



PARITER

CUMBERLAND
MARKETING BUDGET PROPOSAL

September 2023

Display Suite Wayfinding Signage

Design and production of wayfinding signage to direct visitors from Club carpark and surrounds to the Display Suite.

Production includes approx. 10 teardrop banners and 6 A-frames

On-Market Billboard Signage

Design and production of 2 x on site billboard signs. Approx sizes: 10x3m and 5x3m

Note: Costs do not include engineering or DA documentation preparation which may be required

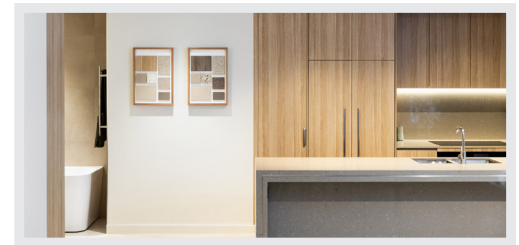
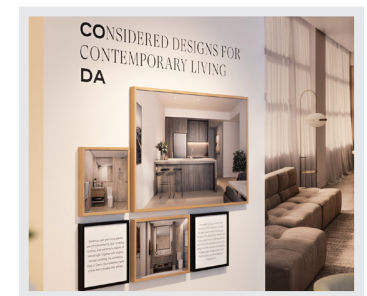
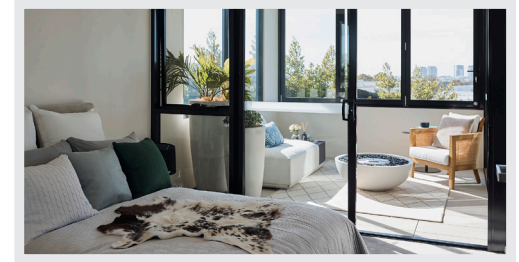


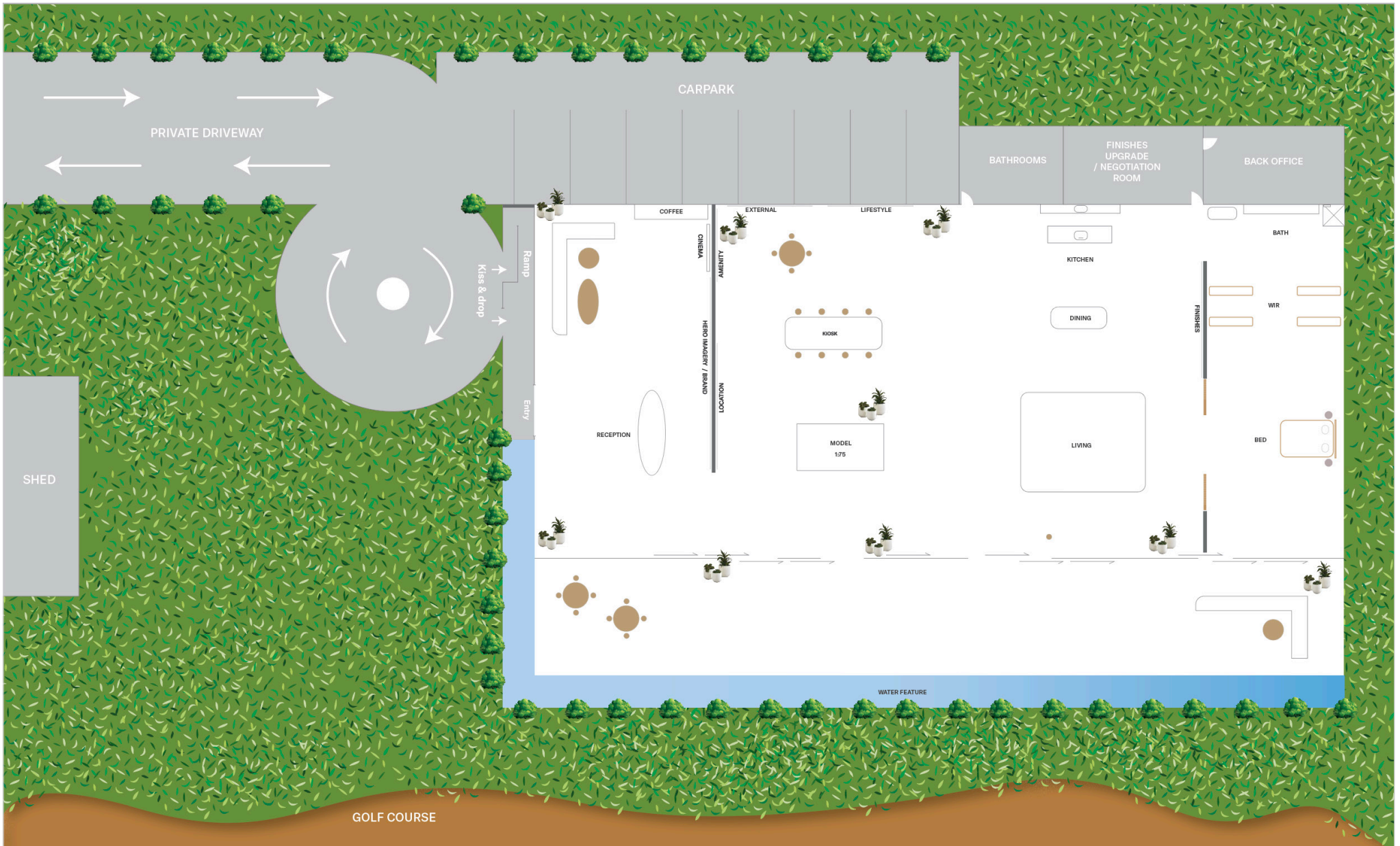
Display Suite

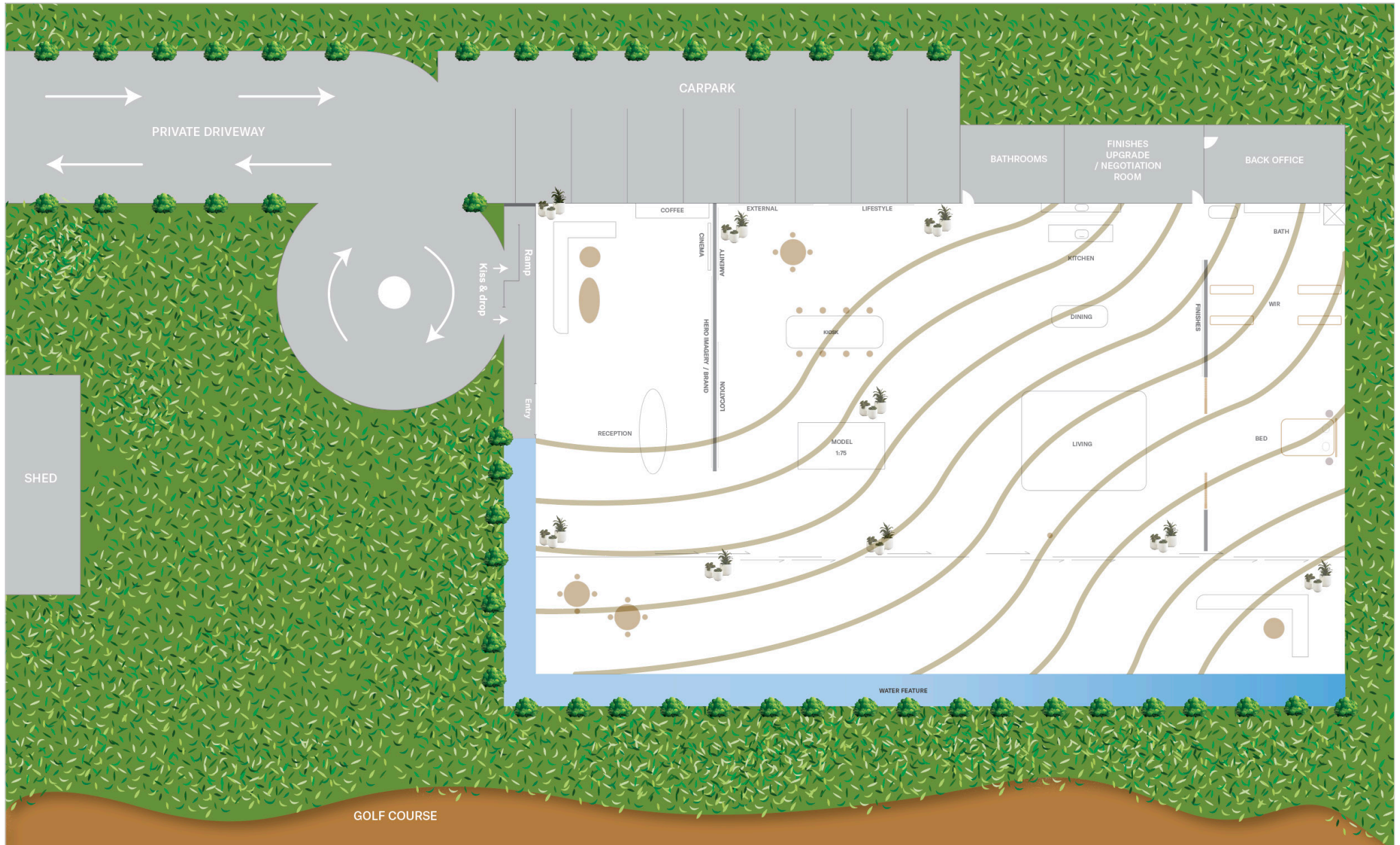
Display Suite design concept taking into account sales journey, physical model and display apartment placements

Cost is an estimate only and will depend on final size and scope of Display Suite Production cost does not include structural build of Display Suite or display apartment elements

Includes preparation of finished art







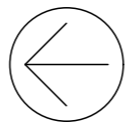
bostonprojects.com.au



Note:
 To be read in conjunction with landscape drawings
 LA-D 01 prepared by Taylor Brammer Landscape Architects



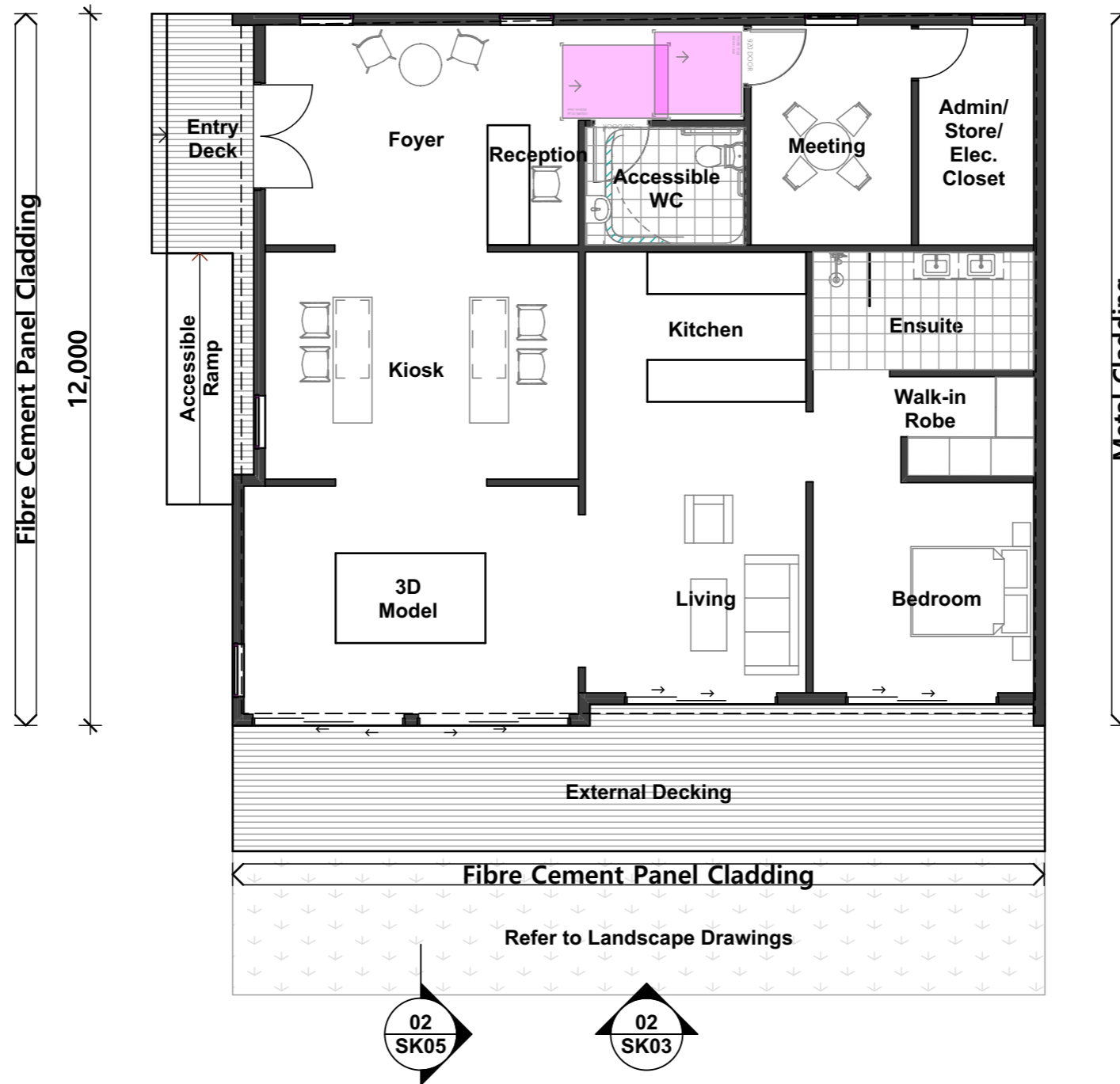
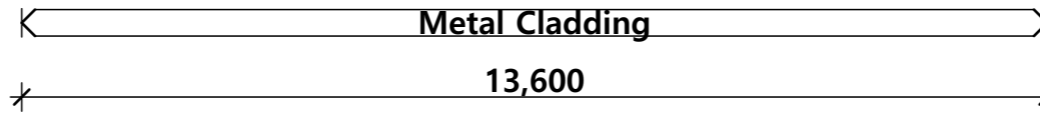
PRELIMINARY
 NOT FOR CONSTRUCTION



Site Plan
 revision
 drawn by AT
 date 13/03/2024
 scale 1:200 as noted @ A3
 page no. SK01

Cumberland Country Golf Club Display Suite

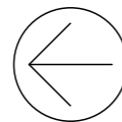
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Note:
Indicative layout to be finalised at DD Stage



PRELIMINARY
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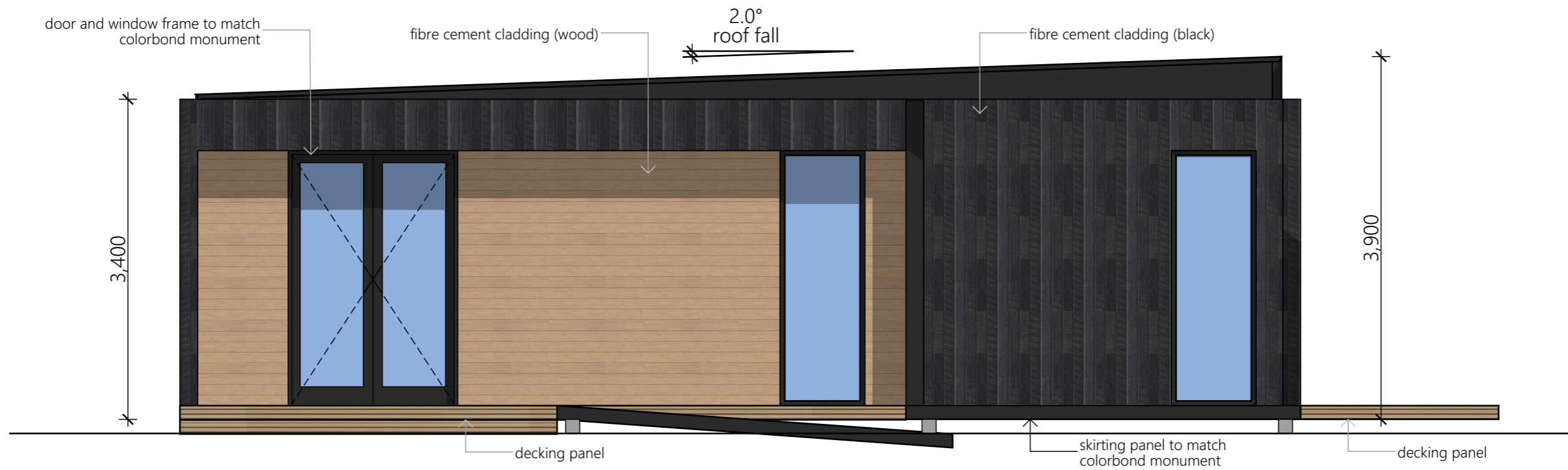


Floor Plan

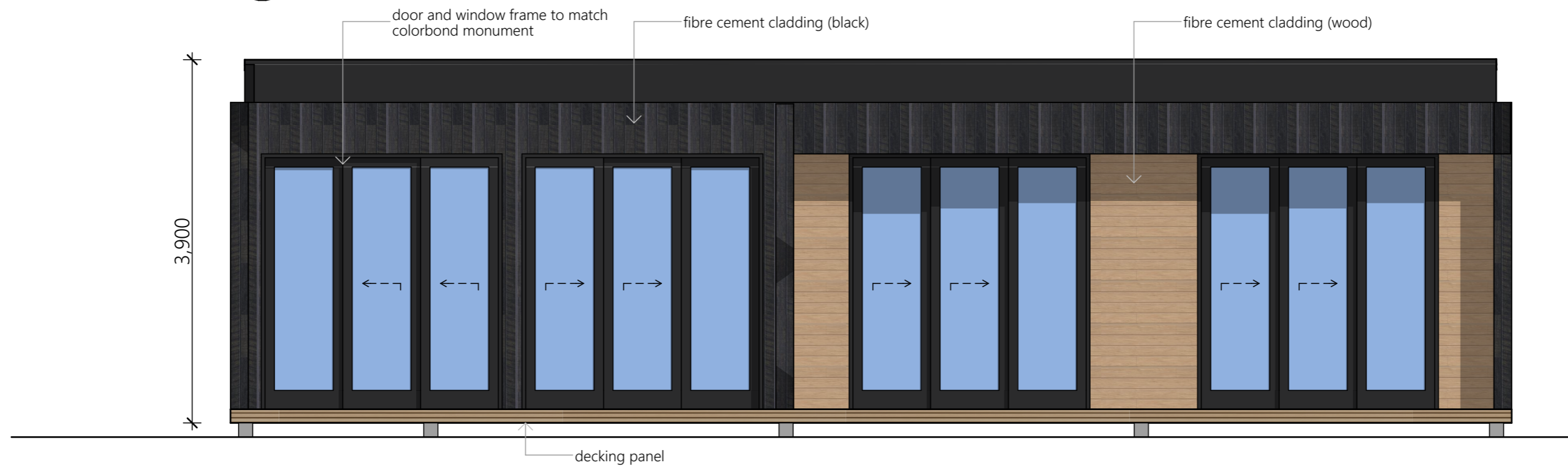
revision
drawn by AT
date 13/03/2024
scale 1:100, 1:200 as noted @ A3
page no. SK02

Cumberland Country Golf Club Display Suite

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01 Elevation - North (Entry)
1:50



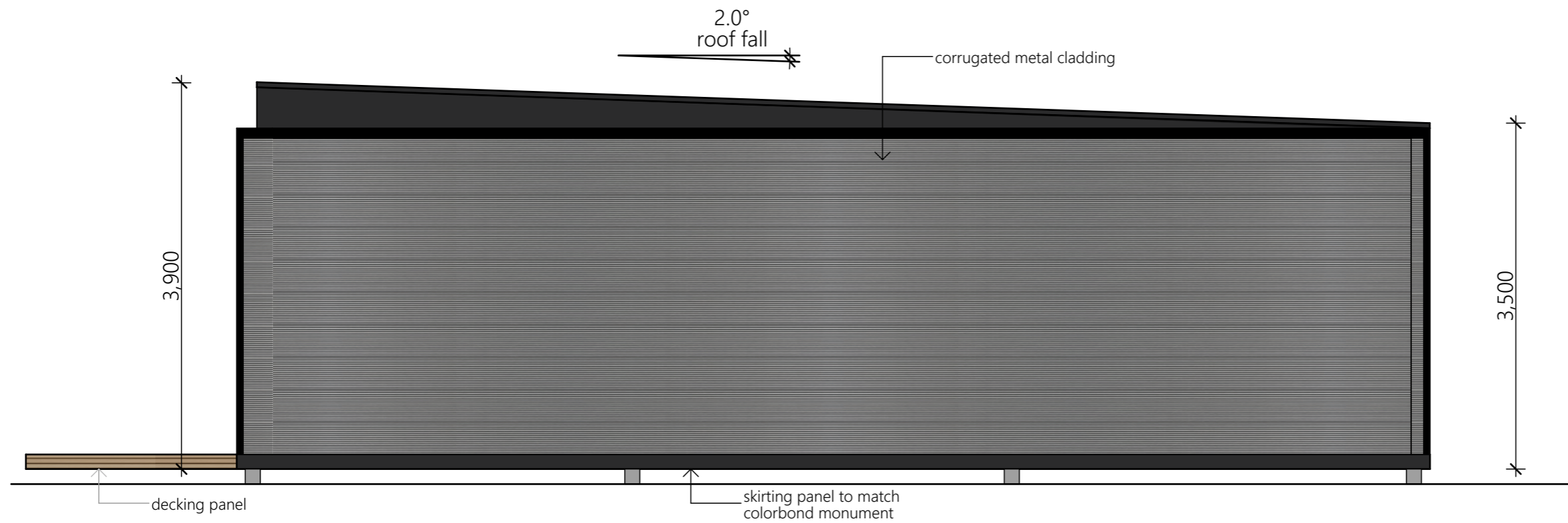
02 Elevation - West (Golfing Range)
1:50



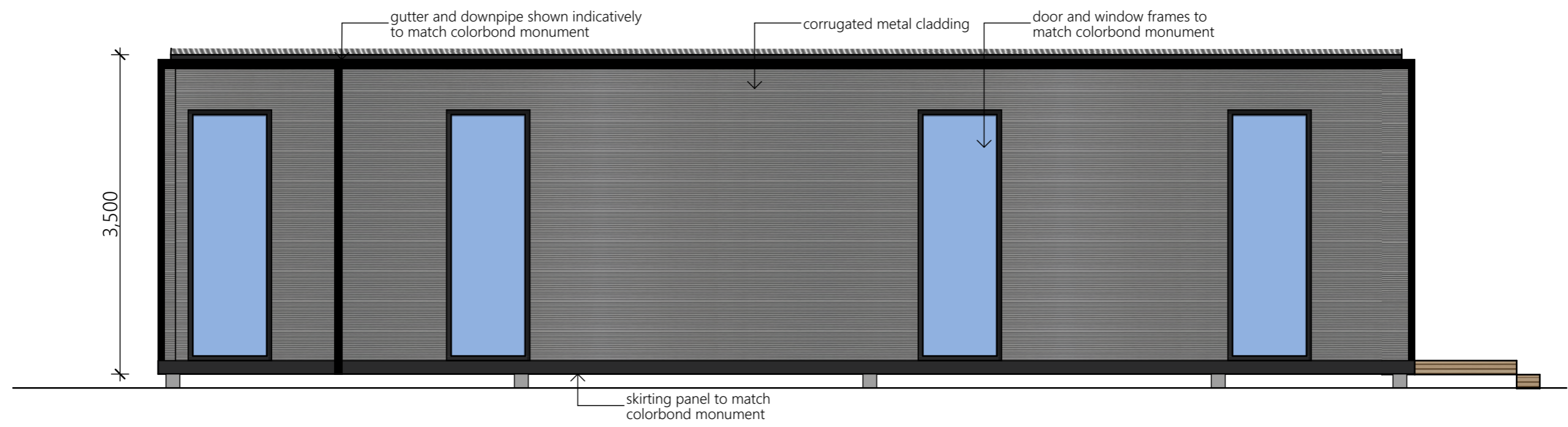
PRELIMINARY
NOT FOR CONSTRUCTION

Elevations - North (Entry) & West (Golf Crse) Cumberland Country Golf Club Display Suite
 revision
 drawn by AT
 date 13/03/2024
 scale 1:50 as noted @ A3
 page no. SK03

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01 Elevation - South
1:50



02 Elevation - East
1:50

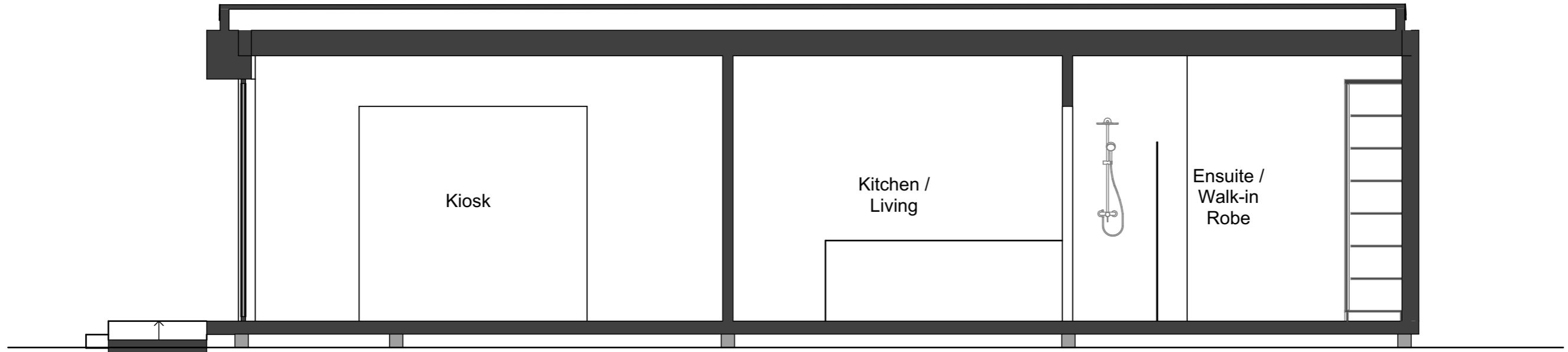


PRELIMINARY
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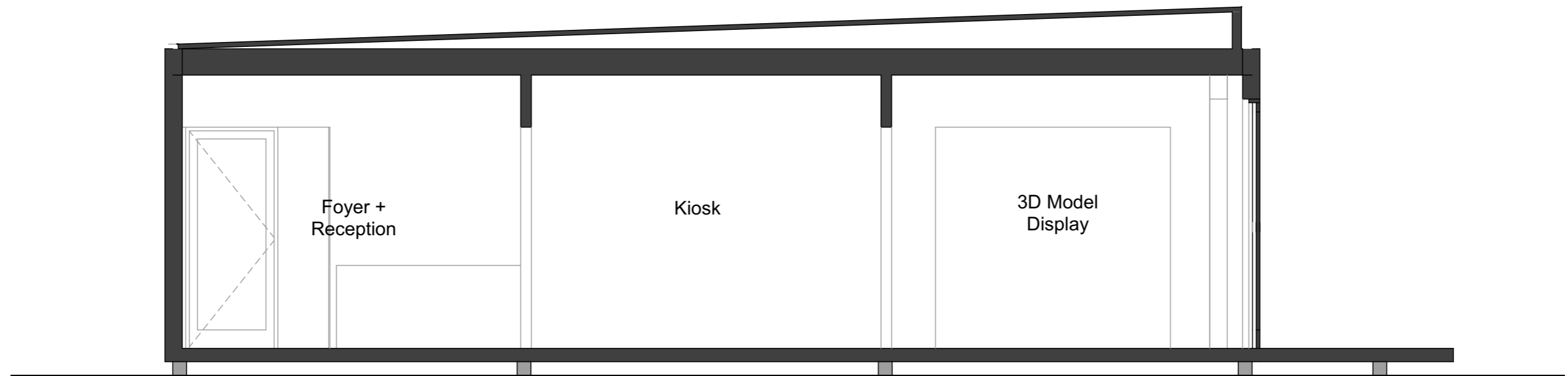
Elevations -South + East (Side Walls)
 revision
 drawn by AT
 date 13/03/2024
 scale 1:50 as noted @ A3
 page no. SK04

Cumberland Country Golf Club Display Suite

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01 Section - Preliminary
1:50



02 Section - Preliminary
1:50



PRELIMINARY
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Sections
 revision
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 page no. SK05

Cumberland Country Golf Club Display Suite

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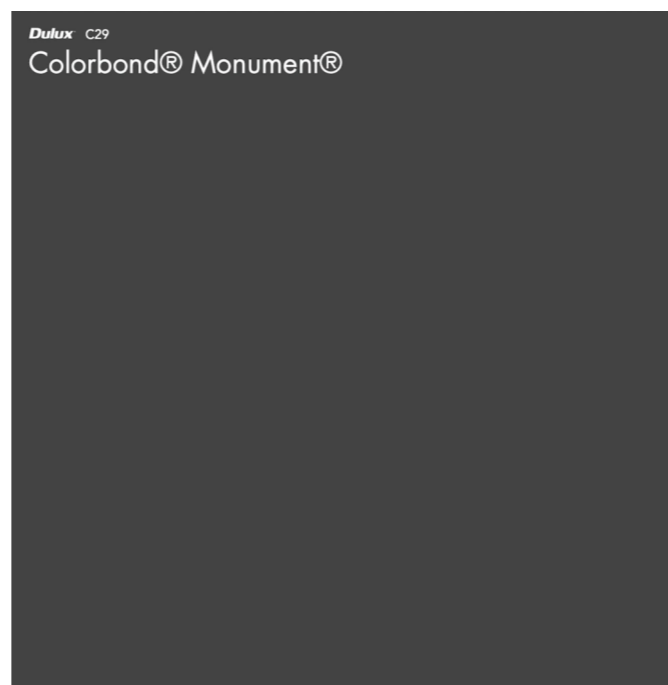
WALL CLADDING (PRIMARY WALLS)
FIBRE CEMENT PANELS (BLACK)



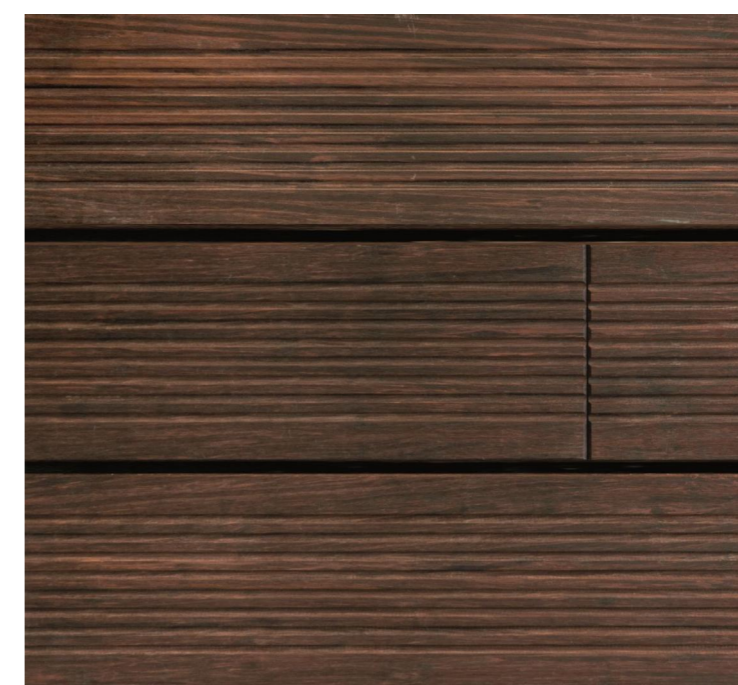
WALL CLADDING (PRIMARY WALLS)
FIBRE CEMENT PANELS (WOOD)



WALL CLADDING (SIDE + REAR)
CORRUGATED METAL CLADDING



WALL, ROOF, DOOR & WINDOW
FRAMES
METAL FLASHING & CAPPING
ROOF METAL SHEETING
GUTTER AND DOWNPIPES
DOOR & WINDOW FRAMES



EXTERNAL DECKING
DECKING PANELS

Note:
Materials and colours are indicative only



PRELIMINARY
NOT FOR CONSTRUCTION

Material Finishes

revision
drawn by AT
date 13/03/2024
scale 1:1, 1:3.246, 1:1.432, 1:0.963 as noted @ A3
page no. SK06

Cumberland Country Golf Club Display Suite

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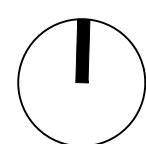
Cumberland Country Golf Club - Display Suite

Landscape Architecture

DWG	DRAWING TITLE	SCALE
LA-D00	COVER SHEET	N/A
LA-D01	LANDSCAPE AND PLANTING PLAN	1:200
LD-D01	LANDSCAPE DETAILS	AS SHOWN

PLANT SCHEDULE					
ID	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	POT SIZE	QTY
TREES					
Ma-gr	Magnolia grandiflora 'Little Gem'	Dwarf magnolia	4m	100L	1
La-in	Lagerstroemia indica	Crepe myrtle	8m	100L	2
SHRUBS					
Sy-pa	Syzygium paniculatum	<i>Syzygium paniculatum</i>	3m	45L	15
Sy-fl	Syzygium floribundum	<i>Weeping lilli pilli</i>	1.5m	45L	5
An-ru	<i>Anigozanthos 'Ruby Slippers'</i>	Kangaroo Paw	1.5m	45L	9
Lo-li	<i>Lomandra 'Lime Divine'</i>	Mat Rush	1.5m	45L	4
Ba-sp	<i>Banksia spinulosa</i>	Birthday Candles	1.5m	45L	3
We-fr	Westringia fruticosa	<i>Mundi</i>	0.3m	150mm	6
GROUNDCOVERS					
Lo-lo	Lomandra longifolia	<i>Spiny-head Mat-rush</i>	0.3m	150mm	12
Se-se	Senecio serpens	<i>Blue chalk sticks</i>	0.3m	150mm	23
My-in	Myoporum insulare	<i>Boobialla</i>	0.3m	150mm	31
Di-ar	Dichondra argentea	<i>Dichondra Silver Falls - Ponysfoot</i>	0.3m	150mm	8
Di-re	Dichondra repens Emerald Falls	<i>Kidney Grass</i>	0.3m	150mm	25

LEGEND



SCALE 1:100 @ A1
0 2 4 6m

Project: Cumberland Country Golf Club - Display Suite
Client: Pariter
Revision: P1 20.02.2024
Drawn: SC
Checked: AL

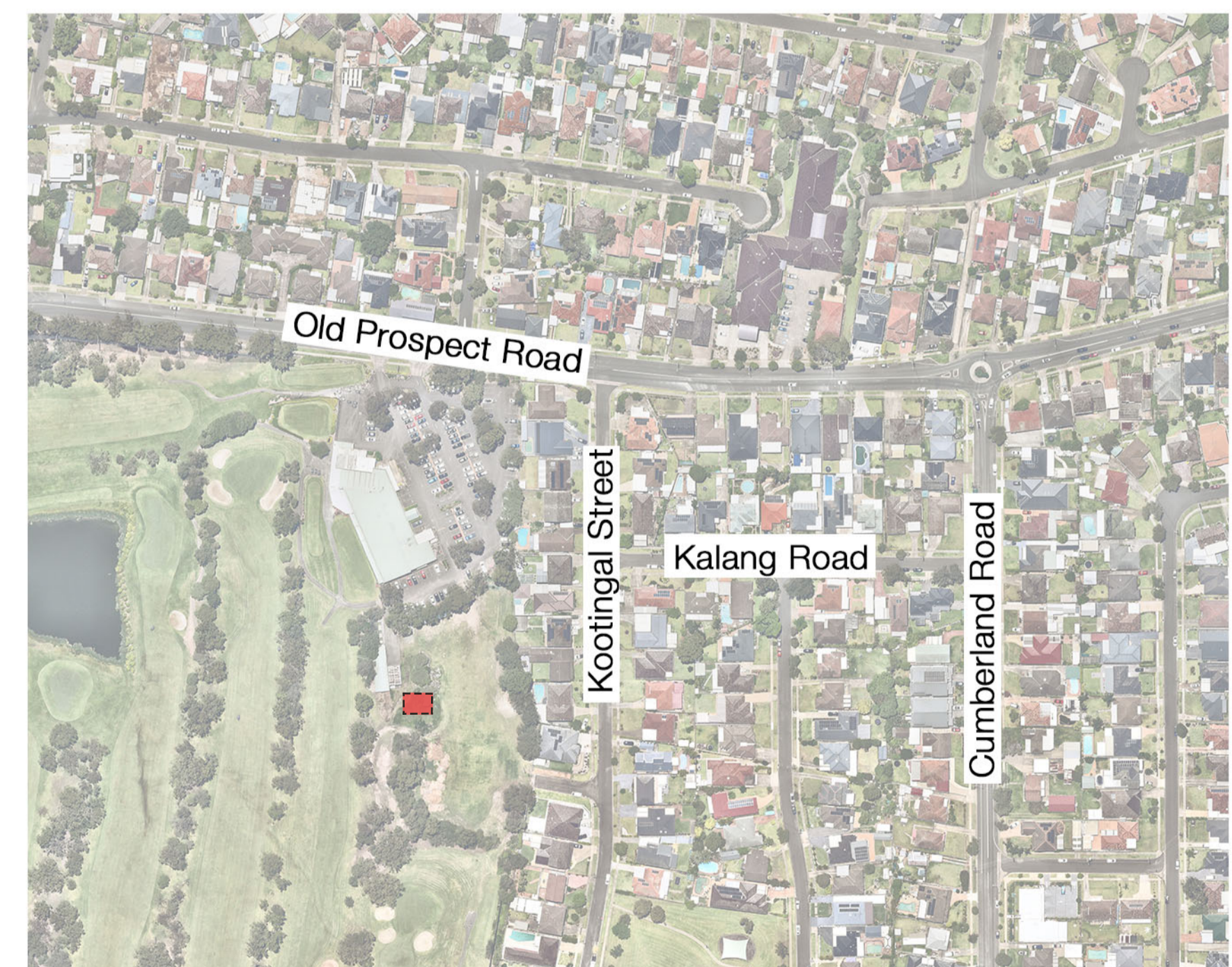
TaylorBrammer
TAYLOR BRAMMER LANDSCAPE ARCHITECTS PTY LTD
214 Oxford Street Woolahra, NSW, 2025 E: sydney@taylorbrammer.com.au T: 61 2 9387 8655
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LA-D 00



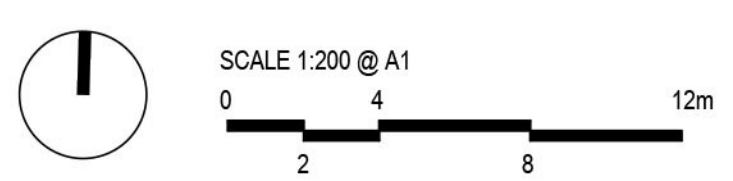
DESIGN NOTES

- 01 TIMBER DECKING WITH LOOSE FURNITURE AND PLANTING POT.
- 02 GRC PLANTERS WITH LOW NATIVE PLANTING TO ALLOW VIEWS TO THE GOLF COURSE BEYOND.
- 03 FEATURE TREE IN FEATURE POT TO ENTRY - MAGNOLIA 'LITTLE GEM'
- 04 DECOMPOSED GRANITE PATHWAY
- 05 EXISTING TREES RETAINED



KEY PLAN

LANDSCAPE AND PLANTING PLAN



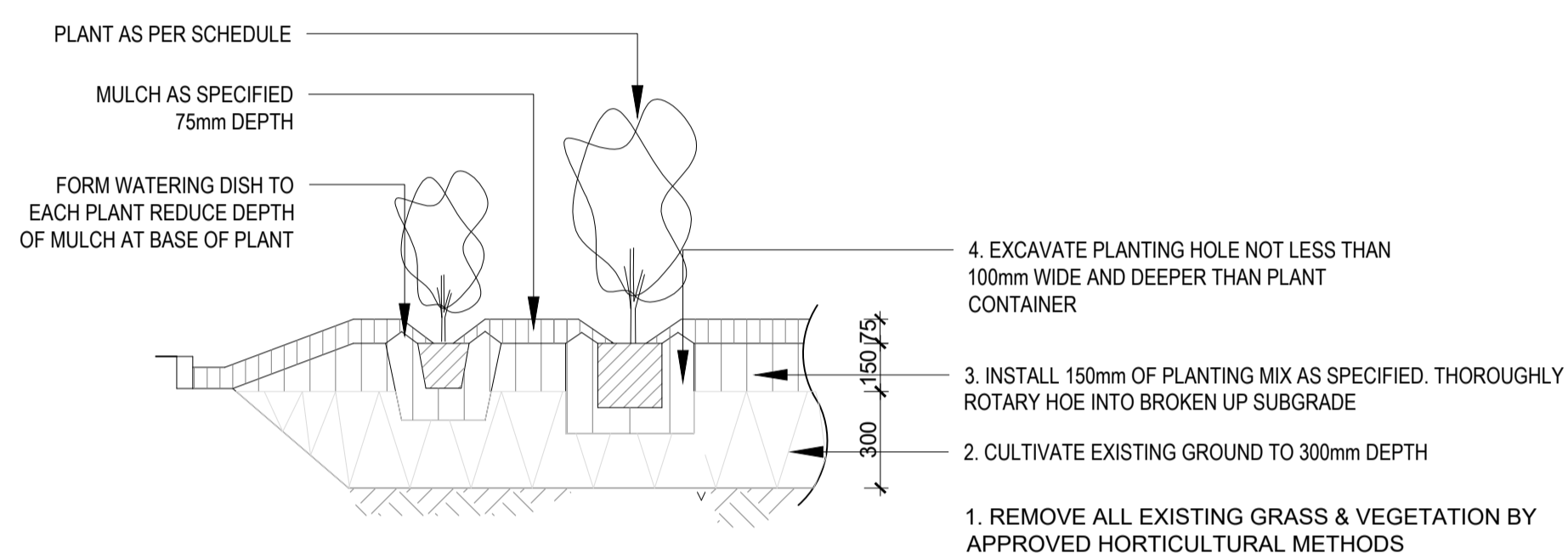
LEGEND

	SITE BOUNDARY		EXISTING SPOT LEVEL		DECOMPOSED GRANITE PATHWAY		PROPOSED GROUNDCOVERS
	EXISTING TREE TO BE RETAINED		PROPOSED SPOT LEVEL		TURF ON GRADE		PROPOSED TREE
			TOP OF WALL LEVEL				
			TOP OF SLAB LEVEL				

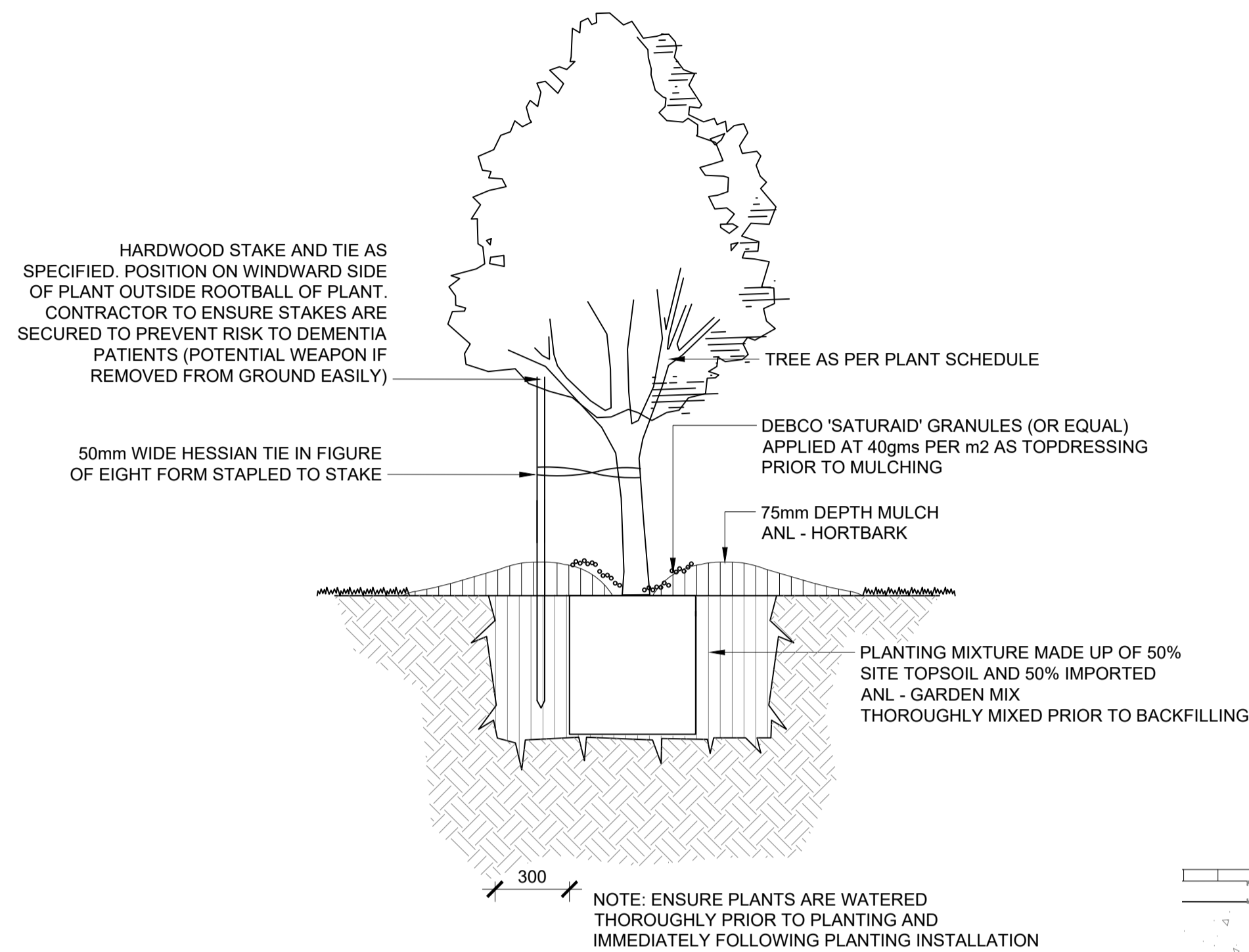
Project: Cumberland Country Golf Club - Display Suite
 Client: Pariter
 Revision: P2 21.02.2024
 Drawn: SC
 Checked: AL

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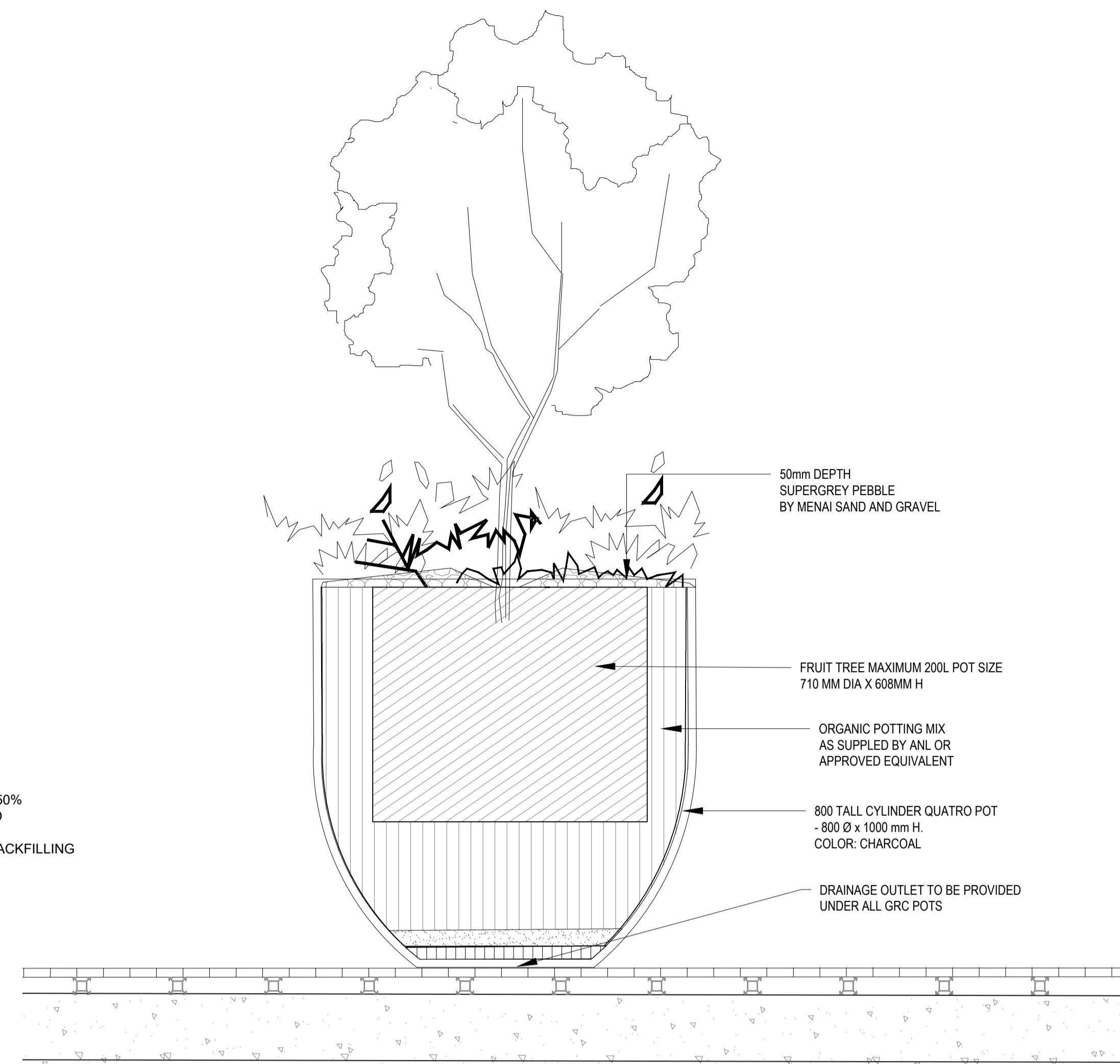
LA-D 01



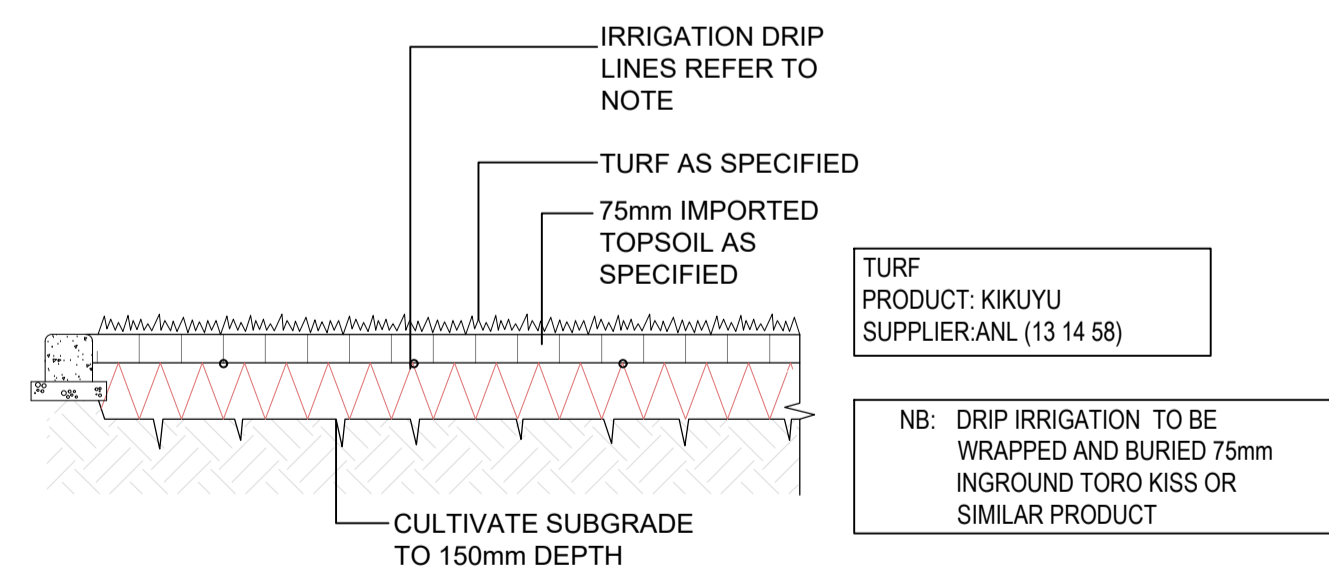
1 MASS PLANTING BED-NATURAL GROUND
TYPICAL SECTION 1:20



2 TREE PLANTING
TYPICAL SECTION 1:20

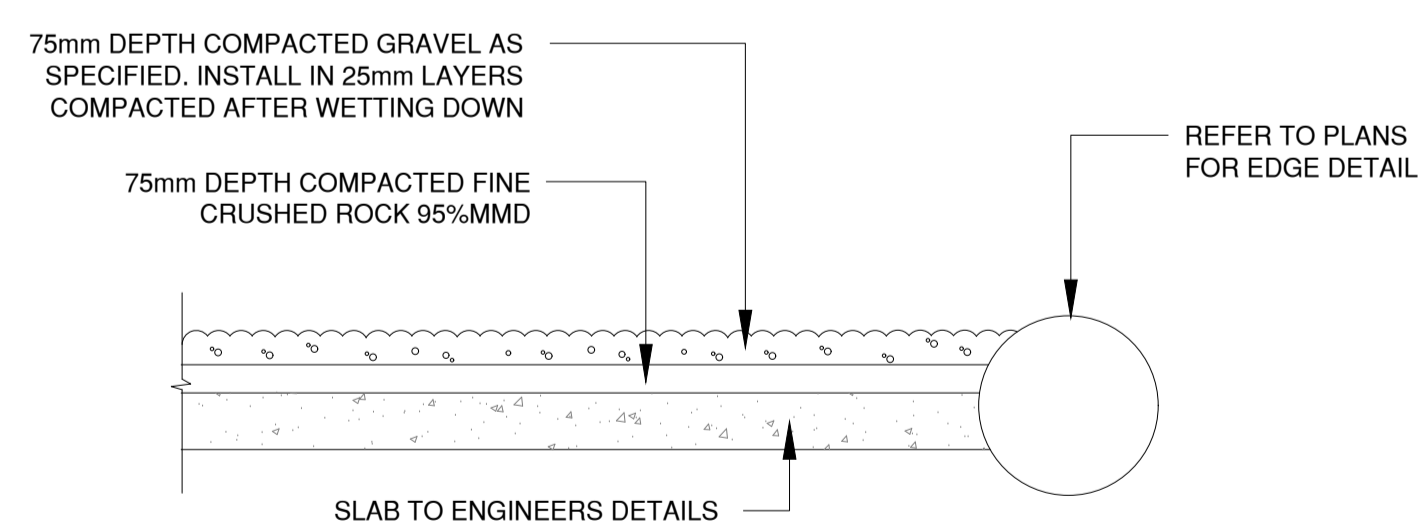


3 GRC POT DETAIL
TYPICAL SECTION 1:10

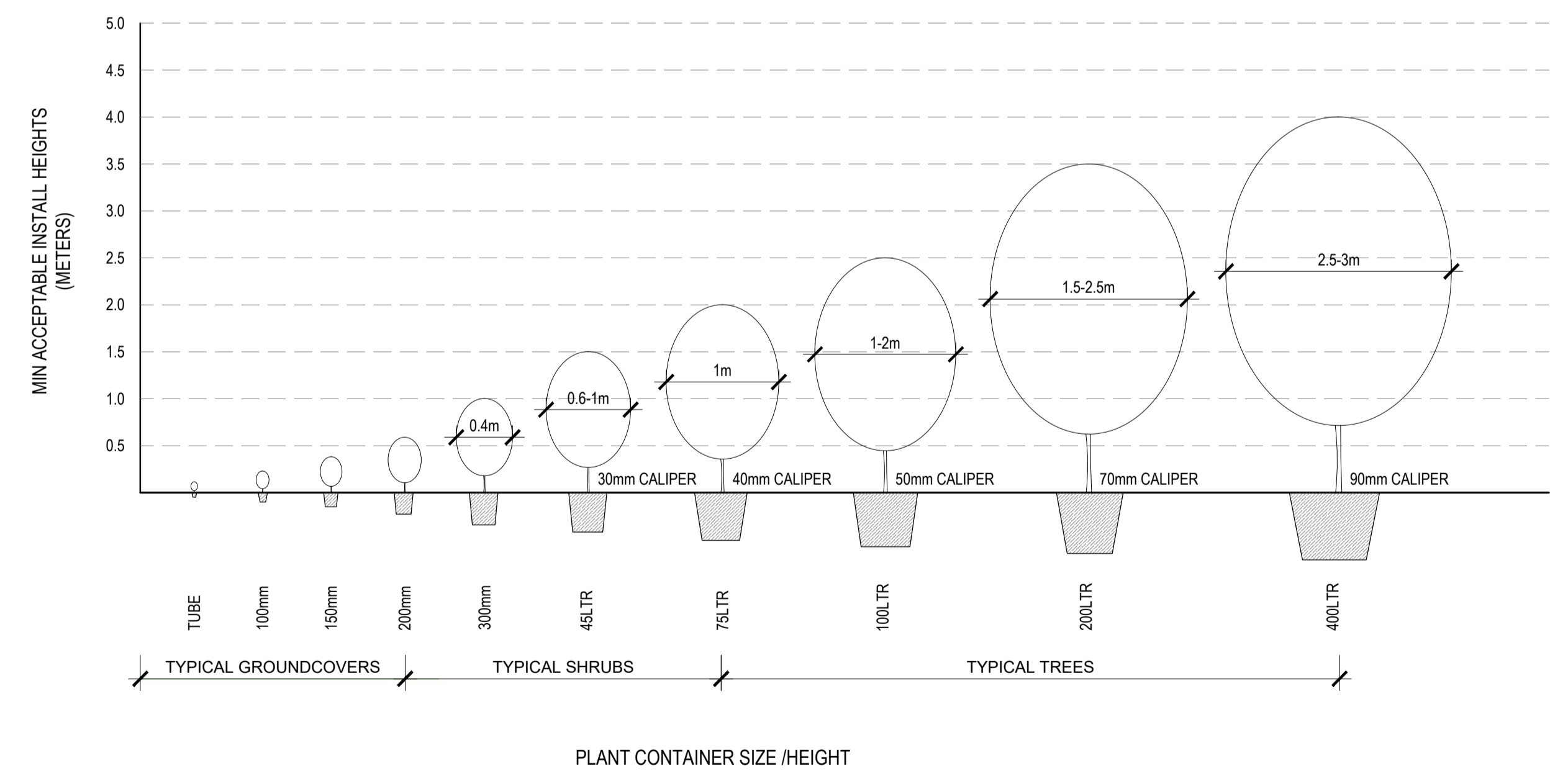


4 NEW TURF
TYPICAL SECTION 1:20

PRODUCT: HORT- BARK MULCH
SUPPLIER: ANL (13 14 58)
COLOR: RED/BROWN



5 PAVING-DECOMPOSED GRAVEL
SECTION 1:20



6 NEW PLANTING MINIMUM SIZES
SECTION 1:50

GENERAL TREE SUPPLY AND QUALITY:
FOLLOW THE GUIDANCE GIVEN IN NATSPEC GUIDE: SPECIFYING TREES - A GUIDE TO ASSESSMENT OF TREE QUALITY (CLARK R. 2003).

LANDSCAPE DETAILS

Project: Cumberland Country Golf Club - Display Suite
Client: Pariter
Revision: P1 20.02.2024
Drawn: SC
Checked: AL

TaylorBrammer
TAYLOR BRAMMER LANDSCAPE ARCHITECTS PTY LTD
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LD-D 01

Cumberland Country
Golf Course (CGCC) 248
Old Prospect Rd,
Greystanes

Services Report

Revision: 001
Date: 8 Mar 2024
Project #: 24074
Client: Pariter Pty Ltd

Revision	Issue	Date	Prepared by	Approved By
A	Client Isse	08.03.24	ALM	ALM

1. INTRODUCTION.....	4
2. DOCUMENTS REVIEWED.....	4
3. CRITICAL ISSUES	4
4. ELECTRICAL SERVICES.....	5
4.1. EXISTING CONDITIONS	5
4.2. PROPOSED ELECTRICAL SERVICES	5
5. HYDRAULIC SERVICES.....	7
5.1. EXISTING CONDITIONS	7
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6. APPENDIX A – SERVICES CONNECTIONS	9

1. Introduction

This report has been prepared to capture the connection locations for the proposed display suite on the Cumberland Country Club and Golf Course to accompany the Development Application. The report identifies at high level the connections where the power, water and Sanitary services will be connected to the site and or existing Club building services provisions.

This document will allow for infrastructure connections only and does not include detailed engineering.

The building services comprise the following engineering disciplines:

- Electrical
- Hydraulics

The Report is based on the following main sources of information.

- Documents issued to us directly from Pariter:
 - 22-204s Cumberland Golf Course - Display Suite 20240209.pdf
 - map_20211017.jpg Briefing meetings held to date
 - CCGC – Topographic Survey
- Site visit and inspection undertaken by Collective Engineering 29th February 2024
- Review of Dial Before You Dig information

This brief also identifies outstanding issues, queries and options that may require direction and response from the project team

2. Documents Reviewed

The following documents were reviewed as part of this assessment:

- Cumberland Golf Course - Display Suite 20240209.pdf
- Map_20211017.jpg Briefing meetings held to date
- CCGC – Topographic Survey
- Site visit and inspection undertaken by Collective Engineering 29th February 2024
- Review of Dial Before You Dig information

This brief also identifies outstanding issues, queries and options that may require direction and response from the project team

3. Critical Issues

The following risk and critical issues have been identified at this stage. It aims to capture the critical items and a recommended party to action to mitigate or resolve that item.

1	Electrical Services Risks/Critical Issues	
	Final electrical load calculations required to determine exact connection/ extension from main switch board	Low
	Exact communications requirements to be determined to understand if a new "network" is required to the Display Suite, or a new independent service is required.	Low
2	Hydraulic Services Risks/Critical Issues	
	Final Hydraulic routing of inground services to ensure minimal disruption to CCGC operations	Low

4. Electrical Services

4.1. Existing conditions

The Cumberland Country & Golf Club is currently supplied from a pole mounted substation located on the boundary of Old Prospect Road. The pole mounted substation extends the power from the pole LV feeder dropping down from a pole located within the property boundary, the cable then reticulates underground from the base of the pole. Note that the cable route is currently not identified on the survey and is likely to be demolished in the future during the overall works for the site, to allow for a new pad kiosk substation.

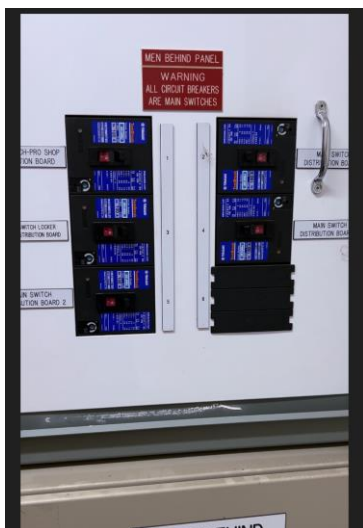
The existing site is currently serviced with a NBN connection to the existing clubhouse. As per the existing power to site, the existing site communication is likely to be demolished with a new connection being provided in the future development.

4.2. Proposed Electrical Services

4.2.1. Proposed connection to new Display Suite

The maximum demand for the proposed display suite is anticipated to be under 15kW therefore, a supply derived from the existing MSB is anticipated to be utilised. As per the image below, there is a spare connection point available at the existing MSB. A new trench will be required from the MSR location to the new display suit location. There is a opportunity to share the trench with the proposed cold water supply to the display suite.

This will forgo the need for the new utility supply to service the display suit, however the power used at the display suite will be billed as part of the clubhouse energy bill. If separate bills are required, a new utility supply will be required from the street.



It is anticipated a new telecommunications carrier line will be utilised to service the clubhouse. This is anticipated to be an NBN services due to NBN servicing the existing clubhouse, indicating they have services in the area. The existing pipe and pit onto the site is anticipated to be intercepted at the intermediate pit location, with new trenching and pipes to be installed to the new display suite. This option is assuming complete independence from the existing clubhouse with no connection to the existing clubhouse network.

If the preference is to extend for the existing clubhouse network an alternative pathway to the MCR in the clubhouse would need to be investigated.

4.2.2. Electrical Design Standards, Regulations and Guidelines

The Electrical Services will comply with but will not be limited to the following relevant codes and standards:

- (i) National Construction Code (NCC) 2022
- (ii) Occupational Health and Safety Laws
- (iii) Customer Premises Cabling Manual" issued by Australian Communications Authority (ACA)

Australian Standards

Number	Description
1680	Interior lighting
1939 (IPCODE)	Degrees of protection provided by enclosures for electrical equipment
2293.1	Emergency evacuation lighting for buildings
3000:2018	Electrical Installations (Wiring Rules)
3008.1.1	Electrical installations - Selection of cables - Cables for alternating voltages up to and including 0.6 / 1 kV
3010	Electrical installations – Generating sets
3017	Electrical Installations – Verification by inspection and testing
11801	Information Technology - Generic cabling for customer premises
4251.1:1999	Electromagnetic compatibility (EMC) - Generic emission standard - Residential, commercial and light industry
5000.1	Electric cables - Polymeric insulated - For working voltages up to and including 0.6 / 1 (1.2) kV
60079	Explosive Atmospheres
61439.2	Low-voltage switchgear and control gear assemblies

5. Hydraulic Services

5.1. Existing conditions

5.1.1. Sewer Authority

Authority	Summary of Discussions
Sydney water	The Cumberland Country Club & Golf Course is served by several sewer connections, the main club house appears to be connected to the sewer connection.



5.1.2. Water Authority

Authority	Summary of Discussions
Sydney water	The Cumberland Country Club & Golf Course is served by several water connections, the meter to be utilised for this exercise is connected to the water main off Kunyal Place.



5.2. Significant Standards/Regulations/Guidelines

The following codes and standards are the relevant to the Hydraulic Service. Whilst this is not an exhaustive list, it highlights the main codes and standards that the Hydraulic design will comply with.

- National Construction Code 2019
- Occupational Health and Safety Act 2004
- Australian Standards (as generally outlined below)

Reference	Description
AS3500.1	Plumbing and drainage, Part 1: Water Services
AS3500.2	Plumbing and drainage, Part 2: Sanitary plumbing and drainage

Noting that the applicable Australian Standard shall be the version that is referenced into the applicable NCC. Where the standard is not referenced into the NCC, the latest version shall apply unless noted otherwise.

5.3. Proposed Hydraulic Services

5.3.1. Sewer

It is proposed to extend the sewer to the existing sewer service within the lot, close to the existing sewer boundary trap, the final details and connection heights will need to be determined on site.

Based on the existing survey there is a 3m approximate elevation difference where the existing proposed position to connect the sewer main is lower than the proposed location of the display suite.

Further to detailing we confirm that the location of the display suite is serviceable from the existing on site provisions.

5.3.2. Water

It is proposed to extend the water supply from the existing 50mm water supply meter in the lot adjacent to the end of the cul-de-sac on Kunyal Place.

Its envisaged that a 25mm water supply can be extended from the existing 50mm water supply to the proposed display suite, this will be sufficient to serve the display suite without need for amplification of authority services.

6. Appendix A – services connections plan

MD-ELHY-001 SERVICES COMBINED SKETCH

LEGEND:

- 1. BOUNDARY
- 2. EXISTING ELECTRICAL
- 3. EXISTING COMMUNICATIONS
- 4. EXISTING SEWER
- 5. NEW WATER
- 6. NEW SEWER
- 7. NEW POWER
- 8. NEW COMMS

NOTES:
 1. LAYOUTS ARE INDICATIVE
 2. DRAWINGS ARE NOT CONSTRUCTION ISSUE
 3. ALL SERVICES LOCATIONS TO BE VERIFIED ON SITE



EXISTING OVERHEAD POWER SUPPLY TO POLE MOUNTED SUBSTATION ON SITE

EXISTING 150MM SEWER CONNECTION TO GOLF CLUB

100MM SEWER DRAINAGE TO RETICULATE AS SHOWN IN ORANGE AND CONNECT TO EXISTING DRAINAGE, CONFIRMATION OBTAINED FROM REVIEW OF SURVEY PLAN.

NEW COMMS CONDUIT AND FEED TO EXTEND THROUGH TO DISPLAY SUITE

WATER SUPPLY TO CONNECT TO EXISTING 50MM WATER SUPPLY FOR GOLF COURSE AND EXTEND WATER SUPPLY TO DISPLAY SUITE

EXISTING INCOMING WATER SUPPLY

PROPOSED DISPLAY SUITE TO BE LOCATED IN APPROXIMATE LOCATION.

NEW POWER FEED FROM MAIN SWITCH BOARD TO DISPLAY SUITE



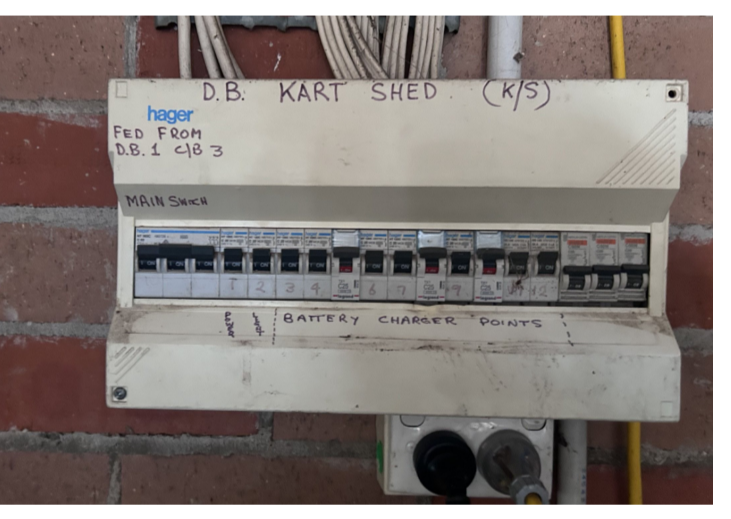
GOLF CLUB/ COURSE BOUNDARY INDICATION

EXISTING INCOMING COMMS /NBN SERVICE TO SITE

EXISTING MAIN SWITCH BOARD AND ENERGY METER PANEL IN CLUB ADJACENT TO KITCHEN



EXISTING DISTRIBUTION BOARD FOR GOLF CART CHARGING FACILITY /SHED



REV	DATE	DESCRIPTION	ALM	ALM	APP
A	08.03.24	DA submission			

DRAWING ISSUE HISTORY

MODELLER
ENGINEER
DIRECTOR

DRAWING AUTHORISATION

REPRODUCTION NOTE: THIS DRAWING HAS BEEN CREATED USING COLOURED ELEMENTS. ALL DRAWINGS FROM COLLECTIVE ENGINEERING MUST BE VIEWED AND PRINTED IN COLOUR. ANYONE WHO DOES NOT FOLLOW THESE INSTRUCTIONS DOES SO AT THEIR OWN RISK

CONTRACT NOTES

CLIENT _____ ARCHITECT _____

**SERVICES CONNECTIONS
 DISPLAY SUITE
 PRELIMINARY CONNECTIONS**

DRAWING TITLE
 CCGC - DISPLAY SUITE
 OLD PROSPECT RD
 GREYSTAYNES

PROJECT

MD SERVICES
PRELIMINARY ISSUE
 NOT FOR CONSTRUCTION



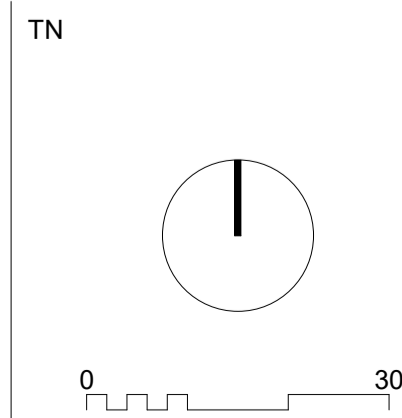
- **On-Market Billboard Signage:** Design and production of 2 x on site billboard signs. Approx sizes: 10x3m and 5x3m
- **Display Suite Wayfinding Signage** (Teardrop banners, A-frames): Design and production of wayfinding signage to direct visitors from Club carpark and surround to the Display Suite
- **Display Suite:** Display Suite design concept taking into account sales journey, physical model and display apartment placements

IMPORTANT NOTES
Do not scale from drawings. All dimensions to be checked on site before commencement of work. All discrepancies to be brought to the attention of the Architect. Larger scale drawings and written dimensions take preference. This drawing is copyright and the property of the author, and must not be retained, copied or used without the express authority of MARCHESE PARTNERS INTERNATIONAL PTY. LTD.

FOR APPROVAL
NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION	BY
A	11/03/2024	DA SUBMISSION	DZ

- ON-MARKET BILLBOARD SIGNAGE
- TEARDROP BANNERS
- A-FRAMES



marchesepartners Life^{3A}

Marchese Partners International Pty Ltd
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PARITER

PROJECT
CUMBERLAND COUNTRY GOLF CLUB
248 OLD PROSPECT RD, GREYSTANES

DRAWING TITLE			
TEMPORARY WORKS			
SCALE	DATE	DRAWN	CHECKED
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