

DRAWING SCHEDULE

A0000 TITLE PAGE
A1000 SITE ANALYSIS
A1010 SITE PLAN
A1050 STREETScape ANALYSIS
A1100 SURVEY PLAN
A1101 DEMOLITION PLAN
A1150 GFA CALCULATION
A1151 SOLAR ACCESS STUDY
A1152 CROSS-VENTILATION STUDY
A1200 BASEMENT 01
A1201 LOWER GROUND FLOOR PLAN
A1202 GROUND FLOOR PLAN
A1203 LEVEL 01
A1204 LEVEL 02
A1205 LEVEL 03
A1206 LEVEL 04
A1207 ROOF GARDEN
A1208 ROOF PLAN
A1300 SHADOW DIAGRAM 9.00 AM
A1301 SHADOW DIAGRAM 12.00 PM
A1302 SHADOW DIAGRAM 3.00 PM
A1303 SHADOW DIAGRAM 3D
A1500 ELEVATIONS
A1501 ELEVATIONS
A1600 MATERIAL SCHEDULE
A1601 NATERIAL SCHEDULE
A1700 SECTION AA
A1701 SECTION BB
A1800 SCREEN LAYOUT
A1801 SCREEN LAYOUT
A1802 SCREEN DETAIL
A2000 PERSPECTIVES

UNIT MIX

STUDENT ACCOMMODATION: 40 ROOMS

RESIDENTIAL TOTAL: 13
1 BED: 13

FSR

SITE AREA: 645.7 SQM
TOTAL GFA PERMISSIBLE: 1937.1 SQM
PERMISSIBLE 3:1

RESIDENTIAL: 1.27:1 (818.95 SQM)
STUDENT ACCOMMODATION: 1.71:1 (1103.83 SQM)
FSR TOTAL: 2.98:1 (1922.78 SQM)

- External Walls:

Concrete Block (190mm): air gap: plasterboard (uninsulated) - medium colour
- Internal Walls:

- Within each unit: single skin brick: wet plaster both sides

- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides
- Windows:

Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62: SHGC = 0.65
- Roof:

Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)
- Ceiling:

Plasterboard - no insulation
- Floor:

Concrete slab (no insul.)
- Floor Covering:

Ceramic tiles in wet areas & timber elsewhere

Units	Additional Requirements
G01	R1.0 in external walls • R1.0 in floors
103	R1.0 in external walls • R1.0 in floors

T. +612 8065 1544 | E. office@ghazia.com
ACN: 67 167 131 848

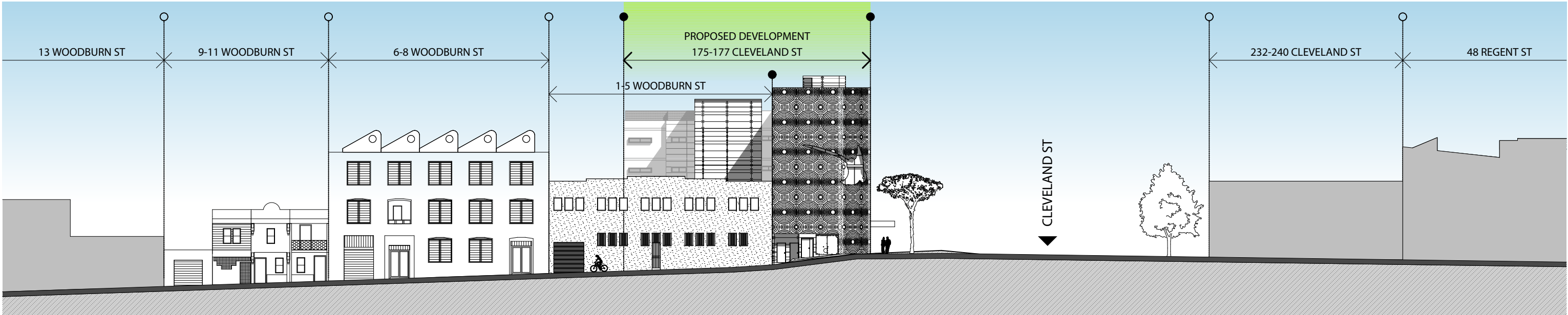
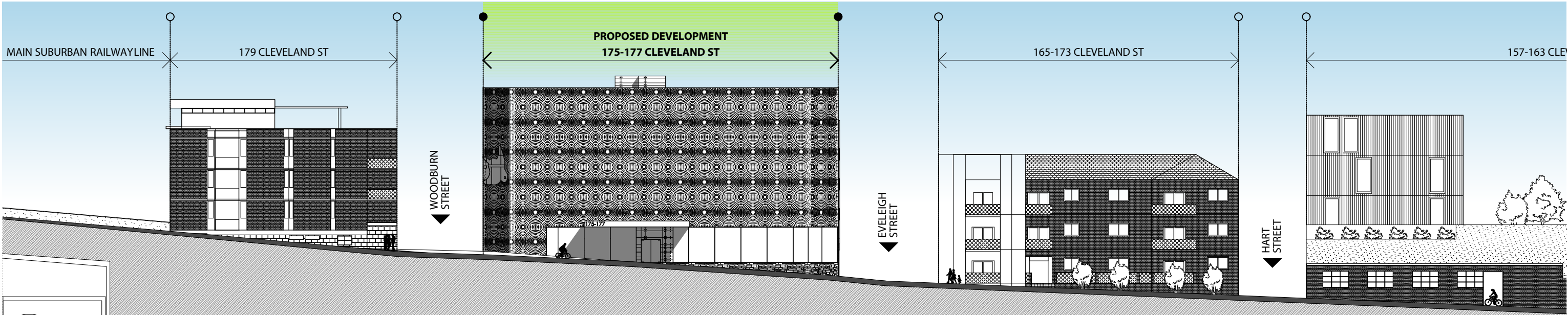
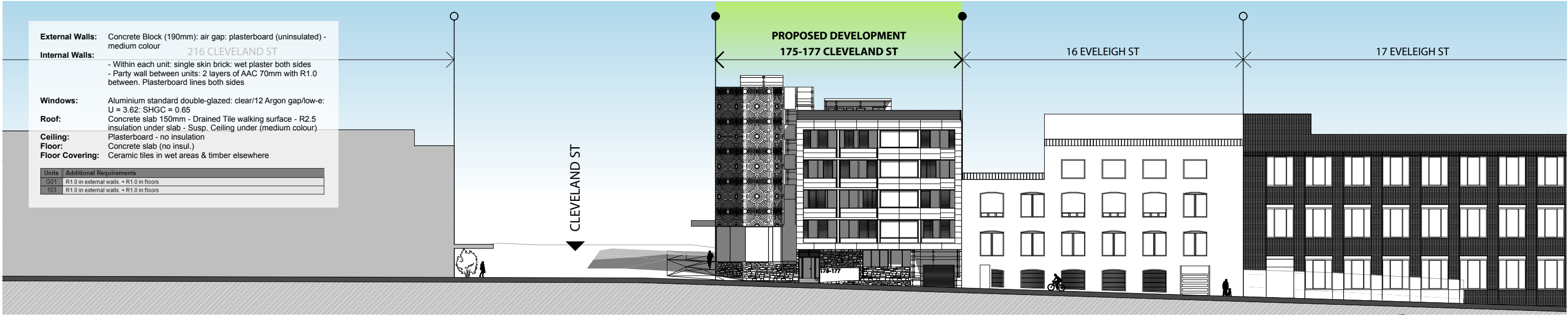
UNIT 2H, 9-13 REDMYRE RD
STRATHFIELD, NSW 2135



GHAZI AL ALI
ARCHITECT

175-177 CLEVELAND ST

175-177 CLEVELAND ST, REDFERN NSW 2016



FOR DA PURPOSES ONLY
NOT FOR CONSTRUCTION

DA

Drawing Original Size A3

16/10/14 FURTHER COMMENTS FOR DA

Issue	Date	Description
B	16/10/14	FURTHER COMMENTS FOR DA
A	26/05/14	FOR DA

© COPYRIGHT

DO NOT SCALE DWGS. USE DIMENSIONS ONLY. REFER ANY DISCREPANCIES TO ARCHITECT PRIOR TO CONSTRUCTION.

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.

N

ACCESS:

ACCESS SOLUTIONS
a: PO Box 262, Hamilton NSW 2303
m: 0411 824 183

HERITAGE:

GBA - GRAHAM BROOKS
a: Level 2, 71 York St, Sydney NSW 2000
w: www.gbaheritage.com
t: +61 2 9299 8600

TRAFFIC:

TRAFFIX
a: Suite 3.05-466 macleay street potts point nsw 2011 | PO Box 1061 potts point nsw 1557
t: +61 2 8324 8700

LANDSCAPE ARCHITECT:

HABITATION
a: Studio 5.1, 2 Hill St, Surry Hills 2010
w: www.habitat.com.au
t: +61 2 9332 3601

ACOUSTIC:

ACOUSTIC LOGIC
a: Suite 3.05-466 macleay street potts point nsw 2011 | PO Box 1061 potts point nsw 1557
t: +61 2 8324 8700

GEOTECHNICAL:

GEOTECHNICAL
a: 82 Bridge St, Lane Cove, NSW 2066
m: 0411 680 980
e: stephen@geotechnical.com.au
w: www.geotechnical.com.au

HYDRAULIC:

SGCE
a: Suite 1.11, 20 Lexington Drive, Bella Vista NSW 2153
t: 02 9715 9555
e: info@sgce.com.au

BASIX:

STS
m: 0420 312 721
e: enquiry@thermal-solutions.com.au
w: www.thermal-solutions.com.au

BCA:

VIC LILLI & PARTNERS
a: Suite 7.1, 117 Glen St, Burwood NSW 2134
t: 02 9715 9555
e: info@viclilli.com.au

QUANTITY SURVEY:

MMDCC
a: Suite 5.1, 101 George St, Parramatta NSW 2150
w: www.mmdcc.com.au
t: +61 2 9633 9233

PLANNING:

SUTHERLAND&ASSOCIATES
a: Suite 5.1, 101 George St, Parramatta NSW 2150
t: 02 9633 9233
e: info@sutherlandplanning.com.au

URBAN DESIGN:

HARRY MARGALIT
e: harym@optusnet.com.au

ARCHITECT:

GHAZI AL ALI ARCHITECT
T: +612 8065 1544 | E: office@ghazia.com
ACN: 67167131848
UNIT 2H,
9-13 REDMYRE RD, STRATHFIELD, NSW 2135

PROJECT:

175-177 CLEVELAND ST

CLIENT:

HIGH QUALITY BUILDING PTY LTD

SCALE:

1:400

DATE:

8/10/2014

CAD FILE NUMBER:

DATE:

8/10/2014

CHECKED BY:

GA

CHECKED 2:

APPROVED:

DRAWING NAME:

STREETSCAPE ANALYSIS

DRAWING NUMBER:

DA

PROJECT NUMBER:

24.13

ISSUE:

B

PROJECT:

175-177 CLEVELAND ST

CLIENT:

HIGH QUALITY BUILDING PTY LTD

SCALE:

1:400

DATE:

8/10/2014

CAD FILE NUMBER:

DATE:

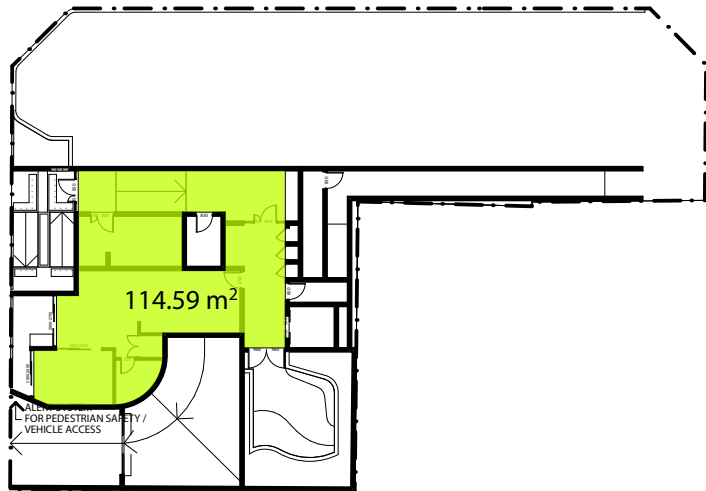
8/10/2014

CHECKED BY:

GA

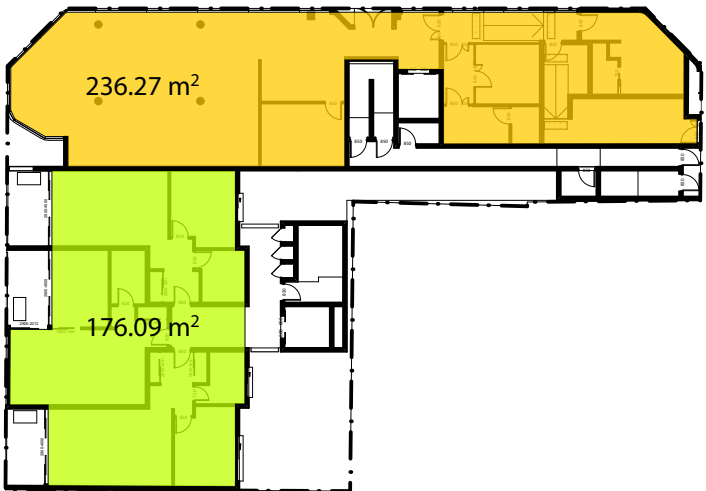
CHECKED 2:

APPROVED:



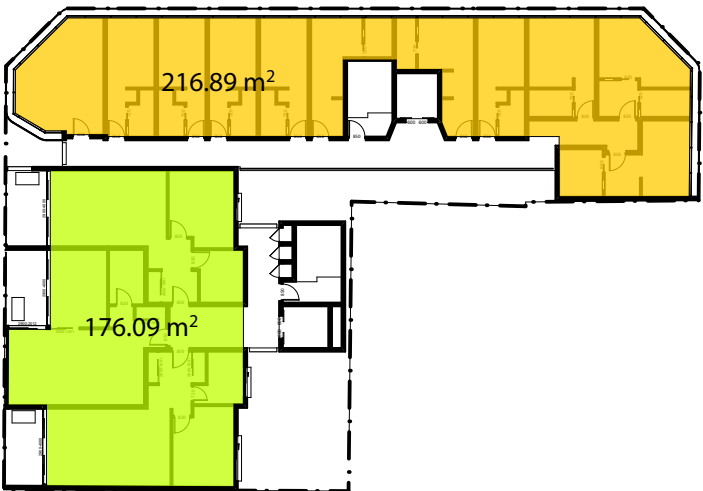
LOWER GROUND FLOOR
SCALE 1:400

RESIDENTIAL - 114.59 SQM
STUDENT ACCOMMODATION - nil



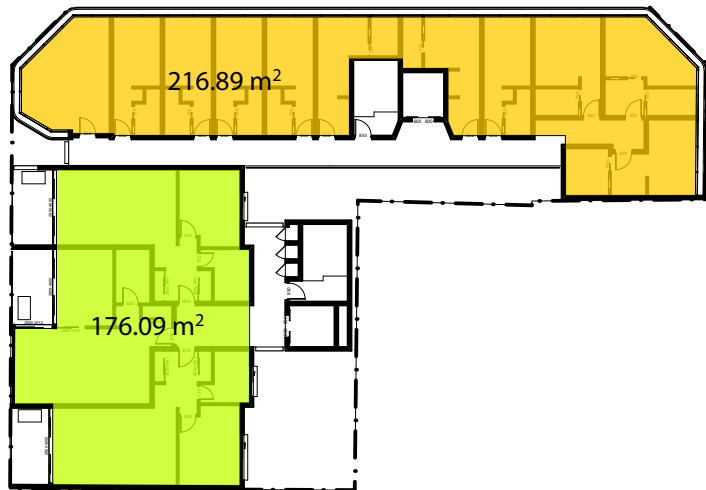
GROUND FLOOR
SCALE 1:400

RESIDENTIAL - 176.09 SQM
STUDENT ACCOMMODATION - 236.27 SQM



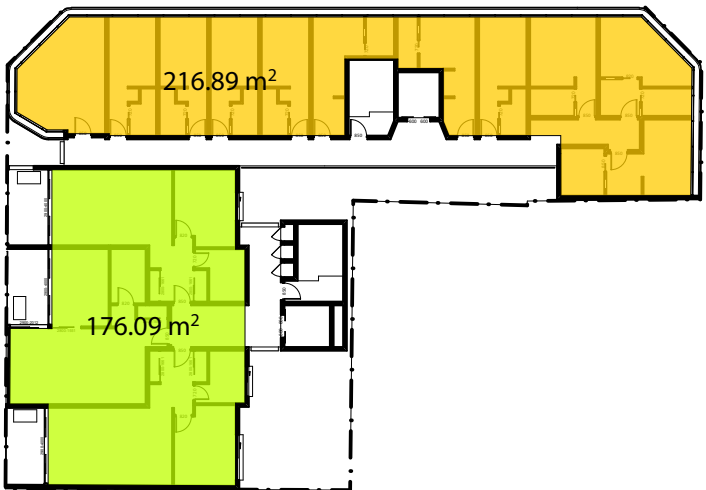
LEVEL 01
SCALE 1:400

RESIDENTIAL - 176.09 SQM
STUDENT ACCOMMODATION - 216.89 SQM



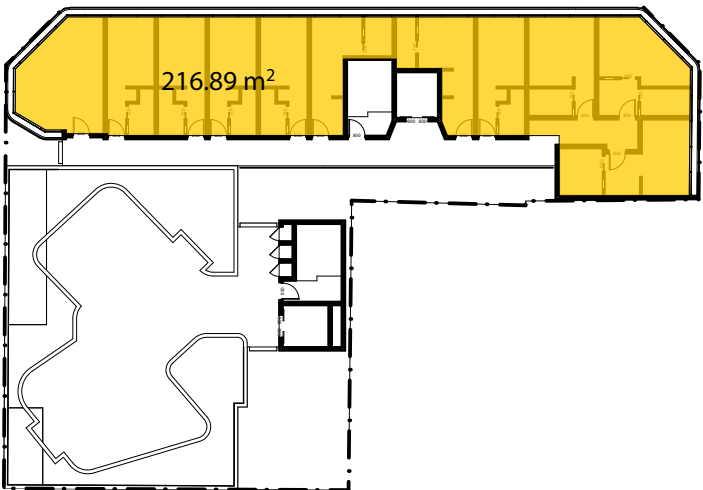
LEVEL 02
SCALE 1:400

RESIDENTIAL - 176.09 SQM
STUDENT ACCOMMODATION- 216.89 SQM



LEVEL 03
SCALE 1:400

RESIDENTIAL - 176.09 SQM
STUDENT ACCOMMODATION- 216.89 SQM



LEVEL 04
SCALE 1:400

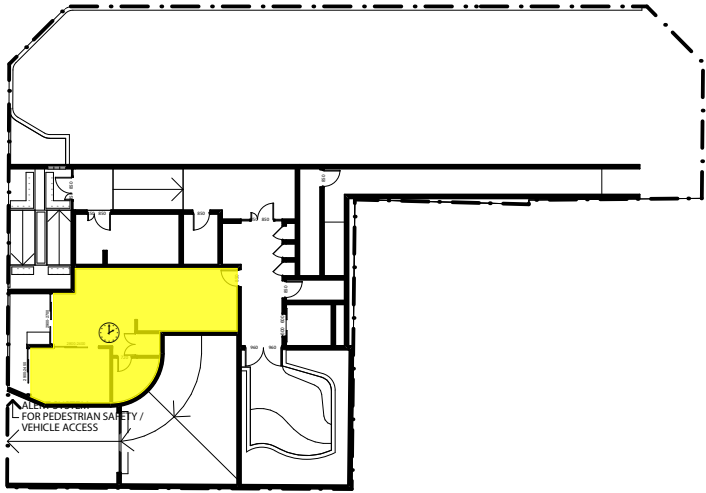
RESIDENTIAL - nil
STUDENT ACCOMMODATION - 216.89

GFA CALCULATION

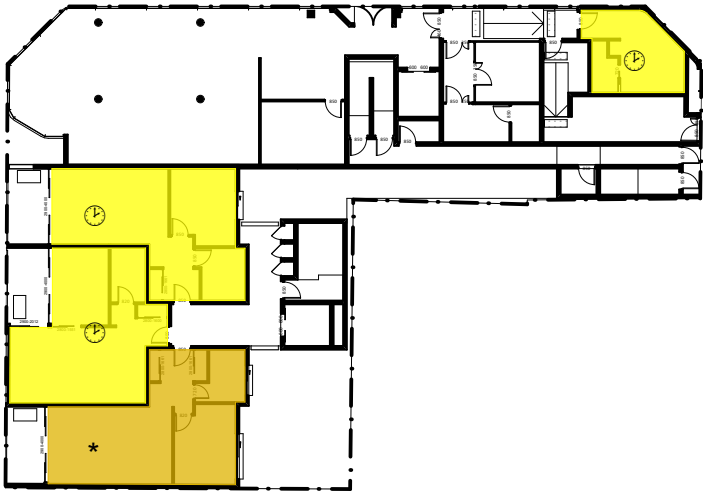
SITE AREA: 645.7 SQM
PERMISSIBLE FSR: 3:1
PERMISSIBLE GFA: 1937.1 SQM

RESIDENTIAL TOTAL: 818.95 SQM (1.27:1)
STUDENT ACCOMMODATION TOTAL: 1103.83 SQM (1.71:1)

TOTAL GFA: 1922.78 SQM
TOTAL FSR: 2.98:1



LOWER GROUND FLOOR
SCALE 1:400



GROUND FLOOR
SCALE 1:400



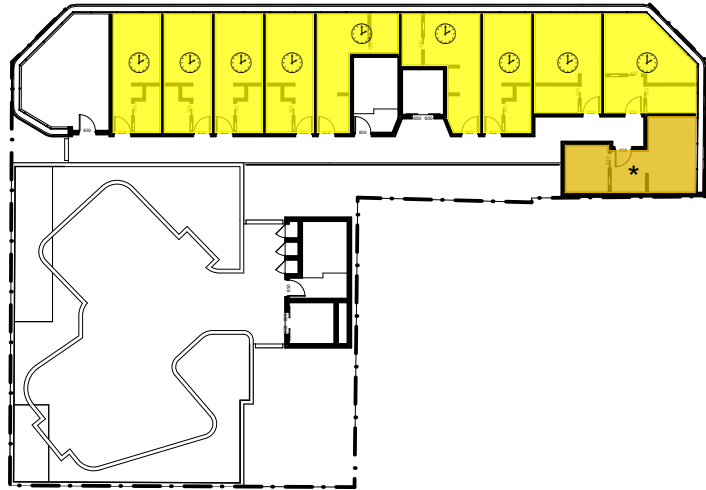
LEVEL 01
SCALE 1:400



LEVEL 02
SCALE 1:400



LEVEL 03
SCALE 1:400



LEVEL 04
SCALE 1:400

SOLAR ACCESS STUDY

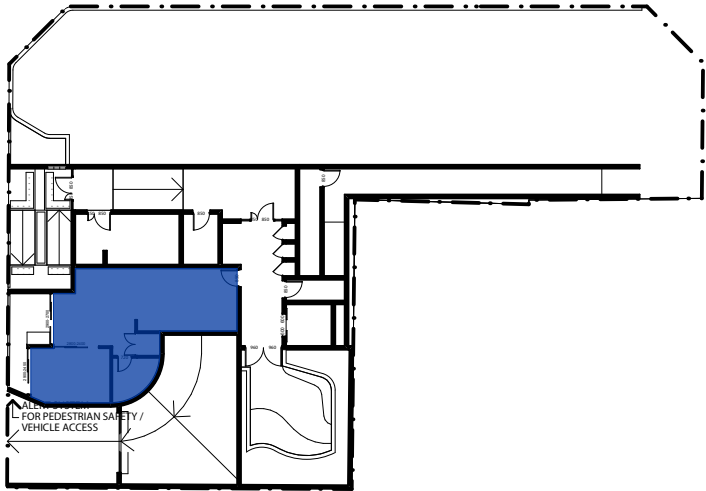
- ☀️ ≥ 3H SOLAR ACCESS
★ 2H SOLAR ACCESS
□ NO SOLAR ACCESS

RESIDENTIAL

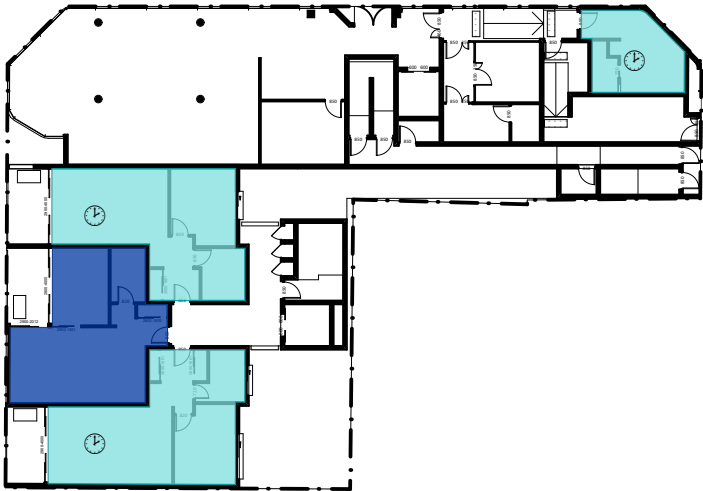
SOLAR ACCESS ≥ 3H SOLAR ACCESS: 10 (77%)
LIMITED SOLAR ACCESS @ 2 HRS: 3 (23%)
NO SOLAR ACCESS: 0 (0%)

STUDENT ACCOMMODATION

SOLAR ACCESS ≥ 3H SOLAR ACCESS: 36 (90%)
LIMITED SOLAR ACCESS @ 2 HRS: 4 (10%)
NO SOLAR ACCESS: 0 (0%)



LOWER GROUND FLOOR
SCALE 1:400



GROUND FLOOR
SCALE 1:400



LEVEL 01
SCALE 1:400



LEVEL 02
SCALE 1:400



LEVEL 03
SCALE 1:400



LEVEL 04
SCALE 1:400

SOLAR ACCESS STUDY

-  CROSS-VENTILATED
 NOT CROSS-VENTILATED

RESIDENTIAL
CROSS-VENTILATED: 8 (62%)
NOT CROSS-VENTILATED: 5 (38%)

STUDENT ACCOMMODATION
CROSS-VENTILATED: 40 (100%)
NOT CROSS-VENTILATED: 0 (0%)

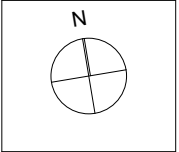
FOR DA
PURPOSES ONLY
NOT FOR
CONSTRUCTION

DA

Drawing Original Size A3

Issue	Date	Description
B	02/10/14	FURTHER COMMENTS
A	26/05/14	FOR DA

© COPYRIGHT
DO NOT SCALE DWGS. USE
DIMENSIONS ONLY. REFER
ANY DISCREPANCIES TO
ARCHITECT PRIOR TO
CONSTRUCTION.
THESE DRAWINGS ARE
SUBJECT TO COPYRIGHT.



ACCESS:
ACCESS SOLUTIONS
a: PO Box 262, Hamilton NSW 2303
m: 0411 824 183

HERITAGE:
GBA - GRAHAM BROOKS
a: Studio 5, 1 York St, Sydney NSW 2000
w: www.gbaheritage.com
t: +61 2 9299 8600

TRAFFIC:
TRAFFIX
a: suites 3,105-466 macleay street potts point nsw 2011 | PO Box 1061 potts point nsw 1555
t: +61 2 8324 8700

LANDSCAPE ARCHITECT:
HABITATION
a: Level 2, 71 York St, SURRY HILLS 2010
w: www.360.net.au
t: +61 2 9332 3601

ACOUSTIC:
ACOUSTIC LOGIC
a: 2 South St, Mascot NSW 2020
t: 8339 8009
e: bella@acousticlogic.com.au
w: www.acousticlogic.com.au

GEOTECHNICAL:
GEOENVIRONMENTAL
a: Studio 5, 1 Lane Cove, NSW 2066
m: 0431 680 980
e: stephen@geoenvironmental.com.au
w: www.geoenvironmental.com.au

HYDRAULIC:
SGCE
a: Suite 7, 117 Glen St, Burwood NSW 2134
t: 02 9715 9555
e: aleda@vicillili.com.au

BASIX:
STS
m: 0420 312 721
e: enquire@sustainablethermalolutions.com.au

BCA:
VIC LILLI & PARTNERS
a: Suite 7, 117 Glen St, Burwood NSW 2134
t: 02 9715 9555
e: aleda@vicillili.com.au

QUANTITY SURVEY:
MMDC
a: SUITE 5 / 101 GEORGE ST,
PARRAMATTA NSW 2150
w: www.mmdcc.com.au
t: +61 2 9633 9233

PLANNING:
SUTHERLAND&ASSOCIATES
a: Suite 7, 117 Glen St, Burwood NSW 2134
t: 02 9715 9555
e: aleda@vicillili.com.au

URBAN DESIGN:
HARRY MARGALIT
e: harym@optusnet.com.au

ARCHITECT:
GHAZI AL ALI ARCHITECT
T. +612 8065 1544 | E. office@ghazia.com
ACN: 67167131848
UNIT 2H,
9-13 REDMYRE RD, STRATHFIELD, NSW 2135

PROJECT:
175-177 CLEVELAND ST
CLIENT:
HIGH QUALITY BUILDING PTY LTD

SCALE:
1:400

DATE:
8/10/2014

CAD FILE NUMBER:

DRAWN BY:
JU

CHECKED 1:
GA

CHECKED 2:

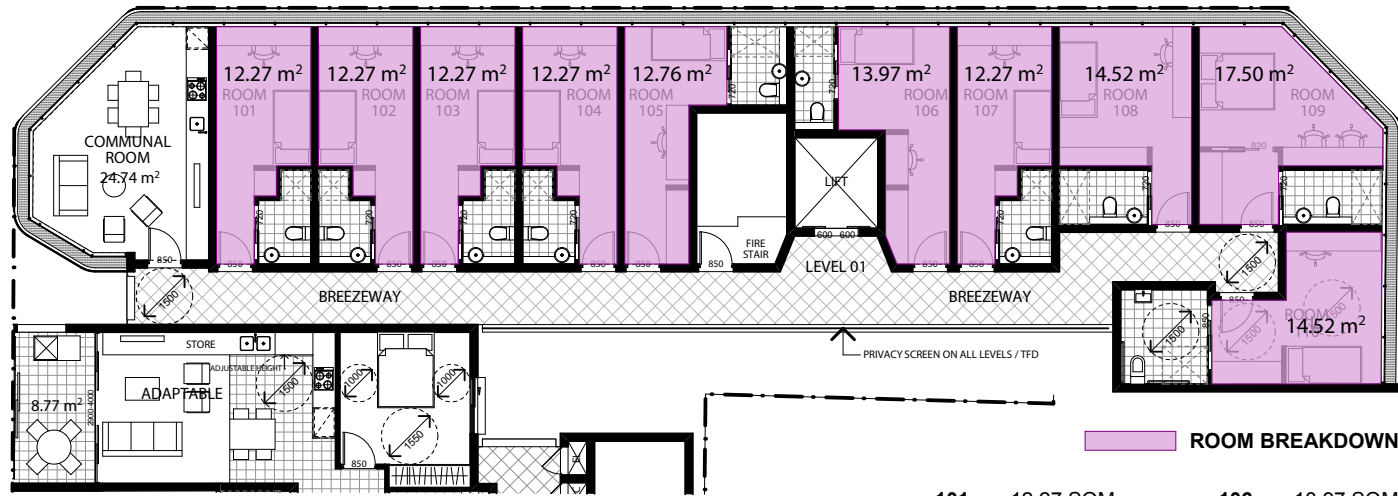
APPROVED:

DRAWING NAME:
CROSS-VENTILATION STUDY

DRAWING NUMBER:
DA

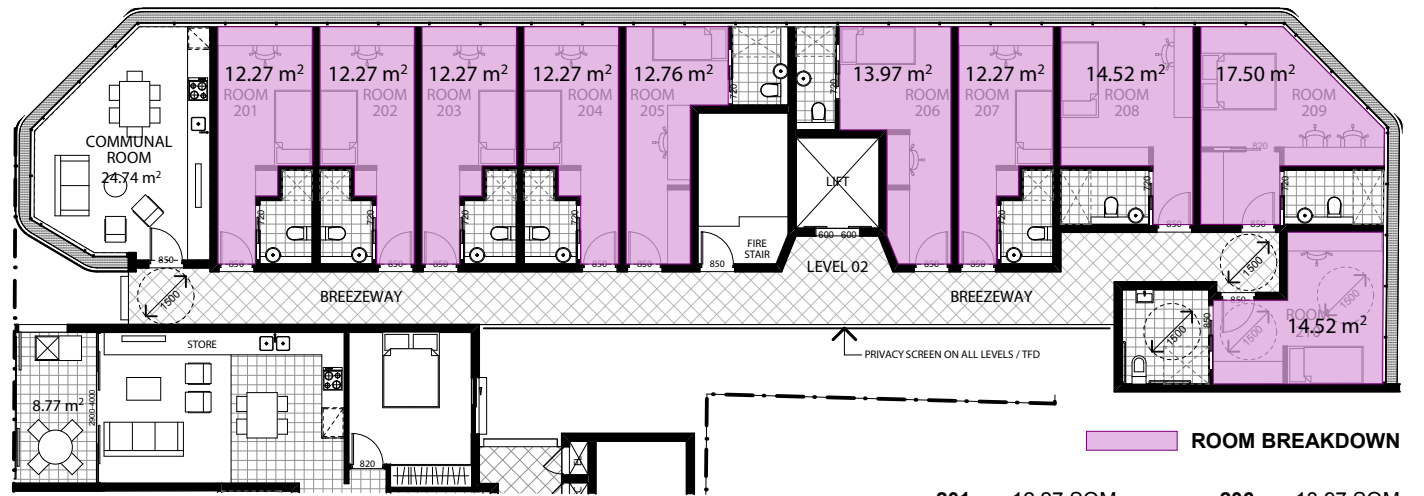
PROJECT NUMBER:
24.13

ISSUE:
B



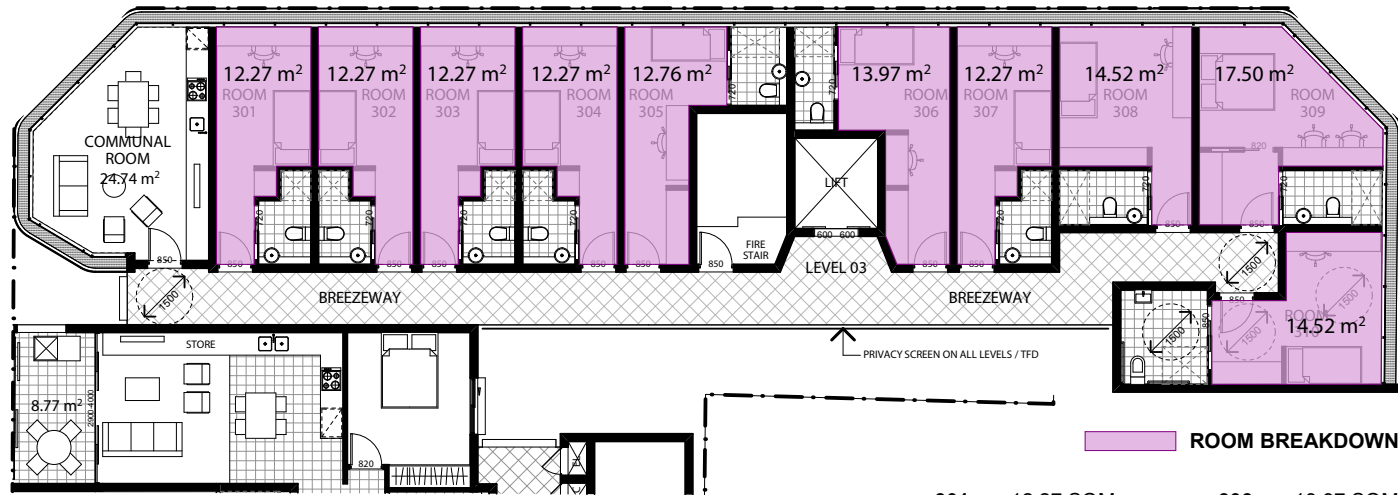
LEVEL 01
SCALE 1:200

101	12.27 SQM	106	13.97 SQM
102	12.27 SQM	107	12.27 SQM
103	12.27 SQM	108	14.52 SQM
104	12.27 SQM	109	17.50 SQM
105	12.76 SQM	110	14.52 SQM



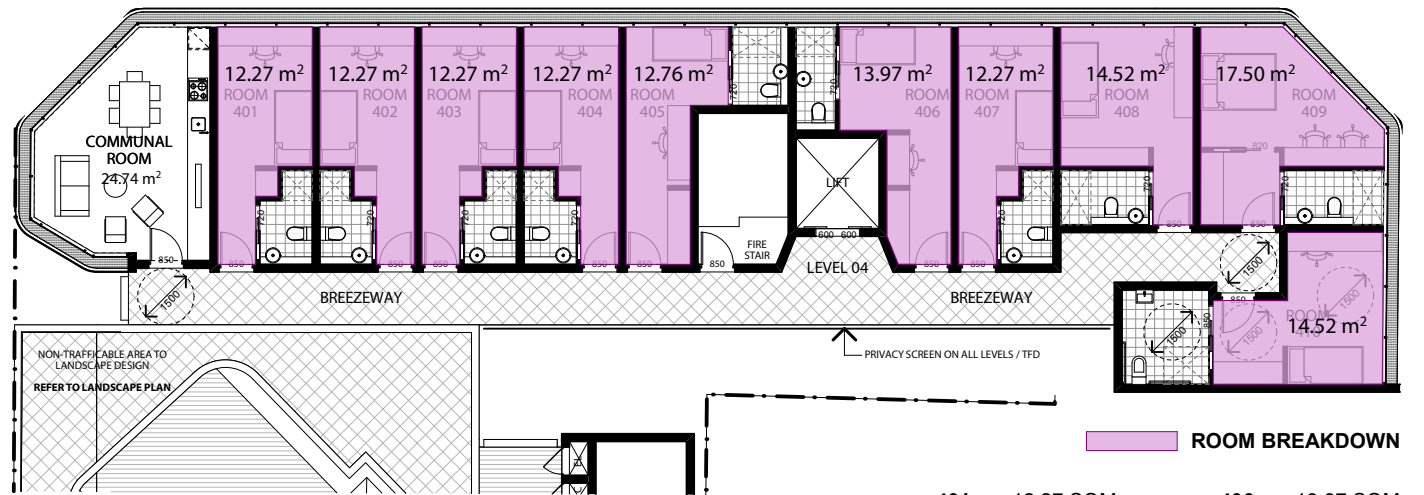
LEVEL 02
SCALE 1:200

201	12.27 SQM	206	13.97 SQM
202	12.27 SQM	207	12.27 SQM
203	12.27 SQM	208	14.52 SQM
204	12.27 SQM	209	17.50 SQM
205	12.76 SQM	210	14.52 SQM



LEVEL 03
SCALE 1:200

301	12.27 SQM	306	13.97 SQM
302	12.27 SQM	307	12.27 SQM
303	12.27 SQM	308	14.52 SQM
304	12.27 SQM	309	17.50 SQM
305	12.76 SQM	310	14.52 SQM



LEVEL 04
SCALE 1:200

401	12.27 SQM	406	13.97 SQM
402	12.27 SQM	407	12.27 SQM
403	12.27 SQM	408	14.52 SQM
404	12.27 SQM	409	17.50 SQM
405	12.76 SQM	410	14.52 SQM

External Walls: Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

Internal Walls:

- Within each unit: single skin brick; wet plaster both sides
- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides

Windows: Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65

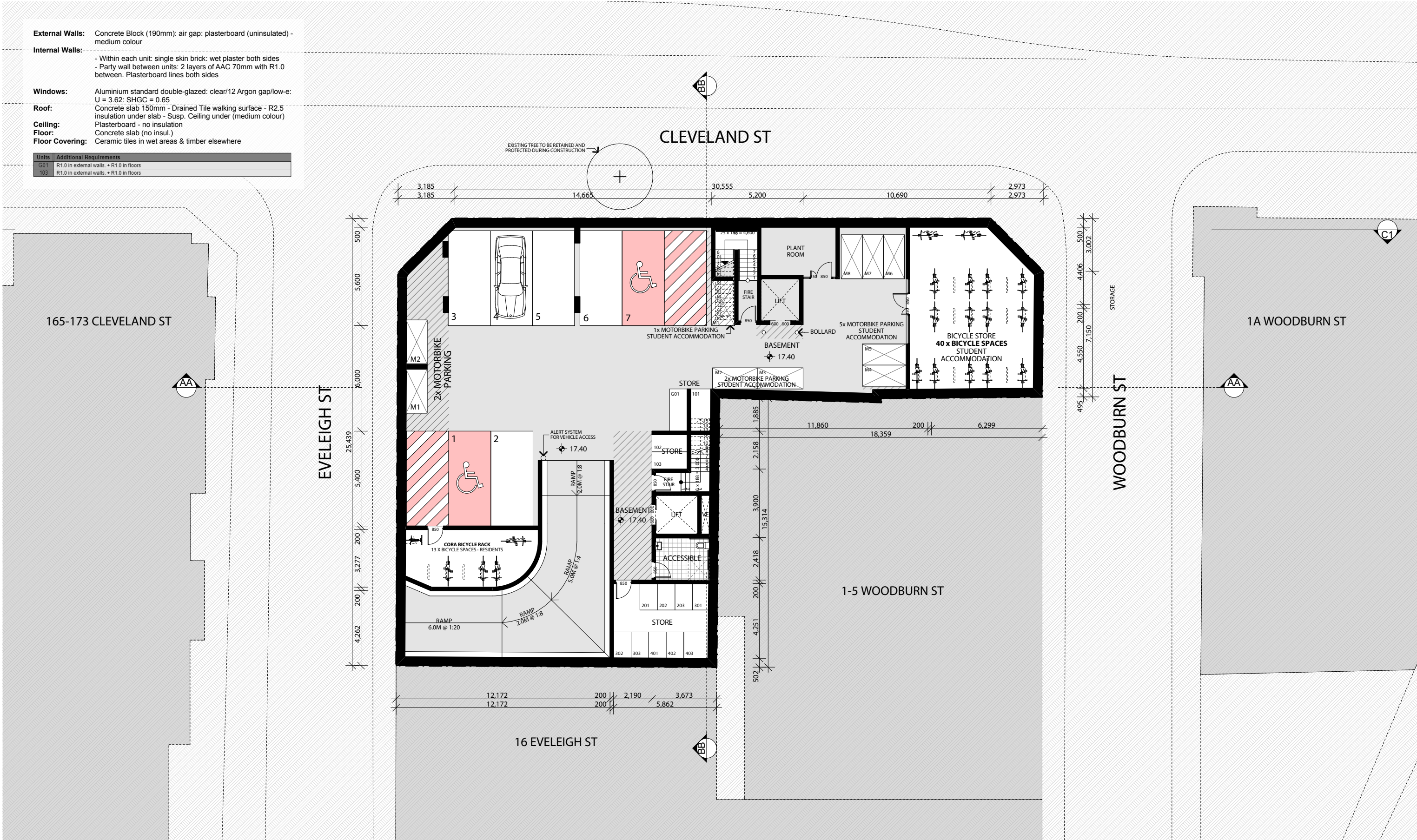
Roof: Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)

Ceiling: Plasterboard - no insulation

Floor: Concrete slab (no insul.)

Floor Covering: Ceramic tiles in wet areas & timber elsewhere

Units	Additional Requirements
G01	R1.0 in external walls + R1.0 in floors
103	R1.0 in external walls + R1.0 in floors



BASEMENT PLAN @ 1:200

SCALE 1:200



FOR DA PURPOSES ONLY
NOT FOR CONSTRUCTION

DA

Drawing Original Size A3

B 03/10/14 FURTHER COMMENTS

A 26/03/14 FOR DA

Issue Date Description

© COPYRIGHT

DO NOT SCALE DWGS. USE DIMENSIONS ONLY. REFER ANY DISCREPANCIES TO ARCHITECT PRIOR TO CONSTRUCTION.

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.

ACCESS:

ACCESS SOLUTIONS
a: PO Box 242, Hamilton NSW 2303
m: 0411 824 183

HERITAGE:

GBA - GRAHAM BROOKS
a: Studio 5.1, 2 York St, Sydney NSW 2000
w: www.gbaheritage.com
t: +61 2 9299 8600

TRAFFIC:

TRAFFIX
a: Suite 3.05-466 macleay street potts point nsw 2011 | PO Box 1061 potts point nsw 1555
t: +61 2 8324 8700

LANDSCAPE ARCHITECT:

HABITATION
a: Studio 5.1, 2 Hill St, Surry Hills 2010
w: www.360.net.au
t: +61 2 9332 3601

ACOUSTIC:

ACOUSTIC LOGIC
a: 2/5 South St, Mascot NSW 2020
t: 8339 8009
e: hannah@acousticlogic.com.au
w: www.acousticlogic.com.au

GEOTECHNICAL:

GEOTECHNICAL
a: Studio 5.1, 2 Hill St, Surry Hills 2010
w: www.360.net.au
t: +61 2 9332 3601

HYDRAULIC:

SGCE
a: Suite 7.1/17 Glen St, Burwood NSW 2134
t: 02 9715 9555
e: aleda@vicillli.com.au

BASIC:

STS
a: 82 Bridge St, Lane Cove, NSW 2066
m: 0420 312 721
e: enquiries@thermalthermal.com.au
w: www.thermalthermal.com.au

BCA:

VIC LILLI & PARTNERS
a: Suite 7.1/17 Glen St, Burwood NSW 2134
t: 02 9715 9555
e: aleda@vicillli.com.au

QUANTITY SURVEY:

MMDC
a: Suite 5.1/101 George St, Parramatta NSW 2150
w: www.mmcc.com.au
t: +61 2 9633 9233

PLANNING:

SUTHERLAND&ASSOCIATES
a: Suite 7.1/17 Glen St, Burwood NSW 2134
t: 02 9715 9555
e: aleda@vicillli.com.au

URBAN DESIGN:

HARRY MARGALIT
e: harym@optusnet.com.au

ARCHITECT:

GHAZI AL ALI ARCHITECT
T: +612 8065 1544 | E: office@ghazia.com
ACN: 67167131848
UNIT 2H,
9-13 REDMYRE RD, STRATHFIELD, NSW 2135

PROJECT:

175-177 CLEVELAND ST

CLIENT:

HIGH QUALITY BUILDING PTY LTD

SCALE:

1:200

DATE:

8/10/2014

CAD FILE NUMBER:

DRAWN BY:

JU

CHECKED 1:

GA

CHECKED 2:

APPROVED:

DRAWING NAME

BASEMENT PLAN

DRAWING NUMBER

DA

PROJECT NUMBER

A1200

ISSUE

24.13

B

External Walls: Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

Internal Walls:

- Within each unit: single skin brick: wet plaster both sides
- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides

Windows: Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65

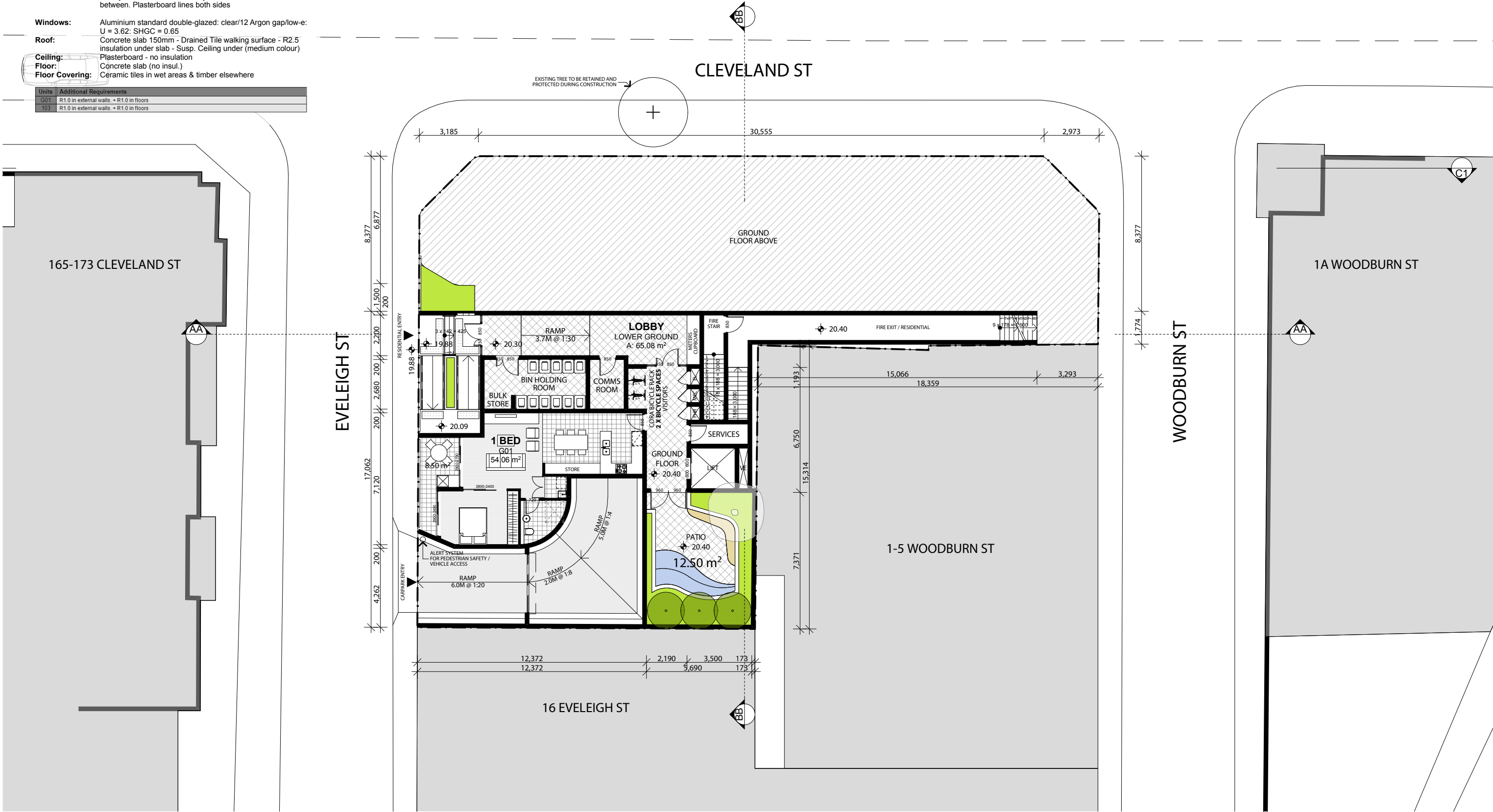
Roof: Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)

Ceiling: Plasterboard - no insulation

Floor: Concrete slab (no insul.)

Floor Covering: Ceramic tiles in wet areas & timber elsewhere

Units	Additional Requirements
G01	R1.0 in external walls + R1.0 in floors
103	R1.0 in external walls + R1.0 in floors



LOWER GROUND FLOOR PLAN @ 1:200

SCALE 1:200



FOR DA PURPOSES ONLY
NOT FOR CONSTRUCTION

DA

Drawing Original Size A3

B 03/10/14 FURTHER COMMENTS

A 26/05/14 FOR DA

Issue Date Description

© COPYRIGHT

DO NOT SCALE DWGS. USE DIMENSIONS ONLY. REFER ANY DISCREPANCIES TO ARCHITECT PRIOR TO CONSTRUCTION.

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.

ACCESS:

ACCESS SOLUTIONS
a: PO Box 262, Hamilton NSW 2303
m: 0411 824 183

HERITAGE:

G&A - GRAHAM BROOKS
a: Studio 5, 71 York St, Sydney NSW 2000
w: www.gabrooks.com.au
t: +61 2 9299 8600

TRAFFIC:

TRAFFIX
a: suites 3.05-466 macleay street potts point nsw 2011 | PO Box 1061 potts point nsw 1551
t: +61 2 8324 8700

LANDSCAPE ARCHITECT:

HABITATION
a: Studio 5, 1 Hill St, SURRY HILLS 2010
w: www.360.net.au
t: +61 2 9332 3601

ACOUSTIC:

ACOUSTIC LOGIC
a: Suite 113 Level 1, 20 Lexington Drive
t: 8339 8009
e: bella@acousticlogic.com.au
w: www.acousticlogic.com.au

GEOTECHNICAL:

GEOTECHNICAL
a: 82 Bridge St, Lane Cove, NSW 2066
m: 0411 680 980
e: stephen@geoenvironmental.com.au
w: www.geoenvironmental.com.au

HYDRAULIC:

SGCE
a: Site A113 Level 1, 20 Lexington Drive
t: 8339 8009
e: bella@acousticlogic.com.au
w: www.acousticlogic.com.au

BASIX:

STS
a: 82 Bridge St, Lane Cove, NSW 2066
m: 0411 680 980
e: stephen@geoenvironmental.com.au
w: www.geoenvironmental.com.au

BCA:

VIC LILLI & PARTNERS
a: Suite 7, 117 Glen St, Burwood NSW 2134
t: 02 9715 9555
e: alba@viclilli.com.au

QUANTITY SURVEY:

MMDC
a: Suite 5, 101 GEORGE ST, PARRAMATTA NSW 2150
w: www.mmddc.com.au
t: +61 2 9633 9233

PLANNING:

SUTHERLAND&ASSOCIATES
a: Suite 1, 117 Glen St, Burwood NSW 2134
t: 02 9715 9555
e: alba@viclilli.com.au
w: www.sutherlandplanning.com.au

URBAN DESIGN:

HARRY MARGALIT
e: harym@optusnet.com.au

ARCHITECT:

GHAZI AL ALI ARCHITECT
a: Suite 5, 101 GEORGE ST, PARRAMATTA NSW 2150
w: www.ghazialali.com.au
t: +61 2 9633 9233

PROJECT:

175-177 CLEVELAND ST

CLIENT:

HIGH QUALITY BUILDING PTY LTD

SCALE:

1:200

DATE:

8/10/2014

CAD FILE NUMBER:

DRAWN BY:

JU

CHECKED 1:

GA

CHECKED 2:

APPROVED:

DRAWING NAME

LOWER GROUND FLOOR PLAN

DRAWING NUMBER

DA

PROJECT NUMBER

A1201

ISSUE

B

24.13

External Walls: Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

Internal Walls:

- Within each unit: single skin brick: wet plaster both sides
- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides

Windows: Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65

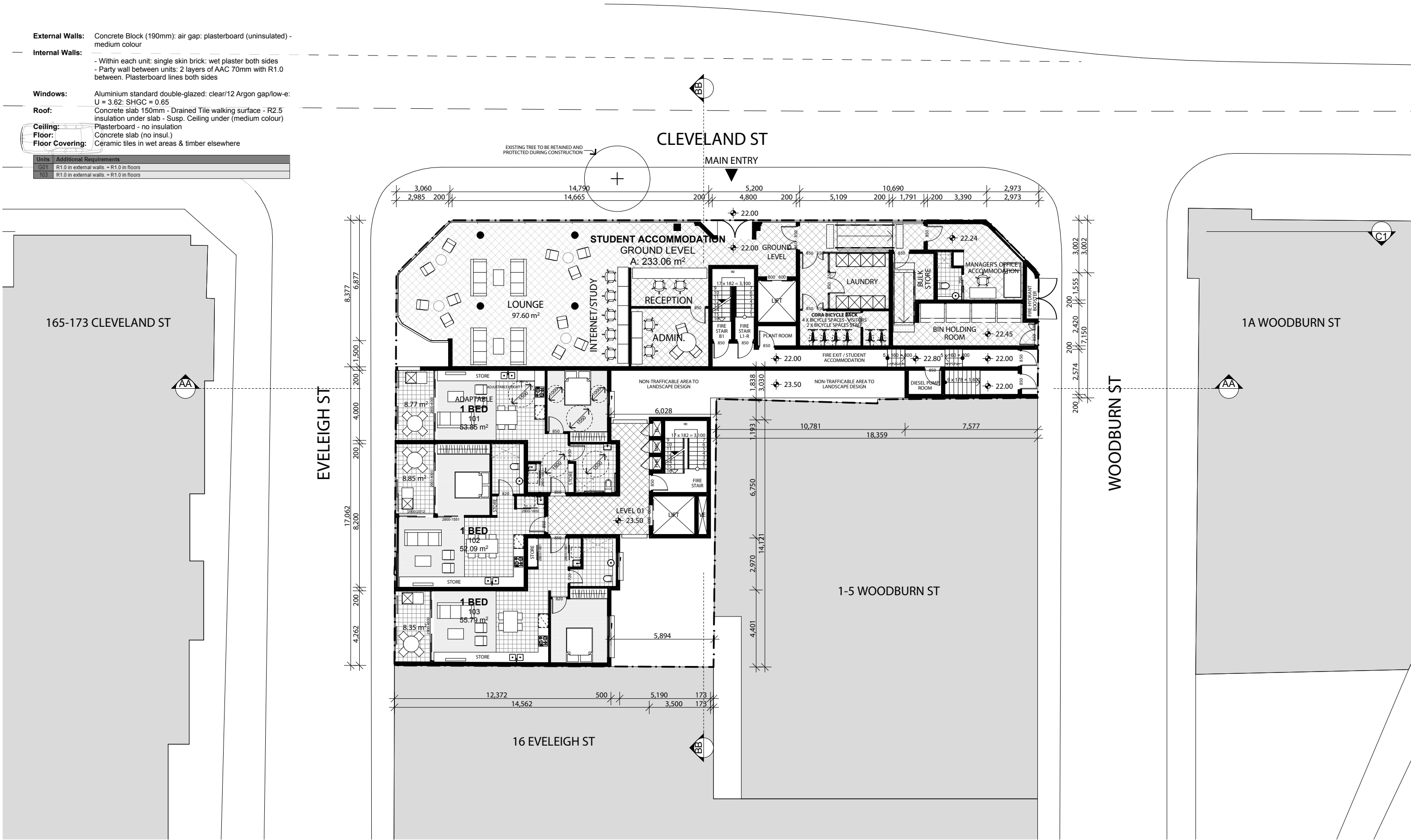
Roof: Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)

Ceiling: Plasterboard - no insulation

Floor: Concrete slab (no insul.)

Floor Covering: Ceramic tiles in wet areas & timber elsewhere

Units	Additional Requirements
G01	R1.0 in external walls + R1.0 in floors
103	R1.0 in external walls + R1.0 in floors



GROUND FLOOR PLAN @ 1:200

SCALE 1:200



FOR DA PURPOSES ONLY
NOT FOR CONSTRUCTION

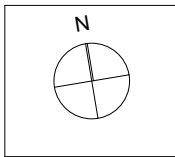
DA

Drawing Original Size A3

B 03/10/14 FURTHER COMMENTS
A 26/05/14 FOR DA

Issue Date Description

© COPYRIGHT
DO NOT SCALE DWGS. USE DIMENSIONS ONLY. REFER ANY DISCREPANCIES TO ARCHITECT PRIOR TO CONSTRUCTION.
THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.



ACCESS:
ACCESS SOLUTIONS
a: PO Box 262, Hamilton NSW 2303
m: 0411 824 183

HERITAGE:
GBA - GRAHAM BROOKS
a: Level 2, 71 York St, Sydney NSW 2000
w: www.gbaheritage.com
t: +61 2 9299 8600

TRAFFIC:
TRAFFIX
a: suites 3.05-466 macleay street potts point nsw 1551
t: +61 2 8324 8700

LANDSCAPE ARCHITECT:
HABITATION
a: Studio 5.1, 2 Hill St, SURRY HILLS 2010
w: www.360.net.au
t: +61 2 9332 3601

ACOUSTIC:
ACOUSTIC LOGIC
a: 3 South St, Mascot NSW 2020
t: 8339 8009
e: bella@acousticlogic.com.au
w: www.acousticlogic.com.au

GEOTECHNICAL:
GEOTECHNICAL
a: 82 Bridge St, Lane Cove, NSW 2066
m: 0411 460 980
e: stephen@geotechnical.com.au
w: www.geotechnical.com.au

HYDRAULIC:
SGCE
a: Suite 113 Level 1, 20 Lexington Drive, Bella Vista NSW 2153
t: 8715 9555
e: bella@sgce.com.au

BASIC:
STS
a: 0420 312 721
e: enquiry@thermalthermal.com.au
w: thermalthermal.com.au

BCA:
VIC LILLI & PARTNERS
a: Suite 113 Level 1, 20 Lexington Drive, Bella Vista NSW 2153
t: 8715 9555
e: bella@viclilli.com.au

QUANTITY SURVEY:
MMDC
a: Suite 5/101 GEORGE ST, PARRAMATTA NSW 2150
w: www.mmdc.com.au
t: +61 2 9633 9233

PLANNING:
SUTHERLAND&ASSOCIATES
a: Suite 113 Level 1, 20 Lexington Drive, Bella Vista NSW 2153
t: 8715 9555
e: bella@sutherlandplanning.com.au

URBAN DESIGN:
HARRY MARGALIT
e: harym@optusnet.com.au

ARCHITECT:
GHAZI AL ALI ARCHITECT
T: +612 8065 1544 | E: office@ghazia.com
ACN: 67167131848
UNIT 2H, 9-13 REDMYRE RD, STRATHFIELD, NSW 2135

PROJECT:
175-177 CLEVELAND ST
CLIENT:
HIGH QUALITY BUILDING PTY LTD

SCALE:
1:200

DATE:
8/10/2014

CAD FILE NUMBER:

DRAWN BY:
JU

CHECKED 1:
GA

CHECKED 2:

APPROVED:

DRAWING NAME:
GROUND FLOOR PLAN

DRAWING NUMBER:
DA

PROJECT NUMBER:
A1202

ISSUE:
B

PROJECT NUMBER:
24.13

External Walls: Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

Internal Walls:

- Within each unit: single skin brick: wet plaster both sides
- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides

Windows: Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65

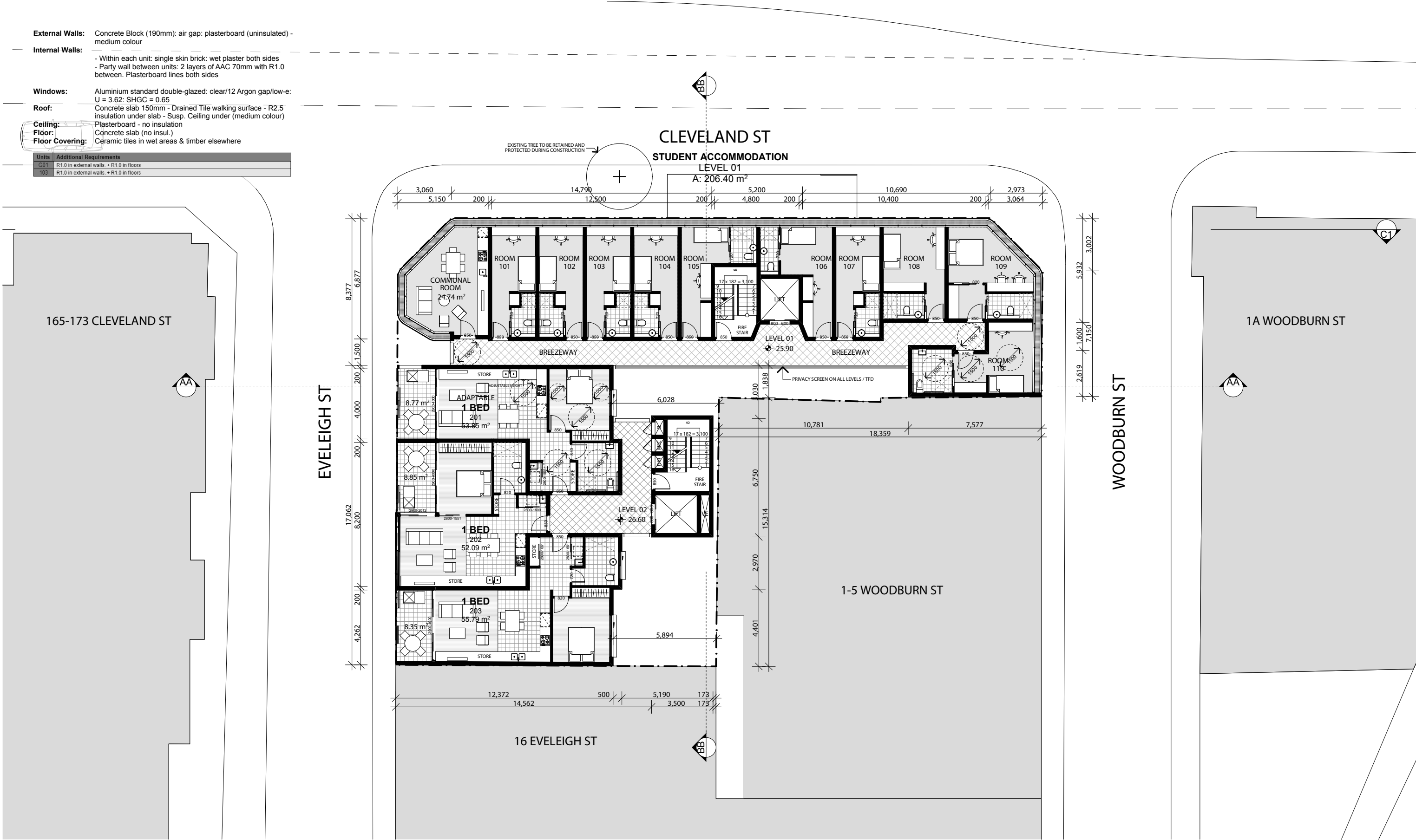
Roof: Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)

Ceiling: Plasterboard - no insulation

Floor: Concrete slab (no insul.)

Floor Covering: Ceramic tiles in wet areas & timber elsewhere

Units	Additional Requirements
G01	R1.0 in external walls + R1.0 in floors
103	R1.0 in external walls + R1.0 in floors



LEVEL 01 @ 1:200

SCALE 1:200



FOR DA PURPOSES ONLY
NOT FOR CONSTRUCTION

DA

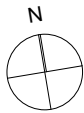
Drawing Original Size A3

Issue	Date	Description
B	02/10/14	FURTHER COMMENTS
A	26/05/14	FOR DA

© COPYRIGHT

DO NOT SCALE DWGS. USE DIMENSIONS ONLY. REFER ANY DISCREPANCIES TO ARCHITECT PRIOR TO CONSTRUCTION.

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.



ACCESS:

ACCESS SOLUTIONS
a: PO Box 262, Hamilton NSW 2303
m: 0411 824 183

HERITAGE:

GBA - GRAHAM BROOKS
a: Level 2, 71 York St, Sydney NSW 2000
w: www.gbaheritage.com
t: +61 2 9299 8600

TRAFFIC:

TRAFFIX
a: suites 3.05-466 macleay street potts point nsw 1551
t: 02 9551 1000
w: www.traffix.com.au

LANDSCAPE ARCHITECT:

HABITATION
a: Studio 5.1, 2 Hill St, Surry Hills 2010
w: www.360.net.au
t: +61 2 9332 3601

ACOUSTIC LOGIC
a: 2 South St, Mascot NSW 2020
t: 8339 8009
e: bella@acousticlogic.com.au
w: www.acousticlogic.com.au

GEOTECHNICAL:

GEOTECHNICAL
a: 82 Bridge St, Lane Cove, NSW 2066
m: 0411 680 980
e: stephen@geotechnical.com.au
w: www.geotechnical.com.au

HYDRAULIC:

SGCE
a: Suite 7, 117 Glen St, Burwood NSW 2134
t: 02 9715 9555
e: jale@sgce.com.au

BASIC:

STS
a: 4020 312 721
e: enquiry@thermal.com.au
w: thermal.com.au

BCA:

VIC LILLI & PARTNERS
a: Suite 7, 117 Glen St, Burwood NSW 2134
t: 02 9715 9555
e: jale@viclilli.com.au

QUANTITY SURVEY:

MMDC
a: Suite 5, 101 George St, Parramatta NSW 2150
w: www.mmdc.com.au
t: +61 2 9633 9233

PLANNING:

SUTHERLAND&ASSOCIATES
a: Level 1, 20 Lexington Drive, Bella Vista NSW 2153
t: 02 9694 2474
w: www.sutherlandplanning.com.au

URBAN DESIGN:

HARRY MARGALIT
e: harym@optusnet.com.au

ARCHITECT:

GHAZI AL ALI ARCHITECT
T: +612 8065 1544 | E: office@ghazia.com
ACN: 67167131848
UNIT 2H,
9-13 REDMYRE RD, STRATHFIELD, NSW 2135

PROJECT: 175-177 CLEVELAND ST			
CLIENT: HIGH QUALITY BUILDING PTY LTD			
SCALE: 1:200	DATE: 8/10/2014	CAD FILE NUMBER:	
DRAWN BY: JU	CHECKED 1: GA	CHECKED 2:	APPROVED:

DRAWING NAME LEVEL 01		PROJECT NUMBER 24.13
DRAWING NUMBER DA	PROJECT NUMBER A1203	
ISSUE B		

External Walls: Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

Internal Walls:

- Within each unit: single skin brick: wet plaster both sides
- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides

Windows: Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65

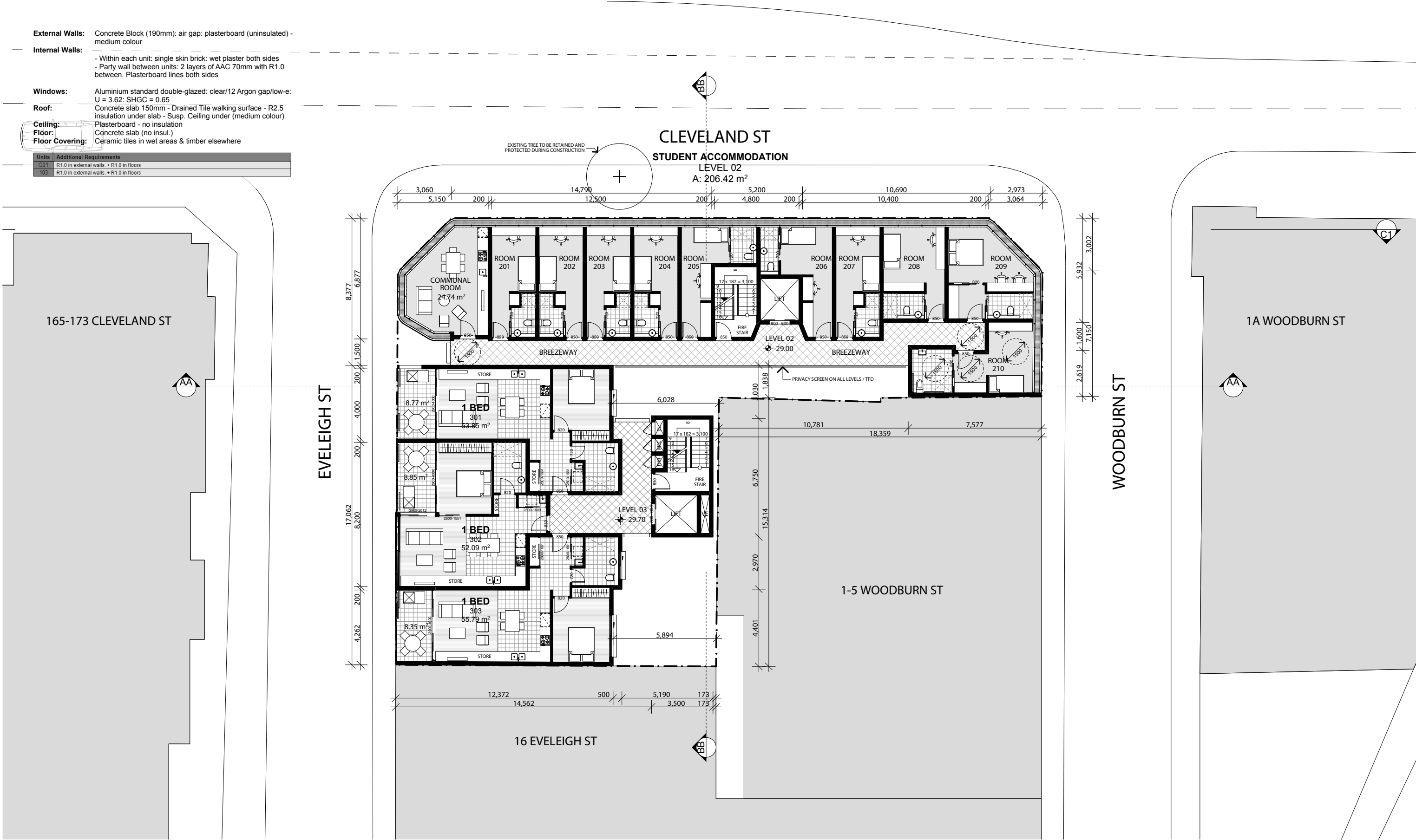
Roof: Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)

Ceiling: Plasterboard - no insulation

Floor: Concrete slab (no insul.)

Floor Covering: Ceramic tiles in wet areas & timber elsewhere

Units	Additional Requirements
G01	R1.0 in external walls + R1.0 in floors
103	R1.0 in external walls + R1.0 in floors



LEVEL 02 @ 1:200

SCALE 1:200



FOR DA PURPOSES ONLY
NOT FOR CONSTRUCTION

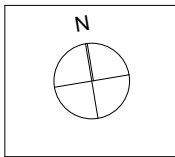
DA

Drawing Original Size A3

B 03/10/14 FURTHER COMMENTS
A 26/05/14 FOR DA

Issue Date Description

© COPYRIGHT
DO NOT SCALE DWGS. USE DIMENSIONS ONLY. REFER ANY DISCREPANCIES TO ARCHITECT PRIOR TO CONSTRUCTION.
THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.



ACCESS:
ACCESS SOLUTIONS
a: PO Box 262, Hamilton NSW 2303
m: 0411 824 183

HERITAGE:
GBA - GRAHAM BROOKS
a: Level 2, 71 York St, Sydney NSW 2000
w: www.gbaheritage.com
t: +61 2 9299 8600

TRAFFIC:
TRAFFIX
a: suites 3.05-466 macleay street potts point nsw 1505
t: +61 2 8324 8700

LANDSCAPE ARCHITECT:
HABITATION
a: Studio 5.1, 2 Hill St, Surry Hills 2010
w: www.habitat.net.au
t: +61 2 9332 3601

ACOUSTIC:
ACOUSTIC LOGIC
a: Suite 3.05-466 macleay street potts point nsw 1505
t: +61 2 8324 8700
w: www.acousticlogic.com.au

GEOTECHNICAL:
GEOTECHNICAL
a: 82 Bridge St, Lane Cove, NSW 2066
m: 0411 680 980
e: stephen@geotechnical.com.au
w: www.geotechnical.com.au

HYDRAULIC:
SGCE
a: Suite 1.17, 117 Glen St, Burwood NSW 2134
t: +61 2 8863 4235

BASIC:
STS
a: 4020 312 721
e: enquiry@stsunet.net.au
w: www.stsunet.net.au

BCA:
VIC LILLI & PARTNERS
a: Suite 1.17, 117 Glen St, Burwood NSW 2134
t: +61 2 8863 4235

QUANTITY SURVEY:
MMDC
a: Suite 5.1, 101 George St, Parramatta NSW 2150
w: www.mmcc.com.au
t: +61 2 9633 9233

PLANNING:
SUTHERLAND&ASSOCIATES
a: Suite 1.17, 117 Glen St, Burwood NSW 2134
t: +61 2 8863 4235

URBAN DESIGN:
HARRY MARGALIT
a: Suite 1.17, 117 Glen St, Burwood NSW 2134
t: +61 2 8863 4235

ARCHITECT:
GHAZI AL ALI ARCHITECT
a: Suite 1.17, 117 Glen St, Burwood NSW 2134
t: +61 2 8863 4235
e: office@ghazia.com
w: www.ghazia.com

PROJECT:
175-177 CLEVELAND ST

CLIENT:
HIGH QUALITY BUILDING PTY LTD

SCALE:
1:200

DATE:
8/10/2014

CAD FILE NUMBER:

DRAWN BY:
JU

CHECKED 1:
GA

CHECKED 2:

APPROVED:

DRAWING NAME
LEVEL 02

DRAWING NUMBER
DA

PROJECT NUMBER
A1204

ISSUE
B

External Walls: Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

Internal Walls:

- Within each unit: single skin brick: wet plaster both sides
- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides

Windows: Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65

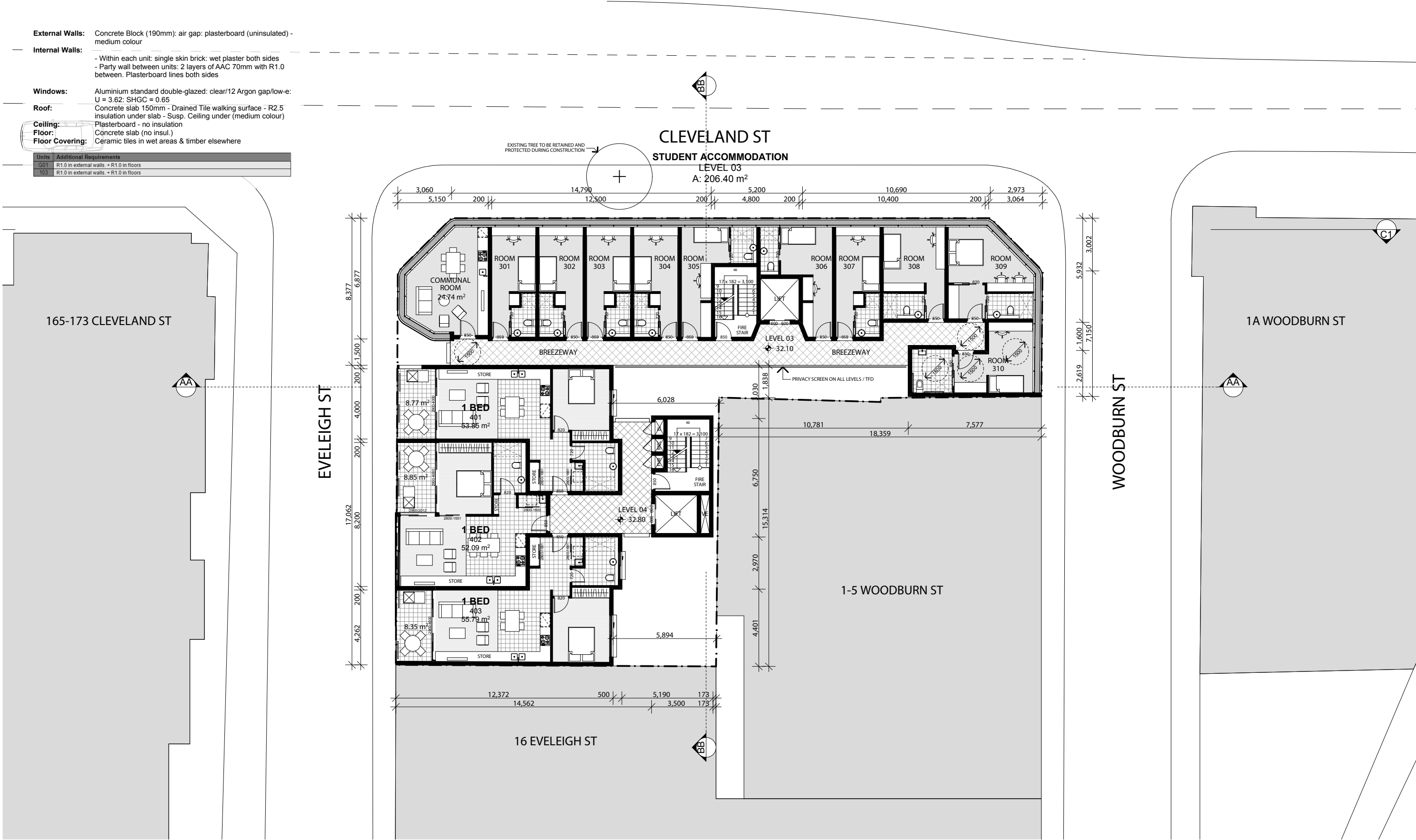
Roof: Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)

Ceiling: Plasterboard - no insulation

Floor: Concrete slab (no insul.)

Floor Covering: Ceramic tiles in wet areas & timber elsewhere

Units	Additional Requirements
G01	R1.0 in external walls + R1.0 in floors
103	R1.0 in external walls + R1.0 in floors



LEVEL 03 @ 1:200

SCALE 1:200



FOR DA PURPOSES ONLY
NOT FOR CONSTRUCTION

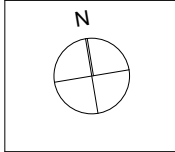
DA

Drawing Original Size A3

B 03/10/14 FURTHER COMMENTS
A 26/05/14 FOR DA

Issue Date Description

© COPYRIGHT
DO NOT SCALE DWGS. USE DIMENSIONS ONLY. REFER ANY DISCREPANCIES TO ARCHITECT PRIOR TO CONSTRUCTION.
THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.



ACCESS:
ACCESS SOLUTIONS
a: PO Box 262, Hamilton NSW 2303
m: 0411 824 183

HERITAGE:
GBA - GRAHAM BROOKS
a: Studio 5, 71 York St, Sydney NSW 2000
w: www.gbaheritage.com
t: +61 2 9299 8600

TRAFFIC:
TRAFFIX
a: suites 3,105-466 macleay street potts point nsw 1505
t: +61 2 8324 8700

LANDSCAPE ARCHITECT:
HABITATION
a: Studio 5, 1, 2 Hill St, Surry Hills 2010
w: www.habitat.com.au
t: +61 2 9332 3601

ACOUSTIC:
ACOUSTIC LOGIC
a: Suite 3, 105-466 macleay street potts point nsw 1505
t: +61 2 8324 8700

GEOTECHNICAL:
GEOTECHNICAL
a: Studio 5, 1, 2 Hill St, Surry Hills 2010
w: www.geotechnical.com.au
t: +61 2 9332 3601

HYDRAULIC:
SGCE
a: Suite 3, 105-466 macleay street potts point nsw 1505
t: +61 2 8324 8700

BASIC:
STS
a: Studio 5, 1, 2 Hill St, Surry Hills 2010
w: www.sts.com.au
t: +61 2 9332 3601

BCA:
VIC LILLI & PARTNERS
a: Suite 3, 105-466 macleay street potts point nsw 1505
t: +61 2 8324 8700

QUANTITY SURVEY:
MMDC
a: Suite 5, 1, 2 Hill St, Surry Hills 2010
w: www.mmdc.com.au
t: +61 2 9332 3601

PLANNING:
SUTHERLAND&ASSOCIATES
a: Suite 3, 105-466 macleay street potts point nsw 1505
t: +61 2 8324 8700

URBAN DESIGN:
HARRY MARGALIT
a: Suite 3, 105-466 macleay street potts point nsw 1505
t: +61 2 8324 8700

ARCHITECT:
GHAZI AL ALI ARCHITECT
a: Suite 3, 105-466 macleay street potts point nsw 1505
t: +61 2 8324 8700

PROJECT:
175-177 CLEVELAND ST

CLIENT:
HIGH QUALITY BUILDING PTY LTD

SCALE:
1:200

DATE:
8/10/2014

CAD FILE NUMBER:
175-177 CLEVELAND ST

DRAWN BY:
JU

CHECKED 1:
GA

CHECKED 2:
GA

APPROVED:
GA

DRAWING NAME
LEVEL 03

DRAWING NUMBER
DA

PROJECT NUMBER
A1205

ISSUE
B

External Walls: Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

Internal Walls:

- Within each unit: single skin brick; wet plaster both sides
- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides

Windows: Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65

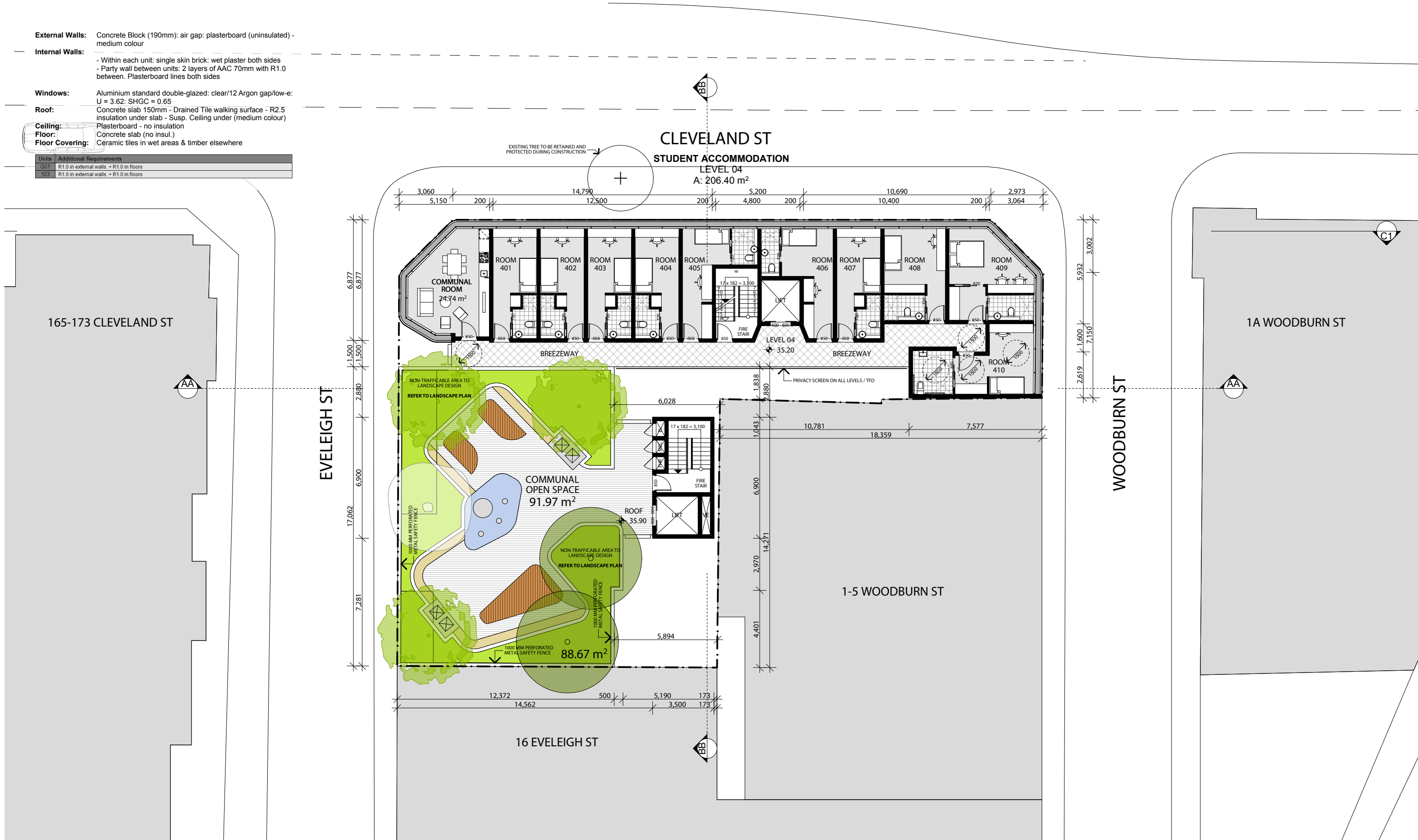
Roof: Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)

Ceiling: Plasterboard - no insulation

Floor: Concrete slab (no insul.)

Floor Covering: Ceramic tiles in wet areas & timber elsewhere

Units	Additional Requirements
G01	R1.0 in external walls + R1.0 in floors
103	R1.0 in external walls + R1.0 in floors



SCALE 1:200

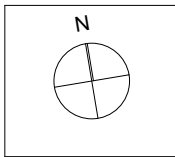


FOR DA PURPOSES ONLY NOT FOR CONSTRUCTION
DA

Drawing Original Size A3

Issue	Date	Description
B	03/10/14	FURTHER COMMENTS
A	26/05/14	FOR DA

© COPYRIGHT
DO NOT SCALE DWGS. USE DIMENSIONS ONLY. REFER ANY DISCREPANCIES TO ARCHITECT PRIOR TO CONSTRUCTION.
THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.



ACCESS:
ACCESS SOLUTIONS
a: PO Box 262, Hamilton NSW 2303
m: 0411 824 183

HERITAGE:
GBA - GRAHAM BROOKS
a: Level 2, 71 York St, Sydney NSW 2000
w: www.gbaheritage.com
t: +61 2 9299 8600

TRAFFIC:
TRAFFIX
a: suites 3.05-466 macleay street potts point nsw 1555
m: 0411 824 183
t: +61 2 8324 8700

LANDSCAPE ARCHITECT:
HABITATION
a: Studio 5.1, 2 Hill St, Surry Hills 2010
w: www.habitat.com.au
t: +61 2 9332 3601

ACOUSTIC:
ACOUSTIC LOGIC
a: Suite 1.05-466 macleay street potts point nsw 1555
m: 0411 824 183
t: +61 2 8324 8700

GEOTECHNICAL:
GEOTECHNICAL
a: 82 Bridge St, Lane Cove, NSW 2066
m: 0411 824 183
t: +61 2 8324 8700

HYDRAULIC:
SGCE
a: Suite 1.05-466 macleay street potts point nsw 1555
m: 0411 824 183
t: +61 2 8324 8700

STIS:
STIS
a: Suite 1.05-466 macleay street potts point nsw 1555
m: 0411 824 183
t: +61 2 8324 8700

BCA:
VIC LILLI & PARTNERS
a: Suite 1.05-466 macleay street potts point nsw 1555
m: 0411 824 183
t: +61 2 8324 8700

QUANTITY SURVEY:
MMDC
a: Suite 5.1, 2 Hill St, Surry Hills 2010
m: 0411 824 183
t: +61 2 8324 8700

PLANNING:
SUTHERLAND&ASSOCIATES
a: Suite 1.05-466 macleay street potts point nsw 1555
m: 0411 824 183
t: +61 2 8324 8700

URBAN DESIGN:
HARRY MARGALIT
a: Suite 1.05-466 macleay street potts point nsw 1555
m: 0411 824 183
t: +61 2 8324 8700

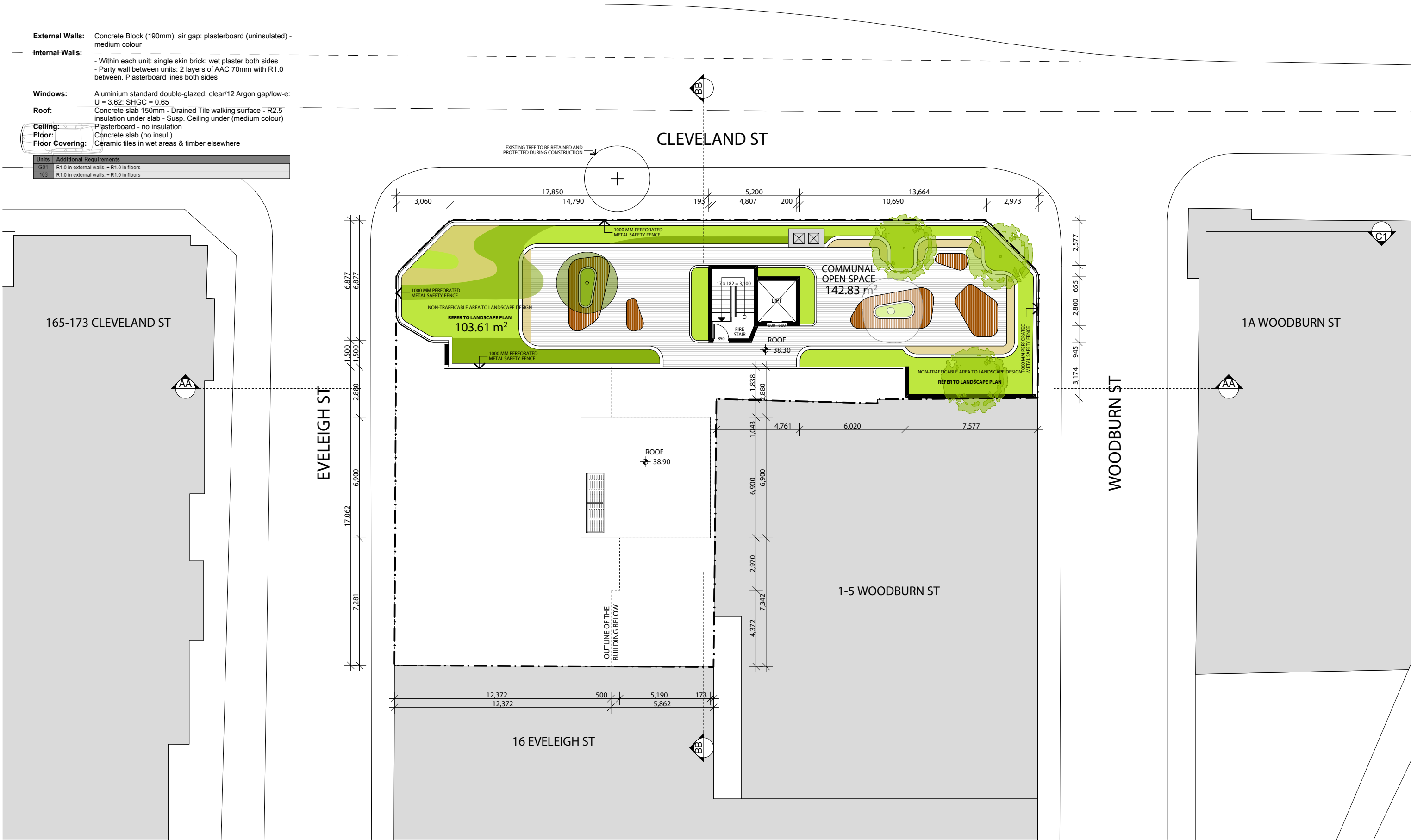
ARCHITECT:
GHAZI AL ALI ARCHITECT
a: Suite 1.05-466 macleay street potts point nsw 1555
m: 0411 824 183
t: +61 2 8324 8700

PROJECT: 175-177 CLEVELAND ST			
CLIENT: HIGH QUALITY BUILDING PTY LTD			
SCALE: 1:200	DATE: 8/10/2014	CAD FILE NUMBER:	
DRAWN BY: JU	CHECKED 1: GA	CHECKED 2:	APPROVED:

DRAWING NAME LEVEL 04		PROJECT NUMBER 24.13
DRAWING NUMBER DA	PROJECT NUMBER A1206	ISSUE B

- External Walls:** Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour
- Internal Walls:**
- Within each unit: single skin brick: wet plaster both sides
 - Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides
- Windows:** Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65
- Roof:** Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)
- Ceiling:** Plasterboard - no insulation
- Floor:** Concrete slab (no insul.)
- Floor Covering:** Ceramic tiles in wet areas & timber elsewhere

Units	Additional Requirements
G01	R1.0 in external walls + R1.0 in floors
103	R1.0 in external walls + R1.0 in floors



ROOF GARDEN @ 1:200

SCALE 1:200



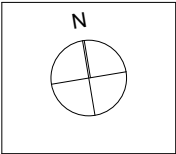
FOR DA PURPOSES ONLY
NOT FOR CONSTRUCTION

DA

Drawing Original Size A3

Issue	Date	Description
B	03/10/14	FURTHER COMMENTS
A	26/05/14	FOR DA

© COPYRIGHT
DO NOT SCALE DWGS. USE DIMENSIONS ONLY. REFER ANY DISCREPANCIES TO ARCHITECT PRIOR TO CONSTRUCTION.
THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.



ACCESS:
ACCESS SOLUTIONS
a: PO Box 262, Hamilton NSW 2303
m: 0411 824 183

HERITAGE:
GBA - GRAHAM BROOKS
a: Level 2, 71 York St, Sydney NSW 2000
w: www.gbaheritage.com
t: +61 2 9299 8600

TRAFFIC:
TRAFFIX
a: suites 3/05-4/06 macleay street potts point nsw 2011 | PO Box 1061 potts point nsw 1555
t: +61 2 8324 8700

LANDSCAPE ARCHITECT:
HABITATION
a: Studio 5.1, 2 Hill St, SURRY HILLS 2010
w: www.360.net.au
t: +61 2 9332 3601

ACOUSTIC:
ACOUSTIC LOGIC
a: 2 South St, Mascot NSW 2020
t: 8339 8009
e: bella@acousticlogic.com.au
w: www.acousticlogic.com.au

GEOTECHNICAL:
GEOTECHNICAL
a: Studio 5.1, 2 Hill St, SURRY HILLS 2010
w: www.360.net.au
t: +61 2 9332 3601

HYDRAULIC:
SGCE
a: Suite 4/111 Level 1, 20 Lexington Drive, Bella Vista NSW 2153
t: 02 9715 9555
e: a.jebb@vicill.com.au

BASIX:
STS
a: 82 Bridge St, Lane Cove, NSW 2066
m: 0431 680 980
e: stephen@geoenvironmental.com.au
w: www.geoenvironmental.com.au

BCA:
VIC LILLI & PARTNERS
a: Suite 7/117 Glen St, Burwood NSW 2134
t: 02 9715 9555
e: a.jebb@vicill.com.au

QUANTITY SURVEY:
MMDC
a: Suite 5/101 George St, Parramatta NSW 2150
w: www.mmdcc.com.au
t: +61 2 9633 9233

PLANNING:
SUTHERLAND&ASSOCIATES
a: 06/10/14
m: 0410 452 371
t: 02 9715 9555
e: harym@optusnet.com.au

URBAN DESIGN:
HARRY MARGALIT
e: harym@optusnet.com.au

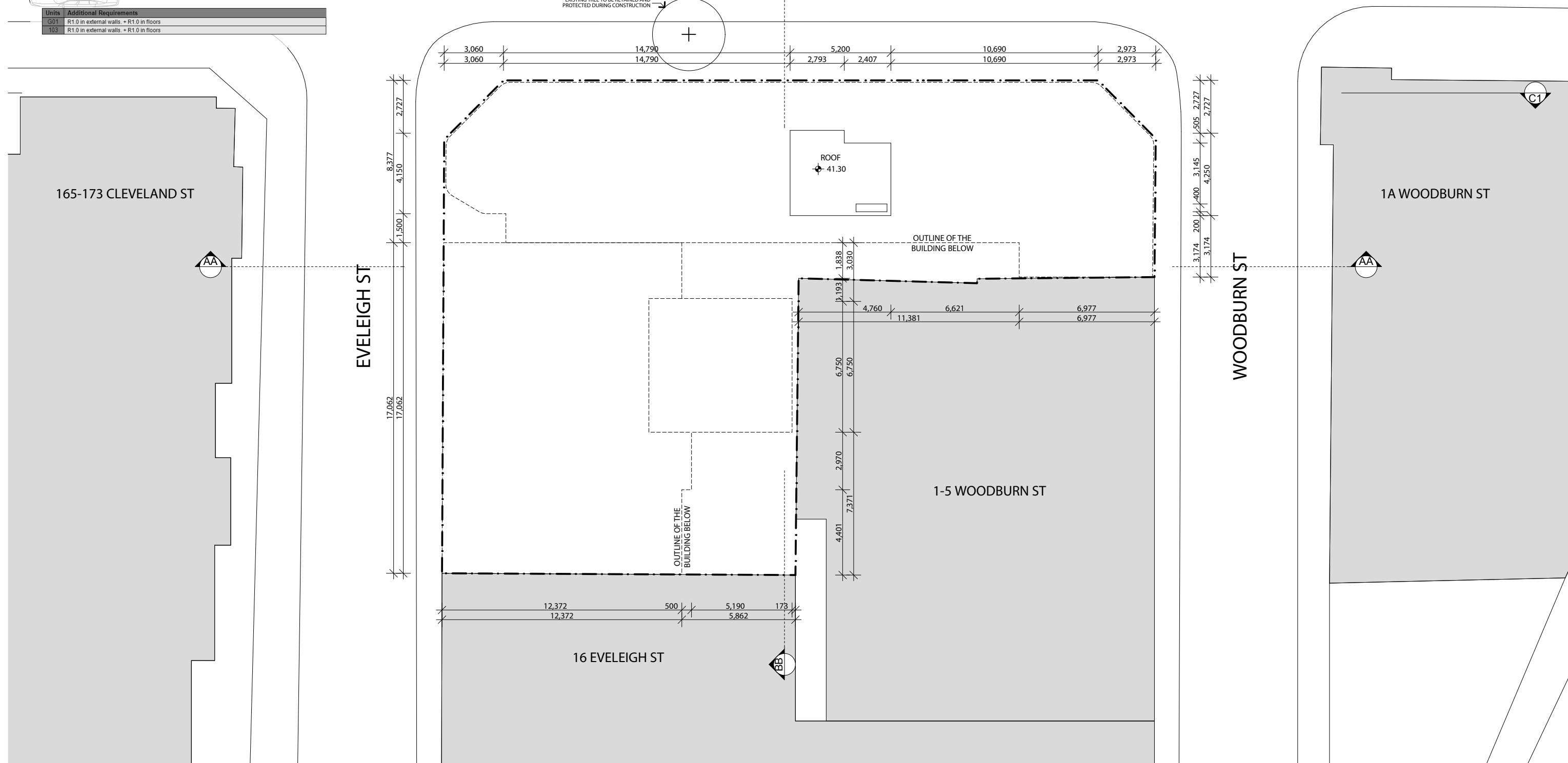
ARCHITECT:
GHAZI AL ALI ARCHITECT
T: +612 8065 1544 | E: office@ghazia.com
ACN: 67167131848
UNIT 2H, 9-13 REDMYRE RD, STRATHFIELD, NSW 2135

PROJECT: 175-177 CLEVELAND ST			
CLIENT: HIGH QUALITY BUILDING PTY LTD			
SCALE: 1:200	DATE: 8/10/2014	CAD FILE NUMBER:	
DRAWN BY: JU	CHECKED 1: GA	CHECKED 2:	APPROVED:

DRAWING NAME ROOF GARDEN		PROJECT NUMBER 24.13
DRAWING NUMBER DA	A1207	
ISSUE B		

Floor Covering: Ceramic tiles in wet areas & timber elsewhere

Units	Additional Requirements
G01	R1.0 in external walls + R1.0 in floors
103	R1.0 in external walls + R1.0 in floors



SCALE 1:200



FOR DA
PURPOSES ONLY
NOT FOR
CONSTRUCTION
DA

Drawing Original Size A3

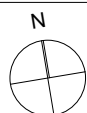
	02/10/14	FURTHER COMMENTS
B		
A	26/05/14	FOR DA

Issue	Date	Description
-------	------	-------------

© COPYRIGHT

DO NOT SCALE DWGS. USE
DIMENSIONS ONLY. REFER
ANY DISCREPANCIES TO
ARCHITECT PRIOR TO
CONSTRUCTION.

THESE DRAWINGS ARE
SUBJECT TO COPYRIGHT.



ACCESS:
ACCESS SOLUTIONS
a: PO Box 282, Hamilton NSW 2303
m: 0411 824 183

HERITAGE:
GBA - GRAHAM BROOKS
a: Level 2, 71 York St, Sydney NSW 2000
w: www.gbaheritage.com
t: +61 2 9299 8600

TRAFFIC:
TRAFFIX
a: suite 3.08 46a macleay street potts point nsw 1011
nsw 2011 | PO Box 1061 potts point nsw 1035
t: +61 2 8324 8700

LANDSCAPE ARCHITECT:
HABITATION
a: Studio 5.1, 2 HILL ST, SURRY HILLS 2010
w: www.360.net.au
t: +61 2 9332 3601

ACOUSTIC:
ACOUSTIC LOGIC
a: 9 Sarah St Mascot NSW 2020
t: 8339 8009
e: bwhite@acousticlogic.com.au
w: www.acousticlogic.com.au

GEOTECHNICAL:
GEOENVIRONMENTAL
a: 82 Bridge St, Lane Cove, NSW
m: 0431 480 980
e: stephen@gеоenvironmental.com
w: www.gеоenvironmental.com

HYDRAULIC:
SGCE
a: Ste A113 Level 1, 20 Lexington Drive
Bella Vista NSW 2153
t: +61 2 8883 4239

BASIX:
STS
m: 0420 312 721
e: enquiries@sustainablethermalsolutions.com.au

BCA:
VIC LILLI & PARTNERS
a: Suite 7, 1-17 Elsie St, Burwood NSW 213
t: 02 9715 9555
e: aleks@viclilli.com.au

QUANTITY SURVEY:
MMDCC
a: SUITE 5 / 101 GEORGE ST,
PARRAMATTA NSW 2150
w: www.mmdcc.com.au
t: +61 2 9633 9233

PLANNING:
SUTHERLAND&ASSOCIATES
PLANNING
m: 0410 452 371
t: 9894 2474
w: www.sutherlandplanning.com.au

URBAN DESIGN:
HARRY MARGALIT
e: harrym@optusnet.com.au

ARCHITECT:



GHAZI AL ALI
ARCHITECTS
PTY LTD

T. +612 8065 1544 | E. office@ghazia.com
ACN: 67167131848

UNIT 2H,
9-13 REDMYRE RD, STRATHFIELD, NSW 2135

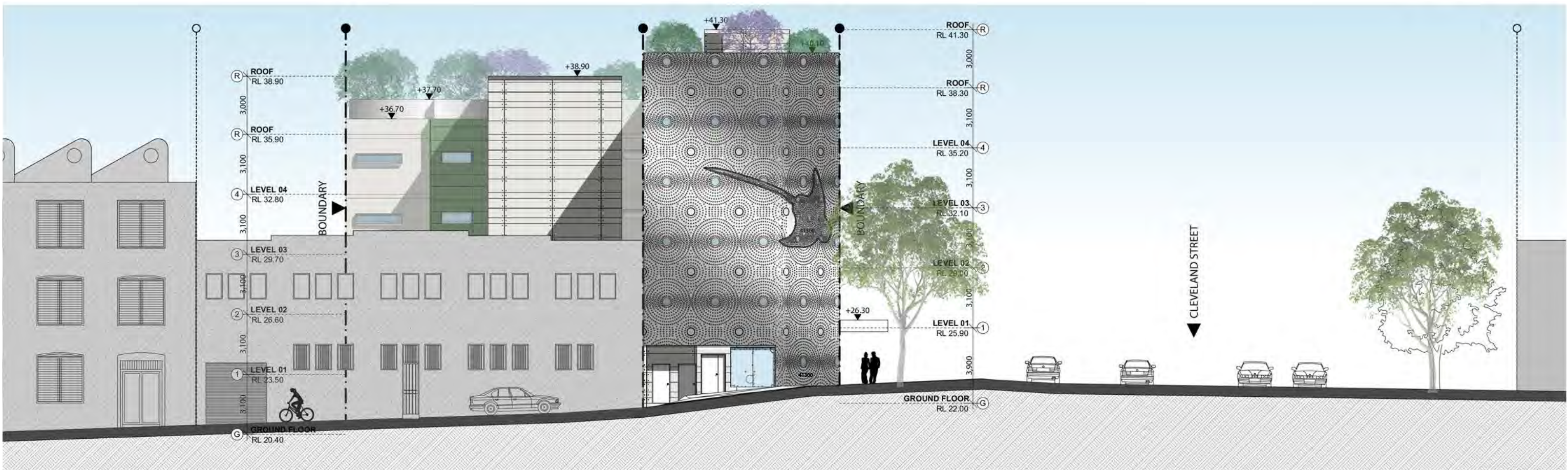
PROJECT:			
175-177 CLEVELAND ST			
CLIENT:			
HIGH QUALITY BUILDING PTY LTD			
SCALE:	DATE:		CAD FILE NUMBER:
1:200	8/10/2014		
DRAWN BY:	CHECKED 1:	CHECKED 2:	APPROVED:
JU	GA		

DRAWING NAME
ROOF PLAN

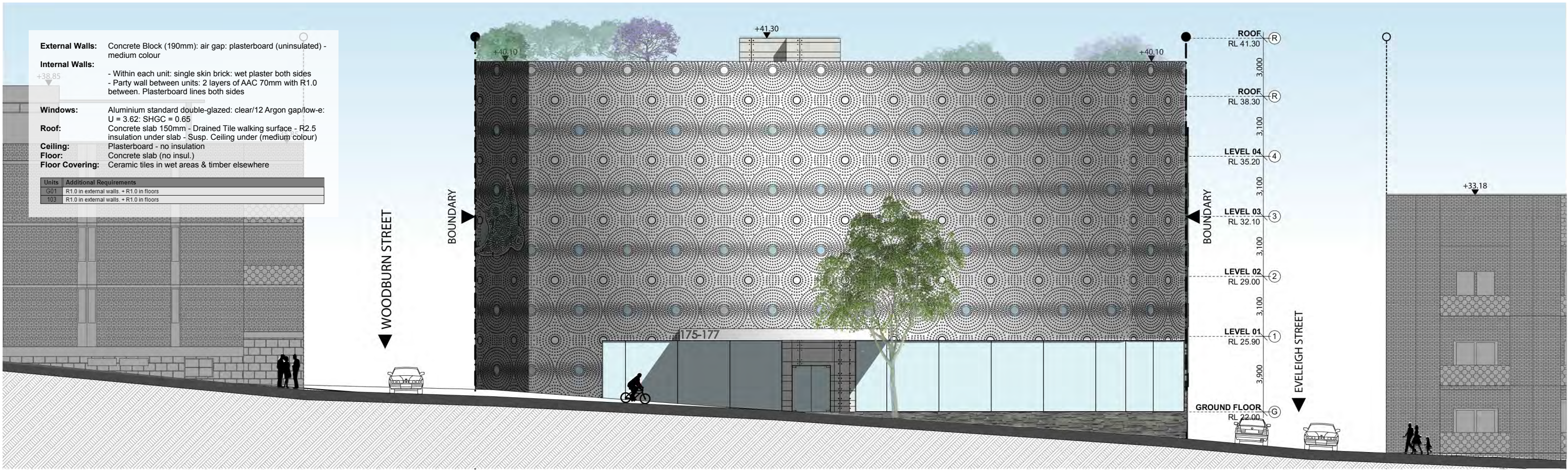
DRAWING NUMBER

DA

PROJECT NUMBER	24.13
ISSUE	B



FOR DA PURPOSES ONLY NOT FOR CONSTRUCTION DA	Drawing Original Size A3	B 03/10/14 FURTHER COMMENTS A 26/05/14 FOR DA	Description Issue Date	© COPYRIGHT DO NOT SCALE DWGS. USE DIMENSIONS ONLY. REFER ANY DISCREPANCIES TO ARCHITECT PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.		ACCESS: ACCESS SOLUTIONS a: PO Box 262, Hamilton NSW 2303 m: 0411 824 183	TRAFFIC: TRAFFIX a: suites 3/05-4/06 macleay street potts point nsw 1555 m: 0411 824 183 t: +61 2 8324 8700	ACOUSTIC: ACOUSTIC LOGIC a: 2-5 South St, Macquarie NSW 2100 t: 8339 8009 e: bella@acousticlogic.com.au w: www.acousticlogic.com.au	HYDRAULIC: SGCE a: Suite 1/117 Bion St, Burwood NSW 2134 t: 02 9715 9555 e: abelo@vicill.com.au	BCA: VIC LILLI & PARTNERS a: Suite 5/101 George St, Parramatta NSW 2150 t: 02 9694 2474 w: www.vicill.com.au	PLANNING: SUTHERLAND&ASSOCIATES a: Level 2, 71 York St, Sydney NSW 2000 m: 0411 824 183 t: +61 2 9299 8600	ARCHITECT: GHAZI AL ALI ARCHITECT T: +612 8065 1544 E: office@ghazia.com ACN: 67167131848 UNIT 2/4, 9-13 REDMYRE RD, STRATHFIELD, NSW 2135	PROJECT: 175-177 CLEVELAND ST CLIENT: HIGH QUALITY BUILDING PTY LTD SCALE: 1:200 DATE: 8/10/2014 CAD FILE NUMBER: GA	DRAWING NAME: ELEVATIONS DRAWING NUMBER: DA PROJECT NUMBER: A1500 ISSUE: B
						HERITAGE: GBA - GRAHAM BROOKS a: Level 2, 71 York St, Sydney NSW 2000 w: www.gbaheritage.com t: +61 2 9299 8600	LANDSCAPE ARCHITECT: HABITATION a: Studio 5.1, 2 Hill St, Surry Hills 2010 w: www.habitat.com.au t: +61 2 9332 3601	GEOTECHNICAL: GEOTECHNICAL a: 82 Bridge St, Lane Cove, NSW 2066 m: 0411 600 980 e: stephen@geotechnical.com.au w: www.geotechnical.com.au	BASIC: STS m: 0420 312 721 e: enquiry@thermal.com.au thermal.com.au	QUANTITY SURVEY: MMDC a: Suite 5/101 George St, Parramatta NSW 2150 t: 02 9694 2474 w: www.mmdc.com.au t: +61 2 9633 9233	URBAN DESIGN: HARRY MARGALIT e: harym@optusnet.com.au	APPROVED: GA		



NORTH ELEVATION @ 1:200



SOUTH ELEVATION @ 1:200



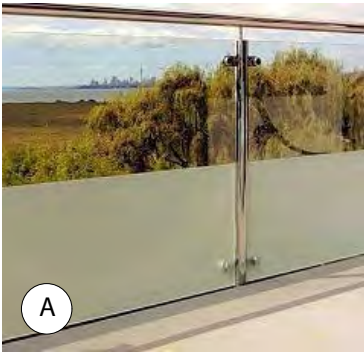
FOR DA PURPOSES ONLY NOT FOR CONSTRUCTION DA		Drawing Original Size A3		B 03/10/14 FURTHER COMMENTS A 26/05/14 FOR DA		Issue Date Description A 26/05/14 FOR DA		© COPYRIGHT DO NOT SCALE DWGS. USE DIMENSIONS ONLY. REFER ANY DISCREPANCIES TO ARCHITECT PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.		ACCESS: ACCESS SOLUTIONS a: PO Box 252, Hamilton NSW 2303 m: 0411 824 183 HERITAGE: GBA - GRAHAM BROOKS a: Level 2, 71 York St, Sydney NSW 2000 w: www.gbaheritage.com t: +61 2 9299 8600		TRAFFIC: TRAFFIX a: Suite 3, 105-106 Macleay Street, Potts Point NSW 2011 PO Box 1061 Potts Point NSW 1555 t: +61 2 8324 8700 LANDSCAPE ARCHITECT: HABITATION a: Studio 5, 1, 2 Hill St, Surry Hills NSW 2010 w: www.habitat.com.au t: +61 2 9332 3601		ACOUSTIC: ACOUSTIC LOGIC a: 2/3 South St, Mascot NSW 2020 t: 8339 8809 e: bella@acousticlogic.com.au w: www.acousticlogic.com.au GEOTECHNICAL: GEOENVIRONMENTAL a: 82 Bridge St, Lane Cove NSW 2066 m: 0411 680 980 e: stephen@geoenvironmental.com.au w: www.geoenvironmental.com.au		HYDRAULIC: SGCE a: Suite 7, 117 Glen St, Burwood NSW 2134 t: 02 9715 9555 e: jake@vicilli.com.au w: www.vicilli.com.au BASIX: STS a: 0420 312 721 e: enquiry@thermal-solutions.com.au w: www.thermal-solutions.com.au		BCA: VIC LILLI & PARTNERS a: Suite 7, 117 Glen St, Burwood NSW 2134 t: 02 9715 9555 e: jake@vicilli.com.au w: www.vicilli.com.au QUANTITY SURVEY: MMDC a: Suite 5, 101 George St, Parramatta NSW 2150 w: www.mmcc.com.au t: +61 2 9633 9233		PLANNING: SUTHERLAND & ASSOCIATES a: 10/11 Level 1, 20 Lexington Drive, Bella Vista NSW 2153 t: 02 9715 9555 e: harym@optusnet.com.au w: www.sutherlandplanning.com.au URBAN DESIGN: HARRY MARGALIT e: harym@optusnet.com.au		ARCHITECT: GHAZI AL ALI ARCHITECT T: +612 8065 1544 E: office@ghazia.com ACN: 67167131848 UNIT 2H, 9-13 REDMYRE RD, STRATHFIELD, NSW 2135		PROJECT: 175-177 CLEVELAND ST CLIENT: HIGH QUALITY BUILDING PTY LTD SCALE: 1:200 DATE: 8/10/2014 CAD FILE NUMBER: CHECKED 1: GA CHECKED 2: APPROVED:		DRAWING NAME: ELEVATIONS DRAWING NUMBER: DA PROJECT NUMBER: 24.13 ISSUE: B	
---	--	------------------------------------	--	--	--	---	--	--	--	---	--	--	--	--	--	---	--	---	--	--	--	--	--	---	--	--	--



WEST ELEVATION @ 1:200



EAST ELEVATION @ 1:200



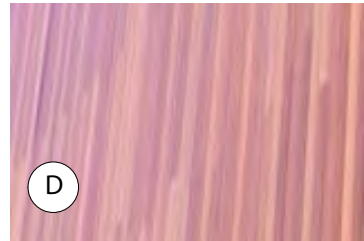
1.0 M HIGH FRAME-LESS GLASS BALUSTRADE WITH 500MM OPAQUE GLASS AND TIMBER HANDRAIL TFD



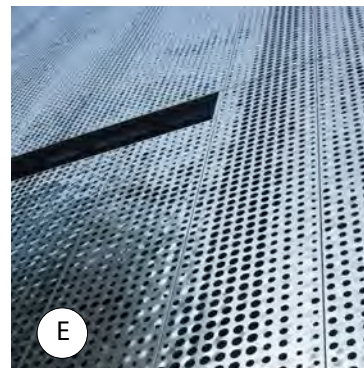
ALUMINIUM FRAME SLIDING DOORS AND SLIDING WINDOWS WITH DOUBLE GLAZED PILKINGTON LOW 'E' GLASS



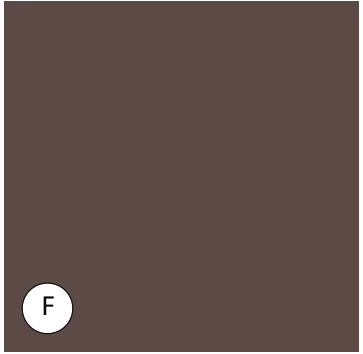
LANDSCAPING - REFER TO LANDSCAPE ARCHITECT'S PLAN



COMPOSITE TIMBER CLADDING



ANODISED ALUMINIUM SCREEN WITH DETAILED LASER CUT-OUTS IN PANELS 2500x3100 MM.



OPERABLE ALUMINIUM LOUVERS POWDER COATED - DULUX - ELECTRO BURNISHED COPPER



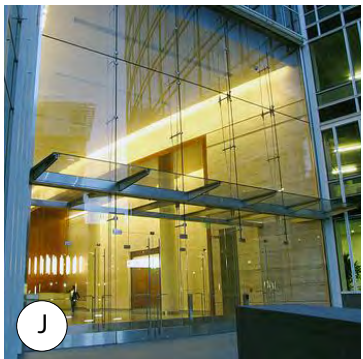
POLISHED CONCRETE PANELS CAST ON SITE TFD



NATURAL STACK STONE GREY FINISH TFD



ZINC INTERLOCKING CLADDING PANNELS 600x2000MM (VMZINC) - PIGMENTO - LICHEN GREEN



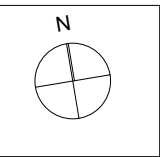
DOUBLE GLAZED LOW E GLASS CURTAIN WALL



FOR DA PURPOSES ONLY
NOT FOR CONSTRUCTION
DA

Issue	Date	Description
B	03/10/14	FURTHER COMMENTS
A	20/05/14	FOR DA

© COPYRIGHT
DO NOT SCALE DWGS. USE DIMENSIONS ONLY. REFER ANY DISCREPANCIES TO ARCHITECT PRIOR TO CONSTRUCTION.
THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.



ACCESS:
ACCESS SOLUTIONS
a: PO Box 262, Hamilton NSW 2303
m: 0411 824 183

HERITAGE:
GBA - GRAHAM BROOKS
a: Level 2, 71 York St, Sydney NSW 2000
w: www.gbaheritage.com
t: +61 2 9299 8600

TRAFFIC:
TRAFFIX
a: Suite 3, 105-106 Macleay Street, Potts Point NSW 2011 | PO Box 1061 Potts Point NSW 1555
t: +61 2 8324 8700

LANDSCAPE ARCHITECT:
HABITATION
a: Studio 5.1, 2 Hill St, Surry Hills NSW 2010
w: www.habitat.com.au
t: +61 2 9332 3601

ACOUSTIC:
ACOUSTIC LOGIC
a: Suite 3, 105-106 Macleay Street, Potts Point NSW 2011 | PO Box 1061 Potts Point NSW 1555
t: +61 2 8324 8700

ACOUSTIC LOGIC
a: Suite 3, 105-106 Macleay Street, Potts Point NSW 2011 | PO Box 1061 Potts Point NSW 1555
t: +61 2 8324 8700

HYDRAULIC:
SGCE
a: Suite 1, 117 Glen St, Burwood NSW 2134
t: +61 2 8863 4235

BASIC:
STS
a: 82 Bridge St, Lane Cove, NSW 2066
e: stephen@geoenvironmental.com.au
t: +61 2 9332 3601

BCA:
VIC LILLI & PARTNERS
a: Suite 5, 101 George St, Parramatta NSW 2150
t: +61 2 9633 9233

QUANTITY SURVEY:
MMDC
a: Suite 5, 101 George St, Parramatta NSW 2150
t: +61 2 9633 9233

PLANNING:
SUTHERLAND & ASSOCIATES
a: Suite 1, 117 Glen St, Burwood NSW 2134
t: +61 2 8863 4235

URBAN DESIGN:
HARRY MARGALIT
e: harym@optusnet.com.au

ARCHITECT:
GHAZI AL ALI ARCHITECT
T: +612 8065 1544 | E: office@ghazia.com
ACN: 67167131848
9-13 REDMYRE RD, STRATHFIELD, NSW 2135

PROJECT: 175-177 CLEVELAND ST			
CLIENT: HIGH QUALITY BUILDING PTY LTD			
SCALE: 1:200	DATE: 03/06/2014	CAD FILE NUMBER:	
DRAWN BY: JU	CHECKED 1: GA	CHECKED 2:	APPROVED:

DRAWING NAME: MATERIAL SCHEDULE		PROJECT NUMBER: 24.13
DRAWING NUMBER: DA	PROJECT NUMBER: A1600	ISSUE: B

External Walls: Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

Internal Walls:

- Within each unit: single skin brick; wet plaster both sides
- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides

Windows: Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65

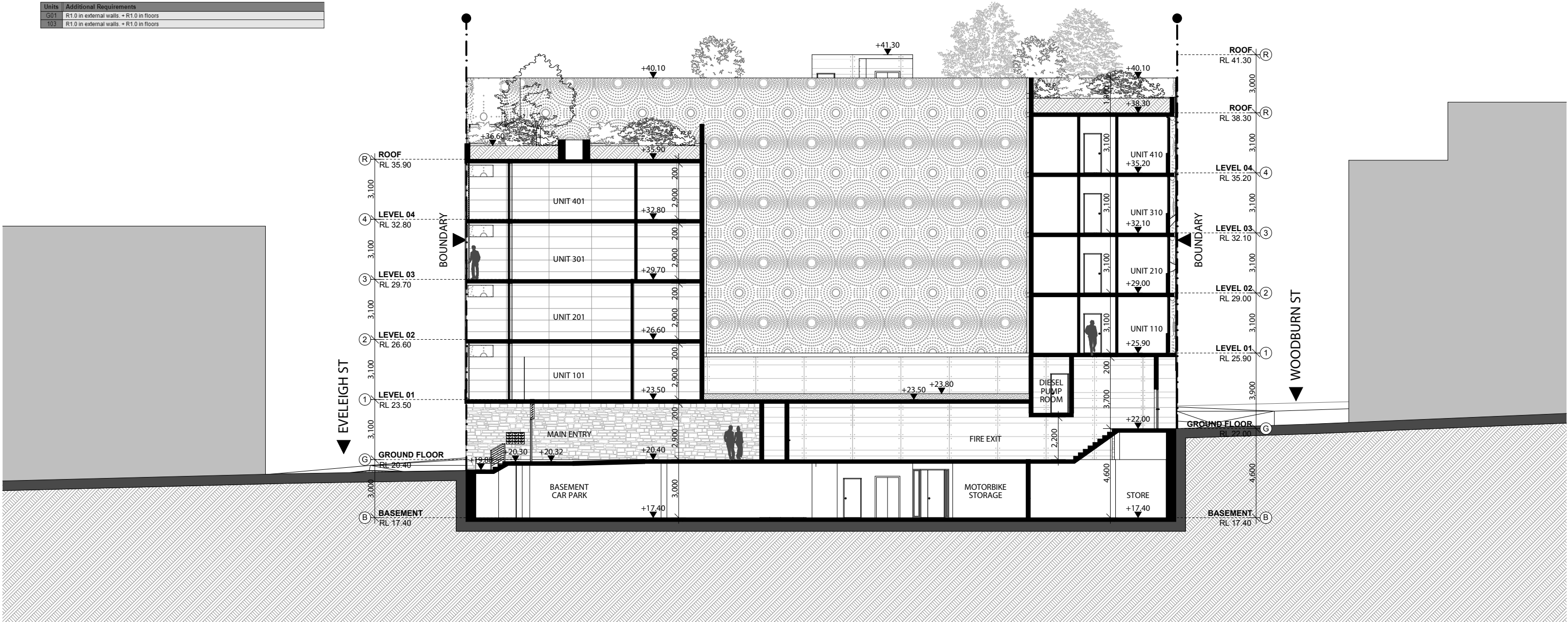
Roof: Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)

Ceiling: Plasterboard - no insulation

Floor: Concrete slab (no insul.)

Floor Covering: Ceramic tiles in wet areas & timber elsewhere

Units	Additional Requirements
G01	R1.0 in external walls + R1.0 in floors
103	R1.0 in external walls + R1.0 in floors



SECTION AA @ 1:200

SCALE 1:200



FOR DA PURPOSES ONLY
NOT FOR CONSTRUCTION

DA

Drawing Original Size
A3

B 03/10/14 FURTHER COMMENTS

A 26/05/14 FOR DA

Issue

Date

Description

© COPYRIGHT

DO NOT SCALE DWGS. USE DIMENSIONS ONLY. REFER ANY DISCREPANCIES TO ARCHITECT PRIOR TO CONSTRUCTION.

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.

N

ACCESS:

ACCESS SOLUTIONS
a: PO Box 262, Hamilton NSW 2303
m: 0411 824 183

HERITAGE:

GBA - GRAHAM BROOKS
a: Level 2, 71 York St, Sydney NSW 2000
w: www.gbaheritage.com
t: +61 2 9299 8600

TRAFFIC:

TRAFFIX
a: suites 3,05-466 macleay street potts point nsw 2011 | PO Box 1061 potts point nsw 1555
t: +61 2 8324 8700

LANDSCAPE ARCHITECT:

HABITATION
a: Studio 5.1, 2 Hill St, SURRY HILLS 2010
w: www.360.net.au
t: +61 2 9332 3601

ACOUSTIC:

ACOUSTIC LOGIC
a: 2 South St, Mascot NSW 2020
t: 8339 8009
e: bella@acousticlogic.com.au
w: www.acousticlogic.com.au

GEOTECHNICAL:

GEOTECHNICAL
a: 82 Bridge St, Lane Cove, NSW 2066
m: 0411 600 980
e: stephen@geoenvironmental.com.au
w: www.geoenvironmental.com.au

HYDRAULIC:

SGCE
a: Site A113 Level 1, 20 Lexington Drive, Bella Vista NSW 2153
t: 02 9715 9555
e: bella@sgce.com.au
w: www.sutherlandplanning.com.au

BASIX:

STS
a: 0420 312 721
e: enquiry@sustainablethermal.com.au

BCA:

VIC LILLI & PARTNERS
a: Suite 7, 117 Glen St, Burwood NSW 2134
t: 02 9715 9555
e: bella@viclilli.com.au

QUANTITY SURVEY:

MMDC
a: Suite 5 / 101 GEORGE ST, PARRAMATTA NSW 2150
w: www.mmdcc.com.au
t: +61 2 9633 9233

PLANNING:

SUTHERLAND&ASSOCIATES
a: 0410 452 371
t: 02 9694 2474
w: www.sutherlandplanning.com.au

URBAN DESIGN:

HARRY MARGALIT
e: harym@optusnet.com.au

ARCHITECT:

GHAZI AL ALI ARCHITECT
T: +612 8065 1544 | E: office@ghazia.com
ACN: 67167131848
UNIT 2H,
9-13 REDMYRE RD, STRATHFIELD, NSW 2135

PROJECT:

175-177 CLEVELAND ST

CLIENT:

HIGH QUALITY BUILDING PTY LTD

SCALE:

1:200

DATE:

8/10/2014

CAD FILE NUMBER:

DRAWN BY:

JU

CHECKED 1:

GA

CHECKED 2:

APPROVED:

DRAWING NAME

SECTION AA

DRAWING NUMBER

DA

PROJECT NUMBER

24.13

ISSUE

B

External Walls: Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

Internal Walls:

- Within each unit: single skin brick; wet plaster both sides
- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides

Windows: Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65

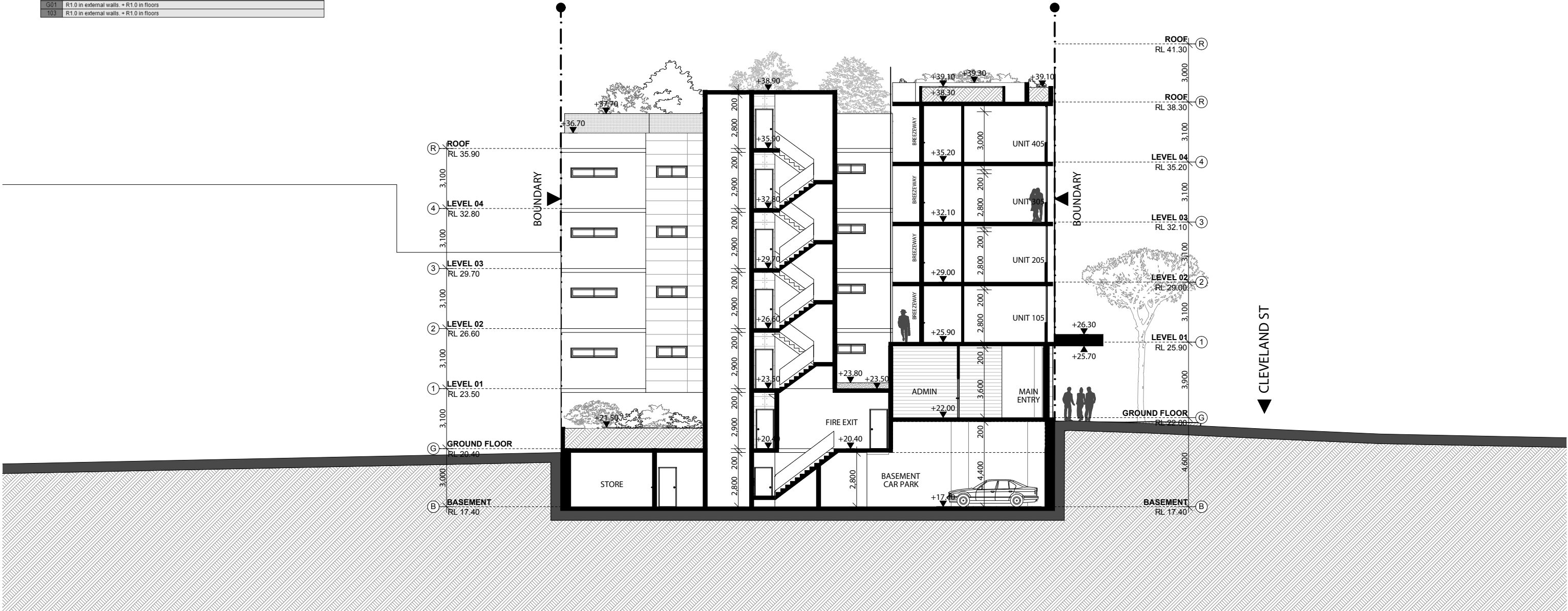
Roof: Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)

Ceiling: Plasterboard - no insulation

Floor: Concrete slab (no insul.)

Floor Covering: Ceramic tiles in wet areas & timber elsewhere

Units	Additional Requirements
G01	R1.0 in external walls + R1.0 in floors
103	R1.0 in external walls + R1.0 in floors



SECTION BB @ 1:200

SCALE 1:200



FOR DA PURPOSES ONLY
NOT FOR CONSTRUCTION

DA

Drawing Original Size A3

B 03/10/14 FURTHER COMMENTS

A 26/05/14 FOR DA

Issue Date Description

© COPYRIGHT

DO NOT SCALE DWGS. USE DIMENSIONS ONLY. REFER ANY DISCREPANCIES TO ARCHITECT PRIOR TO CONSTRUCTION.

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.

N

ACCESS:
ACCESS SOLUTIONS
a: PO Box 262, Hamilton NSW 2303
m: 0411 824 183

HERITAGE:
GBA - GRAHAM BROOKS
a: Level 2, 71 York St, Sydney NSW 2000
w: www.gbaheritage.com
t: +61 2 9299 8600

TRAFFIC:
TRAFFIX
a: suites 3.05-466 macleay street potts point nsw 1555
t: +61 2 8324 8700

LANDSCAPE ARCHITECT:
HABITATION
a: Studio 5.1, 2 Hill St, SURRY HILLS 2010
w: www.360.net.au
t: +61 2 9332 3601

ACOUSTIC:
ACOUSTIC LOGIC
a: 2 South St, Mascot NSW 2020
t: 8339 8009
e: bella@acousticlogic.com.au
w: www.acousticlogic.com.au

GEOTECHNICAL:
GEOENVIRONMENTAL
a: 82 Bridge St, Lane Cove, NSW 2066
m: 0411 460 980
e: stephen@geoenvironmental.com.au
w: www.geoenvironmental.com.au

HYDRAULIC:
SGCE
a: Ste A113 Level 1, 20 Lexington Drive
Bella Vista NSW 2153
t: +61 2 8863 4235

BASIX:
STS
m: 0420 312 721
e: enquiry@sustainablethermal.com.au

BCA:
VIC LILLI & PARTNERS
a: Suite 7, 117 Glen St, Burwood NSW 2134
t: 02 8715 9555
e: abelo@viclilli.com.au

QUANTITY SURVEY:
MMDCC
a: SUITE 5 / 101 GEORGE ST, PARRAMATTA NSW 2150
w: www.mmdcc.com.au
t: +61 2 9633 9233

PLANNING:
SUTHERLAND&ASSOCIATES
m: 0610 452 371
t: 9894 2474
w: www.sutherlandplanning.com.au

URBAN DESIGN:
HARRY MARGALIT
e: harym@optusnet.com.au

ARCHITECT:
GHAZI AL ALI ARCHITECT PTY LTD
T: +612 8065 1544 | E: office@ghazia.com
ACN: 67167131848
UNIT 2H,
9-13 REDMYRE RD, STRATHFIELD, NSW 2135

PROJECT:
175-177 CLEVELAND ST

CLIENT:
HIGH QUALITY BUILDING PTY LTD

SCALE:
1:200

DATE:
8/10/2014

CAD FILE NUMBER:

DRAWN BY:
JU

CHECKED 1:
GA

CHECKED 2:

APPROVED:

DRAWING NAME
SECTION BB

DRAWING NUMBER
DA

PROJECT NUMBER
A1701

ISSUE
B

PROJECT NUMBER
24.13

