

CONSERVATION MANAGEMENT PLAN

VOLUME 2 OF 3

UNIVERSITY HOUSE FORMERLY N.E.S.C.A HOUSE KING STREET NEWCASTLE



Prepared for:



THE UNIVERSITY OF
NEWCASTLE
AUSTRALIA

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VOLUME 2

Appendix H: Inventory Datasheets

DRAFT

APPENDIX H: INVENTORY DATASHEETS

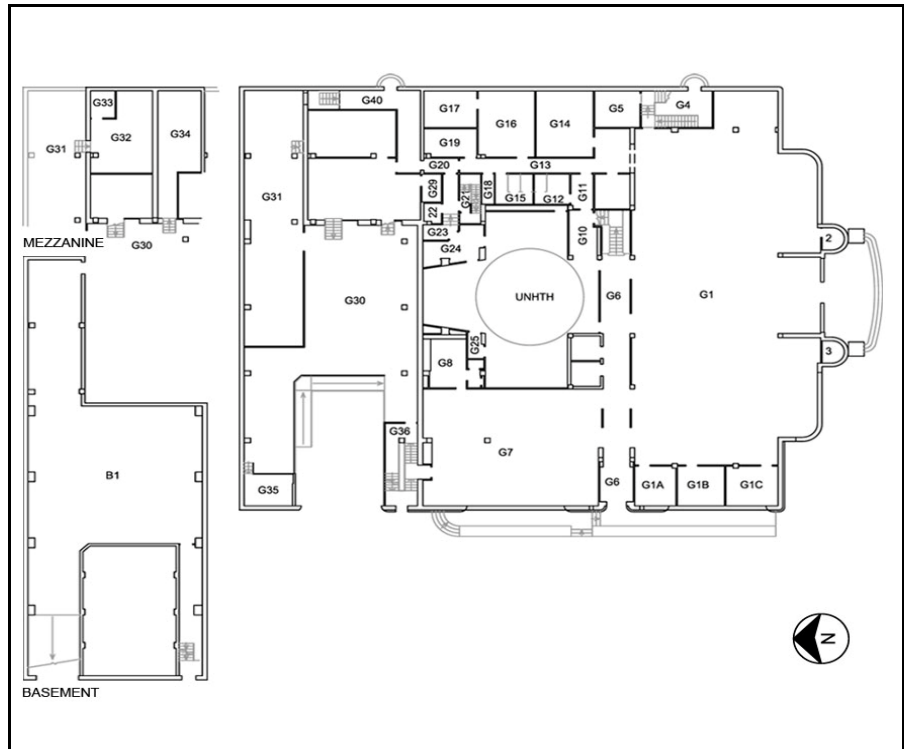
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UNIVERSITY HOUSE: ROOM DATA SHEETS

ROOM: ##	WESTERN FACADE
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LOCATION: EXTERNAL WEST

KEY PLAN:



OVERVIEW	
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EXISTING CONDITION

Fair condition. Smooth sandstone with trachyte base - surface weathered, surface of sandstone in some areas deteriorating and peeling. Some stone capping missing. Joints of stone panels have deteriorated.

HERITAGE OVERVIEW

Sandstone and trachyte significant fabric which needs to be restored as required. Mixture of window types ranging from original metal framed casement or awning windows to newer bronze anodised aluminium framed casement and fixed windows. Doors are non-original powdercoated aluminium framed glazed units. Metal operable louvres fixed to face of building.

REQUIRED CONDITION

Facade to be restored - repair sandstone blocks, cappings and joints, windows to be secure and any repairs to be in such a way as to maintain or reveal the heritage significance.

ASSET ELEMENT	FLOOR
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EXISTING CONDITION	
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OVERVIEW	Granite paved entrance landing and stairs with matching planters to street boundary.
HERITAGE ELEMENTS	Granite paving
HERITAGE VALUE	High
FUNCTIONALITY	Functional

ACTION REQUIRED	
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OVERVIEW	Minor repairs required to stair treads, minor restoration required to stonework generally.
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ASSET ELEMENT	CEILING
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EXISTING CONDITION	
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OVERVIEW	Soffit over entry stairs and landing - white profiled metal soffit with pressed metal fascia. Generally good condition, soffit displaying some rust marks, and light fittings separating from soffit. Some minor dents in pressed metal fascia.
HERITAGE ELEMENTS	Pressed metal soffit and fascia
HERITAGE VALUE	High
FUNCTIONALITY	Functional, requiring minor repairs / restoration works.

ACTION REQUIRED	
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OVERVIEW	Restore fabric of soffit and fascia, reinstall light fittings flush with soffit.
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ASSET ELEMENT	WALLS
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EXISTING CONDITION	
OVERVIEW	Smooth face sandstone blocks over trachyte base, with caulking to bed and perpend joints. Filleted reveals with feature joint detail at entry doors and window heads. Visual bands at window level with recessed joint detail present between windows. Most joints in deteriorating or deteriorated condition. Face of blocks weathered and discoloured, particularly below sill and capping projections. Some physical deterioration to face of blocks. Sandstone cappings in deteriorated condition, with some cappings missing. Parts of level 3 and 4 (recessed back from main building line) clad in modern sandwich panel cladding, small areas visible from street level.
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element Mixed
	EXCEPTIONAL 1939 sandstone and trachyte fabric (South tower all floors, majority of facade below third floor) HIGH 1959 fabric (north end below third floor) MODERATE 1971 sandstone (floors 3, 4) LOW 1998 cladding (floors 3, 4)
FUNCTIONALITY	Functional, but sandstone walls requiring repair.
ACTION REQUIRED	
OVERVIEW	Repair deteriorated facing as required to provide even, consistent restoration of original wall surfaces. Renew stone jointing and replace missing cappings.

ASSET ELEMENT

DOORS



EXISTING CONDITION

OVERVIEW	Powdercoated aluminium and glass entry door and egress door. Both doors in good condition. Roller doors to loading bay and basement - modern style electrically operated with colorbond finish and signage for gallery space. Both in good condition.
HERITAGE ELEMENTS	Aluminium and glass entry doors; colorbond roller doors
HERITAGE VALUE	Low
FUNCTIONALITY	Functional

ACTION REQUIRED

OVERVIEW	Nil
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ASSET ELEMENT	WINDOWS
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EXISTING CONDITION	
OVERVIEW	Ground floor windows non-original - bronze anodised aluminium framed fixed glazing, good condition. Windows on levels 1 and 2 are metal framed casement windows, with awning windows to stairwell. Generally fair condition - frames weathered and discoloured, some sealant cracked / missing from most windows on these levels. Windows on levels 3 and 4 are bronze anodised aluminium framed casement style, with powdercoated aluminium framed glazing to areas with sandwich panel cladding.
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element Mixed
	EXCEPTIONAL 1939 windows (South tower all floors, majority of facade below third floor) HIGH 1959 windows (north end below third floor) LOW Bronze anodised and powdercoated windows
FUNCTIONALITY	Generally functional, some repairs needed to original windows.
ACTION REQUIRED	
OVERVIEW	Windows to be restored as required.

ASSET ELEMENT	FITTINGS
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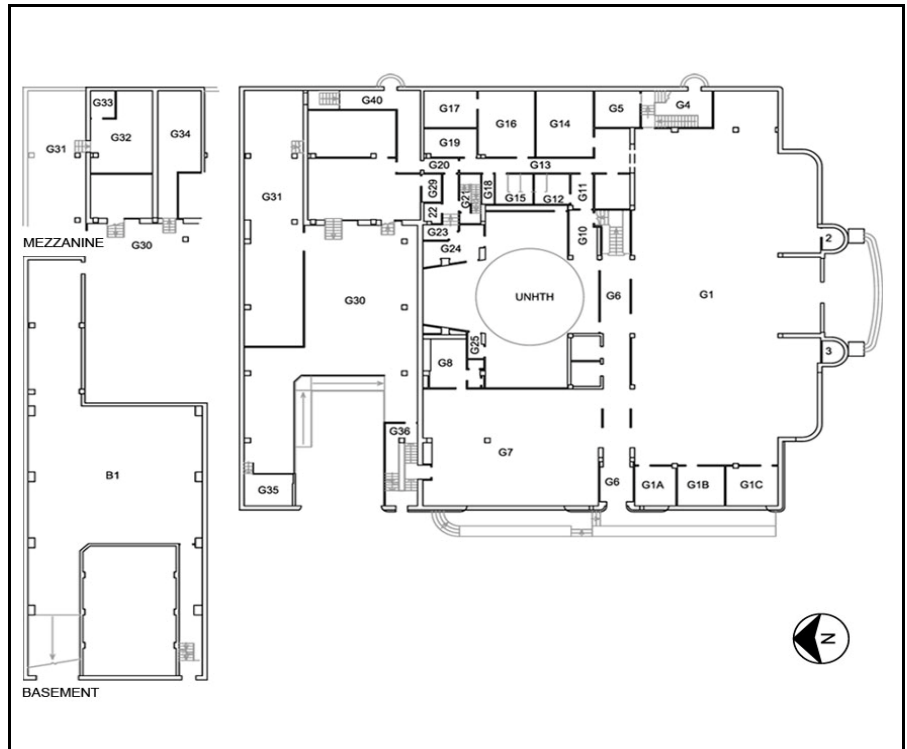
EXISTING CONDITION		
OVERVIEW	Memorial plaques commemorating opening of 1959 and 1971 extensions, vertical metal operable louvres to all windows above ground floor level, steel sub-floor ventilation grilles. Plaques and louvres showing signs of weathering. Vents corroded, some broken.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	<p>HIGH Plaques and Vents</p> <p>LOW Louvres</p>	
FUNCTIONALITY	Functional	
ACTION REQUIRED		
OVERVIEW	Nil	

UNIVERSITY HOUSE: ROOM DATA SHEETS

ROOM: ##	EASTERN FACADE
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LOCATION: EXTERNAL EAST

KEY PLAN:



OVERVIEW	
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EXISTING CONDITION

Fair condition. Smooth sandstone with trachyte base - surface weathered, surface of sandstone in some areas deteriorating and peeling. Some stone capping missing. Joints of stone panels have deteriorated.

HERITAGE OVERVIEW

Sandstone and trachyte significant fabric which needs to be restored as required. Mixture of window types ranging from original metal framed casement windows to newer bronze anodised aluminium framed casement windows. Doors are non-original bronze anodised aluminium framed glazed units.

REQUIRED CONDITION

Facade to be restored - repair sandstone blocks, cappings and joints, windows to be secure and any repairs to be in such a way as to maintain or reveal the heritage significance.

ASSET ELEMENT	WALLS
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EXISTING CONDITION	
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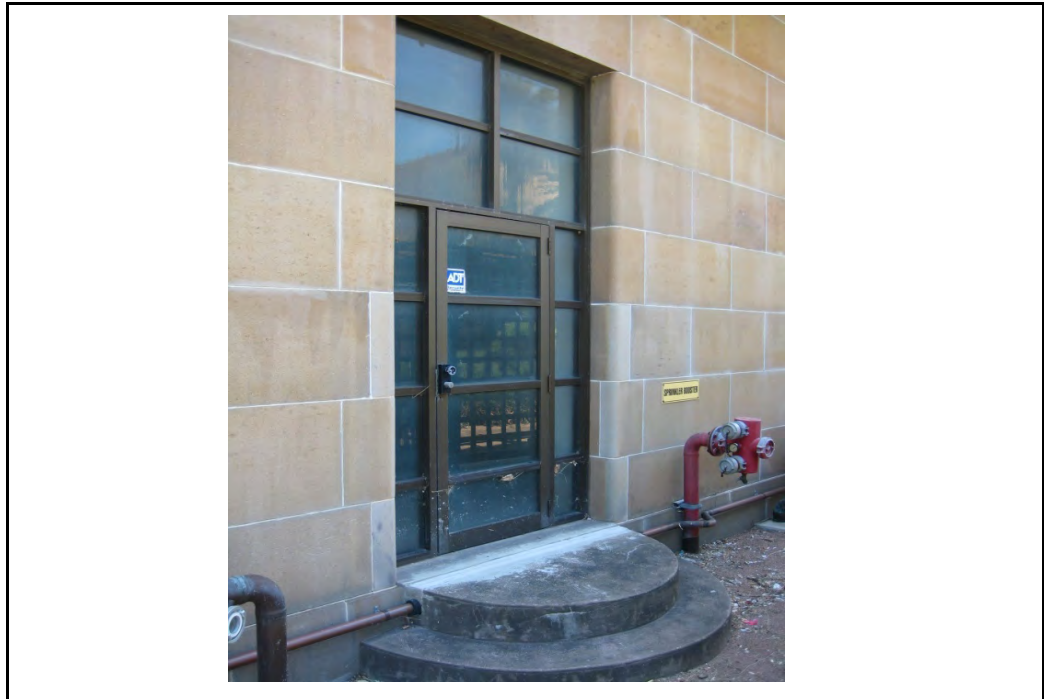
OVERVIEW	Smooth face sandstone blocks over trachyte base, with caulking to bed and perpend joints. Filleted reveals with feature joint detail at entry doors and window heads. Visual bands at window level with recessed joint detail present between windows. Most joints in deteriorating or deteriorated condition. Face of blocks weathered and discoloured. Some physical deterioration to face of blocks - especially at southern end of building. Fragment of block missing on level 1 at junction of 1939 and 1959 works. Sandstone cappings in deteriorated condition, with some cappings missing. Parts of level 3 and 4 (recessed back from main building line) clad in modern sandwich panel cladding, small areas visible from street level.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	EXCEPTIONAL 1939 sandstone and trachyte fabric (South tower all floors, majority of facade below third floor) HIGH 1959 fabric (north end below third floor) MODERATE 1971 sandstone (floors 3, 4) LOW 1998 cladding (floors 3, 4)	
FUNCTIONALITY	Functional, but sandstone walls requiring repair.	

ACTION REQUIRED	
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OVERVIEW	Repair deteriorated facing as required to provide even, consistent restoration of original wall surfaces. Renew stone jointing and replace missing cappings.
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ASSET ELEMENT

DOORS



EXISTING CONDITION

OVERVIEW	Bronze anodised aluminium and glass egress doors. Both doors in good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional	

ACTION REQUIRED

OVERVIEW	
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ASSET ELEMENT	WINDOWS
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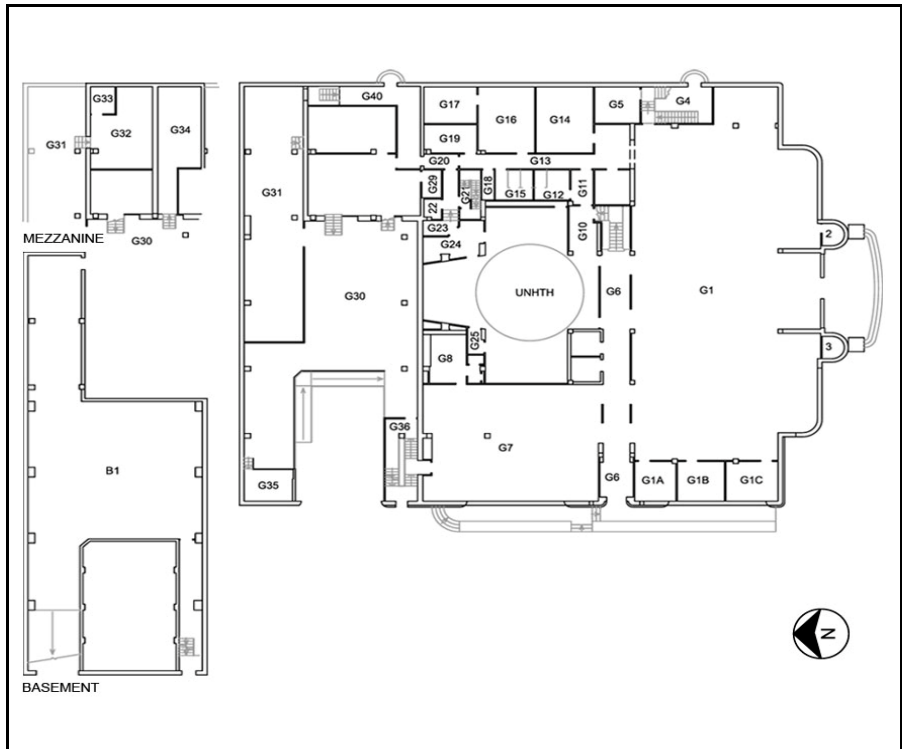
EXISTING CONDITION	
OVERVIEW	Windows are original metal framed casement windows.. Generally fair condition - frames weathered and discoloured, some sealant cracked / missing from most windows. Windows on levels 3 and 4 are bronze anodised aluminium framed casement style, with powdercoated aluminium framed glazing to areas with sandwich panel cladding.
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element Mixed
	EXCEPTIONAL 1939 windows (South tower all floors, majority of facade below third floor) HIGH 1959 windows (north end below third floor) LOW Bronze anodised and powdercoated windows.
FUNCTIONALITY	Generally functional, some repairs needed to original windows.
ACTION REQUIRED	
OVERVIEW	Windows to be restored as required.

UNIVERSITY HOUSE: ROOM DATA SHEETS

ROOM: ##	NORTHERN FACADE
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LOCATION: EXTERNAL NORTH

KEY PLAN:



OVERVIEW

EXISTING CONDITION

Fair condition. Render and paint finish is weathered, with cracking and peeling paint generally across the entire facade. Some graffiti at base of wall at western end. Joints of stone panels at western corner have deteriorated.

HERITAGE OVERVIEW

Windows on older levels of building (level 2 and below) are of significance, sandstone and trachyte base at corners is weathered and requires restoration of face and joints.

REQUIRED CONDITION

Facade to be restored - repair sandstone, rectify cracking render and paint to majority of facade, windows to be secure and any repairs to be in such a way as to maintain or reveal the heritage significance.

ASSET ELEMENT	WALLS
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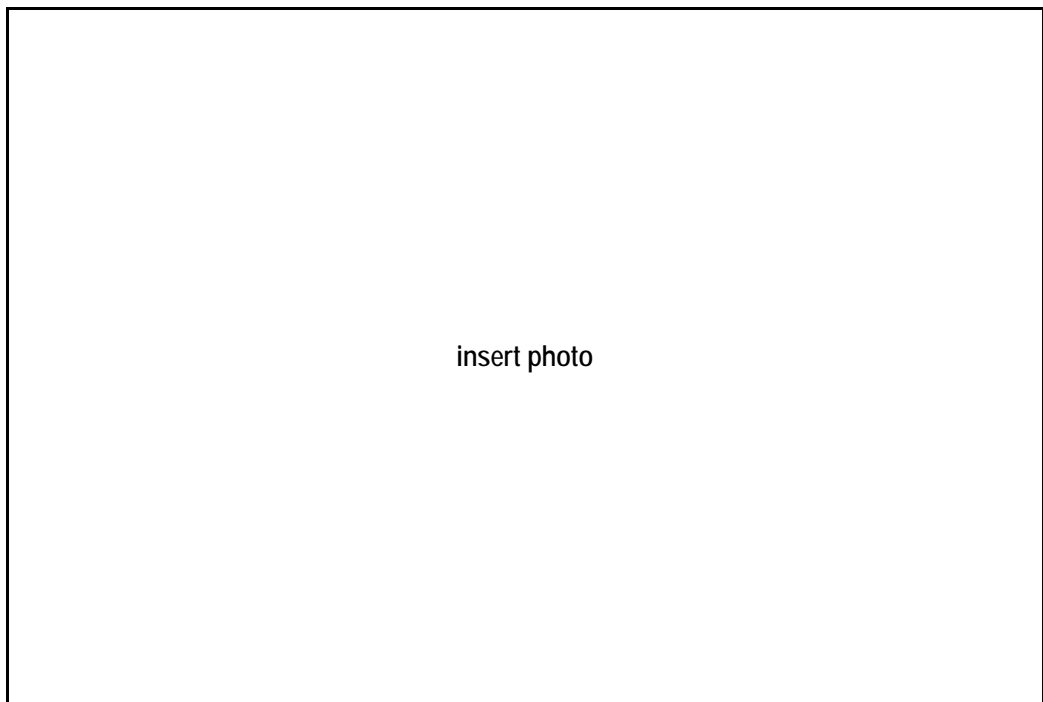
EXISTING CONDITION	
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OVERVIEW	Render and paint finish with smooth faced sandstone blocks over trachyte base at eastern and western ends. Render and paint finish cracked, peeling generally across facade. Paintwork extremely faded at top of building, different shades of the same colour graduation along the height of the wall. Graffiti on wall at base. Joints to stonework deteriorated - hardened, cracked and in some locations missing.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Moderate
FUNCTIONALITY	Functional but requiring minor repairs	

ACTION REQUIRED	
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OVERVIEW	Work to restore facade - rectify cracking render and paint to majority of facade, renew stonework and jointing at corners of building.
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ASSET ELEMENT	WINDOWS
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EXISTING CONDITION	
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OVERVIEW	Metal framed casement windows up to and including Level 2, bronze anodised aluminium framed casement windows on Levels 3 and 4. Older metal framed windows generally fair condition - frames weathered and discoloured, sealant to panes hardened, cracking. Window panel missing on Level 4. Refer also to RDS for internal rooms for further information.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	MODERATE Metal framed windows on lower levels. LOW Anodised aluminium framed windows on upper levels.	
FUNCTIONALITY	Functional but requiring minor repairs	

ACTION REQUIRED	
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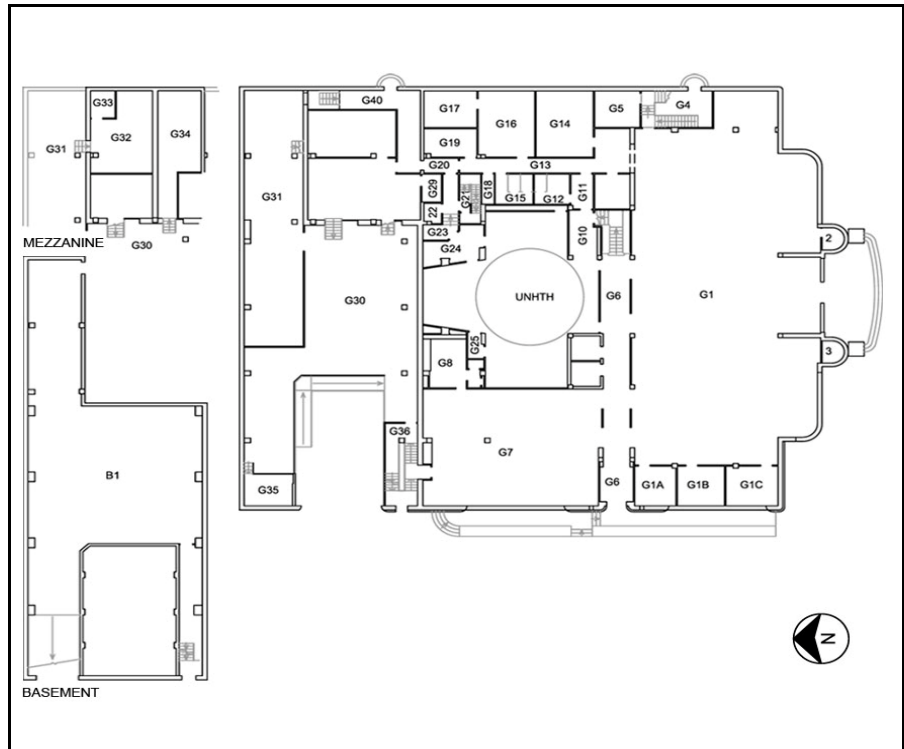
OVERVIEW	Windows to be restored as required.
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UNIVERSITY HOUSE: ROOM DATA SHEETS

ROOM: ##	SOUTHERN FACADE
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LOCATION: EXTERNAL SOUTH

KEY PLAN:



OVERVIEW	
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EXISTING CONDITION

Fair condition. Smooth sandstone with trachyte base - surface weathered, surface of sandstone in some areas deteriorating and peeling. Some stone capping missing. Joints of stone panels have deteriorated.

HERITAGE OVERVIEW

Sandstone and trachyte significant fabric which needs to be restored as required. Original metal framed casement windows from level 1 up, bronze anodised aluminium framed glazing to ground floor. Doors are non-original powdercoated aluminium framed glazed units. Stone entry stairs and landing with plinths each side - metal and stone light pole on each plinth.

REQUIRED CONDITION

Facade to be restored - repair sandstone blocks, cappings and joints, windows to be secure and any repairs to be in such a way as to maintain or reveal the heritage significance.

ASSET ELEMENT

FLOOR



EXISTING CONDITION

OVERVIEW	Stone entrance landing and stairs with matching plinths each side. Two parts of the top tread are loose and require attention.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	High
FUNCTIONALITY	Functional, with some repair required.	

ACTION REQUIRED

OVERVIEW	Minor repairs required to stair treads, minor restoration required to stonework generally.
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ASSET ELEMENT	WALLS
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EXISTING CONDITION	
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OVERVIEW	Smooth face sandstone blocks over trachyte base, with caulking to bed and perpend joints. Filleted reveals with feature joint detail at entry doors and window heads. Visual bands at window level with recessed joint detail present between windows. Most joints in deteriorating or deteriorated condition. Face of blocks weathered and discoloured, particularly below sill and capping projections and at top of building. Extensive physical deterioration to face of blocks. Sandstone cappings in deteriorated condition, with some cappings missing. Some cracking at eastern end of building. Damage to underside of ledges, especially panel over main doors. Some cracking and evidence of moisture on undersides of sills and window heads. Sub-floor vent missing at western end of building. Third and fourth floor additions each side of main tower (1971) - sandstone blocks, good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	EXCEPTIONAL 1939 sandstone and trachyte fabric (main tower all floors, east and west wings below third floor) MODERATE 1971 additions (floors 3 and 4 on east and west wings).	
FUNCTIONALITY	Functional, but requiring repair.	

ACTION REQUIRED	
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OVERVIEW	Repair deteriorated facing as required to provide even, consistent restoration of original wall surfaces. Renew stone jointing and replace missing cappings. Replace missing sub-floor vent.
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ASSET ELEMENT

DOORS



EXISTING CONDITION

OVERVIEW	Powdercoated aluminium and glass entry doors. Doors and frames in good condition. Decorative stone feature jambs, mullions and door head - weathered but otherwise in good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	EXCEPTIONAL Stonework LOW Doors	
FUNCTIONALITY	Functional	

ACTION REQUIRED

OVERVIEW	
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ASSET ELEMENT	WINDOWS
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EXISTING CONDITION	
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OVERVIEW	Ground floor windows non-original - bronze anodised aluminium framed fixed glazing, good condition. Windows from level 1 upwards are original metal framed casement windows, with curved frames and glass at curved walls on level 1. Generally fair condition - frames weathered and discoloured, some sealant cracked / missing from most windows on these levels. Coated steel louvers at ground floor level of risers - paint coating deteriorated.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	EXCEPTIONAL Original metal framed casement windows INTRUSIVE Aluminium framed windows Facetted aluminium glazing in curved walls on ground floor.	
FUNCTIONALITY	Generally functional, some repairs needed to original windows.	

ACTION REQUIRED	
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OVERVIEW	Windows to be restored as required.
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ASSET ELEMENT	FITTINGS
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EXISTING CONDITION	
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OVERVIEW	Memorial stones commemorating commencement and opening of original building, uplighting mounted to top of door spandrel (one fitting missing), metal and stone light pillars each side of entry landing, steel balustrades and painted flagpoles at top of building. Note silhouette of missing "Nesca House" signage above entry doors.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	<p>HIGH Memorial stones, lighting pillars, flag poles at top of central tower.</p> <p>LOW Steel balustrades at top of building.</p> <p>INTRUSIVE Flagpoles at corners of building on level 3.</p>	
FUNCTIONALITY	Functional but requiring repair / restoration	

ACTION REQUIRED	
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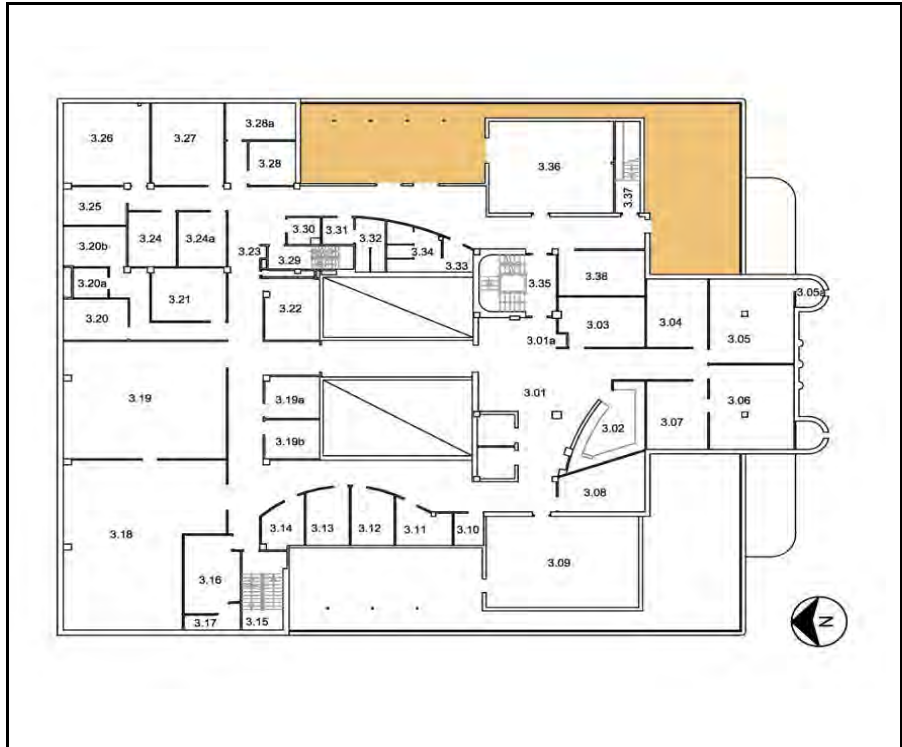
OVERVIEW	Restore light pillars to original condition, re-install uplight to match remaining fittings, restore balustrade and flagpoles at top of building.
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UNIVERSITY HOUSE: ROOM DATA SHEETS

ROOM:	EAST TERRACE - THIRD FLOOR
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LOCATION: THIRD FLOOR EAST

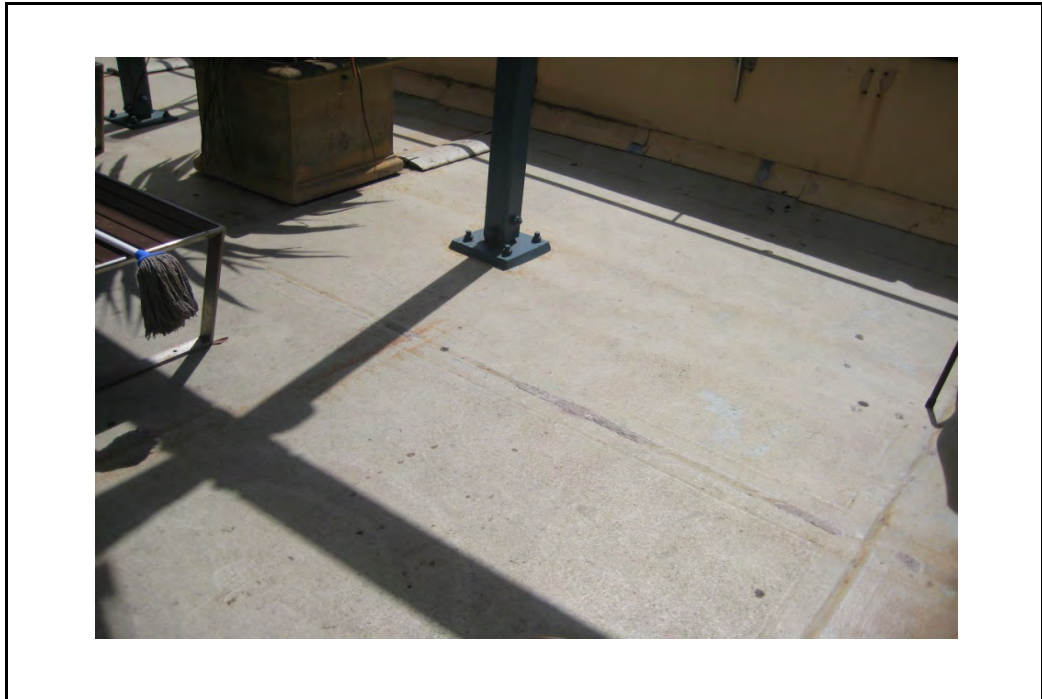
KEY PLAN:



OVERVIEW	
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EXISTING CONDITION	Generally fair - good condition, some cracks to inside of balustrade wall, weathering to walls on older parts of building.
HERITAGE OVERVIEW	Original stonework to walls, original metal framed casement windows considered significant.
REQUIRED CONDITION	Finishes to be restored as required in such a way as to maintain or reveal the heritage significance.

ASSET ELEMENT	FLOOR
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EXISTING CONDITION		
OVERVIEW	Concrete slab with waterproofing membrane over, coved at walls. Fall toward balustrade along east side. Generally good condition, some staining, particularly at irrigation pipe crossovers.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Moderate
FUNCTIONALITY	Functional.	
ACTION REQUIRED		
OVERVIEW		

ASSET ELEMENT	CEILING
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EXISTING CONDITION	
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OVERVIEW	Steel framed tensile shade structure, good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY		

ACTION REQUIRED	
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OVERVIEW	
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ASSET ELEMENT	WALLS
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EXISTING CONDITION	
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OVERVIEW	Render and paint finish to inside face of balustrade wall, generally good condition, some cracking along top of flashing. Stone capping to balustrade in fair - poor condition - sections of capping missing, others badly chipped and weathered. Sandstone blocks to original wall at south western area of terrace extremely weathered, with similar capping issues as balustrade wall. Sandstone blocks to northern section of building and surrounding room 3.36 also weathered, discoloured, not to same degree as original fabric. Metal sandwich panel cladding to western wall of north area of terrace, good condition. Render and paint to area of access to southern area of terrace, generally good condition, crack at top of eastern end of rendered wall. Flashing missing from base of some areas of wall, grout missing from sandstone joints at junction with balustrade wall in north east corner of terrace.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	EXCEPTIONAL Original sandstone MODERATE 1971 additions LOW Sandwich panels low	
FUNCTIONALITY	Functional but requiring repair.	
ACTION REQUIRED		
OVERVIEW	Repair and restore wall finishes as required	

ASSET ELEMENT

DOORS



EXISTING CONDITION

OVERVIEW	Powdercoated aluminium framed glazed doors, good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional	

ACTION REQUIRED

OVERVIEW	
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ASSET ELEMENT	WINDOWS
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EXISTING CONDITION	
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OVERVIEW	Metal framed casement windows, original, to southern facades of building, generally fair condition - discoloured and weathered, some sealant missing from some panes. Powdercoated aluminium framed windows to eastern most facade and southern and western walls of north area of terrace, good condition. Bronze anodised aluminium framed windows to north wall of north area of terrace, good condition, some cracking and sealant missing at head of eastern most window.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	EXCEPTIONAL Original windows LOW Anodised and powdercoated glazing	
FUNCTIONALITY	Functional	

ACTION REQUIRED	
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OVERVIEW	Restore original glazing frames and sills as required.
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ASSET ELEMENT	FITTINGS
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EXISTING CONDITION	
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OVERVIEW	Flagpole in south-east corner of terrace, weathered and missing capstan. Stainless rail fixed to balustrade wall, good condition. Bulkhead style light fittings, good condition. Original painted rainwater head and downpipe in north-west corner of southern area of terrace, good condition, discharges onto slab. Stainless rainwater heads and downpipes fixed to eastern facades, some dented, one with break toward base. All discharge onto slab.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	HIGH Original rainwater head / downpipe LOW Handrail, light fittings and stainless downpipes INTRUSIVE Flagpole at south east corner of terrace.	
FUNCTIONALITY	Functional	

ACTION REQUIRED	
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OVERVIEW	Repair fittings as required.
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UNIVERSITY HOUSE: ROOM DATA SHEETS

ROOM:	WEST TERRACE - THIRD FLOOR
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LOCATION: THIRD FLOOR WEST

KEY PLAN:



OVERVIEW

EXISTING CONDITION

Generally fair - good condition, some cracks to inside of balustrade wall, weathering to walls on older parts of building.

HERITAGE OVERVIEW

Original stonework to walls, original metal framed casement windows considered significant.

REQUIRED CONDITION

Finishes to be restored as required in such a way as to maintain or reveal the heritage significance.

ASSET ELEMENT	FLOOR
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EXISTING CONDITION		
OVERVIEW	Concrete slab with waterproofing membrane over, coved at walls. Fall toward balustrade along east side. Generally good condition, some staining, particularly at irrigation pipe crossovers and path of flow from downpipes to sunps	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Moderate
FUNCTIONALITY	Functional.	
ACTION REQUIRED		
OVERVIEW		

ASSET ELEMENT	CEILING
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EXISTING CONDITION	
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OVERVIEW	Steel framed tensile shade structure, good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY		

ACTION REQUIRED	
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OVERVIEW	
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ASSET ELEMENT	WALLS
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EXISTING CONDITION		
OVERVIEW	<p>Render and paint finish to inside face of balustrade wall, generally good condition, some cracking along top of flashing and at various points along wall. Stone capping to balustrade in fair - poor condition - sections of capping missing, others badly chipped and weathered. Sandstone blocks to original wall at south eastern area of terrace extremely weathered, with similar capping issues as balustrade wall. Sandstone blocks to northern section of building and surrounding room 3.09 also weathered, discoloured, not to same degree as original fabric. Metal sandwich panel cladding to eastern wall of north area of terrace, good condition. Render and paint to area of access to southern area of terrace, generally good condition. Flashing missing from base of some areas of wall, separating from base of balustrade wall near south eastern-most corner of terrace. Grout missing from sandstone joints at base of north wall of terrace.</p>	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	<p>EXCEPTIONAL Original sandstone MODERATE 1971 additions LOW Sandwich panels</p>	
FUNCTIONALITY	Functional but requiring repair.	

ACTION REQUIRED	
OVERVIEW	Repair and restore wall finishes as required

ASSET ELEMENT	DOORS
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EXISTING CONDITION		
OVERVIEW	Powdercoated aluminium framed glazed doors, good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional	
ACTION REQUIRED		
OVERVIEW		

ASSET ELEMENT	WINDOWS
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EXISTING CONDITION	
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OVERVIEW	Metal framed casement windows, original, to original facade of building, generally fair condition - discoloured and weathered, some sealant missing from some panes. Powdercoated aluminium framed windows to eastern most facade, north wall of southern area of terrace and southern and eastern walls of north area of terrace, good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	EXCEPTIONAL Original windows LOW Powdercoated glazing	
FUNCTIONALITY	Functional	

ACTION REQUIRED	
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OVERVIEW	Restore original glazing frames and sills as required.
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ASSET ELEMENT	FITTINGS
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EXISTING CONDITION		
OVERVIEW	Flagpole in south-west corner of terrace, weathered. Stainless rail fixed to balustrade wall, good condition. Bulkhead style light fittings, good condition. Stainless rainwater heads and downpipes, generally good condition, discharge either directly onto slab or into buckets on the slab.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	LOW Handrail, light fittings and stainless downpipes INTRUSIVE Flagpole at south west corner of terrace	
FUNCTIONALITY	Functional	
ACTION REQUIRED		
OVERVIEW	Repair fittings as required.	

ASSET ELEMENT

FLOOR



EXISTING CONDITION

OVERVIEW	Combination of original travertine flooring and new carpet over. Black tiles at southern entry doors. General condition of all surfaces good, some minor areas of damage to travertine, notably at doors to corridor (Room G6) at western end - section of brass expansion joint missing, flooring chipped / cracked.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	HIGH 1939 original finishes, Travertine INTRUSIVE Carpet	
FUNCTIONALITY	Functional	

ACTION REQUIRED

OVERVIEW	Repair and restore original flooring as required.
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ASSET ELEMENT	CEILING
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EXISTING CONDITION	
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OVERVIEW	Painted plaster ceiling, feature spines with decorative covered edges. Suspended ceiling with shallow coffers at entry doors. Lower suspended plasterboard ceilings, paint finish, to southern bays of room. All in good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	High
FUNCTIONALITY	Functional	

ACTION REQUIRED	
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OVERVIEW	
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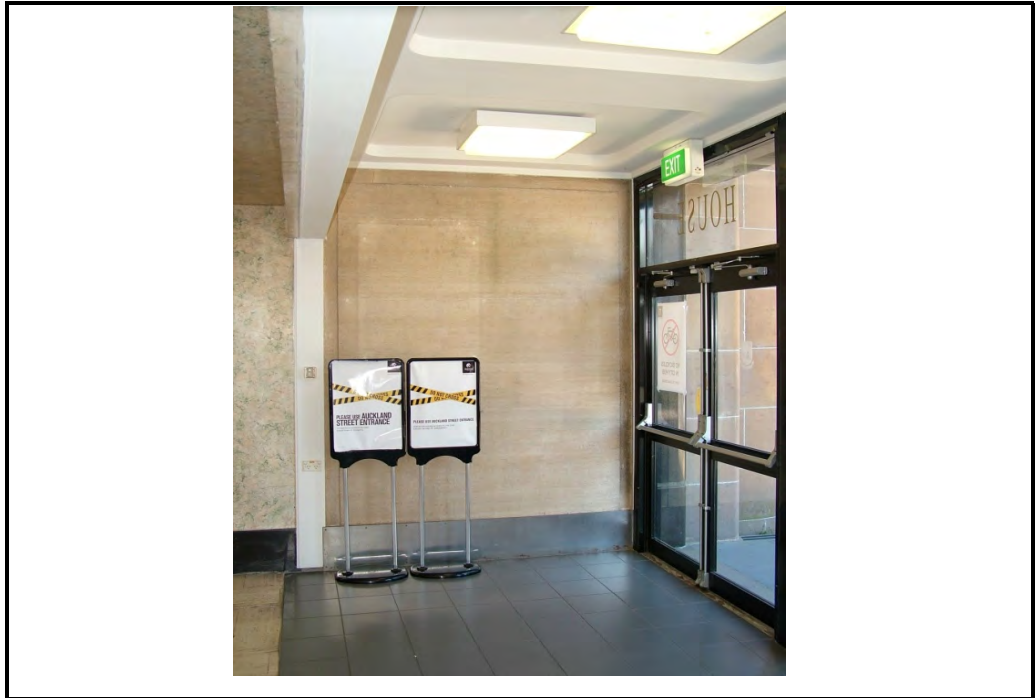
ASSET ELEMENT	WALLS
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EXISTING CONDITION	
OVERVIEW	Scagliola with painted plaster at high level. Black stone skirting. Polished stone at sides of entry area. Painted plasterboard walls to eastern and western ends of room at newer works. Powdercoated aluminium framed glazing to corridor. Scagliola extensively covered with fine cracks and drummy areas. Some larger cracks evident at various points in the room, particularly over openings and adjacent to columns. Discolouration, possibly due to moisture, to scagliola at the eastern end of the room, particularly at north east and south east corners. Some areas where chips / fragments missing from finish, area of damage to door head at eastern most doors to corridor (Romm G6). Some cracking to polished stone at south doors, some repair attempted. Plasterboard walls good condition.
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element
	Mixed
EXCEPTIONAL	Scagliola and polished stone
LOW	Plasterboard
FUNCTIONALITY	Functional but requiring some repair.
ACTION REQUIRED	
OVERVIEW	Repair and restore original wall finishes as required.

ASSET ELEMENT

DOORS



EXISTING CONDITION

OVERVIEW	Powdercoated aluminium framed glazed doors to southern entry and to corridor (Room G6). Painted timber doors to offices at western end of room and fire exit at east end of room.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional	

ACTION REQUIRED

OVERVIEW	
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ASSET ELEMENT

WINDOWS



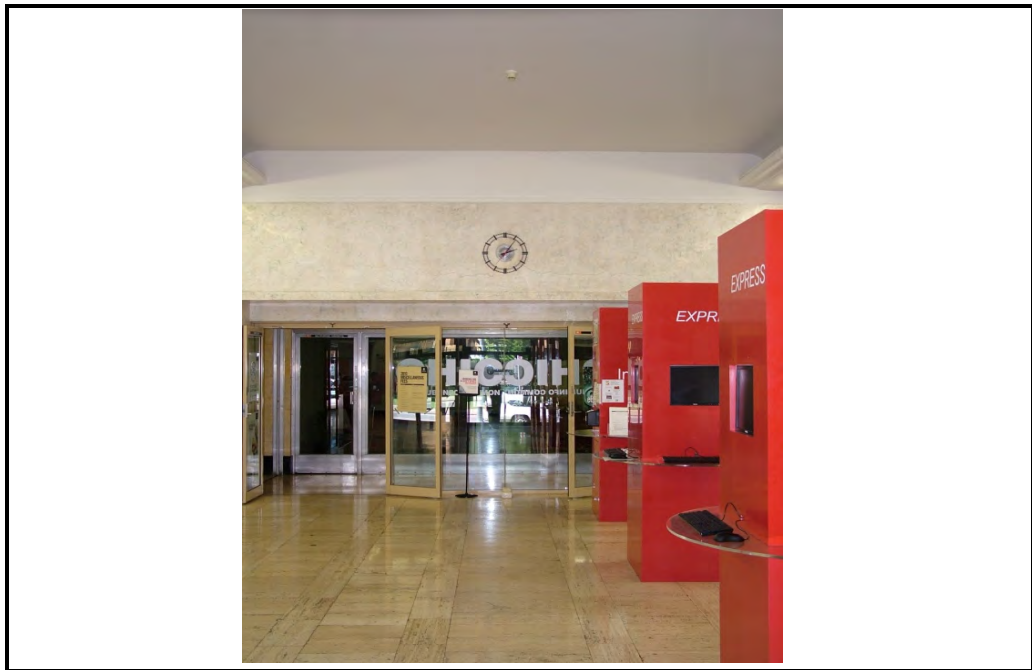
EXISTING CONDITION

OVERVIEW	Non-original bronze anodised aluminium framed fixed glazing, good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Intrusive
	INTRUSIVE Facetted windows in curved walls	
FUNCTIONALITY	Functional	

ACTION REQUIRED

OVERVIEW	
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ASSET ELEMENT	FITTINGS
---------------	----------



EXISTING CONDITION	
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OVERVIEW	Wall mounted clock above doors to corridor, timber venetian blinds to windows. Red painted computer terminals to central area of room.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	HIGH Clock INTRUSIVE Venetians and computer terminals	
FUNCTIONALITY	Functional	

ACTION REQUIRED	
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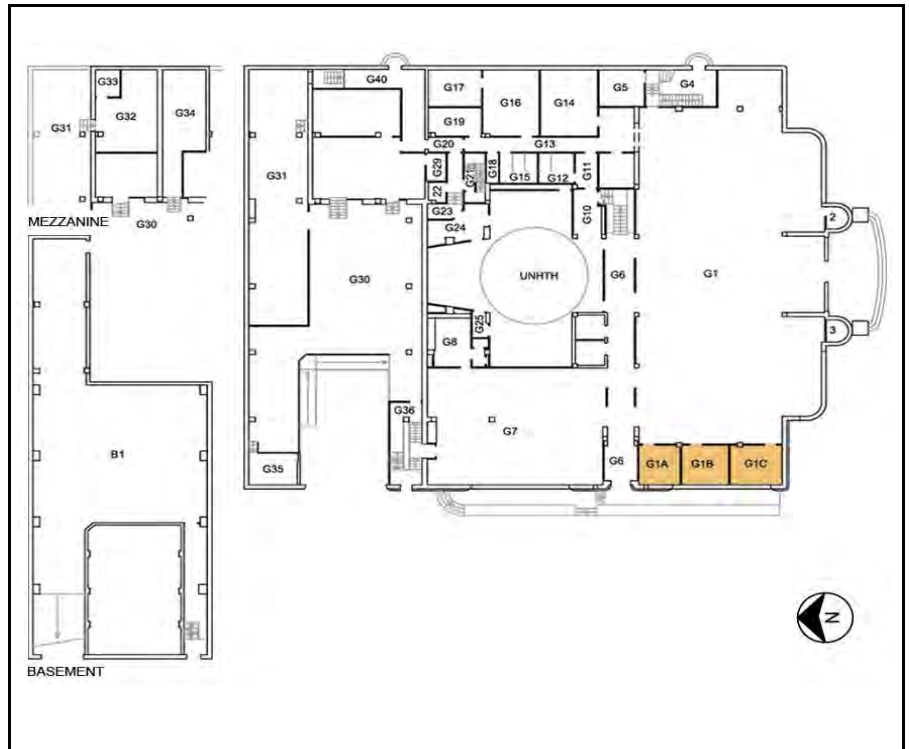
OVERVIEW	
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UNIVERSITY HOUSE: ROOM DATA SHEETS

ROOM: G1A, G1B, G1C	OFFICES - CITY HUB
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LOCATION: GROUND FLOOR SOUTH WEST

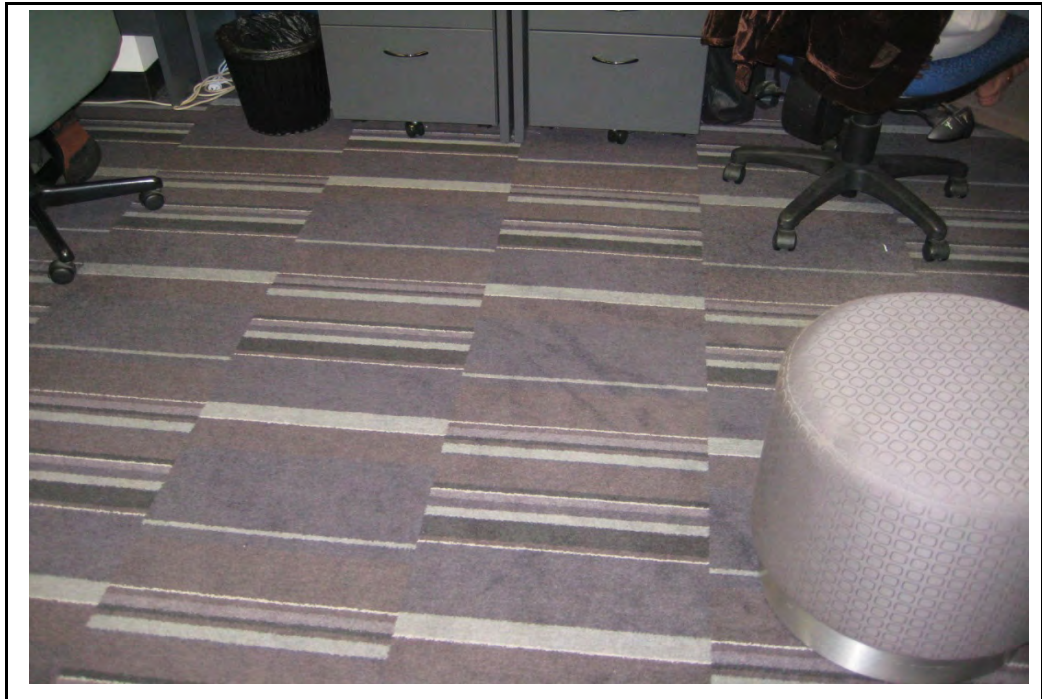
KEY PLAN:



OVERVIEW

EXISTING CONDITION	Modern office fitouts at western edge of existing space. Painted plasterboard walls, carpet to floor, suspended tile ceiling. All in good condition, with some moisture staining to ceiling of room G1B.
HERITAGE OVERVIEW	Visible fabric has no heritage significance.
REQUIRED CONDITION	Source of moisture damaging ceiling in G1B to be investigated and rectified.

ASSET ELEMENT	FLOOR
---------------	-------



EXISTING CONDITION	
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OVERVIEW	New carpet, possibly over existing travertine flooring. Good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional.	

ACTION REQUIRED	
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OVERVIEW	
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ASSET ELEMENT	CEILING
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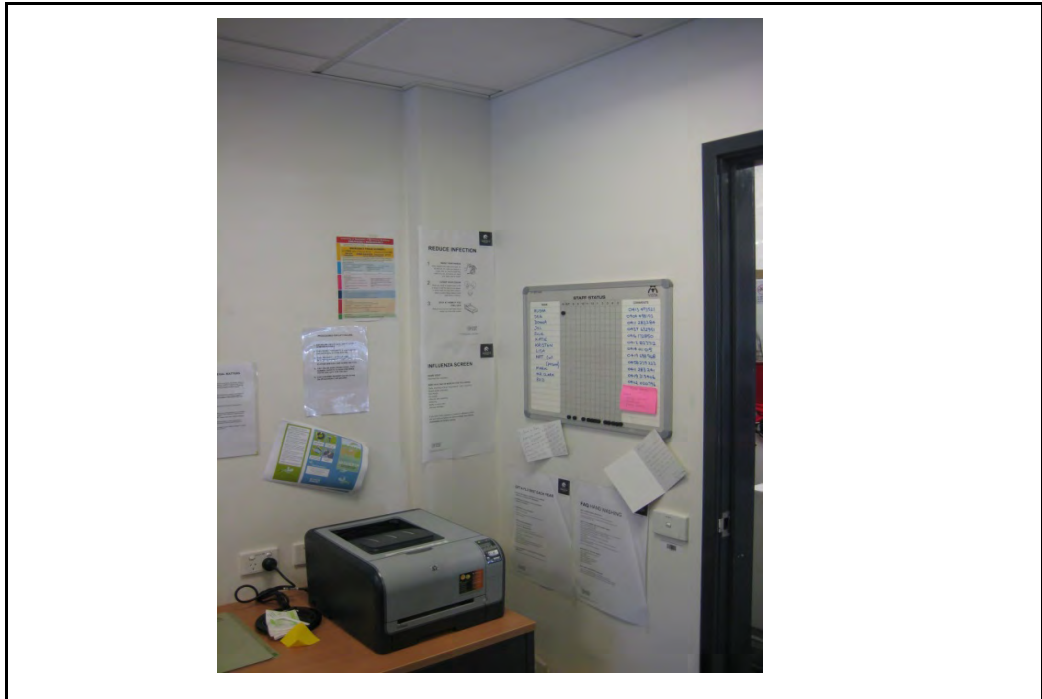
EXISTING CONDITION	
---------------------------	--

OVERVIEW	Modern suspended ceiling tiles, good condition. Moisture damage to ceiling tiles in two locations in room G1B	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional, requiring minor repair	

ACTION REQUIRED	
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OVERVIEW	Source of moisture to be investigated and rectified, new ceiling tiles installed as required.
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ASSET ELEMENT	WALLS
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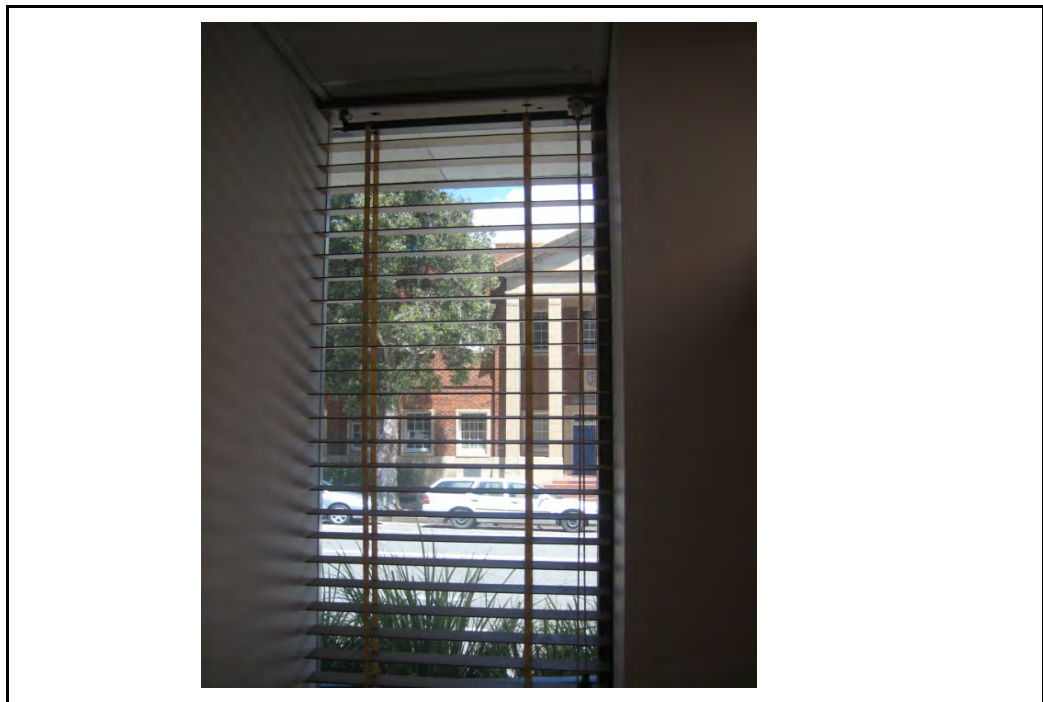
EXISTING CONDITION		
OVERVIEW	New plasterboard wall lining, paint finish. North wall of room G1A is render and paint finish. Vinyl skirtings to all.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional	
ACTION REQUIRED		
OVERVIEW		

ASSET ELEMENT	DOORS
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EXISTING CONDITION		
OVERVIEW	Painted timber doors with painted timber frames. Glass vision panel and aluminium ventilation grille. Good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional	
ACTION REQUIRED		
OVERVIEW		

ASSET ELEMENT	WINDOWS
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EXISTING CONDITION	
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OVERVIEW	Bronze anodised aluminium framed aluminium framed glazing to external wall, powdercoated aluminium framed glazing to common walls with room G1.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional	

ACTION REQUIRED	
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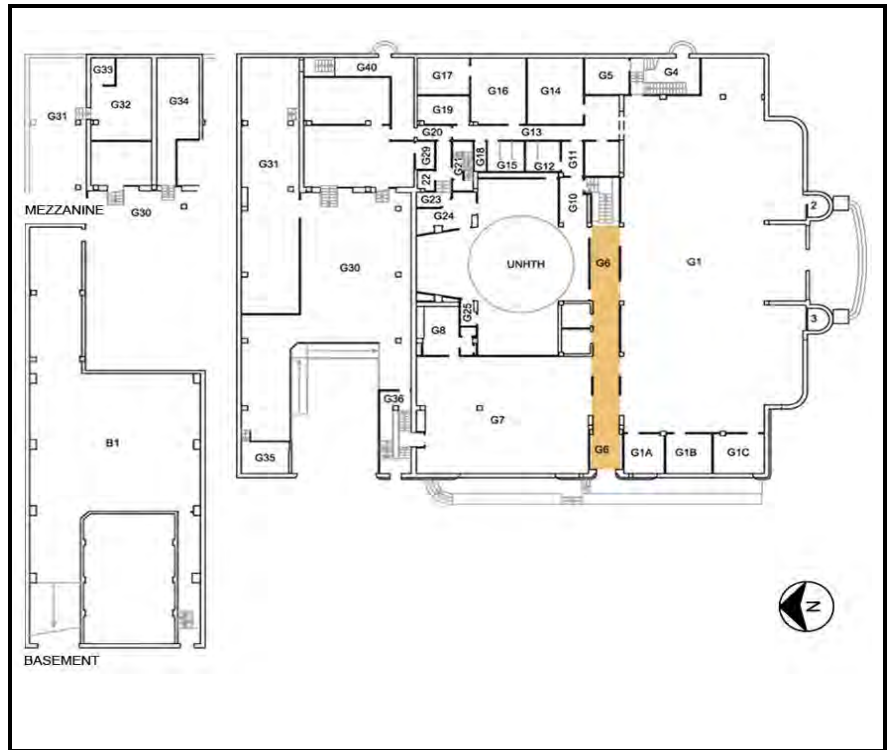
OVERVIEW	
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UNIVERSITY HOUSE: ROOM DATA SHEETS

ROOM: G6	ENTRY / CORRIDOR
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LOCATION: GROUND FLOOR WEST

KEY PLAN:



OVERVIEW

EXISTING CONDITION

Fair to good condition, with cracks in scagliola tiles on walls, some areas of repair need finishing, and some cracked / flaking paint on ceiling.

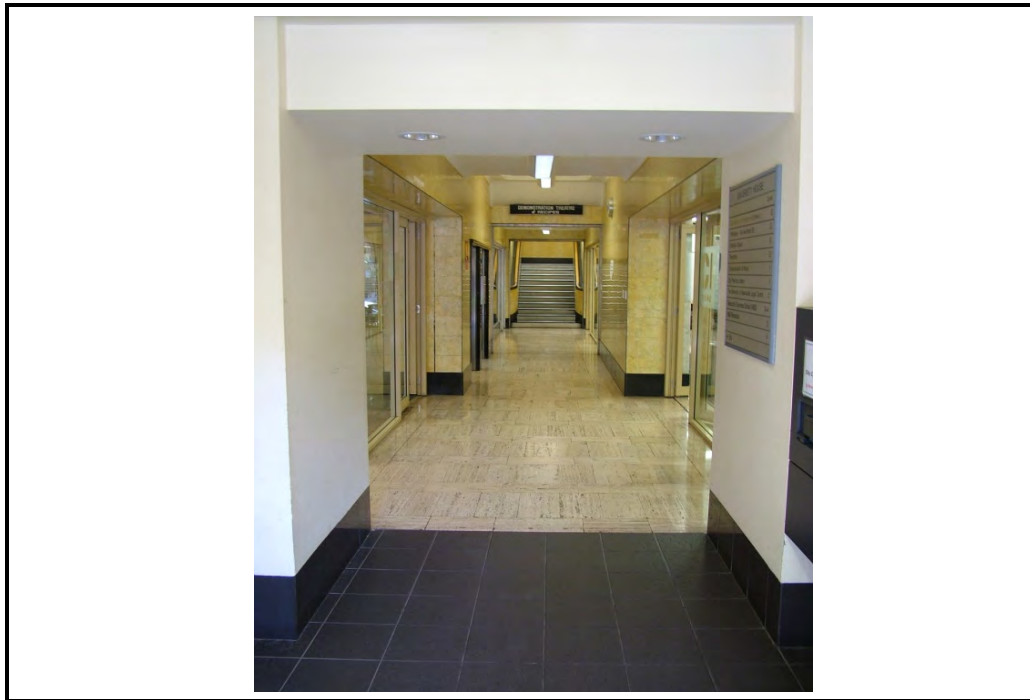
HERITAGE OVERVIEW

Scagliola wall tiles, black stone skirting, travertine floor and curved decorative ceiling are all of significance.

REQUIRED CONDITION

Finishes to be restored as required in such a way as to maintain or reveal the heritage significance.

ASSET ELEMENT	FLOOR
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EXISTING CONDITION		
OVERVIEW	Black floor tiles at entry, good condition. Travertine flooring throughout corridor, generally good condition with some evidence of wear and cracking. Some pot marking of surface evidence, some of which appears to have been infilled with gold metallic material.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	HIGH Travertine LOW Tiles	
FUNCTIONALITY	Functional.	
ACTION REQUIRED		
OVERVIEW	Repair and restore flooring as required	

ASSET ELEMENT	CEILING
---------------	---------



EXISTING CONDITION	
--------------------	--

OVERVIEW	Painted plaster ceiling with curves and coffers and decorative relief. Generally good condition, some cracked and flaking paint	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	High
FUNCTIONALITY	Functional, requiring minor repair	

ACTION REQUIRED	
-----------------	--

OVERVIEW	Repair areas of cracked / flaking paint and generally restore as required.
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ASSET ELEMENT	WALLS
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EXISTING CONDITION	
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OVERVIEW	Scagliola tiles with black stone skirting to main part of corridor, plasterboard with paint finish at entry. Scagliola tiles extensively covered with fine cracks, some larger cracks and some chips missing. Some areas drummy. Evidence of attempted repair work opposite lift doors. Tile missing at door head at east end of glazed wall with room G1. Some areas of repair work on plasterboard walls require repainting.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	EXCEPTIONAL Scagliola tiles LOW Plasterboard lining	
FUNCTIONALITY	Functional but requiring repair.	

ACTION REQUIRED	
-----------------	--

OVERVIEW	Repair and restore wall finishes as required
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ASSET ELEMENT

DOORS



EXISTING CONDITION

OVERVIEW	Powdercoated aluminium framed glazed doors to entry (automatic sliding doors) and rooms G1 and G7. Anodised framed glazed doors to room G9 appear original with decorative embellishments on frame. Metal sliding and vertical sliding doors at base of stair and adjacent to lift doors. All good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	HIGH Anodised framed doors and concealed sliding doors to Demonstration Theatre LOW Powdercoated framed doors	
FUNCTIONALITY	Functional	

ACTION REQUIRED

OVERVIEW	
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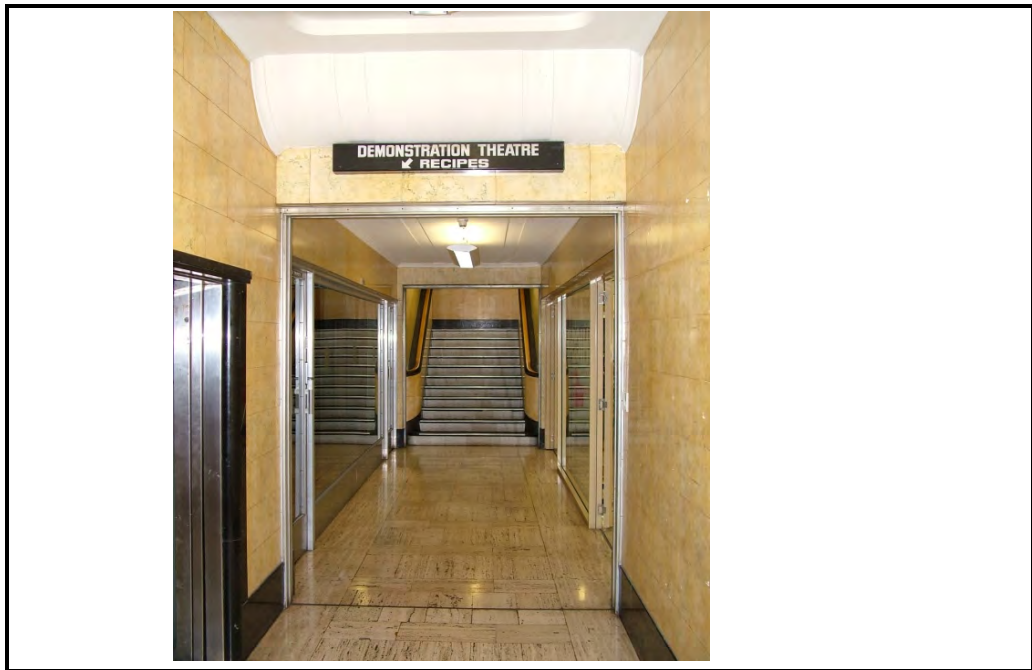
EXISTING CONDITION

OVERVIEW	Powdercoated aluminium framed glazing to rooms G1 and G7. Anodised framed glazing to room G9 appears original with decorative embellishments on frame. All good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	HIGH Anodised framed glazing LOW Powdercoated framed glazing	
FUNCTIONALITY	Functional	

ACTION REQUIRED

OVERVIEW	
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ASSET ELEMENT	FITTINGS
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EXISTING CONDITION	
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OVERVIEW	Signage for original demonstration theatre - good physical appearance, working assessment not done.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	High
FUNCTIONALITY	Assumed functional	

ACTION REQUIRED	
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OVERVIEW	
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UNIVERSITY HOUSE: ROOM DATA SHEETS

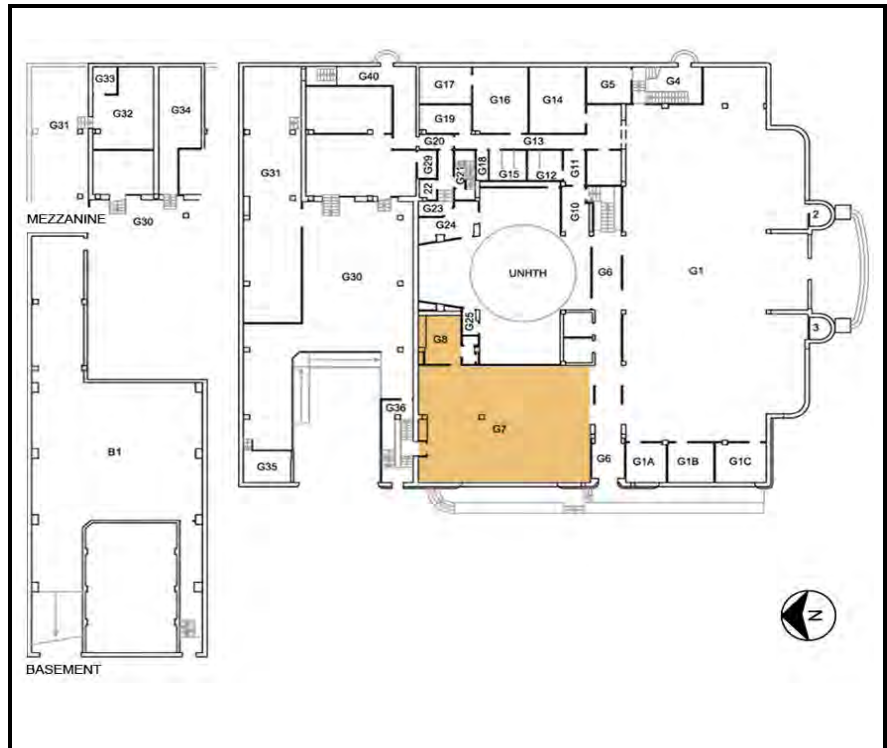
ROOM: G7, G8

NESCA CAFE AND STOREROOM

LOCATION:

GROUND FLOOR WEST

KEY PLAN:



OVERVIEW

EXISTING CONDITION

Generally good condition, junction of timber and vinyl floor finishes untidy but all otherwise functional

HERITAGE OVERVIEW

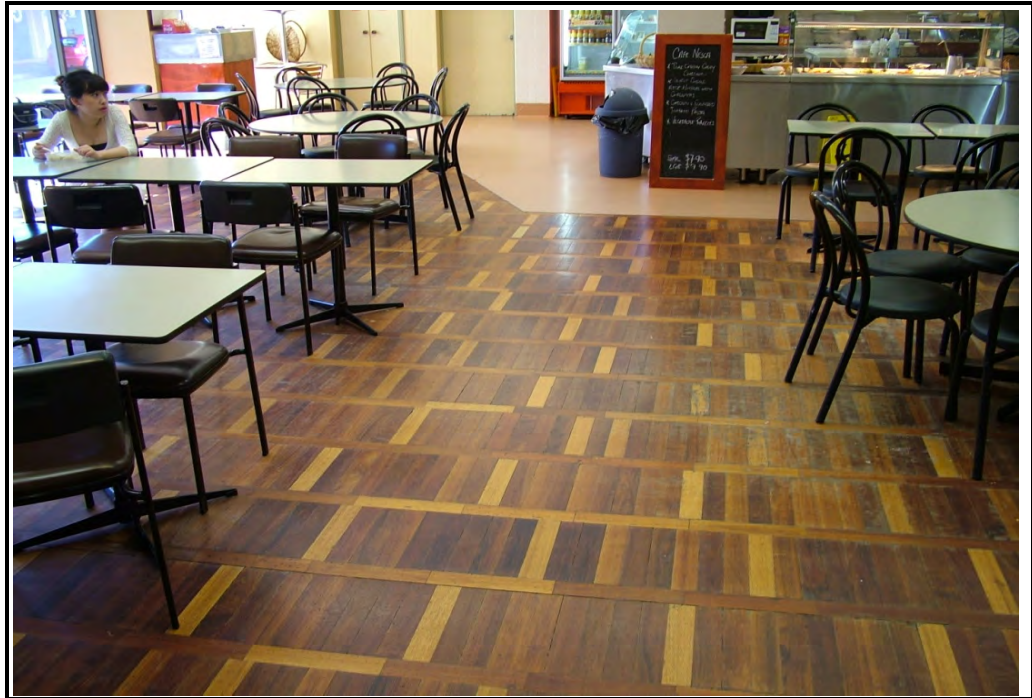
Grooved wall lining , timber parquet flooring and ceiling tiles may have significance, other visible fabric not considered to be significant.

REQUIRED CONDITION

Finishes to be restored as required in such a way as to maintain or reveal the heritage significance.

ASSET ELEMENT

FLOOR



EXISTING CONDITION

OVERVIEW	Timber parquet flooring, generally in good condition. Some gaps noted between boards. Sheet vinyl flooring at food service and preparation area, in good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	HIGH Timber flooring LOW Vinyl flooring	
FUNCTIONALITY	Functional but requiring minor repair	
ACTION REQUIRED		
OVERVIEW	Repair and restore flooring as required	

ASSET ELEMENT

CEILING



EXISTING CONDITION

OVERVIEW	Fibrous tile ceiling with painted perimeter, set plasterboard with paint finish over food preparation area and in store room (G8). Generally good condition, some ceiling tile discoloured and / or cracked / chipped or misaligned. Some paint flaking on cornice of the north wall in the storeroom.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional, requiring minor repair	

ACTION REQUIRED

OVERVIEW	Repair broken ceiling tiles, generally restore as required.
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ASSET ELEMENT

WALLS



EXISTING CONDITION

OVERVIEW	Grooved panelling with paint finish and timber skirting, with set lining over, paint finish. Wall tiles to food service / preparation area and storeroom. All generally good condition. Some paint missing at exit door.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional but requiring minor repair.	
ACTION REQUIRED		
OVERVIEW	Repair wall finishes as required	

ASSET ELEMENT

DOORS



EXISTING CONDITION

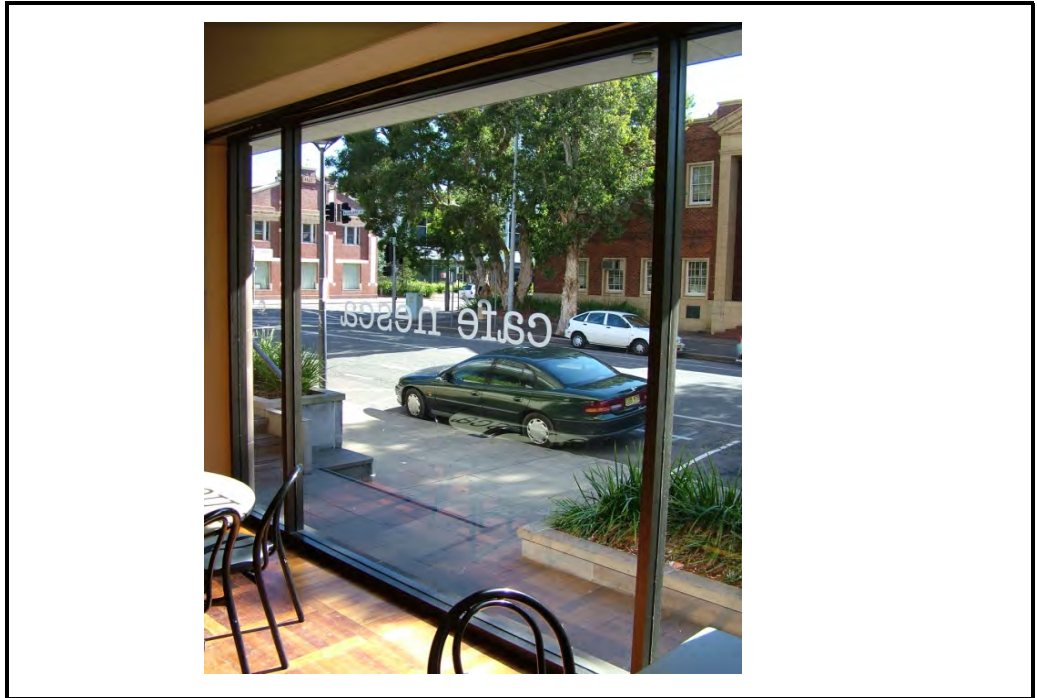
OVERVIEW	Powdercoated aluminium framed glazed doors to corridor (room G6), painted timber doors to fire exit and hose reel cupboard. All good condition	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional	

ACTION REQUIRED

OVERVIEW	
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ASSET ELEMENT

WINDOWS



EXISTING CONDITION

OVERVIEW	Powdercoated aluminium framed glazing to corridor (room G6), bronze anodised aluminium framed glazing to external wall (non-original). All good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	LOW Powdercoated type to Corridor G6 INTRUSIVE Annodised type in exterior wall	
FUNCTIONALITY	Functional	

ACTION REQUIRED

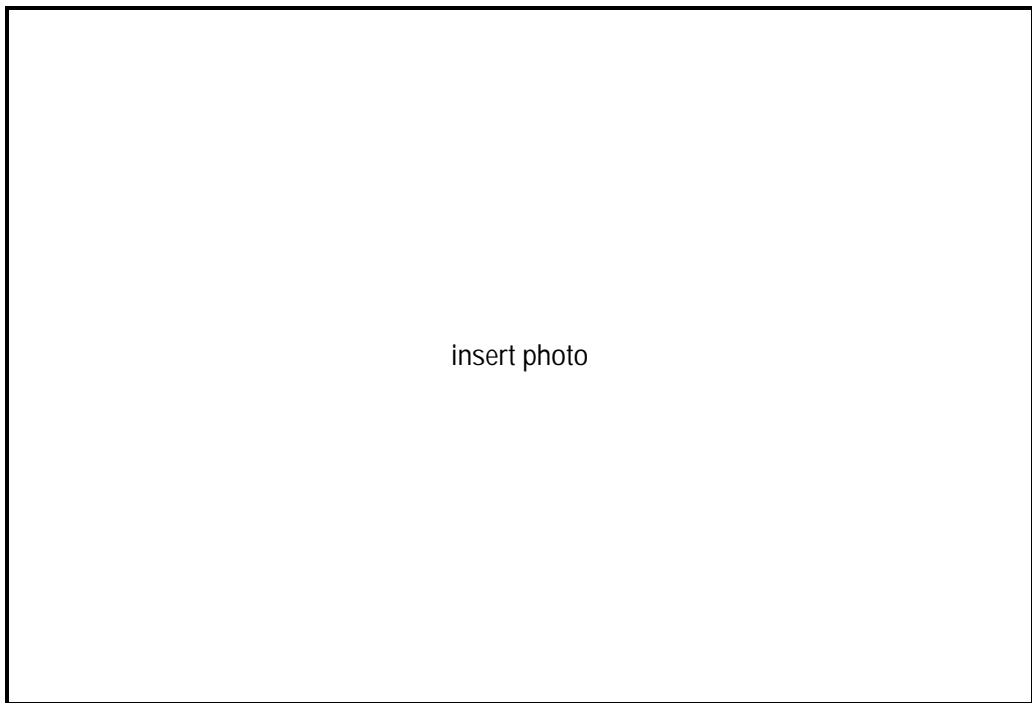
OVERVIEW	
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ASSET ELEMENT	FLOOR
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EXISTING CONDITION		
OVERVIEW	Vinyl to rooms G13, G11 and part of G20. Rubber flooring / matting to south end of room G13. Concrete to part of room G20 and all of G40. Room G40 has steel framed stair down to basement door. Vinyl in fair condition, with scuff marks, rubber matting in good condition, concrete in good condition with original linemarking in place.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	HIGH Rubber Flooring LOW Vinyl Flooring	
FUNCTIONALITY	Functional.	
ACTION REQUIRED		
OVERVIEW		

ASSET ELEMENT	CEILING
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EXISTING CONDITION	
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OVERVIEW	Plasterboard ceiling lining, paint finish to rooms G11, G13 and part of G20 - good condition, needs repaint near light fitting in room G13. Concrete soffit, paint finish to part of G20 and all of G40, good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Moderate
FUNCTIONALITY	Functional, requiring minor repair	

ACTION REQUIRED	
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OVERVIEW	
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ASSET ELEMENT	WALLS
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EXISTING CONDITION	
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OVERVIEW	Render and paint finish to most walls, painted FC lining to south end of room G13, painted brickwork to part of room G20 and all of room G40. Generally good condition, peeling paint and chips at corner of room G11. Signs of moisture damage to north wall of room G40.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	HIGH Exterior Walls LOW Internal Walls	
FUNCTIONALITY	Functional	

ACTION REQUIRED	
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OVERVIEW	Investigate and rectify source of moisture to north wall of G40, repaint walls as required.
----------	---

ASSET ELEMENT	DOORS
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EXISTING CONDITION	
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OVERVIEW	Generally painted timber doors. Good condition. Egress door from room G40 east wall is bronze anodised aluminium framed glass door with sidelight, good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional	

ACTION REQUIRED	
------------------------	--

OVERVIEW	
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EXISTING CONDITION

OVERVIEW	Original metal framed casement window - fair condition. Frames discoloured, some sealant missing. Steel grille internally.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	High
FUNCTIONALITY	Functional	

ACTION REQUIRED

OVERVIEW	Restore window frames and sealant to glazing as required.
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ASSET ELEMENT	FLOOR
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EXISTING CONDITION	
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OVERVIEW	Carpet to stepped viewing area and rooms G10 and G25, carpet tiles to demonstration recesses. Rotating floor to main viewing area - functionality not assessed. All generally in good condition. Some carpet tiles missing in western demonstration area, at south wall.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	EXCEPTIONAL Rotating Floor LOW Carpet	
FUNCTIONALITY	Functional, requiring minor repair.	

ACTION REQUIRED	
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OVERVIEW	Repair and restore flooring as required
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ASSET ELEMENT	CEILING
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EXISTING CONDITION	
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OVERVIEW	Painted plaster ceiling with curves in room G10, and large central feature with perimeter coving and decorative treatment in room G9. Some damage and possible mould to ceiling at corner of manhole - western demonstration recess. A/C vent at rear of room G9 has moved, revealing unpainted ceiling.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	High
FUNCTIONALITY	Functional, requiring minor repair	

ACTION REQUIRED	
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OVERVIEW	Investigate source of damage where required, rectify and restore ceilings as required.
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ASSET ELEMENT	WALLS
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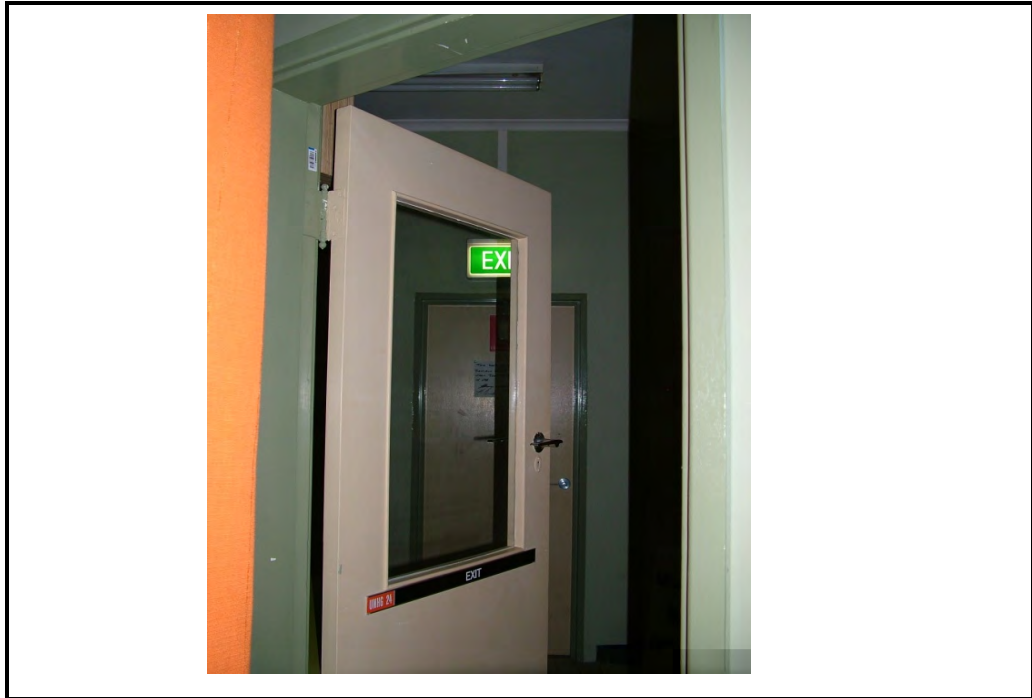
EXISTING CONDITION	
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OVERVIEW	Generally good condition, some chipped render and paint at doorway to room G10. Some patchwork to main theatre area requires repainting. Large crack in southern wall of western demonstration recess.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	High
FUNCTIONALITY	Functional but requiring repair.	

ACTION REQUIRED	
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OVERVIEW	Repair and restore wall finishes as required
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ASSET ELEMENT	DOORS
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EXISTING CONDITION	
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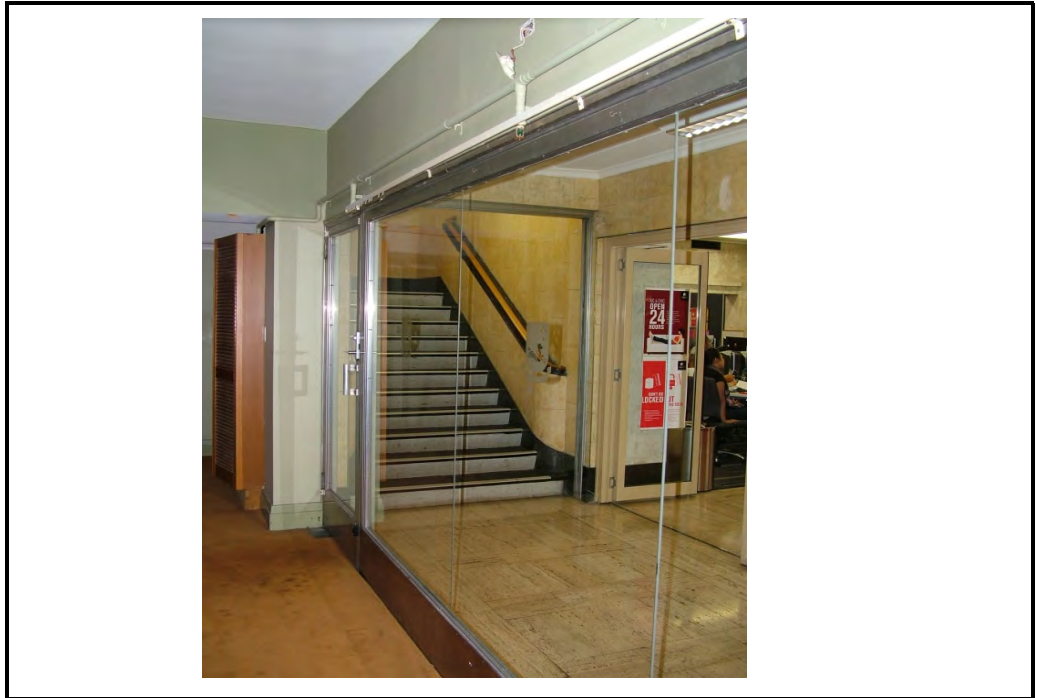
OVERVIEW	Anodised framed glazed doors to corridor (room G6) appear original with decorative embellishments on frame. Good condition. Painted timber and glass doors to rooms G25 and G24, painted timber door to room G10. Painted doors need repaint.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	High
FUNCTIONALITY	Functional, requiring minor repair.	

ACTION REQUIRED	
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OVERVIEW	Repaint timber doors as required.
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ASSET ELEMENT

WINDOWS



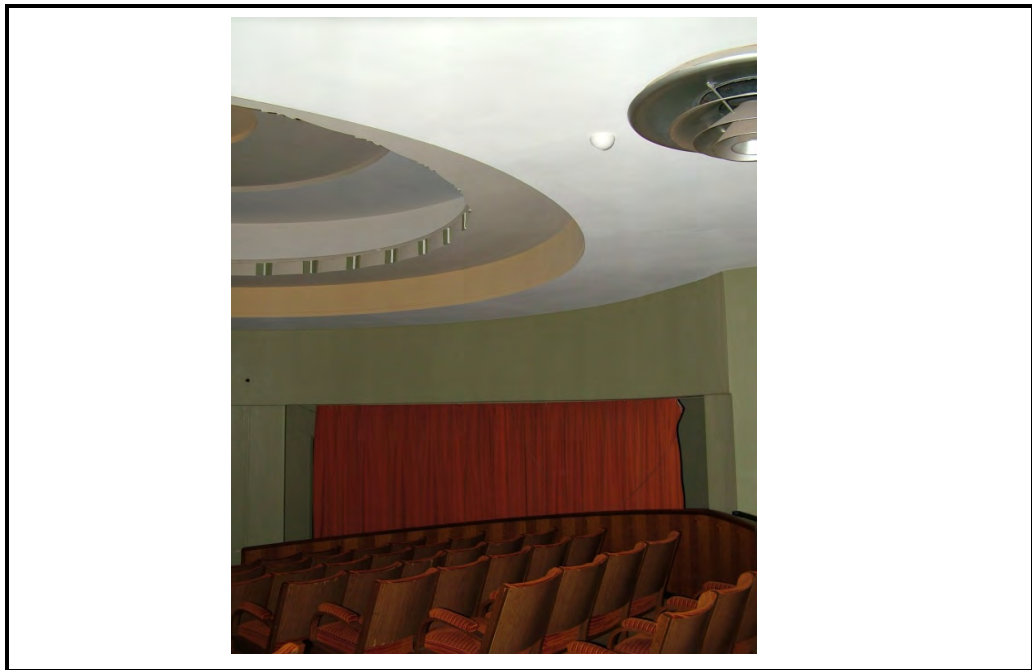
EXISTING CONDITION

OVERVIEW	Anodised framed glazing to corridor (room G6) appears original with decorative embellishments on frame. Good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	High
FUNCTIONALITY	Functional	

ACTION REQUIRED

OVERVIEW	
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ASSET ELEMENT	FITTINGS
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EXISTING CONDITION		
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OVERVIEW	Large air conditioning vent in good condition - has shifted on ceiling revealing unpainted fabric. Fixed timber and upholstered seating, timber veneer and steel balustrade all in good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	High
FUNCTIONALITY	Assumed functional	

ACTION REQUIRED		
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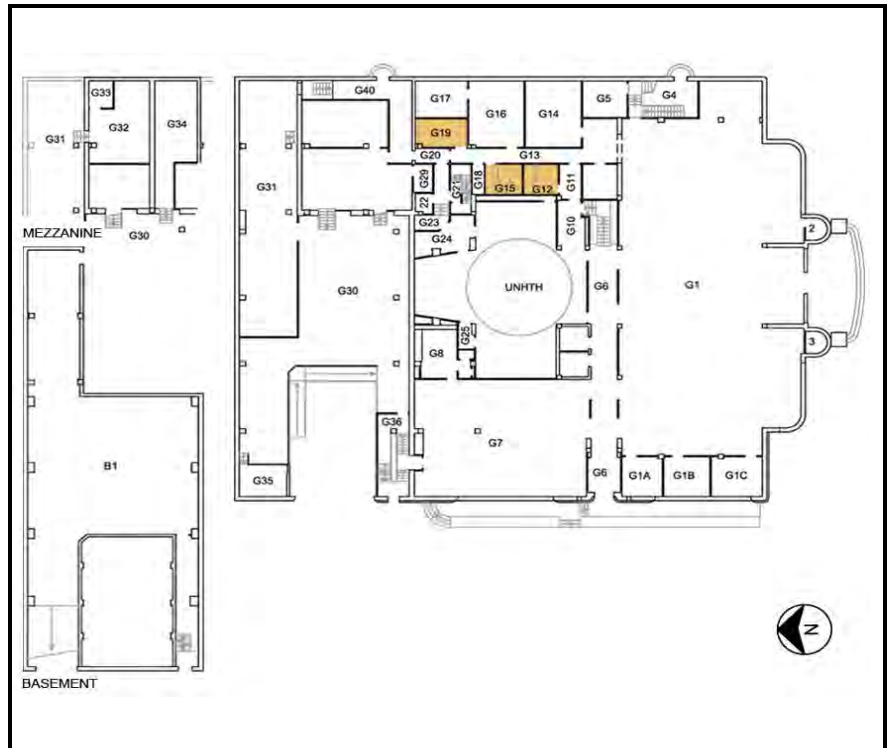
OVERVIEW	Re-centre air conditioning vent.	
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UNIVERSITY HOUSE: ROOM DATA SHEETS

ROOM: G12, G15, G19	FEMALE, MALE AND DISABLED ACCESS AMENITIES
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LOCATION: GROUND FLOOR

KEY PLAN:



OVERVIEW

EXISTING CONDITION

Generally fair - good condition. Cracks in terrazzo floors, peeling paint on wall in G12. Cracking at northern corners of walls in G19.

HERITAGE OVERVIEW

Terrazzo flooring, original wall tiles, terrazzo toilet partitions and old ventilation grille at high level on walls (Rooms G12 and G15)

REQUIRED CONDITION

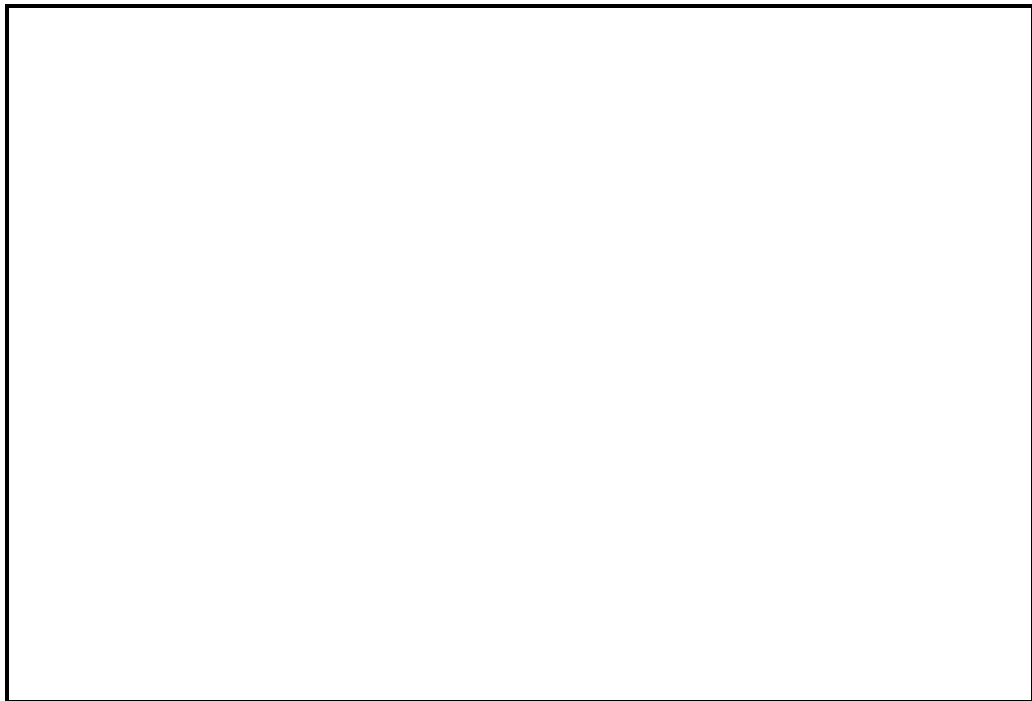
Finishes to be restored as required in such a way as to maintain or reveal the heritage significance.

ASSET ELEMENT	FLOOR
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EXISTING CONDITION		
OVERVIEW	Terrazzo flooring to G12, G15, tile flooring to G19. Generally good condition, some cracks to terrazzo flooring.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	HIGH Terrazzo LOW Tile	
FUNCTIONALITY	Functional, requiring minor repair.	
ACTION REQUIRED		
OVERVIEW	Repair and restore flooring as required	

ASSET ELEMENT	CEILING
---------------	---------



EXISTING CONDITION	
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OVERVIEW	Plasterboard and paint finish - good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Moderate
FUNCTIONALITY	Functional	

ACTION REQUIRED	
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OVERVIEW	
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ASSET ELEMENT	WALLS
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EXISTING CONDITION	
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OVERVIEW	Rooms G12, G15 - wall tiles to approx. 2200 AFFL, appear to be original, in good condition. Paint finish over, paint peeling on part of G12. Room G19 - render / FC and paint finish, skirting tile with tiles to high level at shower recess. Generally good condition, some cracking at northern corners of room.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	HIGH Tiles in G12, G15 LOW Tiles and finishes in G19	
FUNCTIONALITY	Functional.	

ACTION REQUIRED	
------------------------	--

OVERVIEW	Repair and restore wall finishes as required
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ASSET ELEMENT

DOORS



EXISTING CONDITION

OVERVIEW	Painted timber doors, generally good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional.	

ACTION REQUIRED

OVERVIEW	
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ASSET ELEMENT

FITTINGS



EXISTING CONDITION

OVERVIEW	Terazzo toilet partitions in good condition (G12, G15). Ventilation grille on walls of G12, G15.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	High
FUNCTIONALITY	Partitions functional, grille assumed functional	

ACTION REQUIRED

OVERVIEW	
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ASSET ELEMENT	FLOOR
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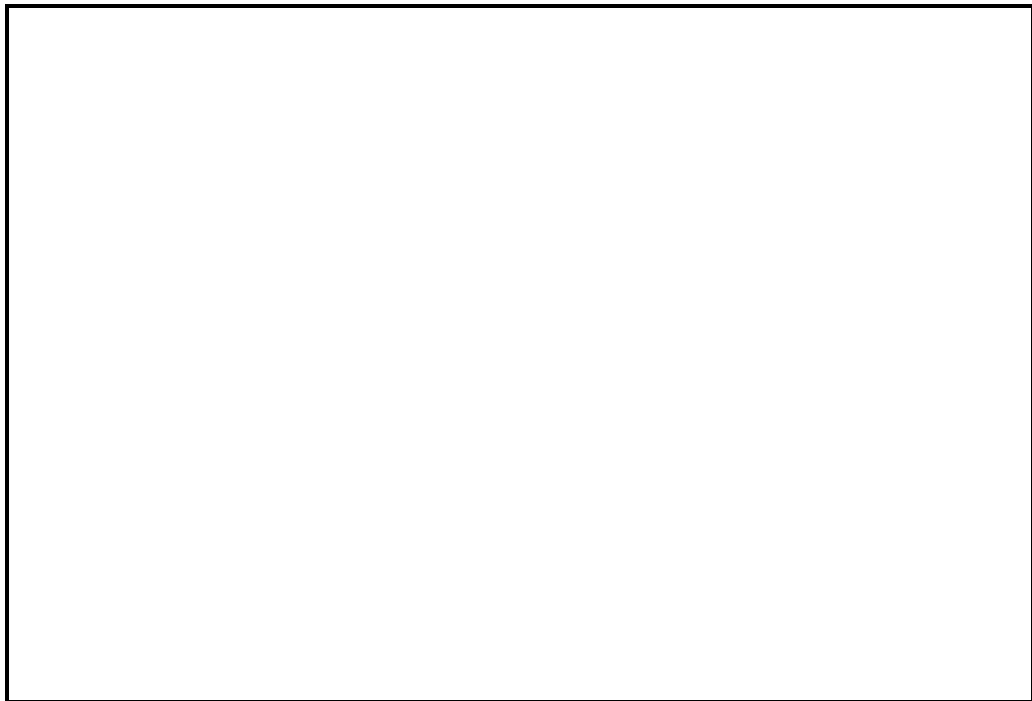
EXISTING CONDITION	
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OVERVIEW	Vinyl flooring generally in good condition, some scuff marks. Part of room G23 bare concrete flooring.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional, requiring minor repair.	

ACTION REQUIRED	
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OVERVIEW	Repair and restore flooring as required
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ASSET ELEMENT	CEILING
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EXISTING CONDITION	
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OVERVIEW	Plasterboard and paint finish - good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional	

ACTION REQUIRED	
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OVERVIEW	
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ASSET ELEMENT

WALLS



EXISTING CONDITION

OVERVIEW	Render and paint finish generally in good condition with some scuff marks. Tiles to kitchen in good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional.	

ACTION REQUIRED

OVERVIEW	Repair and restore wall finishes as required
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ASSET ELEMENT

DOORS



EXISTING CONDITION

OVERVIEW	Painted timber doors, 1 door in room G24 has glass panel, generally good condition. Door from room G20 to G23 squeaks.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional.	

ACTION REQUIRED

OVERVIEW	
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ASSET ELEMENT

FITTINGS



EXISTING CONDITION

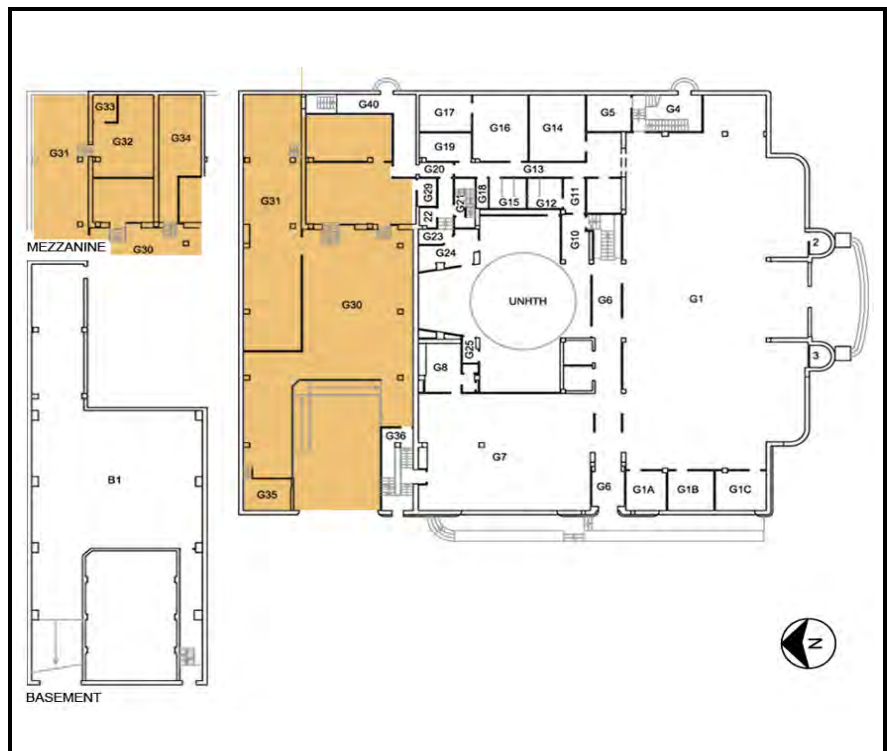
OVERVIEW	Control panel for theatre floor in room G24, functionality not assessed. Switchboard in room G24, switchboards and control panels in room G23. Storage Joinery in G24.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	HIGH Control Panel for theatre LOW Joinery	
FUNCTIONALITY	Assumed functional	
ACTION REQUIRED		
OVERVIEW		

UNIVERSITY HOUSE: ROOM DATA SHEETS

ROOM: G30, G31, G32, G33, G34, G35 | **WATT SPACE GALLERY**

LOCATION: GROUND FLOOR NORTH

KEY PLAN:



OVERVIEW

EXISTING CONDITION

Generally good condition, surface cracking to concrete floor and some cracked and peeling paint on north wall of G35, some moisture stains on concrete soffit of G31.

HERITAGE OVERVIEW

Original line marking to concrete floors from previous use as loading dock, crane gantry, old switchgear to wall in pit gallery and rooms G33, G34.

REQUIRED CONDITION

Finishes to be restored as required in such a way as to maintain or reveal the heritage significance.

ASSET ELEMENT	FLOOR
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EXISTING CONDITION	
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OVERVIEW	Polished concrete floors, vinyl flooring in room G33, generally in fair to good condition. Some cracking of concrete floors, ranging from light surface cracks to larger cracking. Original line marking to concrete floors in some rooms, partially painted over in room G34.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional but requiring minor repair.	

ACTION REQUIRED	
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OVERVIEW	Repair and restore flooring as required
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ASSET ELEMENT	CEILING
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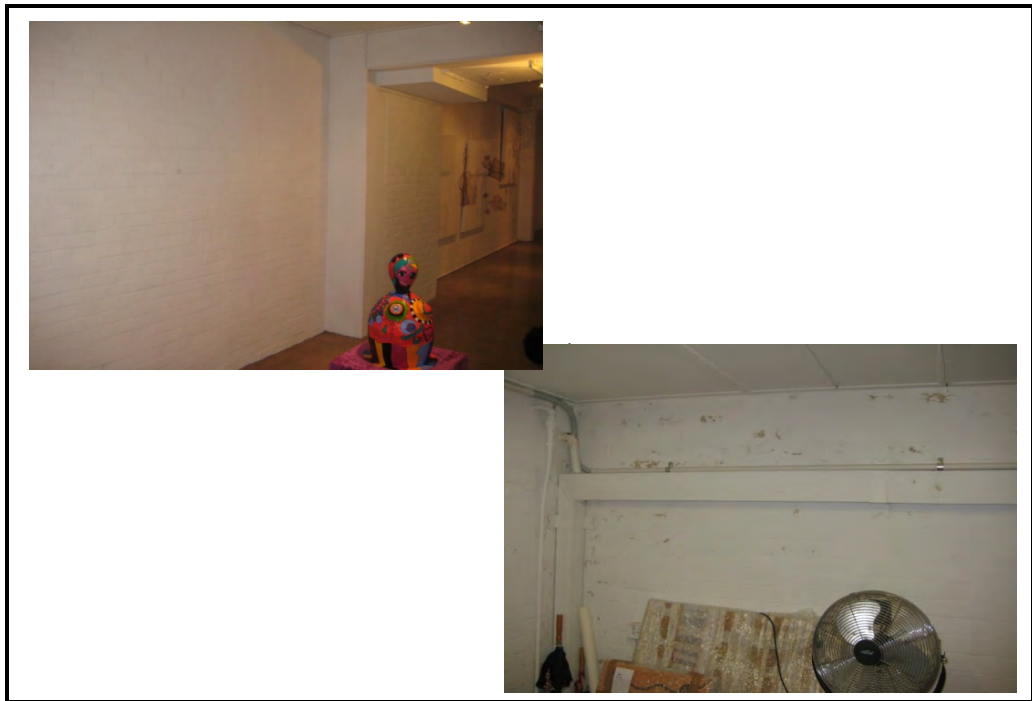
EXISTING CONDITION	
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OVERVIEW	Mixture of FC and concrete soffits, all with paint finish and in good condition. Some moisture staining to concrete soffit in room G31.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional, requiring minor repair	

ACTION REQUIRED	
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OVERVIEW	Investigate and rectify source of moisture in room G31, repaint ceiling as required.
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ASSET ELEMENT	WALLS
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EXISTING CONDITION	
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OVERVIEW	Generally painted brickwork or render or blockwork, some areas of plasterboard or FC and paint finish. Generally good condition, some paint cracked, peeling in room G35 - north wall. Wallpaper to north wall of G33, splashback tiles to kitchenette unit in G33.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	HIGH External Walls LOW Internal Walls	
FUNCTIONALITY	Functional but requiring repair.	

ACTION REQUIRED	
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OVERVIEW	Repair and restore wall finishes as required
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ASSET ELEMENT

DOORS



EXISTING CONDITION

OVERVIEW	Painted timber with either painted timber or painted steel frames. All good condition. Roller door to main entry.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional	

ACTION REQUIRED

OVERVIEW	
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EXISTING CONDITION

OVERVIEW	Painted timber framed glazing to internal (east) wall of room G35, painted steel framed awning window to western external wall of room G35. Both good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	HIGH Exterior Bronze type LOW Internal Painted Timber type	
FUNCTIONALITY	Functional	

ACTION REQUIRED

OVERVIEW	
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ASSET ELEMENT	FITTINGS
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EXISTING CONDITION		
OVERVIEW	Painted steel balustrade to G30, steel crane gantry to G30, old switchgear to G30, G33, G34	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Moderate
FUNCTIONALITY	Functional	
ACTION REQUIRED		
OVERVIEW		

UNIVERSITY HOUSE: ROOM DATA SHEETS

ROOM: 1.01	FIRST FLOOR LIFT LOBBY, WESTERN CORRIDOR
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LOCATION: FIRST FLOOR

KEY PLAN:



OVERVIEW	
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EXISTING CONDITION

Fair to good condition, with cracks in scagliola tiles on walls and scagliola on columns, some larger cracking and chips of scagliola tile missing toward north end of corridor.

HERITAGE OVERVIEW

Scagliola wall tiles, black stone skirting, scagliola to columns, inlaid vinyl flooring, original metal frame windows and timber veneer doors to corridor all considered significant.

REQUIRED CONDITION

Finishes to be restored as required in such a way as to maintain or reveal the heritage significance.

ASSET ELEMENT	FLOOR
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EXISTING CONDITION		
OVERVIEW	Inlaid vinyl flooring to lobby 1.01, sheet vinyl flooring to corridor, carpet tile at north end of corridor. Generally good condition, some scuff marks to flooring in lobby 1.01, section of border inlay missing at east end of room 1.01.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	HIGH Inlaid vinyl LOW Sheet vinyl and carpet tiles	
FUNCTIONALITY	Functional, requiring minor repairs	
ACTION REQUIRED		
OVERVIEW	Rectify marking to lobby floor, infill missing section of inlay.	

ASSET ELEMENT	CEILING
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EXISTING CONDITION	
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OVERVIEW	Painted plasterboard ceiling. Good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Moderate
FUNCTIONALITY	Functional	

ACTION REQUIRED	
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OVERVIEW	
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ASSET ELEMENT	WALLS
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EXISTING CONDITION	
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OVERVIEW	Scagliola tiles with black stone skirting to lobby, scagliola tiles with stepped timber skirting to most of corridor - fair condition, with fine cracks extensively across surface of scagliola tiles. Some larger cracks and chips missing from tiles at doorway in corridor. Some tiles in corridor and lobby have surface colour deteriorating / falling off. Patchwork to tiles below window in lobby untidy. Pink scagliola with black stone skirting to columns in lobby. Cracking to scagliola, some scarring to facework on middle column in lobby. All scagliola / scagliola tiled walls drummy in some areas, particularly adjacent to larger crack locations. Decorative timber rail at 2100 AFFL along corridor, painted to match the painted plasterboard / render at north end of corridor. Painted plasterboard at door to 1.16, hole above door. Chips in reveal and head of doorway at north end of corridor.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	EXCEPTIONAL Scagliola, scagliola tiles, skirtings LOW Painted plasterboard / render	
FUNCTIONALITY	Functional but requiring repair.	

ACTION REQUIRED	
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OVERVIEW	Repair and restore wall finishes as required
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ASSET ELEMENT

DOORS



EXISTING CONDITION

<p>OVERVIEW</p>	<p>Timber veneer doors with timber frames. Doors to rooms 1.51 and 1.48 have glass panels. Door to service riser 1.49 has timber louvres. All good condition.</p>	
<p>HERITAGE SIGNIFICANCE</p>	<p>Heritage Significance Value of the element</p>	<p>High</p>
<p>FUNCTIONALITY</p>	<p>Functional</p>	
<p>ACTION REQUIRED</p>		
<p>OVERVIEW</p>		

ASSET ELEMENT

WINDOWS



EXISTING CONDITION

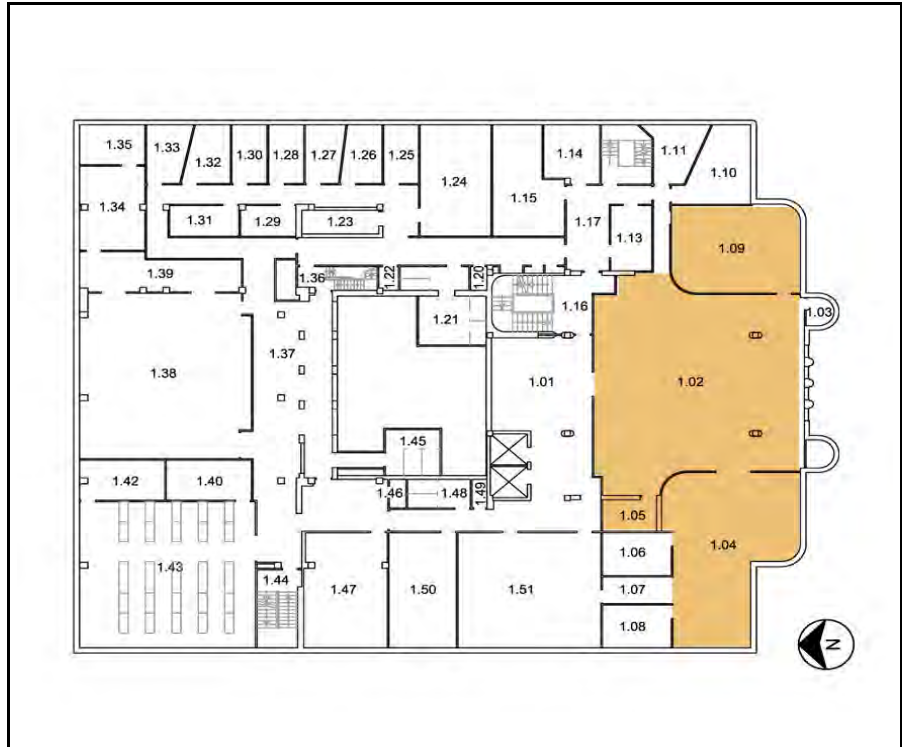
OVERVIEW	Steel / timber framed casement window to external light well - fair condition, some discolouration to frame. Black stone sills, some minor cracking evident. Powdercoated aluminium framed glazing to south wall of room 1.16, good condition. Timber framed highlight glazing above door to room 1.51, good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	HIGH Original metal windows and timber framed highlight windows LOW Powdercoated aluminium framed glazing	
FUNCTIONALITY	Functional	
ACTION REQUIRED		
OVERVIEW	Restore original glazing frames and sill as required.	

UNIVERSITY HOUSE: ROOM DATA SHEETS

ROOM: 1.02, 1.04, 1.05, 1.09	LIBRARY
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LOCATION: FIRST FLOOR SOUTH

KEY PLAN:



OVERVIEW	
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EXISTING CONDITION

Generally good condition, some paint bubbling, flaking at windows in south wall, some paint flaking on ceiling bulkhead in room 1.04, scagliola tiles cracked, drummy in rooms 1.02, 1.05. Scagliola to columns cracked, drummy in some areas.

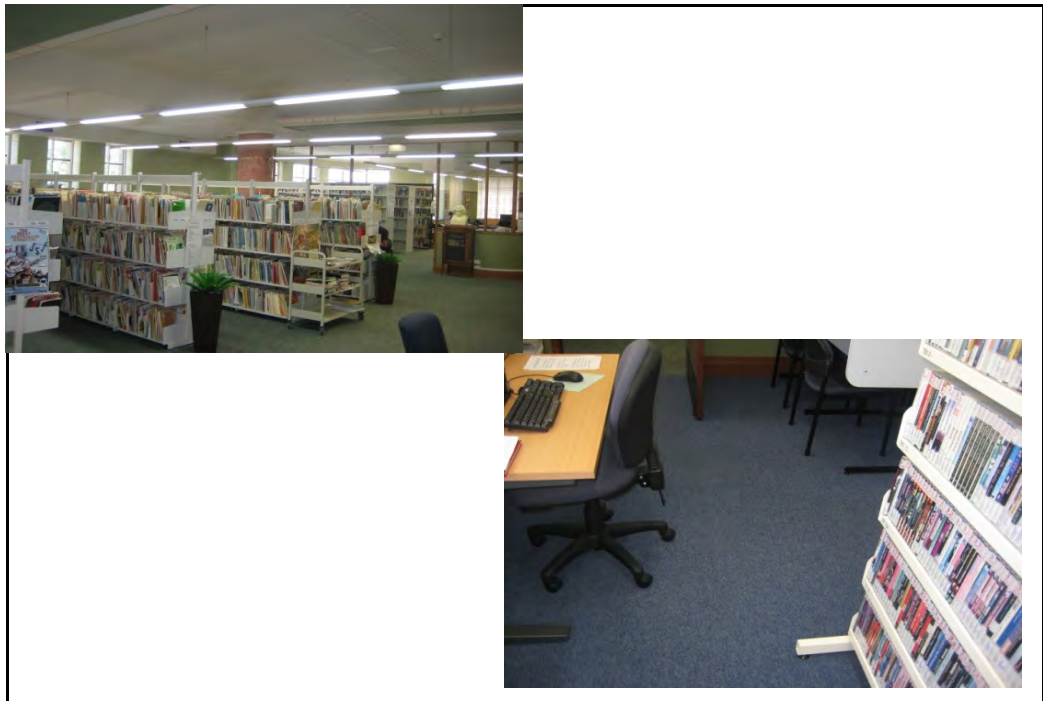
HERITAGE OVERVIEW

Scagliola wall tiles, scagliola to columns, decorative ceiling to room 1.02, original metal frame windows and timber framed windows to rooms 1.09 / 1.02 and 1.05 all considered significant.

REQUIRED CONDITION

Finishes to be restored as required in such a way as to maintain or reveal the heritage significance.

ASSET ELEMENT	FLOOR
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EXISTING CONDITION	
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OVERVIEW	Carpet tile flooring to room 1.02, 1.04 and 1.05, good condition. Carpet flooring to room 1.09, good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	
	Low	
FUNCTIONALITY	Functional	

ACTION REQUIRED	
------------------------	--

OVERVIEW	
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ASSET ELEMENT	CEILING
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EXISTING CONDITION	
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OVERVIEW	Painted plasterboard ceiling with decorative coved spines and feature panels. Good condition. Painted plasterboard to room 1.04 and 1.05, paint flaking at underside of bulkheads in room 1.04, particularly in south west corner. Perforated plasterboard, paint finish in room 1.09, good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	HIGH Decorative ceiling to room 1.02 LOW Other ceilings	
FUNCTIONALITY	Functional, requiring repairs to paintwork.	

ACTION REQUIRED	
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OVERVIEW	Remove damaged paintwork and repaint as required.
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ASSET ELEMENT	WALLS
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EXISTING CONDITION	
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OVERVIEW	Scagliola tiles with stepped timber skirting to room 1.05 and part of room 1.02 - fair condition, with fine cracks extensively across surface of scagliola tiles. Pink scagliola to columns. Cracking to scagliola. All scagliola / scagliola tiled walls drummy in some areas, particularly adjacent to larger crack locations. Render and paint finish to external walls in room 1.09, 1.04. Plasterboard and paint finish to common walls, southern wall to room 1.02. Generally good condition, paint finish bubbling, flaking adjacent to windows on rendered external walls in 1.04 and 1.09. Paint flaking at underside of window head in room 1.04. Common wall between room 1.02 and 1.09 timber framed glazing, curved at northern corner, with painted FC dado. Decorative timber rail at 2100 AFFL to rooms 1.04, 1.05 and 1.09.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	HIGH Scagliola, scagliola tiles, timber framed glazing LOW Painted plasterboard / render	
FUNCTIONALITY	Functional but requiring repair.	

ACTION REQUIRED	
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OVERVIEW	Repair and restore wall finishes as required
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ASSET ELEMENT	WINDOWS
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EXISTING CONDITION	
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OVERVIEW	Steel / timber framed casement window to external walls - fair condition, some discolouration to frames. Frames and glass curved to windows in rooms 1.04 and 1.09. Black stone sills, some cracking evident ranging from minor surface cracks to larger cracks. Powdercoated aluminium framed glazing to north wall of room 1.02, good condition. Timber framed glazing to internal windows, good condition. Crack in pane of curved glass in common wall between rooms 1.02 and 1.09.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	EXCEPTIONAL Original metal window and timber framed windows (particularly curved windows to room 1.04, 1.09) LOW Powdercoated aluminium framed glazing	
FUNCTIONALITY	Functional	

ACTION REQUIRED	
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OVERVIEW	Restore original glazing frames and sill as required. Replace cracked pane.
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UNIVERSITY HOUSE: ROOM DATA SHEETS

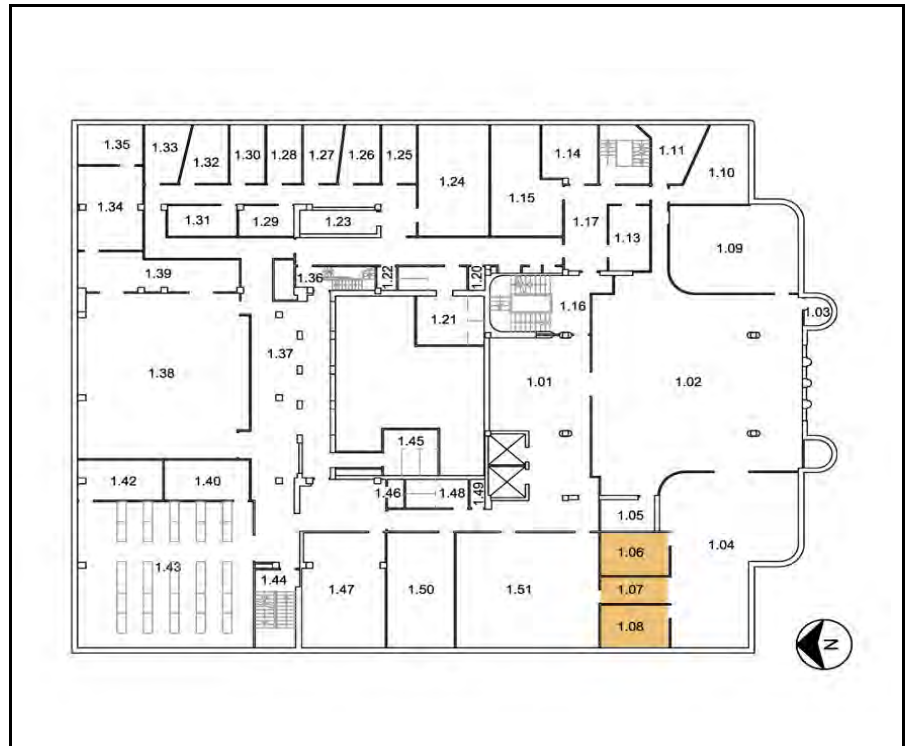
ROOM: 1.06, 1.07, 1.08

LIBRARY GROUP STUDY ROOMS / CORRIDOR

LOCATION:

FIRST FLOOR WEST

KEY PLAN:



OVERVIEW

EXISTING CONDITION

Generally good condition, some paint cracked, flaking on ceiling in room 1.06. Frame of external windows in room 1.08 discoloured, stone sills cracked.

HERITAGE OVERVIEW

Metal framed external windows and sill to room 1.08 significant, timber framed glazing to south walls of 1.06 and 1.08 possibly significant.

REQUIRED CONDITION

Finishes to be restored as required in such a way as to maintain or reveal the heritage significance.

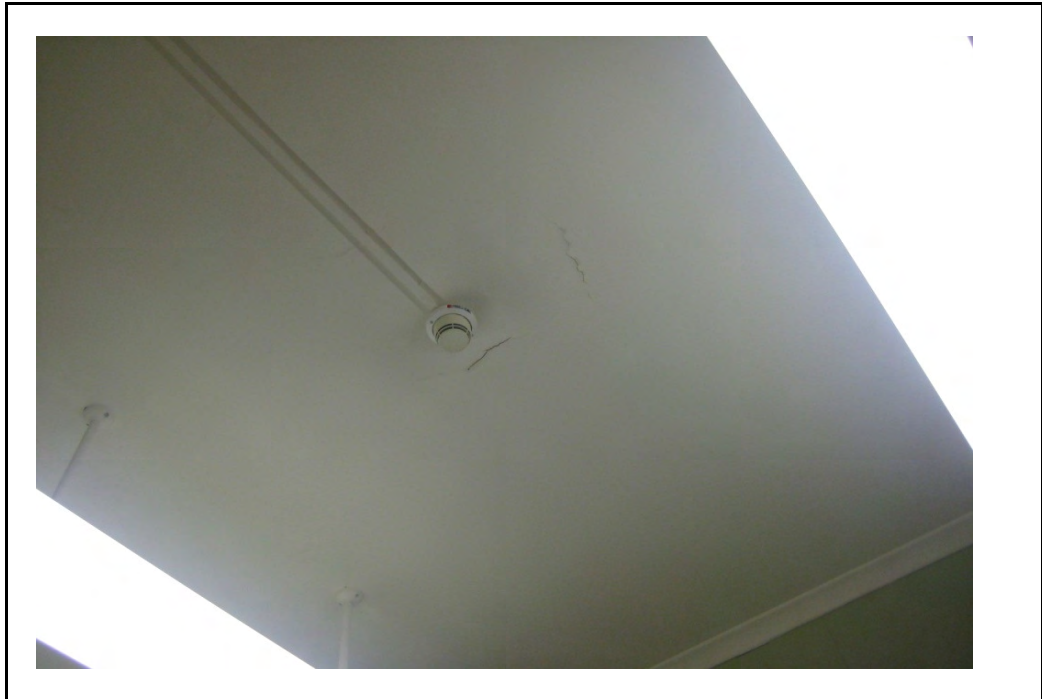
ASSET ELEMENT**FLOOR****EXISTING CONDITION**

OVERVIEW	Carpet tile flooring, good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
	LOW Refers to carpet only - substrate may hold higher significance.	
FUNCTIONALITY	Functional	

ACTION REQUIRED

OVERVIEW	
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ASSET ELEMENT	CEILING
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EXISTING CONDITION	
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OVERVIEW	Plasterboard ceiling, paint finish. Generally good condition, paint cracked, flaking in small area of room 1.06.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional, requiring repairs to paintwork.	

ACTION REQUIRED	
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OVERVIEW	Remove damaged paintwork and repaint as required.
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ASSET ELEMENT	WALLS
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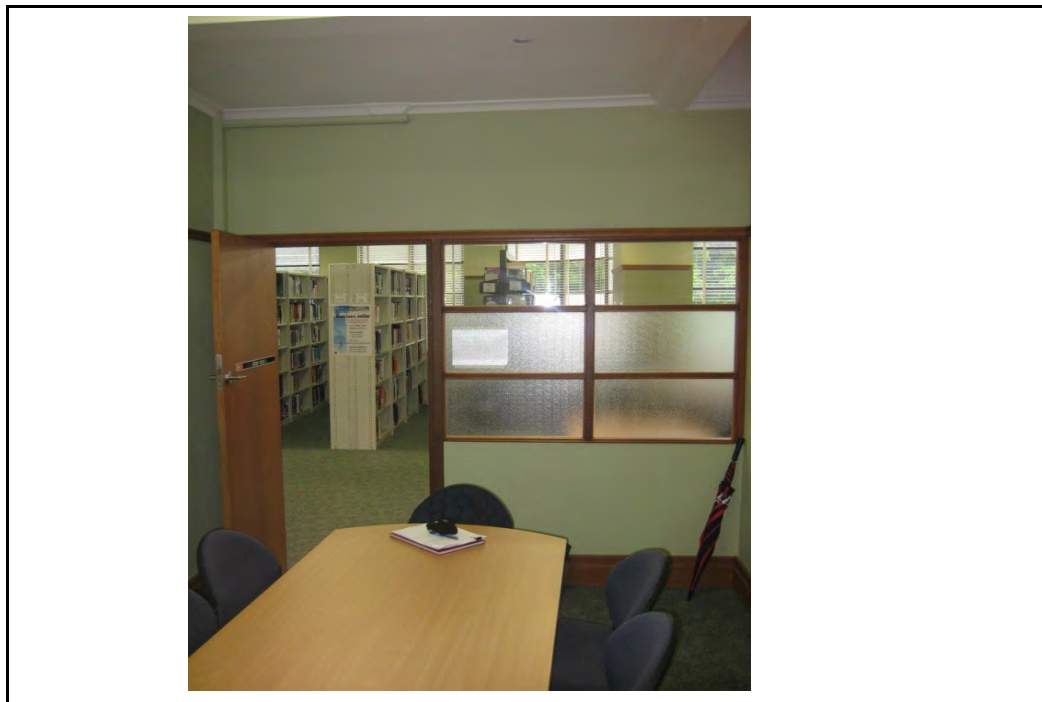
EXISTING CONDITION	
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OVERVIEW	Plasterboard and paint finish, render and paint finish to external wall of 1.08 and eastern wall of 1.06. Stepped timber skirtings and timber rail at 2100 AFFL. All good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional	

ACTION REQUIRED	
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OVERVIEW	
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ASSET ELEMENT	DOORS
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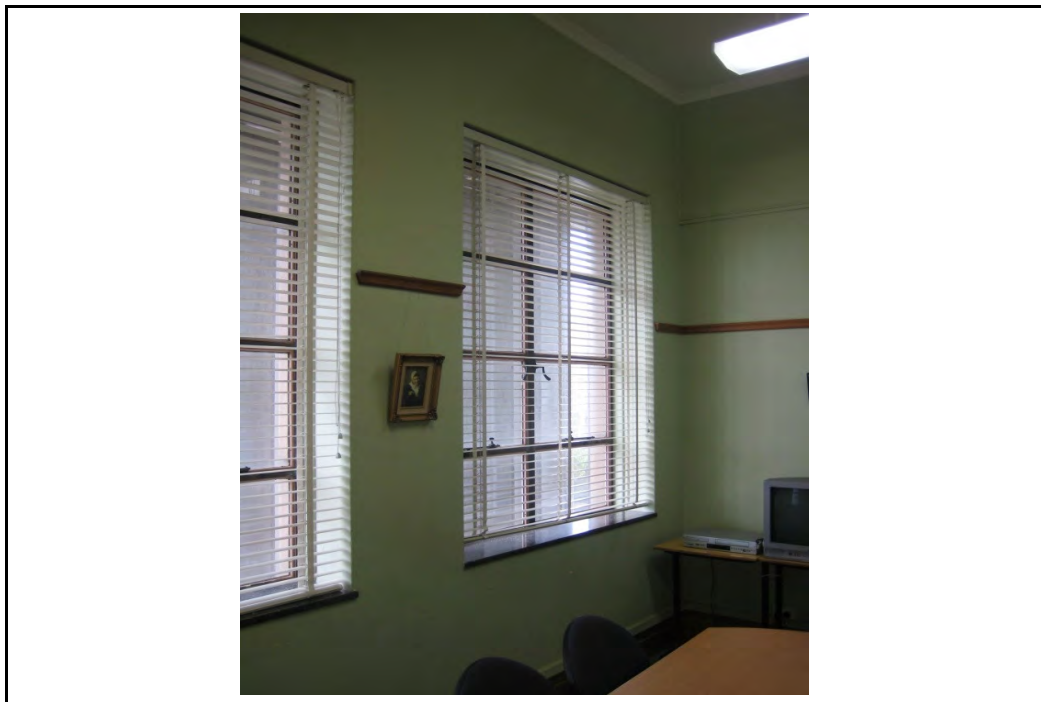
EXISTING CONDITION		
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OVERVIEW	Timber doors with timber frames. All good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional	

ACTION REQUIRED		
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OVERVIEW		
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ASSET ELEMENT	WINDOWS
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EXISTING CONDITION	
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OVERVIEW	Steel / timber framed casement window to external walls - fair condition, some discolouration to frames. Black stone sills, some cracking evident, colour faded. Timber framed glazing to south walls of rooms 1.06, 1.08, and timber framed highlight window to east wall of room 1.06.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	EXCEPTIONAL External windows exceptional HIGH Timber framed highlight glazing to room 1.06 LOW Timber framed glazing to south walls of rooms 1.06 and 1.08	
FUNCTIONALITY	Functional	

ACTION REQUIRED	
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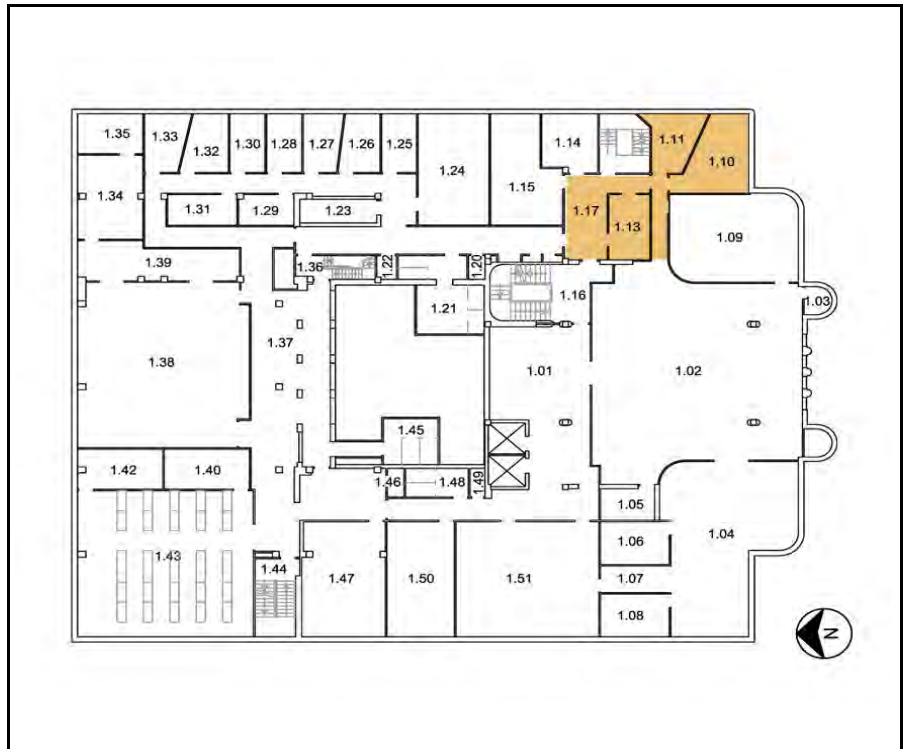
OVERVIEW	Restore original glazing frames and sill as required.
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UNIVERSITY HOUSE: ROOM DATA SHEETS

ROOM: 1.10, 1.11, 1.13, 1.17	LIBRARY STAFF / STORE ROOMS
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LOCATION: FIRST FLOOR EAST

KEY PLAN:



OVERVIEW	
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EXISTING CONDITION

Generally fair - good condition, some paint cracked, flaking on ceiling in room 1.13. Frame of external windows in rooms 1.10, 1.10 discoloured, minor cracking to stone sills. Scagliola tiles in corridor cracked, flaking.

HERITAGE OVERVIEW

Metal framed external windows and sills to rooms 1.11 and 1.10, timber framed highlight glazing and timber veneer / glazed doors considered significant.

REQUIRED CONDITION

Finishes to be restored as required in such a way as to maintain or reveal the heritage significance.

ASSET ELEMENT	FLOOR
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EXISTING CONDITION		
OVERVIEW	Carpet tile flooring to rooms 1.13, 1.17, good condition. Carpet to rooms 1.10, 1.11, good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
	LOW Refers to carpet / carpet tiles only, substrate may hold higher significance.	
FUNCTIONALITY	Functional	
ACTION REQUIRED		
OVERVIEW		

ASSET ELEMENT	CEILING
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EXISTING CONDITION	
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OVERVIEW	Plasterboard ceiling, paint finish. Generally fair condition, poor condition in room 1.10 - paint flaking, peeling at corner of room. Paint flaking, peeling in smaller areas of rooms 1.11, 1.13 and 1.17	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Moderate
FUNCTIONALITY	Functional, requiring repairs to paintwork.	

ACTION REQUIRED	
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OVERVIEW	Remove damaged paintwork and repaint as required.
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ASSET ELEMENT	WALLS
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EXISTING CONDITION	
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OVERVIEW	Render and paint finish to all walls in 1.13, and external walls in 1.10 and 1.11. Generally good condition, some paint cracking, lifting on south wall of room 1.10, in addition to paint flaking on underside of window head and in reveals. FC and paint finish to internal walls of 1.10 and 1.11, good condition. Timber framed glazing to west wall of room 1.10. Scagliola tile to room 1.17 and corridor, fine cracks extensively across surface, some areas drummy.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	HIGH Scagliola tiles LOW Other finishes	
FUNCTIONALITY	Functional	

ACTION REQUIRED	
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OVERVIEW	Repair and restore wall finishes as required
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ASSET ELEMENT

DOORS



EXISTING CONDITION

<p>OVERVIEW</p>	<p>Timber veneer and glass doors with timber frames, good condition. Painted timber door with steel frame at access to 1.16. Good condition.</p>	
<p>HERITAGE SIGNIFICANCE</p>	<p>Heritage Significance Value of the element</p>	<p>Mixed</p>
	<p>HIGH Timber veneer and glass doors LOW Painted door</p>	
<p>FUNCTIONALITY</p>	<p>Functional</p>	

ACTION REQUIRED

<p>OVERVIEW</p>	
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ASSET ELEMENT	WINDOWS
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EXISTING CONDITION	
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OVERVIEW	Steel / timber framed casement window to external walls - fair condition, some discolouration to frames. Black stone sills, some cracking evident, colour faded. Timber framed highlight glazing to room 1.13 and 1.17, timber framed glazing to western wall of room 1.10	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	EXCEPTIONAL Exterior windows HIGH Timber framed internal glazing	
FUNCTIONALITY	Functional	

ACTION REQUIRED	
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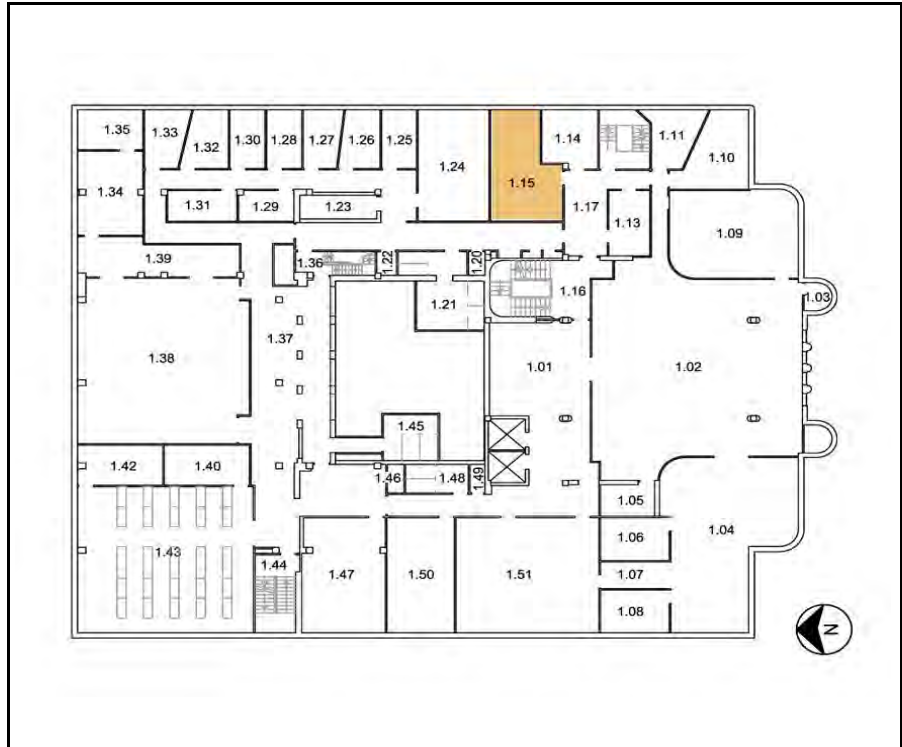
OVERVIEW	Restore original glazing frames and sills as required.
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UNIVERSITY HOUSE: ROOM DATA SHEETS

ROOM: 1.15	POSTGRADUATE ROOM
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LOCATION: FIRST FLOOR EAST

KEY PLAN:



OVERVIEW	
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EXISTING CONDITION

Generally good condition, some paint cracked, some paint flaking on bulkhead along north wall.

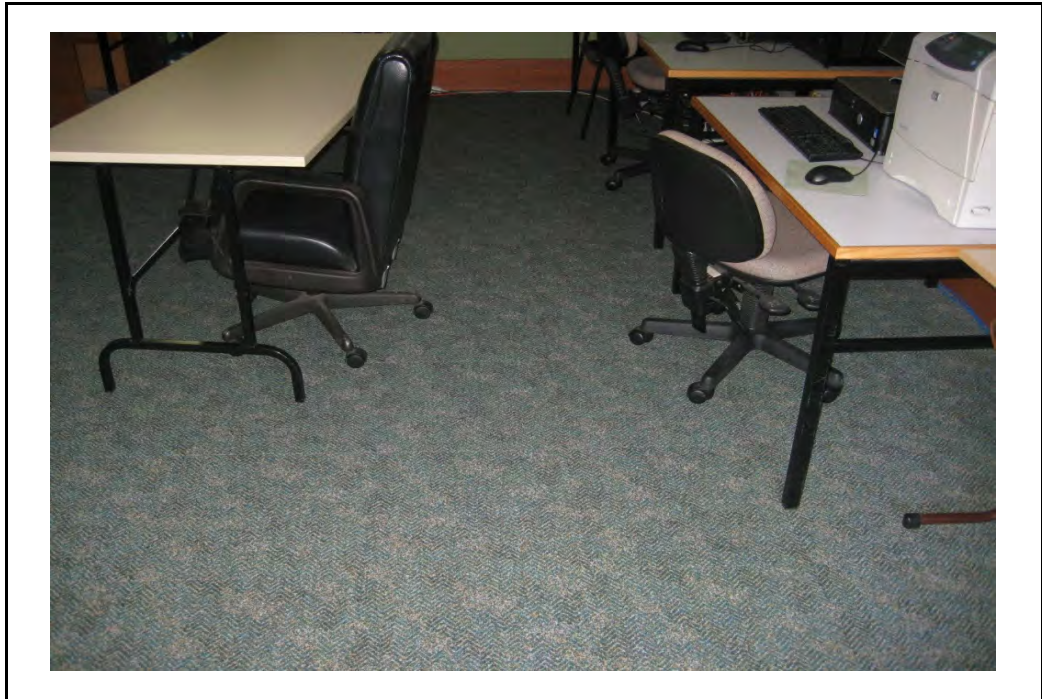
HERITAGE OVERVIEW

Metal framed external windows and sills, and common wall with room 1.14 (masonite lining, paint finish, with timber framed glazing) considered significant.

REQUIRED CONDITION

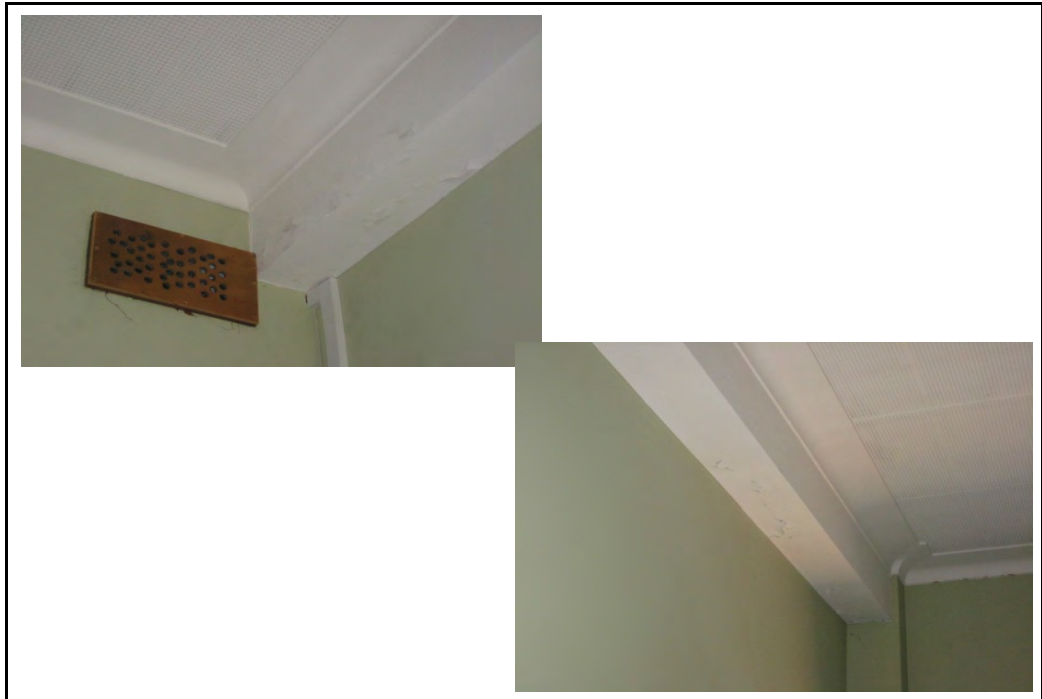
Finishes to be restored as required in such a way as to maintain or reveal the heritage significance.

ASSET ELEMENT	FLOOR
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EXISTING CONDITION		
OVERVIEW	Carpet tile flooring, good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
	LOW Refers to carpet tiles only, substrate may hold higher significance.	
FUNCTIONALITY	Functional	
ACTION REQUIRED		
OVERVIEW		

ASSET ELEMENT	CEILING
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EXISTING CONDITION	
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OVERVIEW	Perforated plasterboard ceiling, paint finish, generally good condition. Some discolouration and paint bubbling on underside of cornice in north east corner of room. Painted plasterboard bulkhead along north wall, poor condition at each end - paint flaking, peeling.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional, requiring repairs to paintwork.	

ACTION REQUIRED	
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OVERVIEW	Remove damaged paintwork and repaint as required.
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ASSET ELEMENT	WALLS
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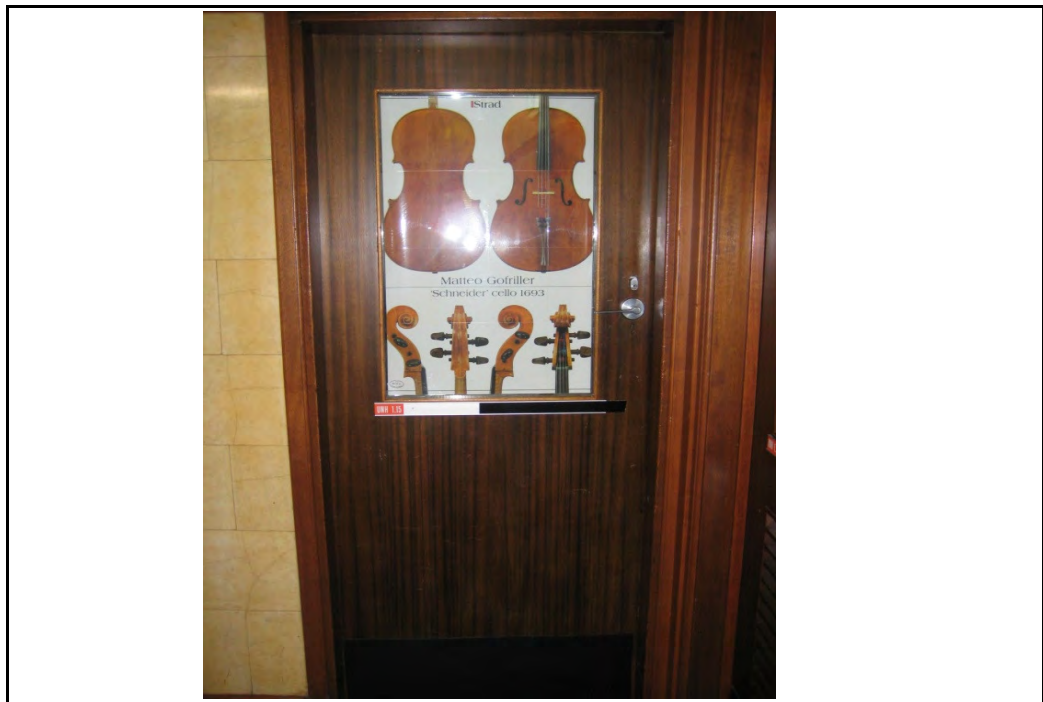
EXISTING CONDITION	
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OVERVIEW	Render and paint finish to external wall, in addition to western and southern walls. Generally good condition. Area of patchwork in area near door which needs repainting. Plasterboard lining, paint finish to north wall, good condition. Common wall with room 1.14 masonite lining, paint finish, with timber framed glazing. Good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	HIGH Masonite and glazed wall LOW Other finishes	
FUNCTIONALITY	Functional	

ACTION REQUIRED	
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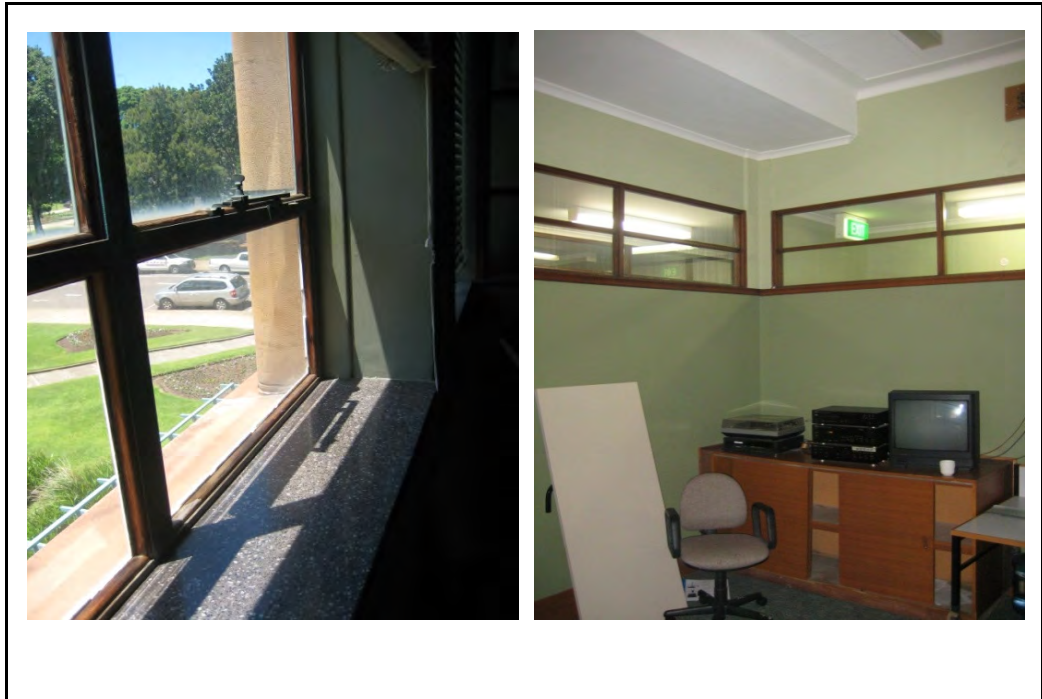
OVERVIEW	Repair and restore wall finishes as required
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ASSET ELEMENT	DOORS
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EXISTING CONDITION		
OVERVIEW	Timber veneer and glass doors with timber frames, good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	High
FUNCTIONALITY	Functional	
ACTION REQUIRED		
OVERVIEW		

ASSET ELEMENT	WINDOWS
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EXISTING CONDITION	
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OVERVIEW	Steel / timber framed casement windows to external wall - fair condition, some discolouration to frames, some sealant missing on exterior. Black stone sills, some cracking evident, colour faded. Timber framed highlight glazing to room 1.17 and corridor, timber framed glazing to common wall with room 1.14.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	EXCEPTIONAL Exterior windows HIGH Internal glazing	
FUNCTIONALITY	Functional	

ACTION REQUIRED	
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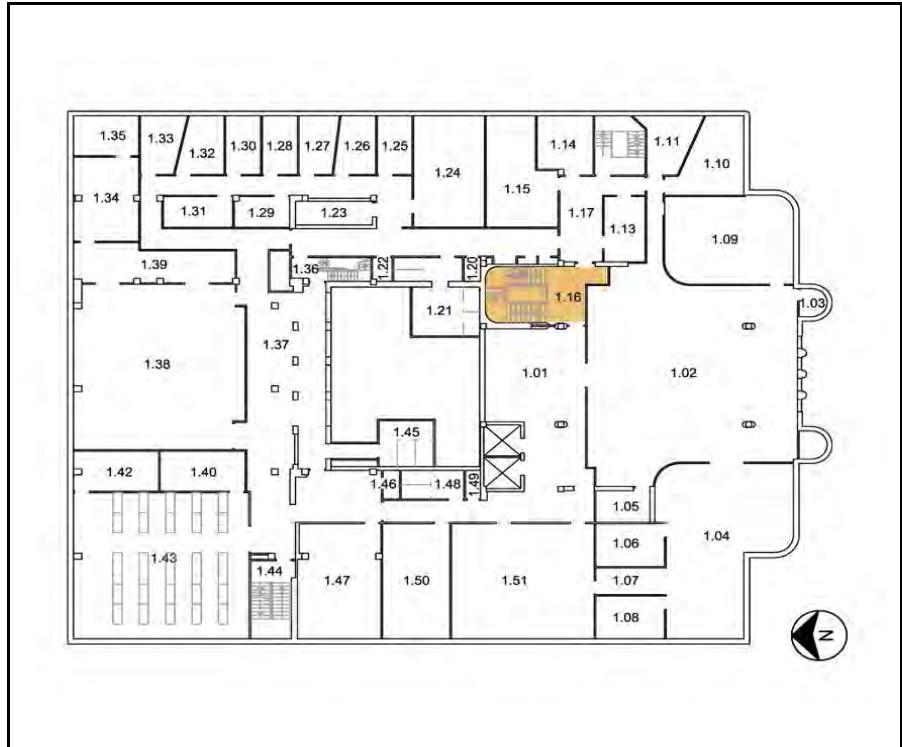
OVERVIEW	Restore original glazing frames and sills as required. Rectify sealant to exterior.
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UNIVERSITY HOUSE: ROOM DATA SHEETS

ROOM: 1.16	STAIR LOBBY FIRST FLOOR, INCL. STAIR FROM GROUND FL.
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LOCATION: GROUND / FIRST FLOOR

KEY PLAN:



OVERVIEW

EXISTING CONDITION

Fair to good condition, with cracks in scagliola tiles on walls and balustrade and scagliola on columns in room 1.16.

HERITAGE OVERVIEW

Scagliola wall tiles, black stone skirting, scagliola to columns, original metal framed window and stone sill, balustrade and handrails, inlaid vinyl flooring to room 1.16 and rubber flooring to stair treads all considered significant.

REQUIRED CONDITION

Finishes to be restored as required in such a way as to maintain or reveal the heritage significance.

ASSET ELEMENT	FLOOR
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EXISTING CONDITION		
OVERVIEW	Rubber flooring to stair treads, vinyl flooring to intermediate landings, inlayed vinyl flooring to lobby 1.16. Generally good condition, some scuff marks to flooring in lobby 1.16, section of border inlay missing at top of stair.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	High
FUNCTIONALITY	Functional.	
ACTION REQUIRED		
OVERVIEW	Rectify marking to lobby floor, infill missing section of inlay.	

ASSET ELEMENT	CEILING
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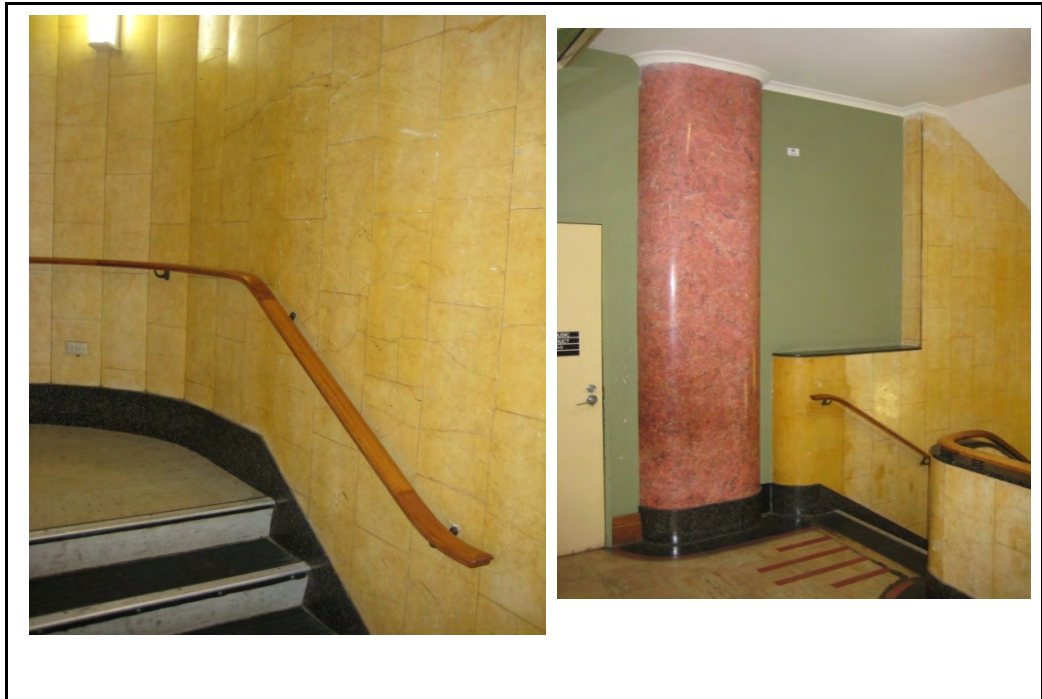
EXISTING CONDITION	
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OVERVIEW	Painted plasterboard ceiling to 1.16, painted soffit to stair over. Good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Moderate
FUNCTIONALITY	Functional	

ACTION REQUIRED	
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OVERVIEW	
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ASSET ELEMENT	WALLS
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EXISTING CONDITION	
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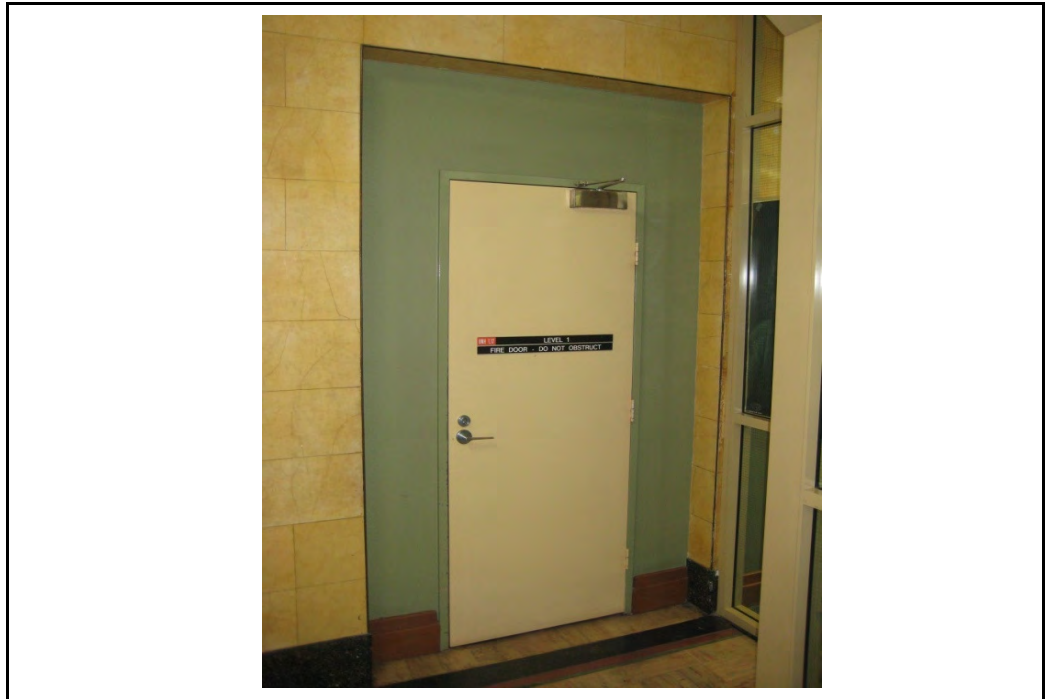
OVERVIEW	Scagliola tiles with black stone skirting to stair wall and balustrade - fair condition, with fine cracks extensively across surface of scagliola tiles. Black stone capping to balustrade. Painted plasterboard with stepped timber skirting, scagliola tiles with black stone skirting to room 1.16. Pink scagliola with black stone skirting to columns in room 1.16. Similar condition to stair walls - fine cracking extensively across surface, all scagliola / scagliola tiled walls drummy in some areas, particularly adjacent to larger crack locations. Black stone skirting damaged at south east corner of room 1.16.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	EXCEPTIONAL Scagliola, scagliola tiles, skirtings LOW Painted plasterboard	
FUNCTIONALITY	Functional but requiring repair.	

ACTION REQUIRED	
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OVERVIEW	Repair and restore wall finishes as required
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ASSET ELEMENT

DOORS



EXISTING CONDITION

OVERVIEW	Painted timber with painted steel frames. All good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Low
FUNCTIONALITY	Functional	

ACTION REQUIRED

OVERVIEW	
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ASSET ELEMENT	WINDOWS
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EXISTING CONDITION	
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OVERVIEW	Steel / timber framed casement window to external light well - fair condition, some discolouration to frame. Black stone sills, some minor cracking evident. Powdercoated aluminium framed glazing to south wall of room 1.16, good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	Mixed
	HIGH Original metal window LOW Powdercoated aluminium framed glazing	
FUNCTIONALITY	Functional	

ACTION REQUIRED	
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OVERVIEW	Restore original glazing frames and sill as required.
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ASSET ELEMENT

FITTINGS



EXISTING CONDITION

OVERVIEW	Timber handrail fixed to walls with bronze brackets, fixed to balustrade top with bronze mountings. Good condition.	
HERITAGE SIGNIFICANCE	Heritage Significance Value of the element	High
FUNCTIONALITY	Functional	

ACTION REQUIRED

OVERVIEW	
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