

DRAWING SCHEDULE

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- A1010 SITE PLAN
- A1050 STREETScape ANALYSIS
- A1100 SURVEY PLAN
- A1101 DEMOLITION PLAN
- A1150 GFA CALCULATION
- A1151 SOLAR ACCESS STUDY
- A1152 CROSS-VENTILATION STUDY
- A1200 BASEMENT 01
- A1201 LOWER GROUND FLOOR PLAN
- A1202 GROUND FLOOR PLAN
- A1203 LEVEL 01
- A1204 LEVEL 02
- A1205 LEVEL 03
- A1206 LEVEL 04
- A1207 ROOF GARDEN
- A1208 ROOF PLAN
- A1300 SHADOW DIAGRAM 9.00 AM
- A1301 SHADOW DIAGRAM 12.00 PM
- A1302 SHADOW DIAGRAM 3.00 PM
- A1303 SHADOW DIAGRAM 3D
- A1500 ELEVATIONS
- A1501 ELEVATIONS
- A1600 MATERIAL SCHEDULE
- A1601 MATERIAL SCHEDULE
- A1700 SECTION AA
- A1701 SECTION BB
- A1800 SCREEN LAYOUT
- A1801 SCREEN LAYOUT
- A1802 SCREEN DETAIL
- A2000 PERSPECTIVES

UNIT MIX

STUDENT ACCOMMODATION: 40 ROOMS

RESIDENTIAL TOTAL: 13
1 BED: 13

FSR

SITE AREA: 645.7 SQM
TOTAL GFA PERMISSIBLE: 1937.1 SQM
PERMISSIBLE 3:1

RESIDENTIAL: 1.26:1 (815.87 SQM)
STUDENT ACCOMMODATION: 1.71:1 (1103.83 SQM)
FSR TOTAL: 2.97:1 (1919.70 SQM)

- External Walls:** Concrete Block (190mm): air gap: plasterboard (uninsulated) - medium colour
- Internal Walls:**
 - Within each unit: single skin brick: wet plaster both sides
 - Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides
- Windows:** Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62: SHGC = 0.65
- Roof:** Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)
- Ceiling:** Plasterboard - no insulation
- Floor:** Concrete slab (no insul.)
- Floor Covering:** Ceramic tiles in wet areas & timber elsewhere

Units	Additional Requirements
G01	R1.0 in external walls + R1.0 in floors
103	R1.0 in external walls + R1.0 in floors



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ACN: 67 167 131 848
UNIT 2H, 9-13 REDMYRE RD
STRATHFIELD, NSW 2135



GHAZI AL ALI
ARCHITECT

175-177 CLEVELAND ST
175-177 CLEVELAND ST, REDFERN NSW 2016



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DA

A3

Drawing Original Size

A 2400x1400 FOR DA

Issue

Date

Description

A 2400x1400 FOR DA

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9-13 REDMYRE RD, STRATHFIELD, NSW 2135

PROJECT:

175-177 CLEVELAND ST

CLIENT:

HIGH QUALITY BUILDING PTY LTD

SCALE:

1:1000

DATE:

03/06/2014

CAD FILE NUMBER:

DRAWN BY:

JU

CHECKED 1:

GA

CHECKED 2:

APPROVED:

DRAWING NAME:

SITE ANALYSIS

DRAWING NUMBER:

DA

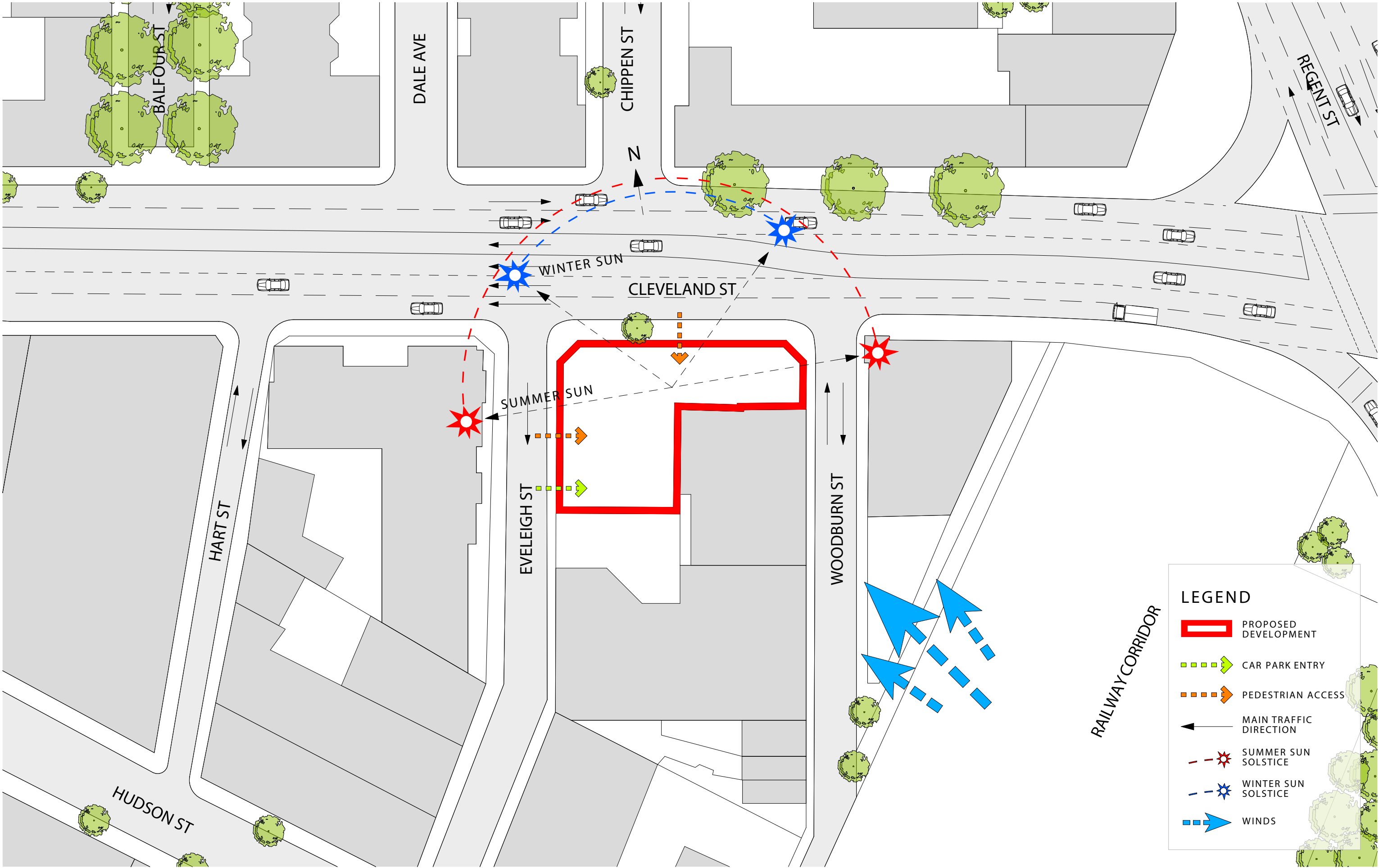
A1000

PROJECT NUMBER:

24.13

ISSUE:

A



LEGEND

PROPOSED DEVELOPMENT

CAR PARK ENTRY

PEDESTRIAN ACCESS

MAIN TRAFFIC DIRECTION

SUMMER SUN SOLSTICE

WINTER SUN SOLSTICE

WINDS

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A3

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24/06/2014

FOR DA

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PROJECT:

175-177 CLEVELAND ST

CLIENT:

HIGH QUALITY BUILDING PTY LTD

SCALE:

1:500

DATE:

03/06/2014

CAD FILE NUMBER:

DRAWN BY:

JU

CHECKED 1:

GA

CHECKED 2:

APPROVED:

DRAWING NAME

SITE PLAN

DRAWING NUMBER

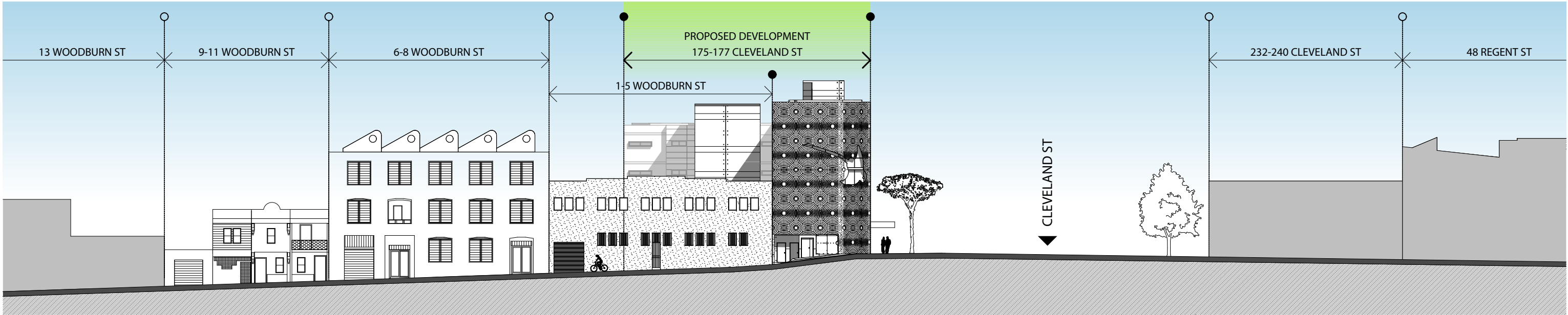
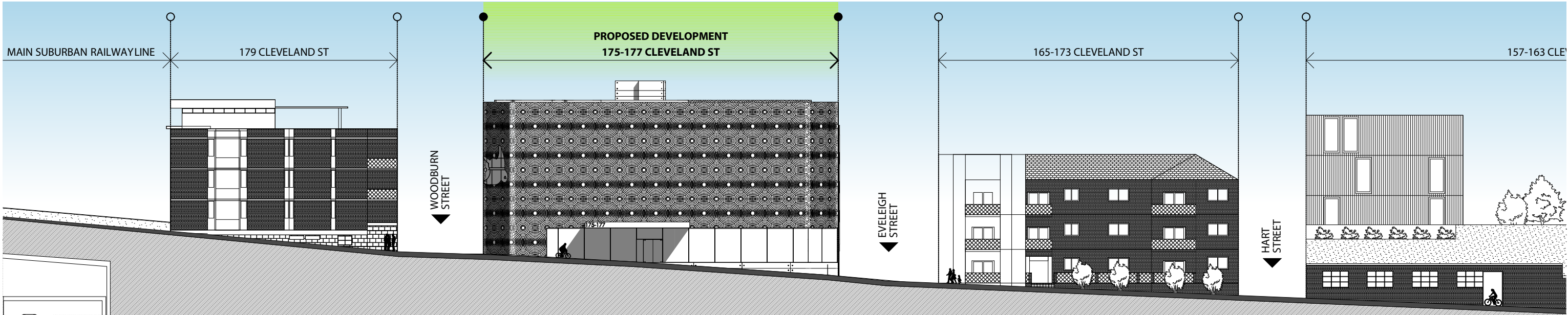
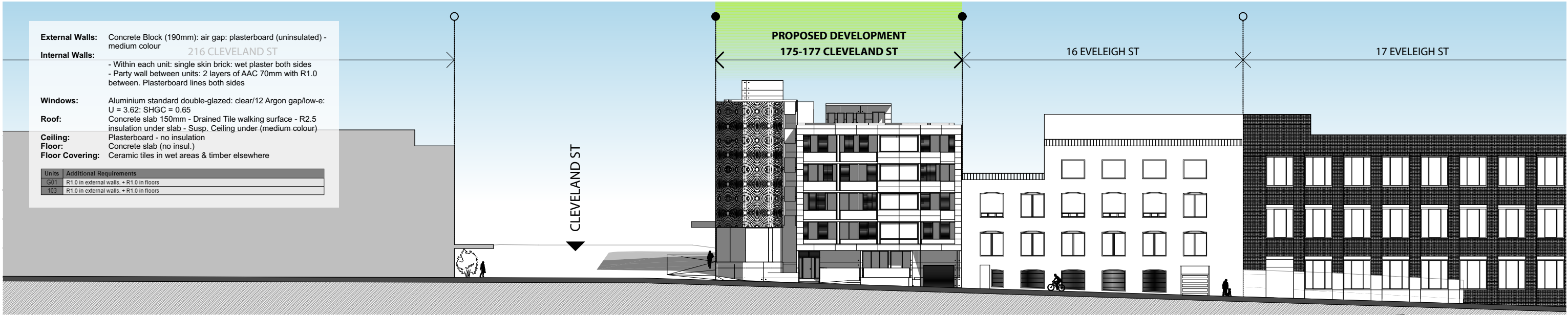
DA

PROJECT NUMBER

24.13

ISSUE

A



DP809537

STREET

EVELEIGH

STREET

WOODBURN

MULTI STOREY
BRICK UNITS
METAL ROOF
No. 165-173

BALCONY

BALCONY

MULTI STOREY
BRICK UNITS
No. 1A

LOT 1
DP 1014183

THE BOUNDARIES HAVE NEVER BEEN SURVEYED
BY THE LANDS DEPARTMENT. THE BOUNDARIES SHOWN ON THIS
PLAN HAVE BEEN CALCULATED FROM A SURVEY PLAN PROVIDED BY GAZI AL ALI.
A PLAN OF SURVEY IS RECOMMENDED BEFORE FUTURE WORK IS COMMENCED.

LOT 1
DP 121029

MULTI STOREY
BRICK UNITS
METAL ROOF
No. 6-8
RIDGE 30.37
FL 21.73

DOUBLE STOREY
BRICK UNITS
METAL ROOF
No. 1-5
RIDGE 30.42

LOT 3 & 4
DP 977379

BENCHMARK
DHW IN TOK
RL 23.03 AHD

- * **Notes:**
- * This plan has been prepared from a combination of field survey and existing records, for the purpose of updating the drawing records of the land and should not be used for any other purpose.
- * The title boundaries shown hereon have been determined by plan dimensions only and have not been verified by field measurement.
- * Services shown hereon have been located by field survey only where visible.
- * Prior to any demolition, excavation or construction on the site, the relevant authorities should be contacted for possible location of further underground services.
- * Detailed location of all services.
- * Contours have been interpolated from spot heights taken and are an approximation only.
- * This note is an integral part of this plan.

ORIGIN OF LEVELS IS A.H.D. USING COORDINATES STATE SURVEY MARK

SYDNEY REGISTERED
SURVEYORS

NSW STATE CERTIFIED
LAND & ENGINEERING SURVEYORS
TOWN PLANNERS & DEVELOPMENT CONSULTANTS
ABR 14 013 722 855
WWW.SYDNEY-SURVEYORS.COM.AU

- ALL SURVEYING SERVICES
- LAND SUBDIVISION
- ROAD / DRIVEWAY DESIGN
- DRAINAGE / OSD DESIGN
- DETAIL SURVEYS
- STRATA PLANS
- IDENTIFICATION SURVEYS
- CONSTRUCTION SETOUT
- PROJECT MANAGEMENT

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Northbridge Office
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LOCAL COUNCIL AREA: SYDNEY
DETAIL SURVEY

BEING No. 175-177 CLEVELAND ST, REDFERN

DRAWN: RGW	DATE: 17-09-2013	CADREF: 1643CLEVELAND-01-01A
SCALE 1:100	APPROVED: RGW	DATUM: A.H.D

PLAN		AMENDMENT	REFERENCE
A	17-09-2013	INITIAL ISSUE	RGW
AMEND	DATE	DESCRIPTION	BY

PLAN REFERENCE:

1649
CLEVELAND

SHEET 1 OF 1



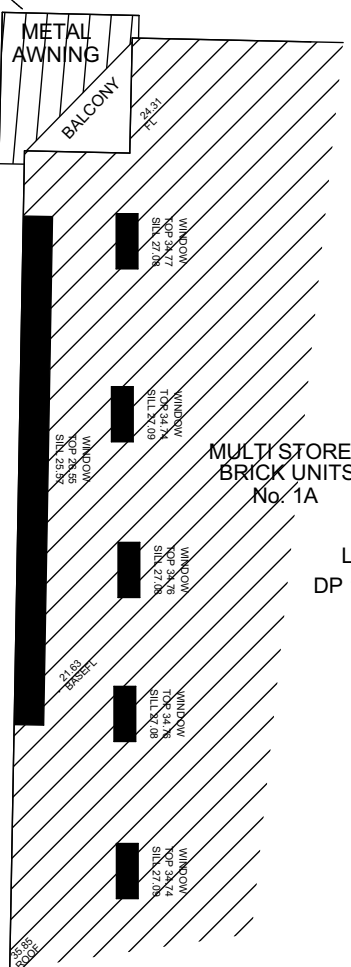
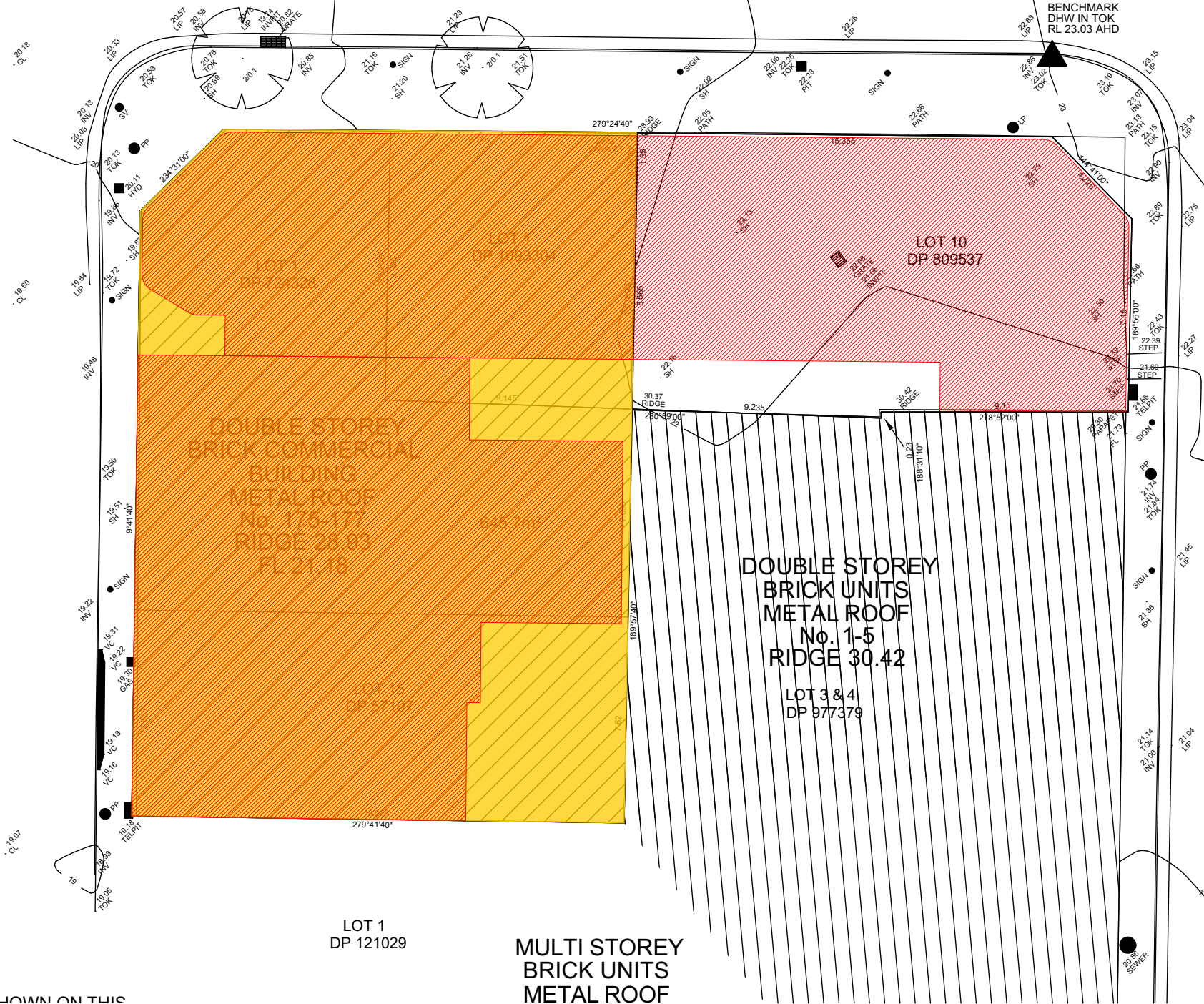
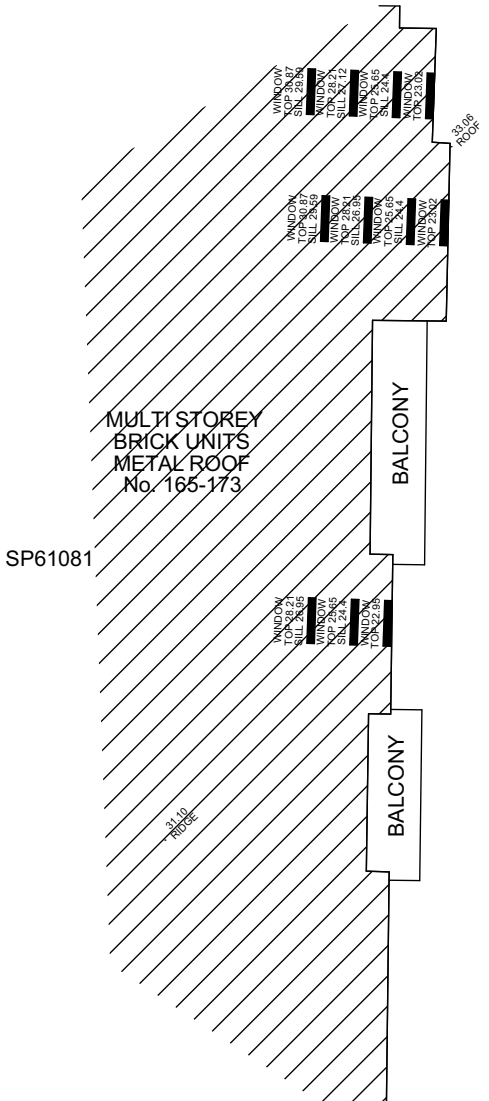
CLEVELAND STREET

STREET

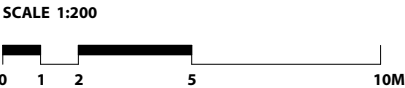
WOODBURN STREET

STREET

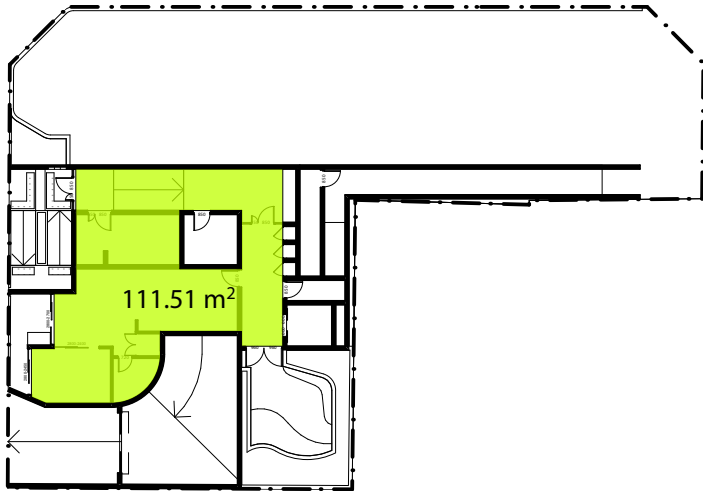
EVELEIGH STREET



THE BOUNDARIES HAVE NEVER BEEN SURVEYED BY THE LANDS DEPARTMENT THE BOUNDARIES SHOWN ON THIS

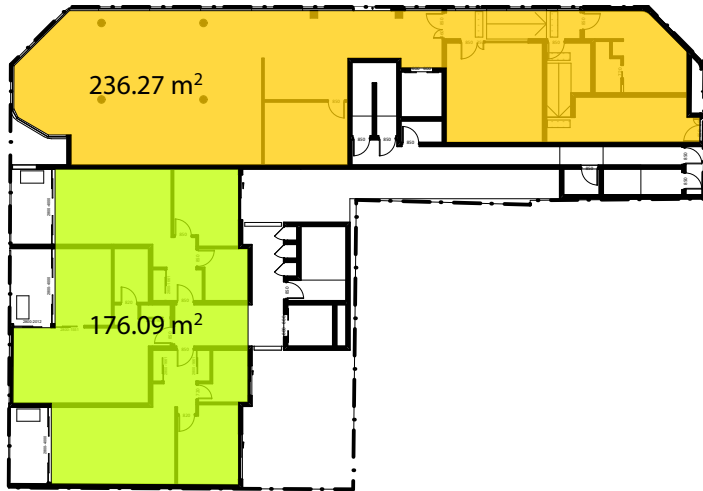


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Issue	Date	Description																	
A	24/05/14	FOR DA																	



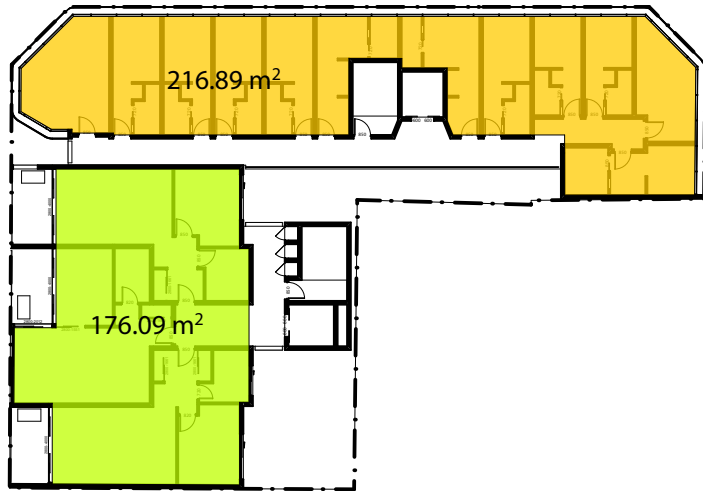
LOWER GROUND FLOOR
SCALE 1:400

RESIDENTIAL - 111.51 SQM
STUDENT ACCOMMODATION - nil



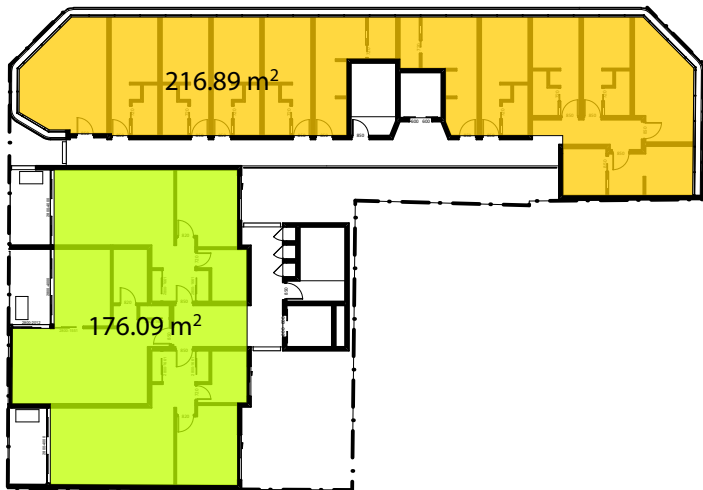
GROUND FLOOR
SCALE 1:400

RESIDENTIAL - 176.09 SQM
STUDENT ACCOMMODATION - 236.27 SQM



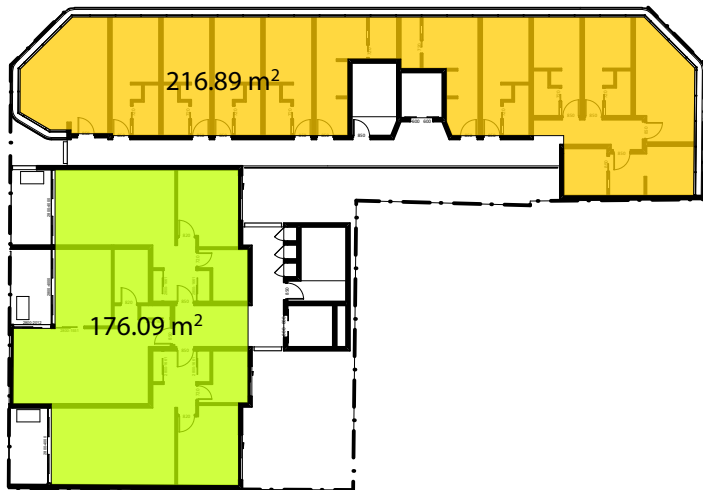
LEVEL 01
SCALE 1:400

RESIDENTIAL - 176.09 SQM
STUDENT ACCOMMODATION - 216.89 SQM



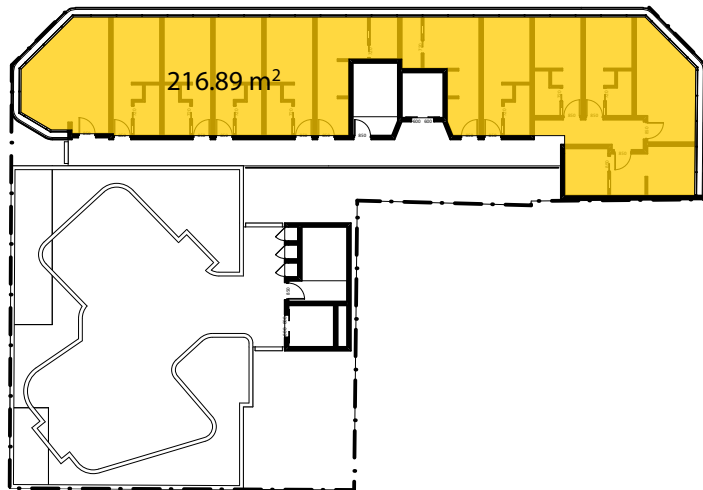
LEVEL 02
SCALE 1:400

RESIDENTIAL - 176.09 SQM
STUDENT ACCOMMODATION- 216.89 SQM



LEVEL 03
SCALE 1:400

RESIDENTIAL - 176.09 SQM
STUDENT ACCOMMODATION- 216.89 SQM



LEVEL 04
SCALE 1:400

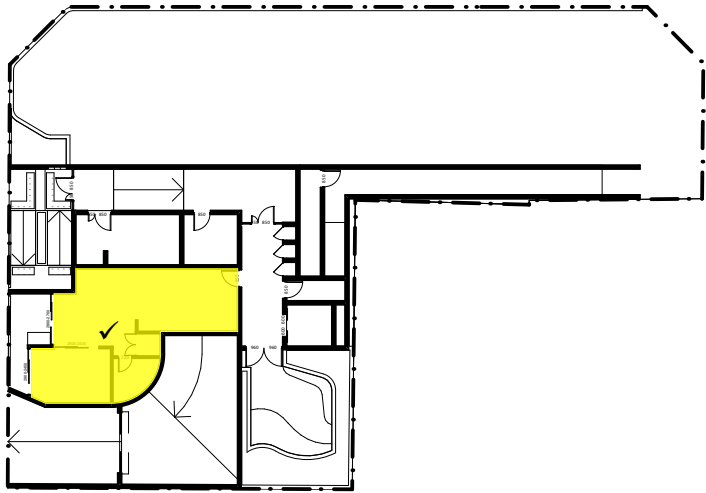
RESIDENTIAL - nil
STUDENT ACCOMMODATION - 216.89

GFA CALCULATION

SITE AREA: 645.7 SQM
PERMISSIBLE FSR: 3:1
PERMISSIBLE GFA: 1937.1 SQM

RESIDENTIAL TOTAL: 815.87 SQM (1.26:1)
STUDENT ACCOMMODATION TOTAL: 1103.83 SQM (1.71:1)

TOTAL GFA: 1919.70 SQM
TOTAL FSR: 2.97:1



LOWER GROUND FLOOR
SCALE 1:400



GROUND FLOOR
SCALE 1:400



LEVEL 01
SCALE 1:400



LEVEL 02
SCALE 1:400



LEVEL 03
SCALE 1:400



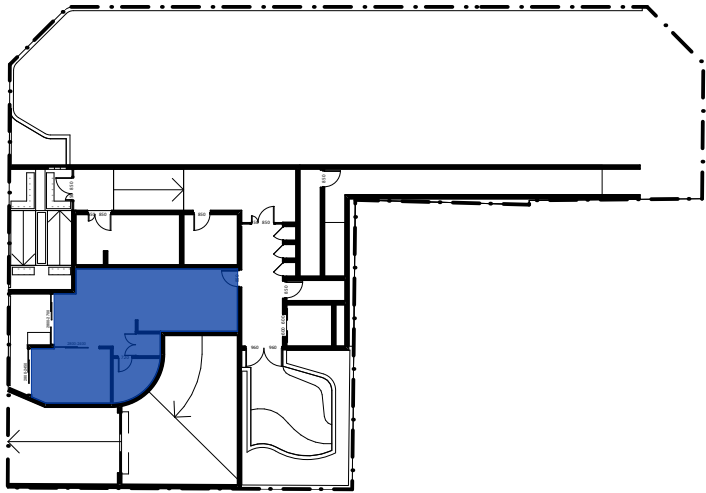
LEVEL 04
SCALE 1:400

SOLAR ACCESS STUDY

- ✓ ≥ 3H SOLAR ACCESS
* 2H SOLAR ACCESS
NO SOLAR ACCESS

RESIDENTIAL
SOLAR ACCESS ≥ 3H SOLAR ACCESS: 10 (77%)
LIMITED SOLAR ACCESS @ 2 HRS: 3 (23%)
NO SOLAR ACCESS: 0 (0%)

STUDENT ACCOMMODATION
SOLAR ACCESS ≥ 3H SOLAR ACCESS: 36 (90%)
LIMITED SOLAR ACCESS @ 2 HRS: 4 (10%)
NO SOLAR ACCESS: 0 (0%)



LOWER GROUND FLOOR
SCALE 1:400



GROUND FLOOR
SCALE 1:400



LEVEL 01
SCALE 1:400



LEVEL 02
SCALE 1:400



LEVEL 03
SCALE 1:400



LEVEL 04
SCALE 1:400

SOLAR ACCESS STUDY

- ✓ CROSS-VENTILATED
NOT CROSS-VENTILATED

RESIDENTIAL
CROSS-VENTILATED: 8 (62%)
NOT CROSS-VENTILATED: 5 (38%)

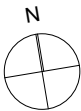
STUDENT ACCOMMODATION
CROSS-VENTILATED: 40 (100%)
NOT CROSS-VENTILATED: 0 (0%)

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Drawing Original Size A3

A 24/05/14 FOR DA
Issue Date Description

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ACN: 67 167 131 848
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9-13 REDMYRE RD, STRATHFIELD, NSW 2135

PROJECT:
175-177 CLEVELAND ST
CLIENT:
HIGH QUALITY BUILDING PTY LTD
SCALE:
1:400
DATE:
03/06/2014
CAD FILE NUMBER:
DRAWN BY:
JU
CHECKED 1:
GA
CHECKED 2:
APPROVED:

DRAWING NAME
CROSS-
VENTILATION
STUDY
DRAWING NUMBER
DA
PROJECT NUMBER
A1152
ISSUE
A

24.13

External Walls: Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

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Ceiling: Plasterboard - no insulation

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103	R1.0 in external walls + R1.0 in floors



BASEMENT PLAN @ 1:200

SCALE 1:200



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Issue

Date

Description

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24/06/2014

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PROJECT:

175-177 CLEVELAND ST

CLIENT:

HIGH QUALITY BUILDING PTY LTD

SCALE:

1:200

DATE:

03/06/2014

CAD FILE NUMBER:

DRAWN BY:

JU

CHECKED 1:

GA

CHECKED 2:

APPROVED:

DRAWING NAME:

BASEMENT PLAN

DRAWING NUMBER:

DA

PROJECT NUMBER:

24.13

ISSUE:

A

A1200

External Walls: Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

Internal Walls:

- Within each unit: single skin brick; wet plaster both sides
- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides

Windows: Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65

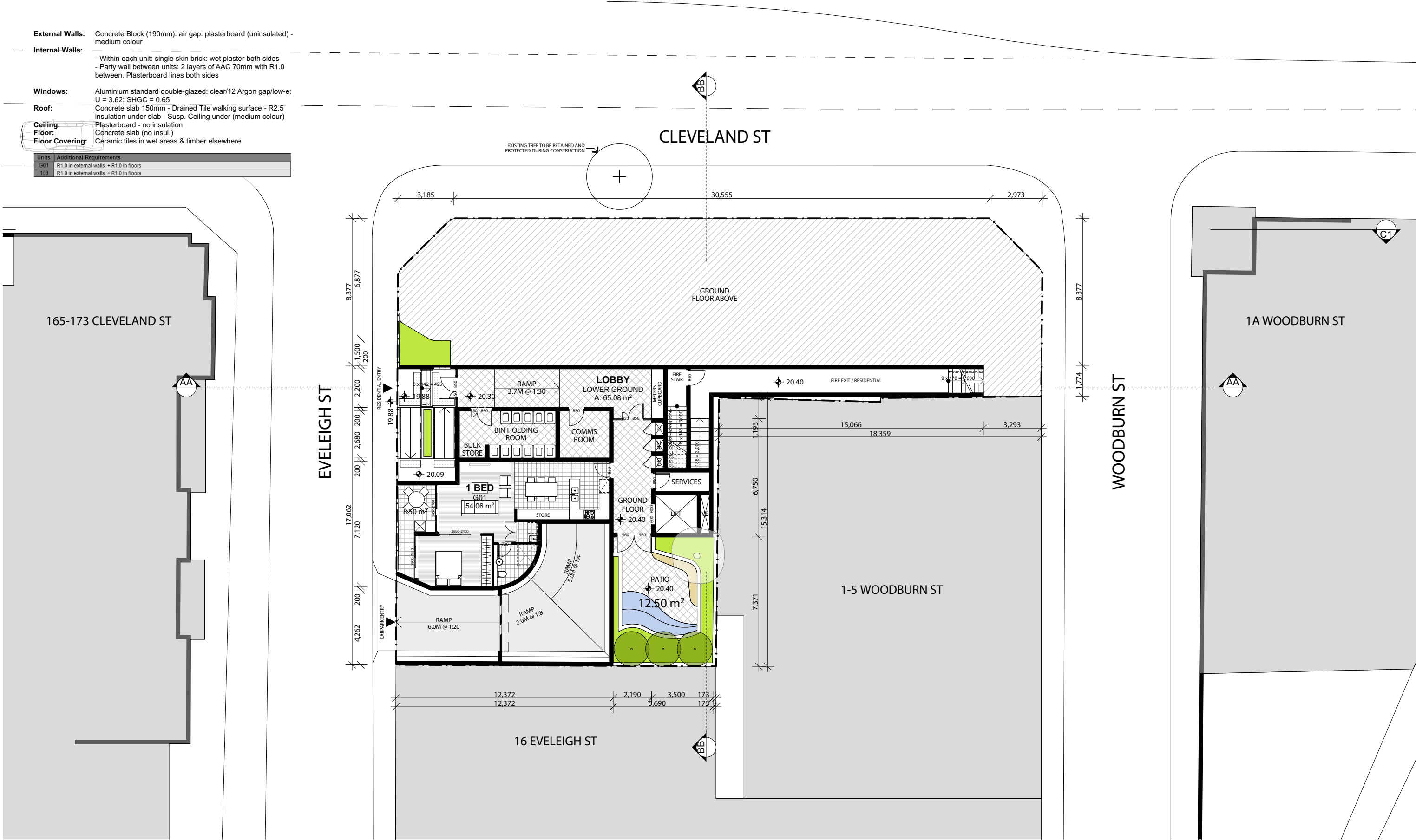
Roof: Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)

Ceiling: Plasterboard - no insulation

Floor: Concrete slab (no insul.)

Floor Covering: Ceramic tiles in wet areas & timber elsewhere

Units	Additional Requirements
G01	R1.0 in external walls + R1.0 in floors
103	R1.0 in external walls + R1.0 in floors



LOWER GROUND FLOOR PLAN @ 1:200

SCALE 1:200



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DA

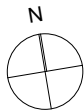
Drawing Original Size A3

Issue	Date	Description
A	24/05/24	FOR DA

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PROJECT:

175-177 CLEVELAND ST

CLIENT:

HIGH QUALITY BUILDING PTY LTD

SCALE: 1:200

DATE: 03/06/2014

CAD FILE NUMBER:

DRAWN BY: JU

CHECKED 1: GA

CHECKED 2:

APPROVED:

DRAWING NAME:

LOWER GROUND FLOOR PLAN

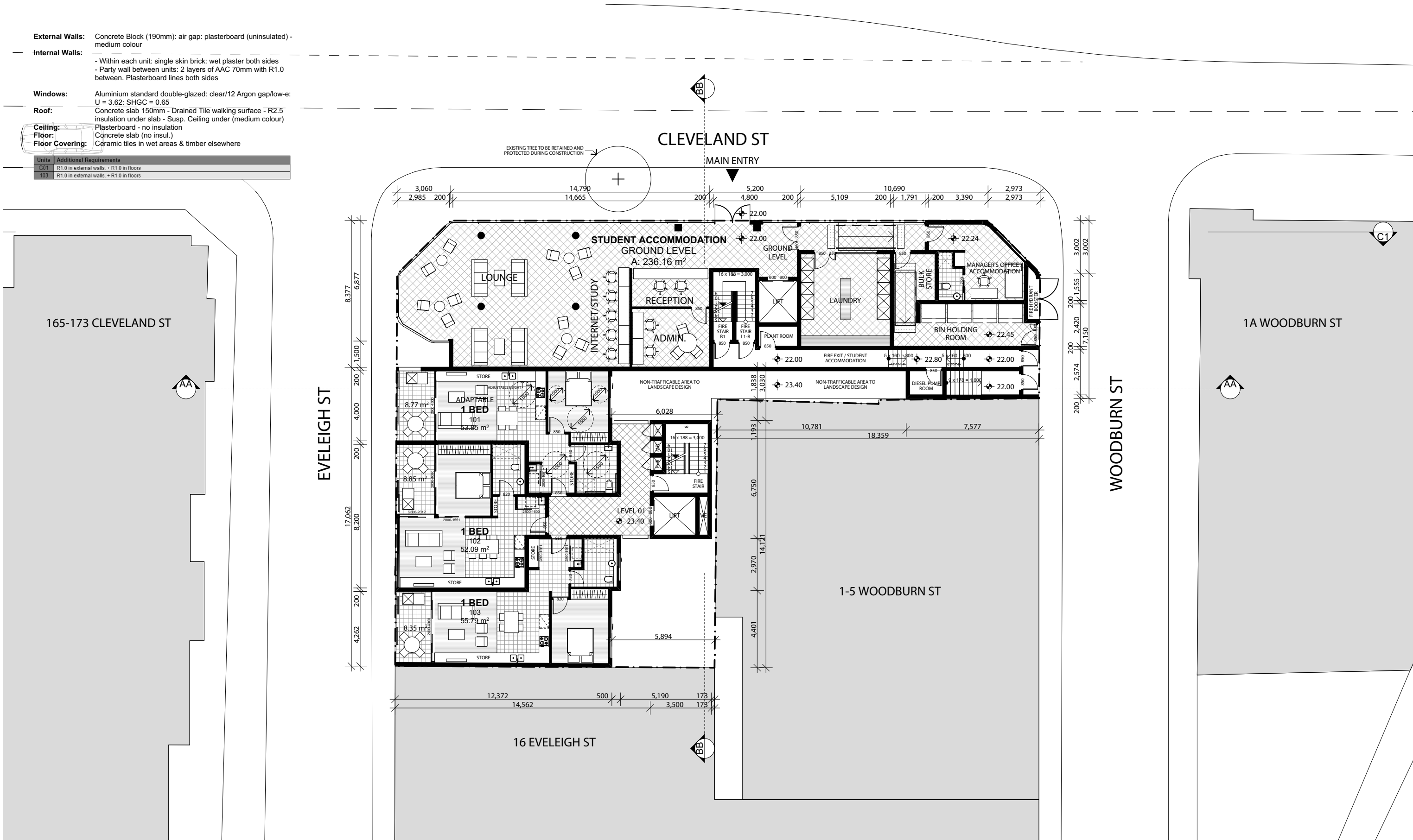
DRAWING NUMBER: DA

PROJECT NUMBER: 24.13

ISSUE: A

- External Walls:** Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour
- Internal Walls:**
- Within each unit: single skin brick; wet plaster both sides
 - Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides
- Windows:** Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65
- Roof:** Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)
- Ceiling:** Plasterboard - no insulation
- Floor:** Concrete slab (no insul.)
- Floor Covering:** Ceramic tiles in wet areas & timber elsewhere

Units	Additional Requirements
G01	R1.0 in external walls + R1.0 in floors
103	R1.0 in external walls + R1.0 in floors



GROUND FLOOR PLAN @ 1:200

SCALE 1:200



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DA

Drawing Original Size

A3

Issue

Date

Description

A

24/05/24

FOR DA

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PROJECT:

175-177 CLEVELAND ST

CLIENT:

HIGH QUALITY BUILDING PTY LTD

SCALE:

1:200

DATE:

03/06/2014

CAD FILE NUMBER:

9-13 REDMYRE RD, STRATHFIELD, NSW 2135

DRAWN BY:

JU

CHECKED 1:

GA

CHECKED 2:

APPROVED:

DRAWING NAME

GROUND FLOOR PLAN

DRAWING NUMBER

DA

PROJECT NUMBER

24.13

ISSUE

A

External Walls: Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

Internal Walls:

- Within each unit: single skin brick; wet plaster both sides
- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides

Windows: Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65

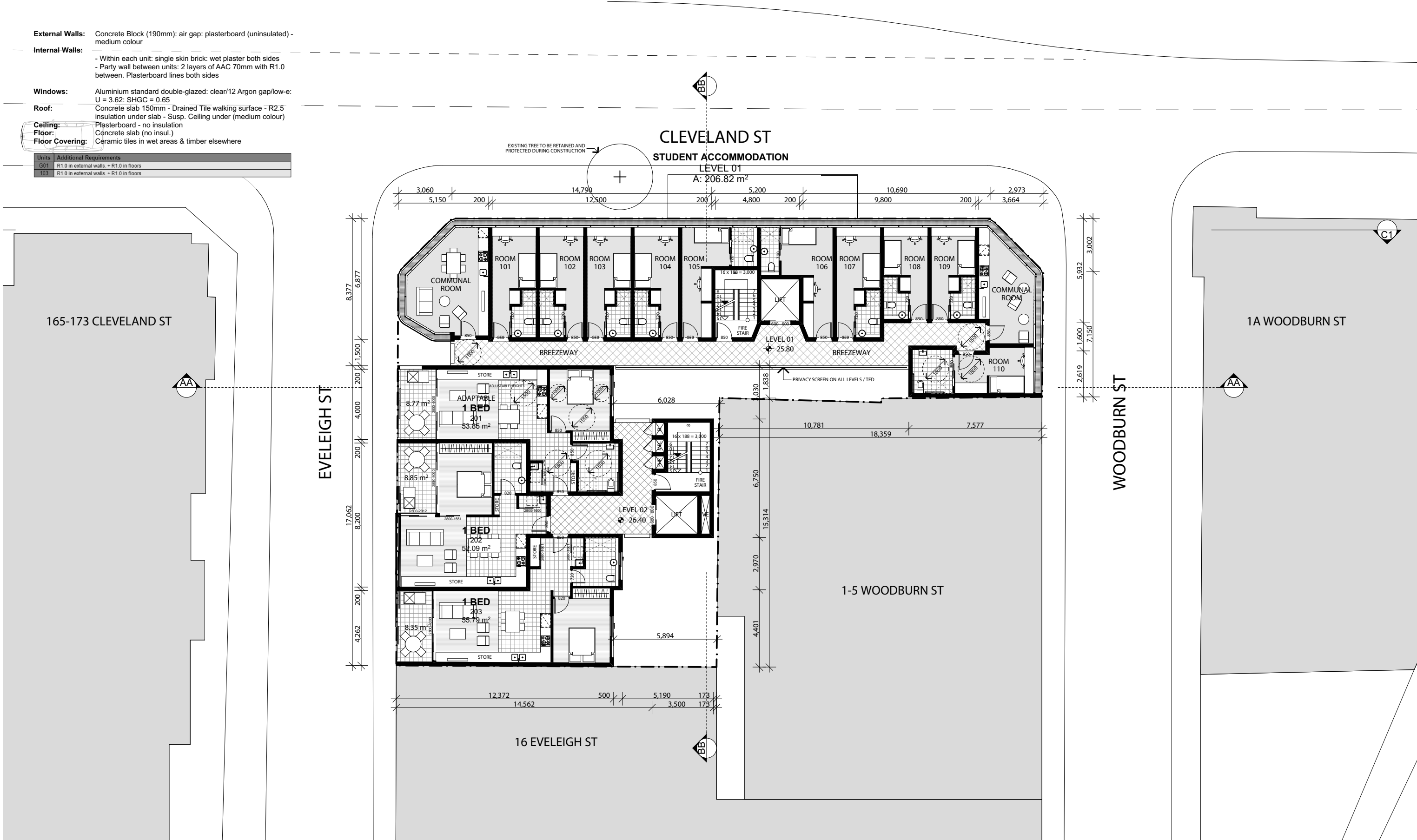
Roof: Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)

Ceiling: Plasterboard - no insulation

Floor: Concrete slab (no insul.)

Floor Covering: Ceramic tiles in wet areas & timber elsewhere

Units	Additional Requirements
G01	R1.0 in external walls + R1.0 in floors
103	R1.0 in external walls + R1.0 in floors



LEVEL 01 @ 1:200

SCALE 1:200



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A

24/05/24

FOR DA

Issue

Date

Description

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PROJECT:

175-177 CLEVELAND ST

CLIENT:

HIGH QUALITY BUILDING PTY LTD

SCALE:

1:200

DATE:

03/06/2014

CAD FILE NUMBER:

DRAWN BY:

JU

CHECKED 1:

GA

CHECKED 2:

APPROVED:

DRAWING NAME

LEVEL 01

DRAWING NUMBER

DA

PROJECT NUMBER

24.13

ISSUE

A

External Walls: Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

Internal Walls:

- Within each unit: single skin brick; wet plaster both sides
- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides

Windows: Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65

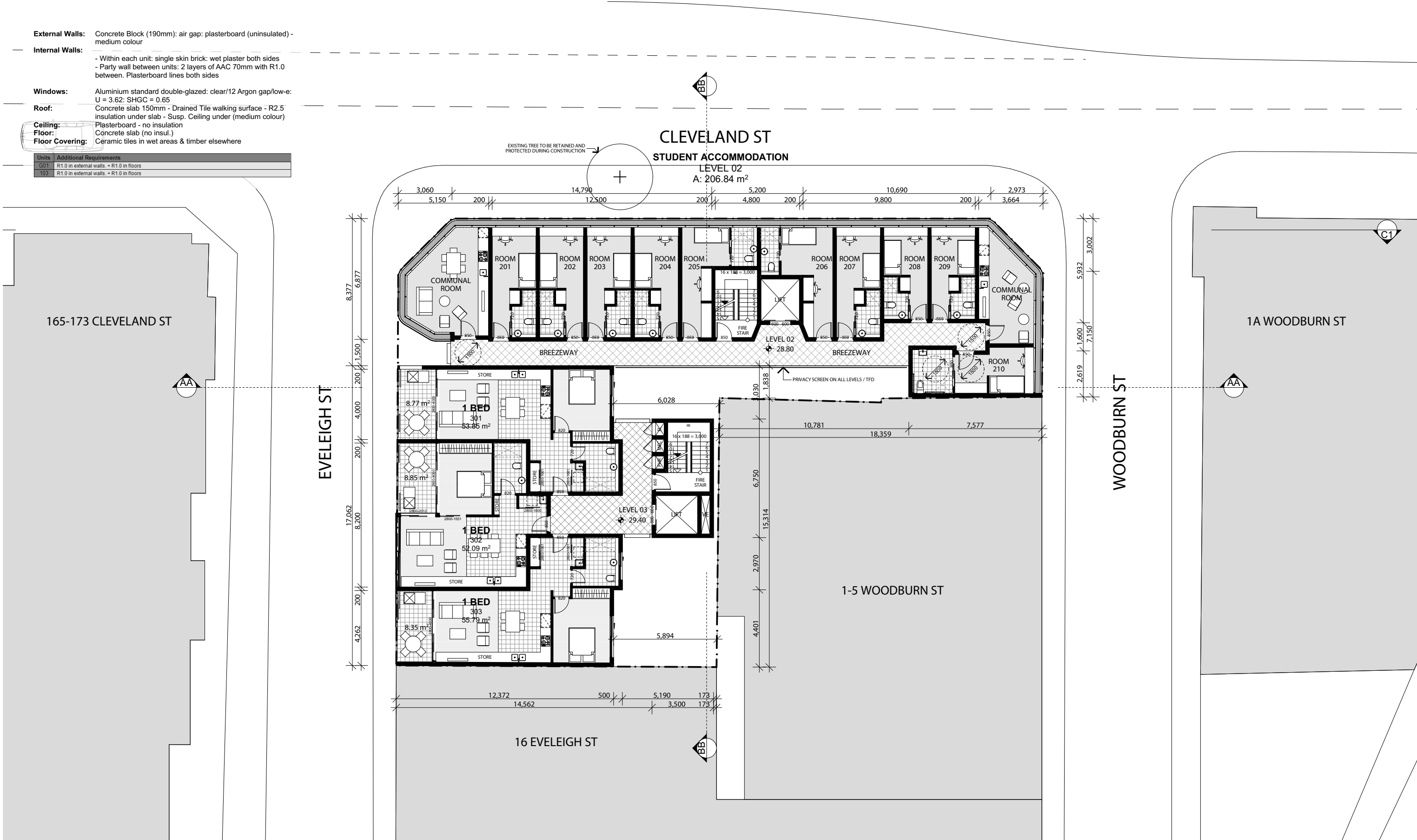
Roof: Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)

Ceiling: Plasterboard - no insulation

Floor: Concrete slab (no insul.)

Floor Covering: Ceramic tiles in wet areas & timber elsewhere

Units	Additional Requirements
G01	R1.0 in external walls + R1.0 in floors
103	R1.0 in external walls + R1.0 in floors



LEVEL 02 @ 1:200

SCALE 1:200



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Drawing Original Size: A3

A

24/05/24

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Issue

Date

Description

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UNIT 2H, 9-13 REDMYRE RD, STRATHFIELD, NSW 2135

PROJECT:

175-177 CLEVELAND ST

CLIENT:

HIGH QUALITY BUILDING PTY LTD

SCALE:

1:200

DATE:

03/06/2014

CAD FILE NUMBER:

DRAWN BY:

JU

CHECKED 1:

GA

CHECKED 2:

APPROVED:

DRAWING NAME

LEVEL 02

DRAWING NUMBER

DA

PROJECT NUMBER

24.13

ISSUE

A

External Walls: Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

Internal Walls:

- Within each unit: single skin brick; wet plaster both sides
- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides

Windows: Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65

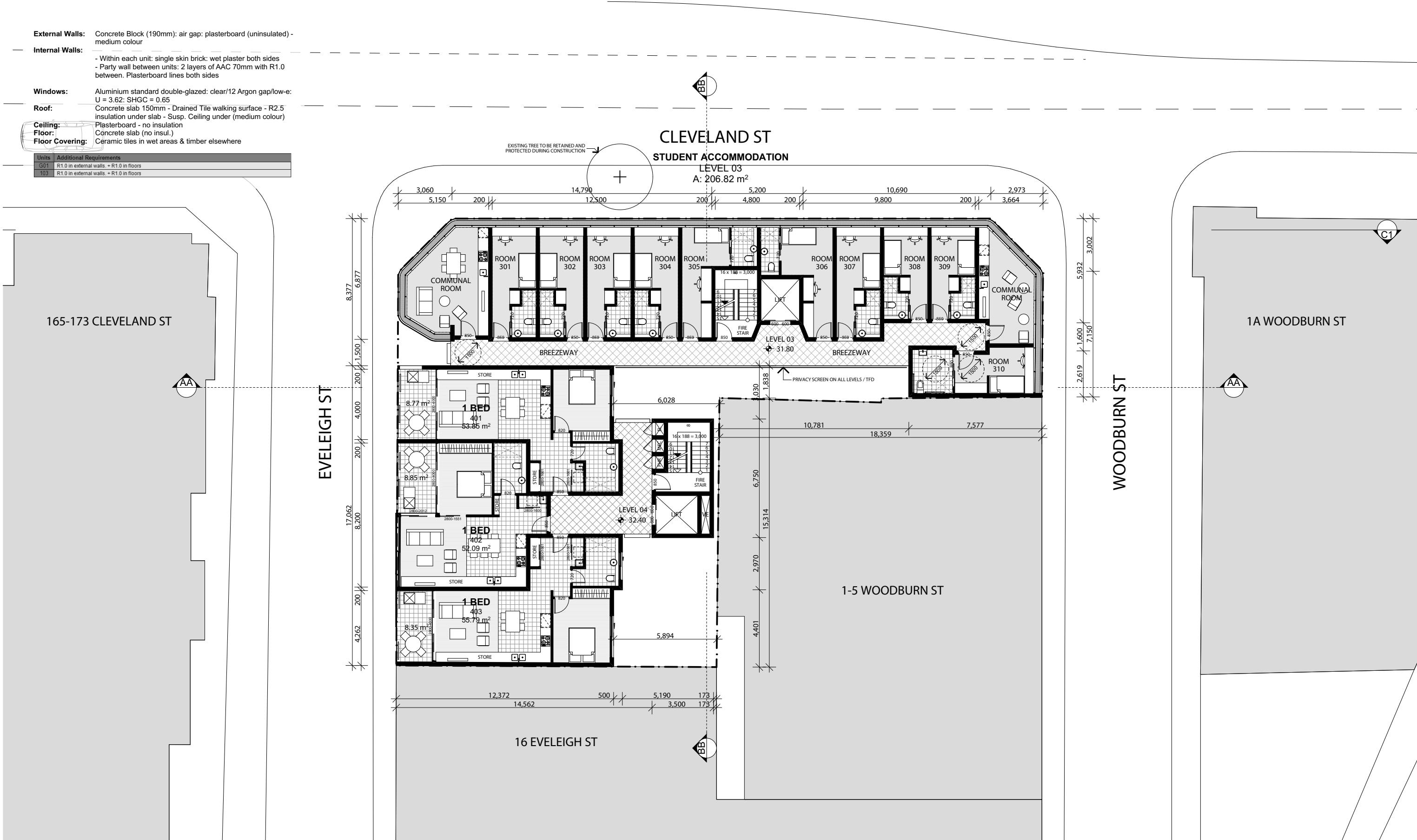
Roof: Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)

Ceiling: Plasterboard - no insulation

Floor: Concrete slab (no insul.)

Floor Covering: Ceramic tiles in wet areas & timber elsewhere

Units	Additional Requirements
G01	R1.0 in external walls + R1.0 in floors
103	R1.0 in external walls + R1.0 in floors



LEVEL 03 @ 1:200

SCALE 1:200



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UNIT 2H, 9-13 REDMYRE RD, STRATHFIELD, NSW 2135

PROJECT:

175-177 CLEVELAND ST

CLIENT:

HIGH QUALITY BUILDING PTY LTD

SCALE:

1:200

DATE:

03/06/2014

CAD FILE NUMBER:

DRAWN BY:

JU

CHECKED 1:

GA

CHECKED 2:

APPROVED:

DRAWING NAME

LEVEL 03

DRAWING NUMBER

DA

PROJECT NUMBER

24.13

ISSUE

A

External Walls: Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

Internal Walls:

- Within each unit: single skin brick; wet plaster both sides
- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides

Windows: Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65

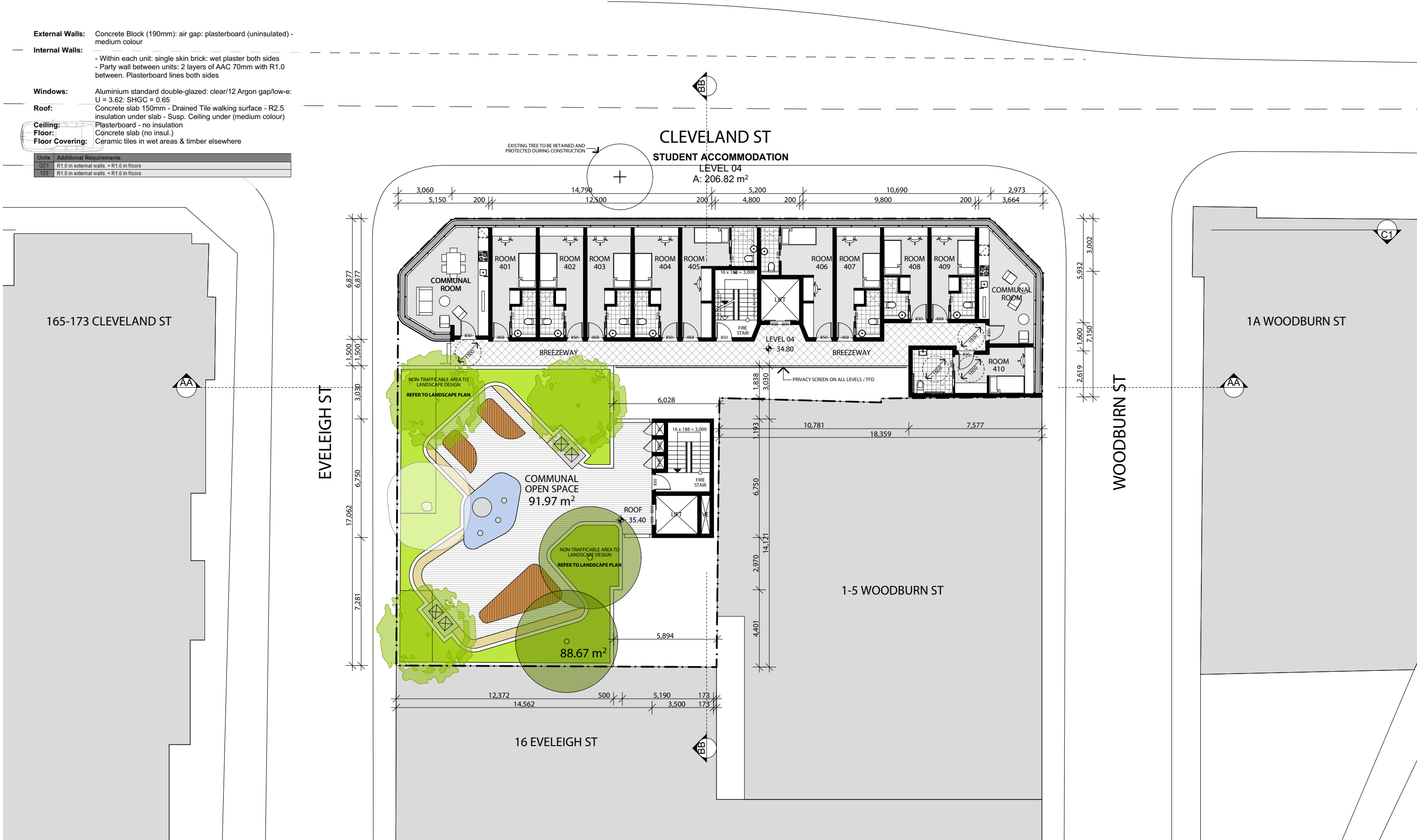
Roof: Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)

Ceiling: Plasterboard - no insulation

Floor: Concrete slab (no insul.)

Floor Covering: Ceramic tiles in wet areas & timber elsewhere

Units	Additional Requirements
G01	R1.0 in external walls + R1.0 in floors
103	R1.0 in external walls + R1.0 in floors



LEVEL 04 @ 1:200

SCALE 1:200



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Drawing Original Size: A3

A

24/05/24

FOR DA

Issue

Date

Description

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PROJECT:

175-177 CLEVELAND ST
CLIENT: HIGH QUALITY BUILDING PTY LTD
SCALE: 1:200
DATE: 03/06/2014
CHECKED 1: GA
CHECKED 2:
APPROVED:

DRAWING NAME

LEVEL 04

DRAWING NUMBER

DA

PROJECT NUMBER

24.13

ISSUE

A