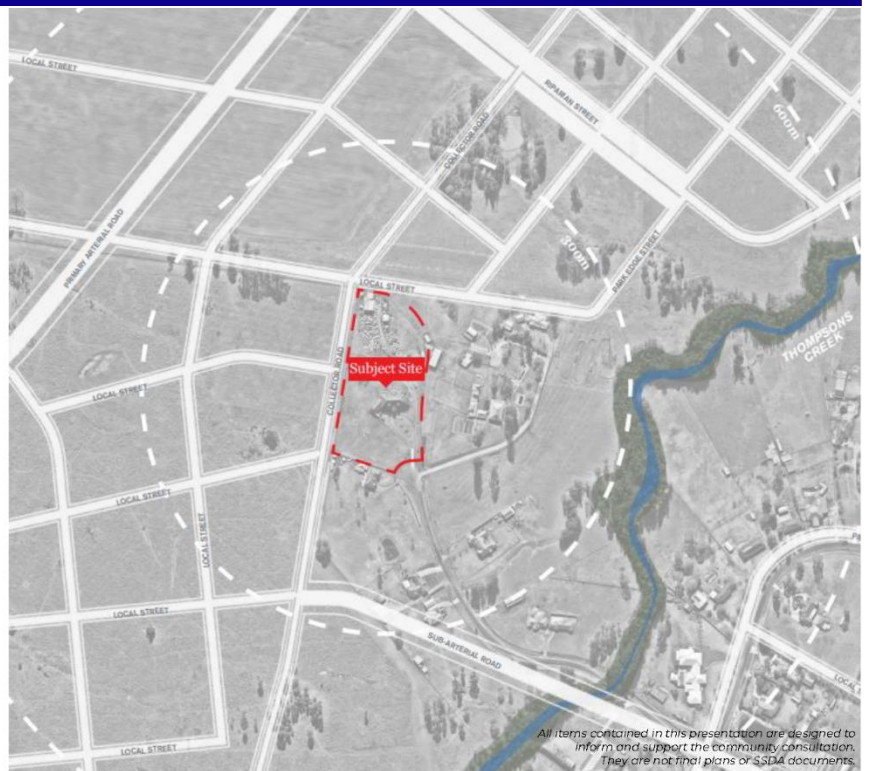
- SCG Developments – Developer
- DKO – Architect
- Ethos Urban – Planning and Community Engagement

Project Overview



The Site

- The subject site is located at 40 The Retreat, Bradfield (formerly Bringelly).
- The site is currently accessed via a road called The Retreat, that connects to Kelvin Park Drive, joining up to Bringelly Road.
- Located within City of Liverpool LGA.
- 5km south of the future Western Sydney Airport
- 500m east of Bradfield Metro Station, connecting through to St Marys via the new Western Sydney Airport
- Located adjacent Bradfield Master planned new Strategic Centre.



The Proposal

- SCG Developments is now preparing to lodge a State Significant Development Application (SSDA) to the NSW Department of Planning, Housing and Infrastructure (DPHI)
- The SSDA will seek approval for:
 - Six mixed use buildings comprising approximately 533 residential apartments (1, 2 and 3-bedroom) and ground-floor retail
 - Residential amenities including a pool, gym, public and private open spaces
 - Basement car parking with approximately 635 car spaces
 - Public domain improvements including landscaping and pedestrian links
 - Internal road and pedestrian layouts and site access points



All items contained in this presentation are designed to inform and support the community consultation. They are not final plans or SSDA documents.

Project Benefits

- Unlock greater housing choice and diversity for residents of Western Sydney
- Provide housing in close proximity to employment areas in the Aerotropolis and Bradfield City Centre
- Create new communities within the Aerotropolis Core Precinct
- Enhance local residential liveability and services
- Integrate with connections to the Bradfield City Centre for an improved public experience
- Provide welcoming and inclusive communal spaces, facilities and services
- Activate the street and the precinct by providing new ground floor retail opportunities



All items contained in this presentation are designed to inform and support the community consultation. They are not final plans or SSDA documents.

Design Response



Connecting with Country

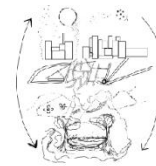
The team developed a series of Connecting with Country principles, which have helped guide the overarching design principles for the proposal – from building materiality and rooftop design to the ground plane and landscaping



REGENERATION



RIDGES & VALLEYS



INTERCONNECTED RELATIONSHIP



MEMORY OF PLACE



All items contained in this presentation are designed to inform and support the community consultation. They are not final plans or SSDA documents.

Design Vision

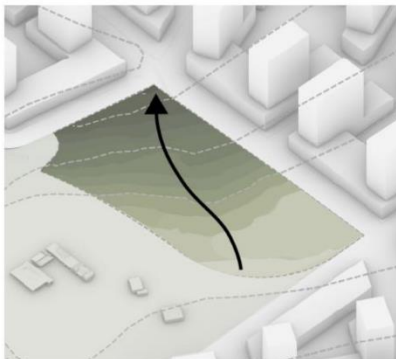
PARK LIVING

Our vision for the site embraces its unique opportunity to blend residential living with nature, respecting the rich history of Kelvin Park Homestead against the spectacular back drop of the Thompsons Creek riparian corridor

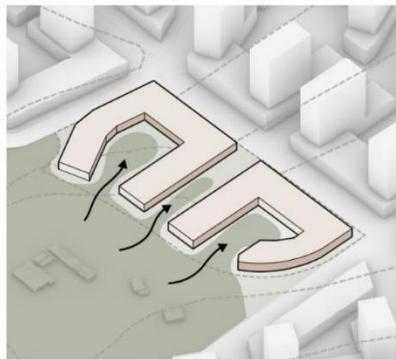


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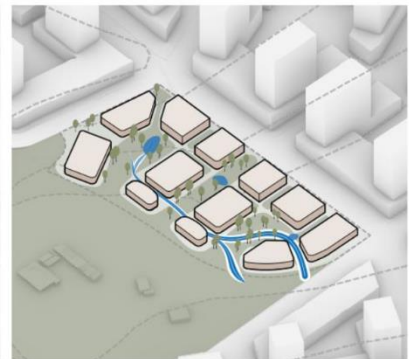
Design Principles



NATURAL GROUND PLANE
Understanding the existing topography



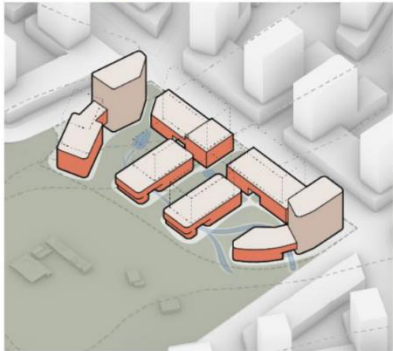
RESPECT TO THE BIOREGIONAL GROUND PLANE
Proposed massing to respect and maintain the ground plane for local ecosystems



WATER MOVEMENT DRIVEN BUILT FORM
Providing further porosity on the ground plane driven by the natural flow corridors of water across the site

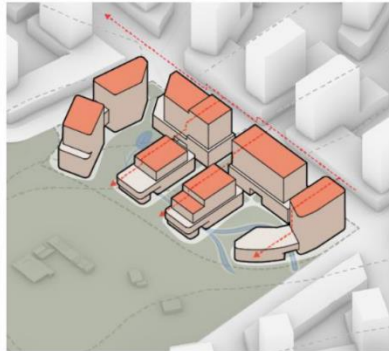
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Design Principles



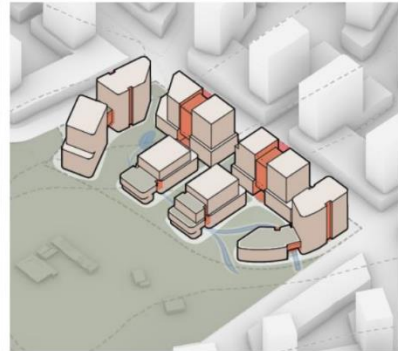
PODIUM DEFINITION

Identifying the podium in response to the ground plane to define the street wall and highlighting the key corners



HEIGHT VARIATION RESPONSE

Strategically stepping the building heights as a response to the context including the heritage listed Kelvin Park Homestead, scale and solar access to amenities



VERTICAL ARTICULATION

Further providing articulation to the massing to reduce the bulk and scale while introducing amenity spaces

All items contained in this presentation are designed to inform and support the community consultation. They are not final plans or SSDA documents.

Design Principles



VILLAGE OF SHARED COMMUNITIES

Provide diverse typologies of buildings (shown in different colours) that respond to the immediate context, fostering smaller communities within the site by encouraging social interaction and shared spaces and amenities



MAINTAIN SIGHTLINES

Tiering of massing enables visual connection to greater context to Thompsons Creek and Cumberland Plains Woodlands



REJUVENATION OF BIOREGIONAL WOODLANDS

Reintroduce water body and local species as part of rejuvenation of native ecosystems

All items contained in this presentation are designed to inform and support the community consultation. They are not final plans or SSDA documents.



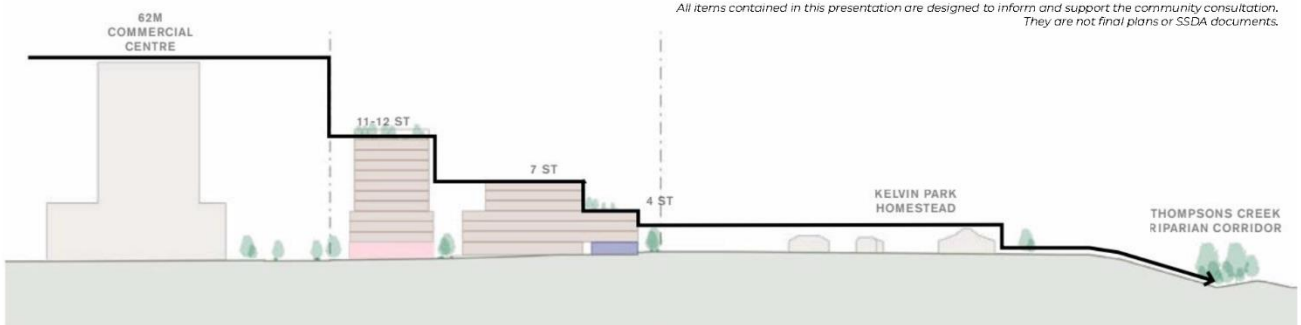
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Building Heights

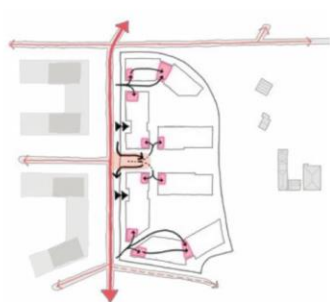
- Buildings will range from 4-12 storeys
- The design aims to create a smooth transition from Bradfield Town Centre thorough to Thompsons Creek



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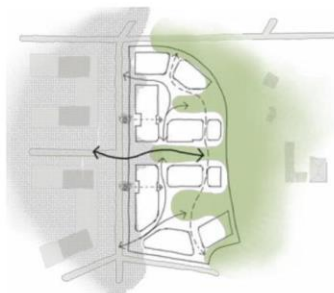


Ground Floor Activation



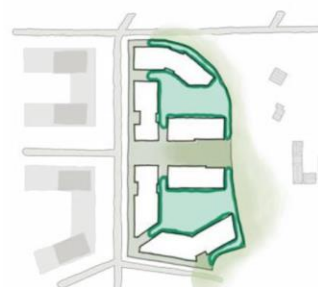
BUILDING ENTRIES

The development is orientated to the main street frontage to the west. This allows of car access and drop-off from the future main road while maintaining pedestrian and bicycle accessibility.



SITE LINKS

The design increases accessibility for the public throughout the precinct while establishing additional pedestrian connection for residents within the site.



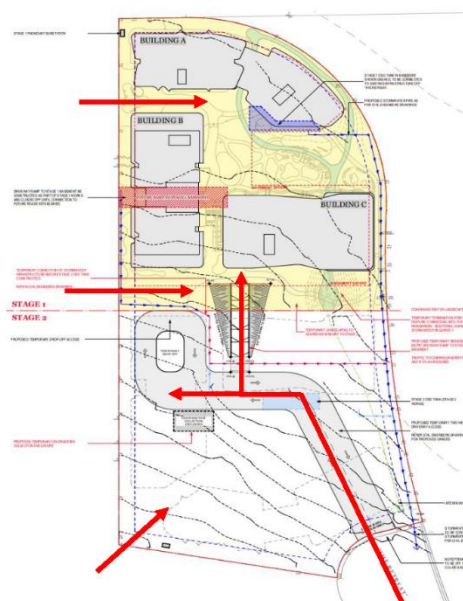
PRIVATE & PUBLIC OPEN SPACES

It seeks to create attractive green spaces for residents with park-like views and blending boundaries between different areas.

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Traffic and Transport

- In designing vehicular access to and within the site the proposed SSDA has considered the Bradfield Masterplan which is applicable to the land at the site's western boundary.
- The development proposes up to 2 levels of basement parking with approximately 635 car spaces.
- During the development of Stage 1, vehicles will be able to access the northern basement via a ramp at a temporary access point from The Retreat.
- Once Stage 2 is complete, there will be two access points at the western boundary which will connect to the northern and southern basements separately.



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Sustainability Principles



WATER

- RAINWATER FOR RE-USE IN TOILET FLUSHING + LANDSCAPE IRRIGATION.
- EFFICIENT SHOWERS AND TAPS TO REDUCE WATER CONSUMPTION WITHOUT REDUCING AMENITY OF BATHROOMS + KITCHENS



ENERGY

- 100% ELECTRIC BUILDING
- SMART HOME INTEGRATION TO DOWNSTREAM ENERGY USAGE
- MIN. 20% OF ROOF SPACE FOR SOLAR PV TO OFFSET EMISSIONS



MOBILITY

- PROVISION FOR ON-SITE ELECTRIC VEHICLE AND BIKE CHARGING INFRASTRUCTURE
- PROVISION OF CARSHARE, BICYCLE SPACES AND BIKE HUBS TO REDUCE EMISSIONS AND ROAD CONGESTIONS



REGENERATIVE DESIGN

- MAXIMISE TREE CANOPIES + PROVISION FOR LOW WATER USE/NATIVE PLANTS
- CONSIDERATION OF CARBON SINKS EG. TREES AND SOIL AND HOW WATER MOVES THROUGH THE SITE
- GREEN ROOFS TO IMPROVE BUILDING THERMAL PERFORMANCE AND AIR QUALITY OF SURROUNDS
- CONSIDERATION FOR RE-PURPOSING MATERIALS EXCAVATED ON SITE



COMMUNITY

- DESIGN GUIDED BY THE ABORIGINAL COMMUNITY AND RECOGNISED KNOWLEDGE LEADERS
- PUBLIC OFFERINGS PROMOTING SHARED OUTDOOR SPACES
- SENSORY & VARIED GARDENS WITH EXTENSIVE LANDSCAPE, SAFE AREAS OF REFUGE AND INCLUSION OF WATER FEATURES



RESILIENCE

- STRATEGIC USE OF LOW-MAINTENANCE MATERIALS AND CONSIDERED SHADING DESIGN TO INCREASE THERMAL PERFORMANCE OF BUILDING.
- USING LIGHT COLOURED MATERIALS
- OPTIMISED AMOUNT OF GLAZING APERTURES UTILISING HIGHER EFFICIENCY RATINGS TO MINIMISE HEAT GAIN AND LOSS



HEALTH

- OUTDOOR OPEN SPACES WITH GENEROUS SOLAR ACCESS
- INTERNAL AMENITY OFFERINGS PAIRING WITH EXTERNAL COMMUNAL AREAS PROMOTING BIOPHILIC WELL-BEING
- MAXIMISING NATURAL VENTILATION AND PROVISION OF CEILING FANS TO REDUCE RELIANCE OF A/C



WASTE

- PROVISION FOR ONSITE ORGANIC WASTE MANAGEMENT
- CONSIDERED APARTMENT DESIGN THAT ENCOURAGES EASE OF WASTE SEPARATION AND DISPOSAL

Planning Context



Strategic Context

- Located within Aerotropolis Core Precinct
- Supports Bradfield as transit-oriented centre for employment, innovation, residential growth and commercial opportunities in Western Sydney.
- Alignment with key planning policies:
 - ✓ Western Parkland City SEPP 2021
 - ✓ Aerotropolis Precinct Plan 2023
 - ✓ Western Sydney Aerotropolis Plan 2020
 - ✓ Liverpool Local Strategic Planning Statement 2020
 - ✓ Western City District Plan, Greater Cities Commission – A Metropolis of Three Cities
 - ✓ Future Transport 2056
- Ongoing discussions occurring with Western City Parkland Authority on their proposed draft Bradfield Masterplan 2024 recently on exhibition.

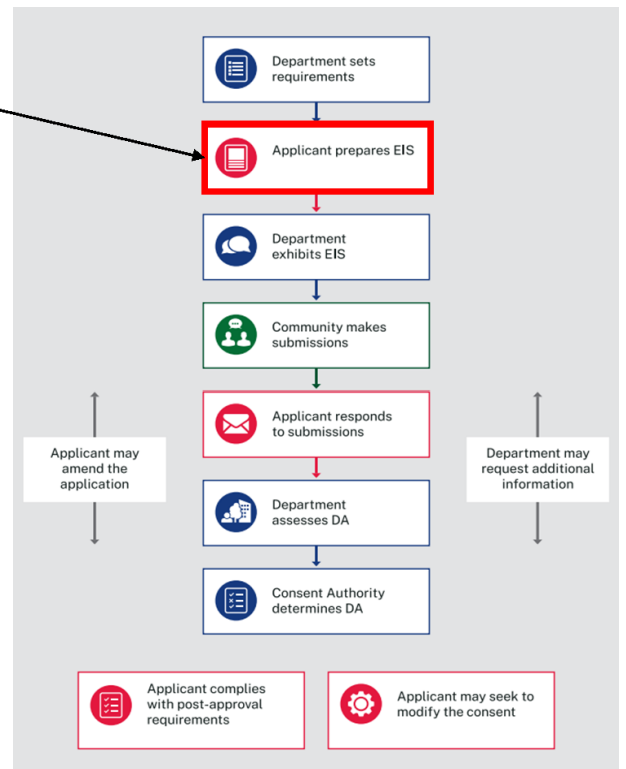


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State Significant Development Process

- This development is considered 'State Significant' due to its size and location
- The State Significant Development Application SSDA will be assessed by the NSW Department of Planning and Environment (DPE)
- 2 x State Design Review Panel meetings have already been held and the design has had a positive response from the State Design Review Panel.
- SCG Developments is required to prepare an Environmental Impact Assessment (EIS) as part of this application
- Liverpool City Council will also continue to be involved throughout the process
- Engagement will meet DPE's guidelines for SSD projects

We are here



Statutory requirements for Engagement & SIA

Full consideration will be given to the NSW Department of Planning and Environment's (DPE) Secretary's Environmental Assessment Requirements (SEARs) during the consultation for this project, including observance of the Undertaking Engagement Guidelines for State Significant Projects (October 2022).

SEARS requirements for engagement require consultation with:

- the relevant Department assessment team.
- any relevant local councils.
- any relevant agencies (including the Western Parkland City Authority for development within the Western Parkland City).
- the community.

SEARs also require preparation of a Social Impact Assessment, in accordance with the Social Impact Assessment Guidelines for State Significant Projects (2023)



Project timeline & opportunities for engagement

Project Timeline



Timeline is indicative only and subject to change, pending relevant planning approvals.

Opportunities to provide feedback

We want to understand:

- What do you want to see as part of the ground plane – retail, food, amenities?
- Opportunities to improve connectivity, signage and wayfinding and links to the other sites
- Any considerations about the surrounding area that we should be aware of during future construction and delivery?



consultation@ethosurban.com



1800 870 549 (business hours)

Public exhibition will be an opportunity to provide formal feedback on the SSDA. This will be managed by DPHI.



Q&A



Next Steps

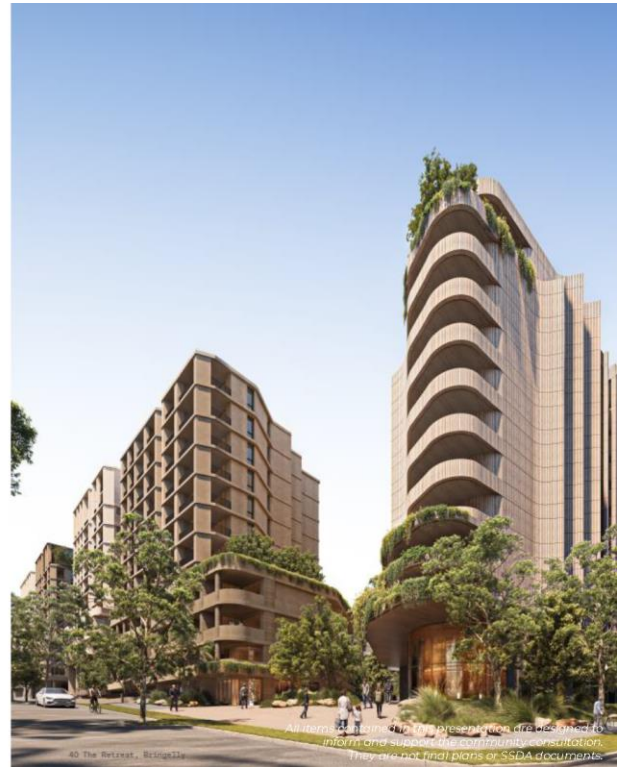


Next steps

- Project team welcomes feedback from the community on the proposed development
- Target lodgement for the SSDA will be April / May 2024
- The Department of Planning, Housing and Infrastructure (DPHI) will assess the proposal
- Public exhibition will be managed by DPHI. This will be your opportunity to provide formal feedback
- Questions? Contact our engagement team

 consultation@ethosurban.com

 1800 870 549 (business hours)



Thank you