

# **Design Integrity Report**

## **SSD-62802207**



**Showground Station Precinct East**  
**3 Andalusian Way, Castle Hill**



## 2.2 Development Objectives

| Objective                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
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| <p><b>1. Place</b></p> <ul style="list-style-type: none"> <li><i>Capture the unique opportunity of adjacency to the Castle Hill Showground event precinct</i></li> <li><i>Celebrate the water movement, aspect and topography of the Site</i></li> <li><i>Connect with and extend the green infrastructure</i></li> <li><i>Respect and evolve the history and local character of the area</i></li> <li><i>Centre the design aspiration around human experience and journey</i></li> </ul> | <p><b>Complies</b></p> <p>The site has a unique location, bounded by a ribbon of landscaped publicly accessible spaces including the Castle Hill Showgrounds to the north and the new Precinct East Park to the south creating a verdant green context to the site.</p> <p>The site sits on the edge of the Castle Hill showgrounds with expansive views to and from this large open space. The placement of the buildings within the site is cognisant of this relationship and will have a major impact on the skyline when viewed from the adjoining Showgrounds. The proposed built form facing the Showgrounds has a playful composition with a stepped form that integrates significant amounts of landscaping elements into the facades and roof terraces.</p> <p>Landscaping is a key component of the proposal, with generous landscaped open areas within the public domain, communal courtyards and communal rooftop terraces, which is embellished further with planters dressing the edge of lift lobbies and apartment balconies. This holistic approach to greening the proposal is in keeping the desired character of the 'Garden Shire.'</p> <p>Nearby Cattai Creek has a deep historical significance and cultural value to the Bediagal (Darug) people. Cattai Creek flows into the Hawkesbury River and is named after the local Aboriginal Clan. For Indigenous people, Cattai Creek is an intricate part of the landscape that holds vast social, cultural and economic importance. The importance of Cattai Creek is reinforced throughout the proposed design with an interconnected green space network proposed throughout the Precinct which provides a physical and spiritual connection to Cattai Creek. The publicly accessible pedestrian link includes extensive native landscaping and paving of indigenous language bird names to represent Cattai Creek. To this end, the connection and celebration with water has been an important design focus for the design of the proposal.</p> <p>A permeable ground plane allows for easy and intuitive pedestrian movement within the site and across to the nearby Doran Drive Precinct, Metro Station, the Showgrounds and beyond.</p> <p>The area to date has been characterised by a suburban streetscape of large single-family homes, predominantly of brick construction with a solid and robust aesthetic. The streets are wide and generous, with large setbacks and established trees along the street edge and within the private gardens. This green streetscape is one of the desired characteristics for the future precinct.</p> <p>The proposal champions brick as the predominant material, using a variety of warm brick colours that are reminiscent of the existing domestic architecture. The façade types vary as one moves around the site in a playful composition.</p> <p>Previously the surrounding area was characterised by poor public transport links, car dependency, and limited services or retail offering. The area will evolve into a transport-oriented development leveraging off the new Metro Station, and associated bus and public transport links. It will enjoy a quality mix of retail, commercial, childcare, dining, and other uses. While the proposal is cognisant of the past character of the area, it also embraces its new role as the vibrant heart of the emerging community.</p> |

## **2. Diversity**

- *Consider the changing needs of the community, supporting regional and local growth*
- *Ensure a suitable mix of uses for future needs*
- *Provide a mix of housing typologies to suit different household budgets and stages of life*
- *Provide a range of spaces within the public realm network to suit a variety of activities*
- *Plan for appropriate diversity in built form, articulation and materials in keeping with the desired quality and character*

### Diversity of Housing Mix

The proposed mix includes a diversity of 1 bed [16%], 2 bed [60%] and 3 bed [24%] dwellings. There is a range of sizes and layouts that offer a high level of choice and amenity, including 14 townhouses.

Many of the apartments allow for either a dedicated study, or media space, to facilitate working from home and studying. Storage has been carefully integrated into the apartment plans, with an additional storage cage provided for apartments in the basement car park.

Family friendly 3 bed apartment types have been included in the upper levels of Buildings A, C2, D & E, with northern and western views across to the adjacent existing Castlehill Showgrounds and the new Eastern Park. Three storey townhouses are proposed along the new north-south road to add to a diversity of housing typologies.

The proposal includes adaptable and liveable apartment types in all buildings. There is also provision for 5% affordable housing within the development.

### Diversity of Public and Communal Open Spaces

The proposed public and communal open spaces are designed as highly flexible spaces that can accommodate multiple uses. Generous public and private landscaped paths connect key hubs through the site and extend this connection to the wider context including the Castle Showgrounds Parklands and the Showgrounds Metro Station. A range of communal open spaces are provided to meet the varied needs of the residents. A summary of the key features of these spaces is outlined below.

- Three large central communal courtyards are provided across the site which have been designed to be flush to the adjacent public domain, with all car parking and loading dock facilities located below ground at basement levels. As shown in the figure below, each of these communal spaces contain a range of features to suit a variety of activities. The communal open space between Buildings A, B1 and B2 is identified as the “Active Precinct” containing active green space, an outdoor cinema and BBQ, the communal open space between Buildings D1 and D2 is identified as the “Community Precinct” containing a community garden, breakout space and an outdoor gym and the communal open space between Buildings E1 and E2 is identified as the “Garden Precinct” containing passive space, a garden walk and a sensory garden.



**Figure 1: Ground Floor Design Spatial Strategy (Source: Landscape Report, Land and Form)**

- All building entry lobbies have been carefully located to allow for direct view lines from the street into the central communal courtyards beyond. These site wide view lines add to the permeability and openness of the ground plane.
- Ground floor apartments facing into the central communal courtyards have private open space with fence lines that shield the apartment interiors and provide adequate privacy. The courtyards balance the need for significant soft landscaping, planting and trees with the inclusion of programmed uses for residents such as children's play equipment, spill dining/seating areas adjacent to the resident's internal community room, etc.
- The leafy sheltered character of these central communal courtyards provides a contrast to the more open and sun-drenched rooftop communal courtyards and therefore offers residents the ability to go to outdoor spaces with sufficient comfort and amenity at all times of the year.
- All podium rooftops are landscaped with communal external rooftop terraces. The floorplates of the towers have been designed to allow for equitable access from all lift cores to these rooftop terraces. These spaces form important green outlooks from the apartments above, and their soft landscaping and planting reduces the urban heat island effect of the proposed built form.
- The rooftop terraces enjoy significant solar access at all times of the day and offer views out to the new Precinct East Park and district views across Showgrounds Road. Collectively, the range of communal open spaces provided exceed ADG area requirements and enjoy more than 50% receiving minimum 2 hours solar access between 9am and 3pm each day.

#### Diversity of Architectural Style

Fundamental to the outcome of the Showground East Precinct development has been the commitment to a diverse architectural expression. Following advice from GANSW, two different architectural firms (Turner Studio and Group GSA) were appointed to ensure the precinct has a unique and diverse architectural style.

Further to this, Robert Nation (AM) from Nation Architects has been appointed to peer review both designs and critique the detailed designs of both Turner Studio and Group GSA. As detailed in the Design Excellence Report prepared by Deicorp dated December 2023:

*“Fundamental to the total outcome of the Showground Precinct Development is the Commitment to a diverse architectural expression. The selection of Architects for the Design is founded in this pursuit. Whilst the eastern and western zones have differing Architects the architectural expressions maintain a familial representation in their expressions and materiality, this developing a cohesive totality in its landscape. Particular detail has been developed in the varying expressions in the Podia. The resultant contribution to the streetscape and human scale references forms an admirable contribution to the Urban outcome of the Showgrounds development”.*

### **3. Value**

- *Leverage and support the new Metro Station infrastructure*
- *Ensure quality design outcomes with public value alongside a commercially viable solution*
- *Promote design and operational efficiency*
- *Attract new investment and create jobs*
- *Promote investment in public art and public realm*

The proposed eastern precinct is aligned with best practice urban design principles. It delivers a high density vibrant new precinct immediately beside the Metro Station. The development has been designed as permeable and inviting and can be easily accessed from the Metro Station. The wider development will become a major hub for the wider area, leveraging from the proximity to public transport and therefore encouraging the use of the public transport infrastructure. The proposal will act as a catalyst for future development and will significantly improve the urban fabric of the area.

The delivery of the pedestrian link will incorporate public art in the form of paving engraved with indigenous words telling the native bird dreaming stories to create an immersive experience that awakens the senses and inform a deeper understanding of country.

It is acknowledged that public art has been approved in Precinct East Park by Council under DA 988/2022/IPZ. Over 150 artists were considered for the public art commission with local and indigenous artists included where possible, with a focus on public artists in NSW, with an established public art practise. The artist was chosen through selective tender. An evaluation panel was appointed comprising Landcom Public Art Curator, a Landcom representative, a project landscape architect representative and The Hills Shire Council representative. The successful artist is Christina Waterson is from northern NSW with a concept that combined artistic excellence with practicality.

### **4. Activation**

- *Provide a platform for various events and active place making initiatives*
- *Provide high quality, active and safe public realm and streets*
- *Provide strong vistas and views to support wayfinding and legibility*

The delivery of the public domain adjoining the site including Precinct East Park has been approved by Council separately to this State Significant Development Application (SSDA). The remaining public domain element to be delivered under this SSDA and for which consent is sought, relates to the publicly accessible pedestrian link connecting Showground Road in the east to the new road located within the centre of the site. The pedestrian link has been designed with high quality and low maintenance materials and finishes and will provide a safe and active route for cyclists and pedestrians.

The buildings have been designed to provide activation, overlooking and natural surveillance of the adjoining public domain. There are numerous stairs and lift cores to the residential buildings, with these cores providing generous lobbies which provide clear sightlines to the adjacent streets. These lobbies offer activation of the streets and public domain at key locations.

All ground floor apartments and townhouses provide a highly permeable street edge condition with good passive surveillance and safety. Where levels with the public domain allow, reasonable effort has been made for ground floor apartments and townhouses to have direct access to the public domain via steps and gates.

## 5. Sustainability

- Promote greater use of public and active transport modes
- Create social infrastructure to support the new community needs
- Ensure maximum and equitable amenity and living comfort with solar access to both public and private space
- Set aspirational benchmarks for future developers of the Site

The Showground Precinct East is aligned with best practice urban design principles. It delivers a high density vibrant new precinct immediately beside the Metro Station. The development has been designed as highly permeable, enabling ease of pedestrian movement between and through the buildings within the site and connecting to the wider precinct beyond.

It is acknowledged that a number of future cycleways are identified in the Showground Station Precinct DCP, including off-road cycle paths on Carrington Road, De Clame Drive, Cattai Creek and Showground Road. Cycling is encouraged with the provision of extensive cycle parking in the basement car parking areas, with direct connections back to the lift lobbies in the buildings to encourage cycle usage by residents and visitors.

The proposal includes provision for six carshare spaces and a minimum of 10% of all total parking spaces within the site will be provided with EV ready infrastructure.

The proposal meets the requirements of the ADG for solar access to apartments, and to communal and private open spaces. The proposal also maintains solar access to the public domain, specifically the Precinct East Park and the Station Plaza. Refer diagrams below demonstrating compliance with the ADG solar access to communal open spaces as well and compliance with the solar access controls stipulated in the UDG relating to the protection of solar access to the nearby Precinct East Park and the Station Plaza.

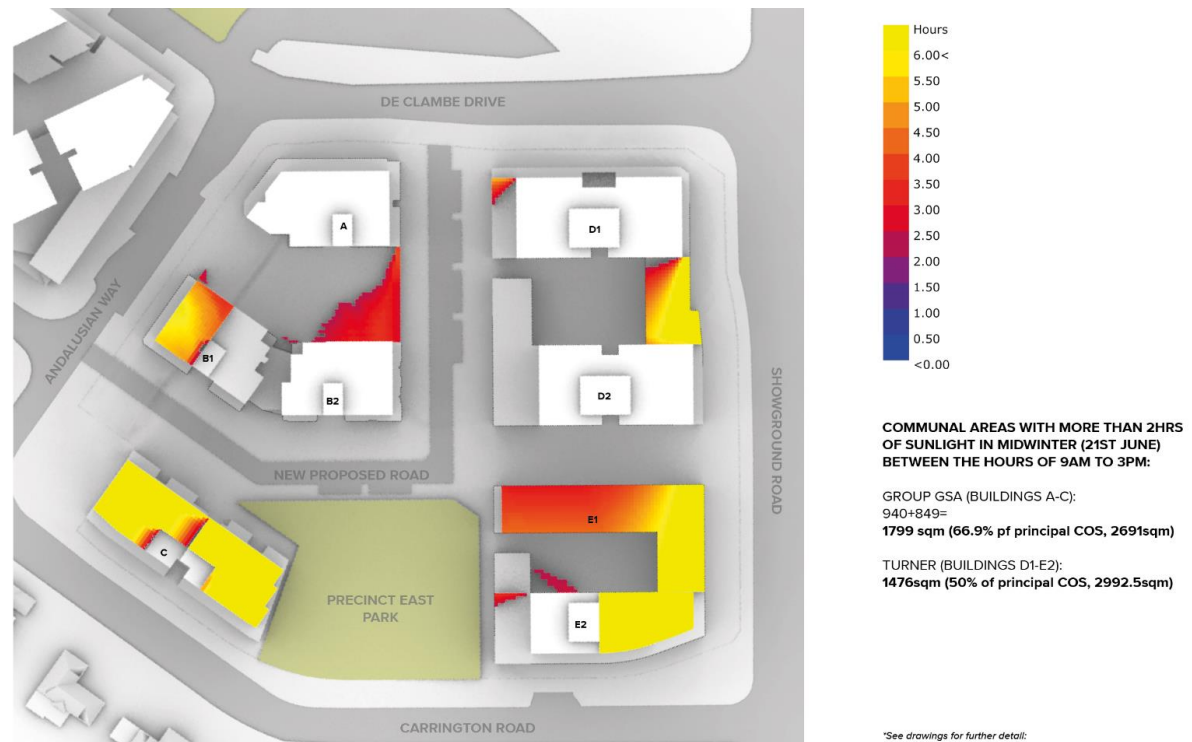
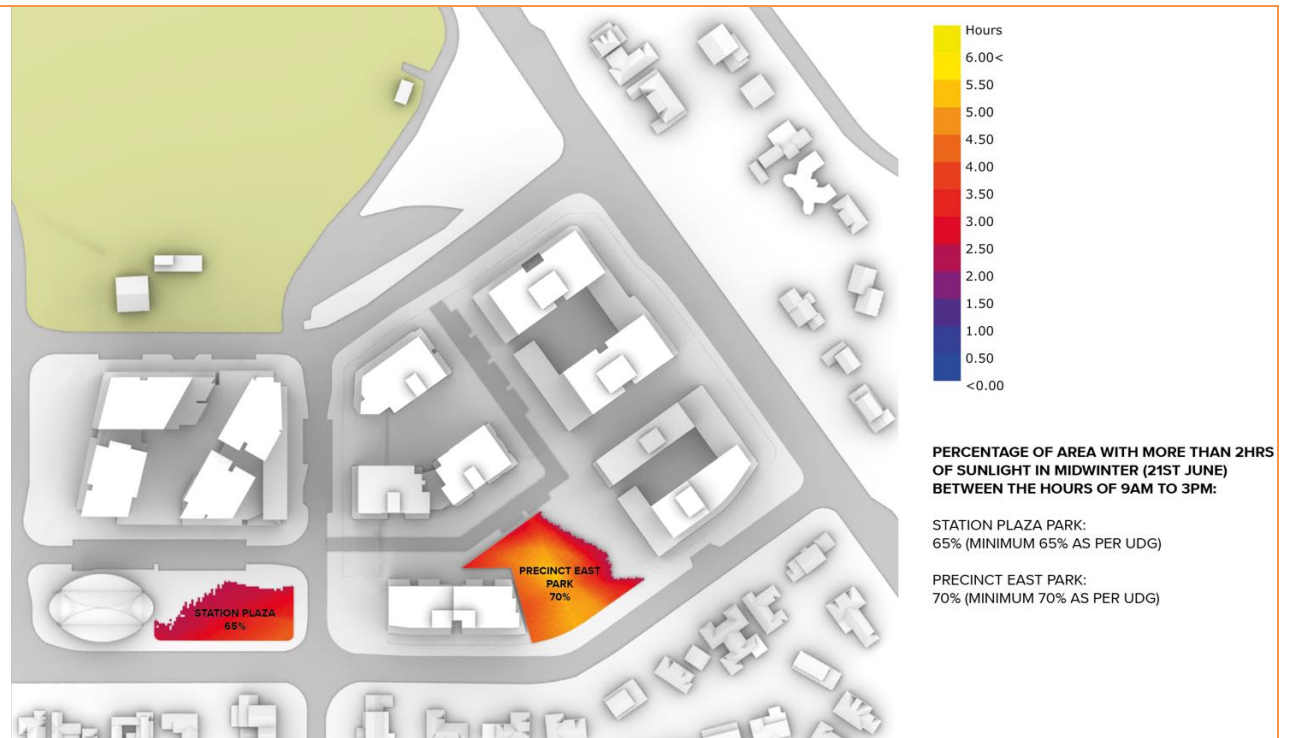


Figure 2: Proposed communal areas with more than two hours of solar access at midwinter between 9am and 3pm (Source: Turner Studio)



**Figure 3: Proposed compliant overshadowing to Station Plaza and Precinct East Park (Source: Turner Studio)**

Deicorp, as the developer of the site is committed to delivering a high-quality development that will be aligned with the aspirational benchmarks and overall site vision set out in the Urban Design Guidelines (UDG). Specifically, the development has been designed to achieve a certified as built 5 Star Green Star rating, as well as meeting compliance with BASIX Energy, Water and Thermal Comfort targets. Please note, in place of a rating, a self-certified pathway is proposed, whereby the proponent's Green Star Consultant is responsible for overseeing the works, advising through design, construction and post-construction and self-certifying the works are in line with a 5 Star Green Star Buildings Standard.

## 6. Process

- Collaborate and engage effectively with our partners, stakeholders and communities
- Prepare robust design guidelines to shape desired future outcomes of the precinct and provide more certainty for stakeholders and the community
- Engage a highly capable and diverse team and facilitate setting up for success

### Community Consultation

During the preparation of the application community consultation was undertaken in accordance with the DPE's *Social Impact Assessment Guidelines 2023*. Residents and tenants of properties immediately surrounding the subject site were advised of the proposal by way of notice delivered to their letterboxes on 30 October 2023. Properties notified were considered most likely to experience impacts as a result of the proposed development as a result of physical proximity. In total 48 notices were distributed and no responses were received.

To provide the broader community the opportunity to comment on the proposal, a notice was also placed in the Daily Telegraph on the 6th November 2023.

Further details regarding the community consultation are detailed in the Social Impact Assessment prepared by Sarah George Consulting dated December 2023.

### Developer Led Community Consultation

As part of this SSDA, in addition to the statutory community consultation, Deicorp undertook separation consultation with key

stakeholders and the community during the detailed design development. A Community Consultation Report prepared by Deicorp (dated December 2023) accompanies this application and sets out the community consultation process undertaken.

Given the extensive community consultation that occurred for the Concept Plan application, the community consultation adopted for the proposed development comprised a website providing information regarding the proposal and with a comments section for feedback. In addition, a phone poll was conducted by Notting Hills Advisory comprising 8–10-minute interviews conducted live person-to-person phone interviews of target population from 30 November to 3 December 2023 with a total sample of 250 completed interviews.

#### Consultation with Local Indigenous Community Groups

During the initial stages of design, workshops were undertaken with the local indigenous community groups led by Uncle Danny and Jamie Eastwood. During these workshops the proposed development, landscape plans and the connecting with country framework were presented to the local indigenous groups as part of the ongoing consultation process. At these workshops it was identified that it was important to the local indigenous community that the scheme incorporates Native Cumberland Woodland species including Eucalyptus Moluccana, Eucalyptus Tereticornis, and Eucalyptus Crebra. It was requested that the landscape plan reinforce the theme of Cattai Creek with a fluid and interpretive paving pattern from locally sourced sandstone.

At the conclusion of the workshops, the local indigenous community groups provided feedback that it was strongly appreciated that the requests had been incorporated into the Showground Precinct East landscape plan.

#### Authority Consultation

Extensive consultation with relevant authorities has been carried out. This is detailed further in the Environmental Impact Statement (EIS) prepared by Sutherland and Associates dated January 2024 and the Response to Submissions Report prepared by Deicorp dated August 2024. By way of summary, the following consultation has occurred:

- *Council* - Formal consultation was undertaken with The Hills Shire Council including several meetings prior to submission and meetings during the assessment of this SSDA.
- *Government Architect* - Extensive consultation has been undertaken with GANSW in accordance with the requirements of SEARs. This included attendance at two State Design Review Panel (SDRP) meetings held on 1<sup>st</sup> November 2023 and 5<sup>th</sup> June 2024.
- *Endeavour Energy* - JHA Consulting Engineers submitted an application for connection to Endeavour Energy for the site.
- *Sydney Water* – An appropriate Water Management lead has been engaged by Deicorp as the Water Servicing Coordinator for the proposed development.
- *Sydney Metro* – Consultation has occurred with Sydney Metro to discuss impacts on the nearby Sydney Metro assets and First Reserve.
- *Transport for NSW (TfNSW)* – Consultation has occurred with TfNSW via email correspondence on 5<sup>th</sup> and 26<sup>th</sup> October 2023. TfNSW confirmed that they were satisfied that the subject proposal does not require further traffic modelling given that TfNSW have supported the approved Concept Plan which included extensive traffic modelling, and the proposed development is consistent with the approved number of apartments.

## 2.3 Design Principles

| Principles                                                                                                                                     | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
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| <i>Public domain is prioritised with arrival to the precinct via public open space, green links and the enhanced active transport network.</i> | <p><b>Complies</b></p> <p>The Hills Showground Precinct East is designed with interconnected semi-public open spaces, and Precinct East Park, seamlessly expanding upon the larger Green Grid, thereby creating a more unified and connected environment. A well-designed public domain enhances comfort and amenity for all users providing direct and connected access to the nearby Metro Station and existing social infrastructure. By capitalising on the site's topography, the strategy creates a good response, resulting in a network of spacious communal open spaces across the proposal. The communal open spaces enhance greenery and offer a connection to nature. The strategic location of these spaces enhances amenity offering improved solar access and district views.</p> <p>Refer to the below figure identifying the site within the wider Showground Precinct and the extent of where works are proposed as part of this SSDA.</p>  <p>The figure is an aerial site plan of the Hills Showground Precinct East. It shows a network of roads, buildings, and green spaces. A red dashed line outlines a specific area within the precinct, indicating the 'Scope of Works'. The area includes several buildings, parking lots, and green spaces. A legend at the bottom right of the image shows a red dashed line and the text 'Scope of Works'.</p> |

**Figure 4: Site wide landscape plan, scope of works outlined in red (Source: Land and Form)**

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| <p><i>Existing and new landscapes are connected creating a cohesive network of green public domain that extends through the site and beyond its boundaries.</i></p>                                                                                                  | <p><b>Complies</b></p> <p>The UDG prepared by Cox Architecture and Oculus for the Concept SSDA considered the relationship and future connections between the Showground Precinct and Cattai Creek. Doran Drive Precinct is separated from the Cattai Creek Corridor by Precinct West, which will form a separate future application. The UDG identifies the western edge of Precinct West as the future Cattai Creek Masterplan interface, as well as an opportunity for a future pedestrian link connecting the two. The site is required to work within the existing subdivision layout of the Showground Precinct, including roads, pedestrian pathways, cycle paths and bus stops etc. that have already been constructed.</p> <p>The wider precinct consists of several north-south streets and pedestrian connections that link Carrington Road in the south, to the Showgrounds in the north. This offers pedestrians multiple routes for connecting through the site to the Showgrounds to the north. De Clambe Drive is the key east-west link that connects the wider precinct from Cattai Creek to Showground Road in the east. The future Precinct East Park (approved separately to this subject application) will link the existing network of public spaces within the precinct, creating a green vein from the Station Plaza through to the eastern extent of the site and to Showground Road beyond.</p> <p>Collectively the above elements offer a highly connected and permeable precinct, that has a series of consistent green landscaped ribbons that align with the desired character of the ‘garden shire’.</p> |
| <p><i>A strong and active heart is created by stitching together the Cattai Creek Corridor, Castle Hill Showground and the station plazas with the transport interchange and mixed-use core enhancing the civic nature of the site adjacent to the Metro.</i></p>    | <p><b>Complies</b></p> <p>The Showgrounds Precinct East will provide an important role in supporting the wider Hills Showground Station Precinct and provides numerous connections to the nearby Cattai Creek Corridor, Castle Hill Showground, the station plazas and the mixed-use core located within the adjacent Doran Drive Precinct.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p><i>A rational figure ground is planned with public domain and streets framed by a built form edge that’s appropriately scaled, articulated and activated creating a legible, safe and enjoyable pedestrian experience.</i></p>                                    | <p><b>Complies</b></p> <p>The built form will comprise of a pedestrian-scale street edge. The buildings have been designed to provide activation, overlooking and natural surveillance of the adjoining public domain. There are numerous stairs and lift cores to the residential buildings, with these cores providing generous lobbies which provide clear sightlines to the adjacent streets. These lobbies offer activation of the streets and public domain at key locations.</p> <p>All ground floor apartments and townhouses provide a highly permeable street edge condition with good passive surveillance and safety. Where levels with the public domain allow, reasonable effort has been made for ground floor apartments and townhouses to have direct access to the public domain via steps and gates.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| <p><i>Amenity is maximised with solar gain, quality landscape and significant views via well planned site design and built form composition.</i></p>                                                                                                                 | <p><b>Complies</b></p> <p>The design adheres to the ADG, with the key amenity criteria of the ADG including solar, cross ventilation, communal open space and building separation requirements being met.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| <p><i>The Site’s unique values are celebrated by strengthening physical and visual connection to the significant adjacent assets including Cattai Creek and Castle Hill Showground, and reflecting the character and heritage of the site and its surrounds.</i></p> | <p><b>Complies</b></p> <p>The public art for the proposed development has been incorporated into the publicly accessible pedestrian link.</p> <p>The Cattai Creek Preliminary Landscape Masterplan report acknowledges that permanent water sources were central to Aboriginal life. Cattai Creek has a deep historical significance and cultural values to the Bendigal (Darug People). The Creek is a location where many Aboriginal artefacts have been recorded. The Creek would have been key to every day Bendigal life providing fresh water, food, natural resources and used as a camping site and ceremonial spiritual place.</p> <p>Early mapping of the area suggests Cattai Creek would have been a permanent source of water for the Bendigal (Darug People). The</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |

proposed artwork within the publicly accessible pedestrian link references these elements of flora and fauna. This will facilitate acknowledgement by people of our shared existence with local natural context. Refer to the proposed Connecting with Country Report prepared by Danny and Jamie Eastwood and the amended Landscape Report by Land and Form dated August 2024 for further detail.

## 2.4 Vision

| Vision                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
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| <p><i>“The Hills Showground Station Precinct will be a thriving local mixed-use centre; a walkable, lively place enhanced by strong connections to world class transport and the cultural and recreational destination of Castle Hill Showground. The precinct will provide diverse housing for different generations and lifestyles, framed by green open spaces that encourage connectivity, and will celebrate its views over Cattai Creek and the wider Garden Shire”</i></p> <p><i>Detailed development proposals for The Hills Showground Station Precinct are to demonstrate alignment with the project vision.</i></p> | <p><b>Complies</b></p> <p>The proposed development has been designed to meet the vision as established in the UDG. The proposal will provide a vibrant precinct, bringing quality amenity to the residents within the development and to the wider community.</p> <p>The proposal has located all the services, loading dock, and back of house areas in the basement carpark in order to maximise the activation of the façade at street level. The tower podiums have been designed to be highly permeable and inviting, with extensive amounts of glazing to the facades. Clear lines of sight are provided between the streets and the internal ground communal courtyards via the lobbies and via breaks in the built form of the podiums.</p> <p>The publicly accessible pedestrian link has been designed to provide a flexible, generously landscaped public space, that is further embellished by public art. The new publicly accessible space will link the ribbon of green spaces of the wider precinct and provide access from Showground Road to the Metro Station further to the west.</p> <p>The development proposes a mix of 1, 2 and 3 bedroom apartments, as well as larger 3 storey townhouses. Apartments are well designed, meet the requirements of the ADG, and maximise views and outlook. The proposal includes a diversity of housing including adaptable and liveable apartments and affordable housing.</p> <p>Collectively the above components allow for a vibrant precinct, with a strong sense of place that will be enjoyable to live in and to visit.</p> |

## 2.6 Site Structure

| Controls                                                                                                                                                                                                                                                                  | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
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| <p>To ensure that development occurs in a coordinated manner consistent with the Precinct vision and the development principles of housing diversity, employment opportunities, transit oriented development, quality infrastructure and open space and place making.</p> | <p><b>Complies</b></p> <p>Staging has been approved by Council under development application (DA) 632/2024/HA. The approved staging plan is provided below and identifies the eight (8) separate stages of development. The approved staging will enable the timely delivery of the development.</p> <div><div><div>STAGE 1<br/>Construction of Temporary Exhibition Home &amp; Temporary Driveway Access</div><div>STAGE 2<br/>Construction of Road</div><div>STAGE 3<br/>Construction + Occupation of Lot 5 (448 Apartments)<br/>- Building D1 / Building D2<br/>- Building E1 / Building E2</div><div>STAGE 4<br/>Construction + Occupation of Lot 4 (290 Apartments)<br/>- Building A / Building B</div><div>STAGE 5<br/>Demolition of Temporary Exhibition Home</div><div>STAGE 6<br/>Construction of Lot 3 (135 Apartments)</div><div>STAGE 7<br/>Construction of Park &amp; Public Domain<br/>Final Road Finishes &amp; Delivery to Council</div><div>STAGE 8<br/>Final Occupation of Lot 3 (135 Apartments)</div></div><p>50<br/>12/06/2024</p><p><b>Figure 5: Approved Staging Plan (Source: Deicorp)</b></p></div> |
| <p>To provide a mix of housing, retail, employment, and services in appropriate and logical locations within the Precinct.</p>                                                                                                                                            | <p><b>Complies</b></p> <p>Showground Precinct East is residential only, as per the approved Concept Plan. Retail and employment uses are located in the separate Doran Drive Precinct to the west of this proposal.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| <p>To locate higher scale residential apartments and commercial uses closest to the station, the Castle Hill Showground and Cattai Creek corridor to optimise access to station facilities as well as outlook and natural amenity.</p>                                    | <p><b>Complies</b></p> <p>The proposal locates high scale residential apartments close to the station to provide a vibrant precinct immediately adjacent to the Metro Station.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| <p>To develop a local centre and main plaza in the area immediately surrounding the station to provide local shopping, employment opportunities and other services to support the incoming population and establish a vibrant and well-used public domain.</p>            | <p>N/A.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |

## 2.7 External Interfaces

| Objective                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
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| <p>To ensure the delivery of a consistent, cohesive and complementary broader Showground Precinct in terms of;</p> <ul style="list-style-type: none"> <li>uses and activities</li> <li>built form</li> <li>public and private domain</li> <li>movement and access</li> <li>finishes and materials</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | <p><b>Generally compliant, non-compliances are justified</b></p> <p>The proposal delivers a considered and cohesive precinct that meets the vision of the UDG. Specifically,</p> <ul style="list-style-type: none"> <li>The proposal is compliant with the total GFA and with the desired residential uses.</li> <li>The proposal provides a compliant mix of dwelling types including 1, 2 and 3 bedroom dwellings.</li> <li>The proposal is compliant with the approved building setbacks and building separation as identified in the UDG.</li> <li>The proposal seeks to redistribute height across the Precinct in response to issues identified in complying with both the proposed building height controls and solar access controls of the UDG. A detailed response to this is provided in Section 5.2.8 of the UDG relating to building height. Ultimately, the redistributed height results in increased visual interest and skyline diversity. The changes are in keeping with the built form intent and desired density envisaged for the Precinct in the UDG.</li> <li>The proposal meets the ADG requirements for communal open space and private open space.</li> <li>The materials and finishes are chosen from a palette of robust, high quality, and low maintenance materials.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| Control                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| <p>1. Any development application within the Precinct East, Doran Drive Precinct and Precinct West must demonstrate that its proposals have considered the relationship between its subject site and the sites external to the Hills Showground Station Precinct where adjacent. This includes:</p> <ul style="list-style-type: none"> <li>Plans for Castle Hill Showground as at the time of the DA. It is noted that at the time of publication of these Urban Design Guidelines the Castle Hill Showground Masterplan was at Draft status but may be further progressed when this control is enforced.</li> <li>Plans for Cattai Creek Corridor as at the time of the DA. It is noted that at the time of publication of this UDG, the Cattai Creek Corridor Revitalisation Project was in its infancy. A Draft Master Plan had not yet been published.</li> <li>Development Applications within the rezoned residential areas along the south of Carrington Road and north- east of Showground Road</li> </ul> | <p><b>Complies</b></p> <p>The proposal is cognisant of its context and the emerging character of the area which is experiencing rapid change since the delivery of the new Metro Station. The proposal reacts to this emerging context by embracing its status as the vibrant heart of the wider community. The higher density future developments being delivered as part of the surrounding Development Applications, including the rezoned residential areas along the south of Carrington Road and north-east of Showground Road, will add to the vibrancy of the area, and further enhance the use of public transport and the new Metro Station.</p> <p>At its meeting on 25 August 2020, Council adopted the Master Plan for the Castle Hill Showground. The site is located immediately to the south of the Castle Hill Showground promenade area, to the south of De Clambe Drive. The proposed development is highly permeable with multiple pedestrian connections through the site connecting the Metro Station through to the Showground. Overall, the proposal supports the masterplan by creating connections and an active frontage to the showground precinct.</p> <p>The site does not have a direct interface with the Cattai Creek Corridor, however detailed consideration has been given to the corridor in terms of biodiversity impacts and stormwater run-off. Specifically, erosion and sediment control measures are to be implemented during the construction of the proposed development to minimise any potential impacts on the nearby waterway of Cattai Creek. The proposed development has also been designed to be integrated with the existing walking and cycling infrastructure and future links to Cattai Creek via the future Showground Precinct West.</p> <p>Future development in relation to rezoned residential areas have been considered in the accompanying EIS including in relation to traffic and potential amenity impacts.</p> |

2. *These relationship considerations must include the following elements:*

- a. *the quantum, location and operations of non-residential uses located along pedestrian desire lines, street interfaces, public open space interfaces and within podiums.*
- b. *the location, programme and function of public open spaces, the collective public and private domain character, finishes and materials, street furniture and fixtures, public art and interpretation.*
- c. *the relationships between the built form, site coverage, podiums, primary and secondary setbacks, building height, transition, separation, articulation, facades, finishes and materials.*
- d. *precinct-wide requirements for vehicular circulation, access, car parking, service vehicles and waste collection, pedestrian, and cyclist connectivity*
- e. *precinct-wide landform, cut and fill, topography, integrated water management, wind impacts and micro-climates.*

**Complies**

a. N/A

b. The location, programme and function of public open spaces, the collective public and private domain character, finishes and materials, street furniture and fixtures, and public art have been carefully considered, and collectively will achieve a quality design outcome that offers a high level of amenity for those who live in, and visit the development. The above items will create a strong and memorable sense of place that is connected to the natural context and the local history.

c. The proposal is compliant with the street wall heights, building separation and setback controls set out in the UDG. All podiums provide a 3m setback to the towers above and a broken up into a series of façade components of varying materiality and character that offer a human scale at street level. The residential towers each have their own architectural identity, which work together cohesively as a grouping of buildings.

d. All car parking is located within basement levels, with two car parking entries proposed from the new internal road to provide an improved public domain outcome.

Buildings A, B1, B2 and C benefit from a shared basement arrangement, with vehicular access via Building B1 and Buildings C1, C2, D1 and D3 have a shared basement arrangement with vehicular access via Building D2. The loading docks, waste management and servicing will be conducted from the basement levels to minimise impact on the façade and public domain.

The public domain has been envisaged as a pedestrian centric environment. Good sightlines and comprehensive passive surveillance allow for a safe place to live and visit at any time during the day.

e. The precinct-wide landform, cut and fill, and topography are already established by the completed street network within the precinct. This will be further complemented by the new publicly accessible pedestrian link.

In relation to stormwater, the revised Stormwater Management Plan prepared by Mott Mac Donald (dated 24 May 2024) provides a comprehensive and detailed overview of the proposed stormwater drainage system for each building within the development site. This Plan has been developed to manage the impacts of the proposed development on the existing site and downstream stormwater conditions. The implementation of the measures outlined in the plan will result in no worsening stormwater and environmental conditions and will provide improvement to quality of the runoff discharged from the site.

In relation to wind, a Pedestrian Wind Environment Study (dated 23 February 2024) and Wind Environment Addendum Memo (dated 9 August 2024) have been prepared by Windtech Consultants. These reports confirm that subject to inclusion of various treatments which have been incorporated into the design, the wind conditions within and around the development are expected to satisfy applicable wind comfort and safety criteria and the outdoor trafficable areas to be suitable for its intended uses.

## 2.8 Design Excellence

| Objectives                                                                                                                                                                                                                                                                                               | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| a. <i>To support the Design Excellence Strategy in outlining how design excellence will be achieved through the roles and responsibilities of each stakeholder, at each stage of the project lifecycle in which design can be controlled to maintain design integrity and achieve design excellence.</i> | <p><b>Complies</b></p> <p>As part of the preparation of the detailed development application, the project has been subject to formal design reviews with the SDRP established by the Government Architect NSW (GANSW). Two meetings have taken place with the SDRP, with one held on the 1 November 2023 and the second held on 5 June 2024. The application is accompanied by a Design Excellence Report (dated December 2023) and Addendum to the Design Excellence Report (dated August 2024) prepared by Deicorp which outline the design excellence process to date and how this collaborative and iterative process has informed the final design outcomes.</p> |
| b. <i>To support the project vision, objectives and design excellence benchmarks during detailed design development.</i>                                                                                                                                                                                 | <p>The design team will continue to support the project vision objectives and design excellence benchmarks during the future detailed design development.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |

| Controls                                                                                                                                                                                                                                                      | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. <i>Urban design and landscape architects are to be selected from the NSW Government Architect's 'Prequalification Scheme for Strategy and Design Excellence' or to collaborate with a pre-qualified architect.</i>                                         | <p><b>Complies</b></p> <p>Highly qualified and talented urban design and landscape architects have been appointed from the GANSW's 'Prequalification Scheme for Strategy and Design Excellence'. Collectively this team has the experience and ability to deliver best practice design outcomes for this site.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| 2. <i>All built form development across more than one lot is required to demonstrate architectural diversity in development outcomes. The use of multiple architects, which includes both established and emerging architectural firms, is encouraged.</i>    | <p><b>Complies</b></p> <p>This application has been prepared by two award architectural firms, namely Turner Studio and Group GSA, with a peer review process being carried out by Nation Architects.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| 3. <i>All residential and non-residential development is to adhere to the Urban Design Guidelines.</i>                                                                                                                                                        | <p><b>Generally compliant</b></p> <p>The proposal embraces the desired vision and character for this precinct as set out in the UDG. The proposal is largely compliant with the objectives and controls contained in the UDG. Where any non-compliances are proposed, these have been justified in this report.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
| 4. <i>Development is to address the principles of Crime Prevention Through Environmental Design (CPTED). Note: Consideration shall also be given to The Hills Shire Council's Policy Designing Safer Communities, Safer by Design Guidelines (June 2002).</i> | <p><b>Complies</b></p> <p>The application is supported by a Crime Prevention through Environmental Design (CPTED) Assessment prepared by Barker Ryan Stewart dated December 2023. The report has been prepared in accordance with the CPTED Guidelines prepared by the NSW Police in conjunction with the Department of Planning and Environment. The report incorporates a comprehensive assessment of local crime statistics, the site and proposed built form. Further, the assessment includes CPTED recommendations in accordance with the four crime prevention principles of Surveillance, Access Control, Territorial Reinforcement and Space/ Activity Management.</p> <p>The CPTED Report details compliance and consistency with The Hills Shire Council's Policy Designing Safer Communities, Safer by Design Guidelines (June 2002). The assessment confirms the proposed development is consistent with the guidelines and no requirement was identified for re-design of any built form or landscape elements of the proposal.</p> |
| 5. <i>All future detailed SSDAs are required to submit a CPTED Assessment.</i>                                                                                                                                                                                | <p><b>Complies</b></p> <p>As noted above, a CPTED Assessment has been submitted with the SSDA.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| 6. <i>All development is to comply with the sustainability mandatory targets and use best endeavours to achieve the stretch goals as outlined in the ESD report and ESD Requirements Tool.</i>                                                                | <p><b>Complies</b></p> <p>As outlined in the ESD Report prepared by E-LAB Consulting dated 19 December 2023 and the ESD addendum memo dated 16 August 2024, numerous ESD strategies are proposed to assist with the development in achieving high levels of sustainability and</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |

environmental performance. These strategies include:

- Compliance with BASIX Energy, Water and Thermal Comfort Targets:
  - 60% Energy
  - 40% Water
- Design is capable to achieve a 5 Star Green Star Standard, equivalent to Green Star Buildings v1, 2023
- Commitment to meeting the new requirements of SEPP 2023
- Significant on-site energy generation through a major solar PV array on the roof to reduce operational energy and GHG emissions associated with the site
- Water Sensitive Urban Design Principals being upheld
- Exceeding compliance requirements for NCC/BCA Section J 2022, including a performance façade and shading devices
- Provision of substantial communal open space and biophilic design for occupant amenity
- Following a range of sustainability initiatives across the site spanning energy efficiency, thermal performance, indoor environment quality, waste management, and comfort.

7. *Residential flat buildings are to meet the requirements for adaptable housing within Part B Section 5 Residential Flat Buildings of The Hills DCP 2012.*

**Complies**

Compliant with the Hills DCP 2012, 10% of housing is classified as adaptable housing (88 dwellings out of a total of 873 dwellings). The breakdown of adaptable dwellings is provided below:

- Building A – 13 adaptable dwellings
- Building B – 19 adaptable dwellings
- Building C – 10 adaptable dwellings
- Building D1 – 7 adaptable dwellings
- Building D2 – 36 adaptable dwellings
- Building E2 – 3 adaptable dwellings

8. *All types of residential accommodation are to consider flexibility in the design to allow adaptation to meet the changing needs of residents due to ageing or disability.*

**Complies**

The development incorporates 10% adaptable housing and a total of 20% of units incorporate Liveable Housing Guidelines Silver Level Universal design features to provide flexibility in the design of dwellings to meet the needs of residents.

## 2.9 Diversity and Inclusion

| Affordable Housing Objectives |                                                                                                                                                             | Comment                                                                                                                    |
|-------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------|
| a.                            | <i>To ensure that the development promotes social and economic integration while providing households on lower incomes access to housing opportunities.</i> | <b>Complies</b><br>The proposal provides 5% affordable housing equating to 44 apartments which is consistent with the UDG. |
| b.                            | <i>To ensure consistency in the material treatment of affordable and market dwellings.</i>                                                                  | <b>Noted</b><br>The material treatment and finishes of affordable and market dwellings will be indistinguishable.          |

| Controls |                                                                                                                                                                                                                                                                                                               | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
|----------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1.       | <i>A minimum of 5% of the number of dwellings delivered must be Affordable Housing. The location(s) and configuration(s) of affordable housing within the Hills Showground Station Precinct is flexible as long as the 5% minimum is met, and may occur on any or all of the associated development lots.</i> | <b>Complies</b><br>In adhering to the UDG, affordable housing represents 5% of all units, or 44 out of the total 873 units. All affordable housing units are located in Building C. Deicorp will engage with a Tier 1 Community Housing Provider under the National Regulatory System for Community Housing.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| 2.       | <i>Affordable Housing must be integrated into the overall development with no discernible difference in quality when compared to market housing.</i>                                                                                                                                                          | <b>Noted</b><br>Affordable units are designed and developed as market apartments and are consistent with other units in the development.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| 3.       | <i>The provision of Affordable Housing must conform with the State Environmental Planning Policy (Affordable Rental Housing), 2009 (ARHSEPP).</i>                                                                                                                                                             | <b>Noted</b><br>The ARHSEPP has been repealed, with the new provisions relating to affordable housing contained in Part 2 of State Environmental Planning Policy (Housing) 2021. The provision of affordable housing conforms with the relevant requirements under this SEPP.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| 4.       | <i>Car parking for affordable housing is to be in accordance with Sections 3.2.13, 4.2.12, and 5.2.16 Car Parking and Access of this document consistent with State Environmental Planning Policy (Affordable Rental Housing) 2009.</i>                                                                       | <b>Complies</b><br>Car parking is in accordance with Section 5.2.16 of the UDG. Specifically, 26 car parking spaces are allocated to the 44 affordable dwellings.<br><br>The affordable housing apartments are to revert to market housing after 10 years, whereupon the higher parking rate of 1 space per unit would apply. 18 of the 873 car spaces will be quarantined for a period of 10 years following which they can become available for the affordable apartments once they revert to market housing. This approach towards car parking provision is compliant with both the current and future requirements for the development.<br><br>The above proposed approach towards the provision of car parking was supported by the Department of Planning & Environment in the assessment of the Doran Drive Plaza Precinct (SSD 15882721) which imposed Condition B29(a)(i) which allowed for the parking provision to increase “ <i>when the affordable housing agreement expires</i> ”. |

| Liveable and Adaptable Housing Objectives |                                                                                                                                                                              | Comment                                                                                                                                                                                                           |
|-------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| a.                                        | <i>To encourage flexibility in design to allow people to adapt their home as their needs change.</i>                                                                         | <p><b>Complies</b></p> <p>A total of 10% of all homes (equating to 88 dwellings) are allocated as adaptable housing to allow people to adapt their home as their needs change.</p>                                |
| b.                                        | <i>To ensure the provision of homes that are easier to access, navigate and live in, and more cost effective to adapt when life's circumstances change.</i>                  | <p><b>Complies</b></p> <p>All adaptable dwellings have been designed in place from the outset (pre-adaption) so they can be easily adapted to meet changing needs of residents in the future (post-adaption).</p> |
| c.                                        | <i>To ensure a sufficient proportion of dwellings include accessible layouts and features to accommodate changing requirements of residents due to ageing or disability.</i> | <p><b>Complies</b></p> <p>The proposal meets the requirements for liveable and adaptable housing.</p>                                                                                                             |

| Controls                                                                                                                                                                                     | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. <i>A minimum of 20% of apartments are to achieve a 'Design and As-Built' Livable Housing Australia accreditation at silver level or above.</i>                                            | <p><b>Complies</b></p> <p>A total of 20% of all homes (equating to 178 dwellings) incorporate Liveable Housing Guidelines Silver Level Universal design features.</p>                                                                                                                                                                                                                                                                                                                                       |
| 2. <i>Residential flat buildings and multi-dwelling housing are to meet the requirements for adaptable housing within part B Section 5 Residential Flat Buildings of The Hills DCP 2012.</i> | <p><b>Complies</b></p> <p>Part B Section 5 Residential Flat Buildings of The Hills DCP 2012 was used to inform the design of adaptable units in development.</p>                                                                                                                                                                                                                                                                                                                                            |
| 3. <i>Residential flat buildings and multi dwelling housing are to comply with the standards under the Disability Discrimination Act and Building Code of Australia.</i>                     | <p><b>Complies</b></p> <p>The amended Access Report prepared by Morris Goding (dated 6 August 2024) includes an assessment of the development against the Disability Discrimination Act (DDA) and the Building Code of Australia (BCA). In summary, the proposed development is capable of achieving compliance with the relevant statutory and regulatory guidelines. Further work with the access consultant is expected during design development stage to ensure appropriate outcomes are achieved.</p> |

## Dwelling Typologies & Mix

### Objectives

- a. *To provide housing choice to suit different demographics, living needs and household budgets.*

### Comment

#### Complies

The proposed mix provides a diversity of 1 bed [16%], 2 bed [60%] and 3 bed [24%] dwellings. Within these dwelling types, there is a range of size and layouts that offer a high level of choice and amenity. Most dwellings allow for either a dedicated study or media space, to facilitate working from home and studying. Storage has been carefully integrated into the apartment plans, with an additional storage cage provided for every apartment in the basement car park.

- b. *To guide appropriate locations for differential typologies given their proximity to infrastructure and mixed-use areas, as well as adjacent residential areas and open space.*

#### Complies

The development comprises predominantly apartment typologies, with 14 townhouses located along the western edge of Buildings D and E facing the new internal roadway and the Precinct East Park.

### Controls

1. *Apartment mix is to be provided in accordance with Table 1 below. The approach below achieves an overarching mix across the Hills Showground Station Precinct of:*
- a. *No more than 25% studio or 1-bedroom dwellings or both*
- b. *At least 20% 3 (or more)-bedroom dwellings.*

Table 1: Hills Showground Precinct Apartment Mix

|                     | Precinct West                                                                                                                                                               | Doran Drive                                                                                                                                                  | Precinct East                                                                                                                                                |
|---------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1 bedroom dwellings | No more than 25% of the total number of dwellings (to the nearest whole number of dwellings) contained in the development are to be studio or 1-bedroom dwellings, or both. |                                                                                                                                                              |                                                                                                                                                              |
| 3 bedroom dwellings | At least 23% of the total number of dwellings (to the nearest whole number of dwellings) contained in the development are to be 3 or more-bedroom dwellings.                | At least 10% of the total number of dwellings (to the nearest whole number of dwellings) contained in the development are to be 3 or more-bedroom dwellings. | At least 24% of the total number of dwellings (to the nearest whole number of dwellings) contained in the development are to be 3 or more-bedroom dwellings. |

### Comment

#### Complies

The proposed mix is consistent with Table 1 in providing the following mix:

- One bedroom – 16% equating to 136 dwellings
- Two bedroom – 60% equating to 527 dwellings
- Three bedroom – 24% equating to 210 dwellings

2. *Any variation to the apartment mix controls must be supported by a market demand assessment prepared by a suitably qualified professional.*

N/A

3. *Townhouse apartments are to be provided at a minimum along the new internal street to Precinct East where 12m high (3 storey) envelopes are stipulated.*

The proposal provides for 14 three storey townhouses along the western edge of Buildings D and E facing into the new internal roadway and Precinct East Park. These large townhouse typologies have ground external private terraces that connect directly to the adjacent street and park via steps and gates.

## 2.10 Connectivity

### 2.10.1. Road Hierarchy

#### Objective

- a. *To respond to the role and function of existing roads within the broader Showground Station Precinct.*

#### Comment

##### Complies

On 16 September 2022, The Hills Shire Council granted consent to Development Application (DA) 988/2022/JPZ for subdivision of Precinct East creating three residential development lots, one open space lot and one residue lot relating to a future planned road including new road, demolition and the embellishment of a public park and public domain works. This approval has established the role, function and location of the internal roads, public domain and landscape works within this Precinct.



**Figure 6: Previously approved public domain works within the site (Source: Hills Showground Precinct East Public Domain)**

The buildings provide an appropriate interface to the adjoining public domain, including the roads and the parks. This has been achieved through the careful orientation of all buildings to ensure each building provides a direct street address and the location of lobbies, ground floor apartments and landscaping to ensure the adjoining public domain is highly activated.

- b. *To provide appropriate local access and services to the residential buildings and park.*

##### Complies

The provision of local access and services to the residential buildings is beyond the scope of this SSDA. The surrounding roads including DeClambe Drive, Showground Road and Carrington Road are already fully delivered and in use. The new internal road has been approved by the Hills Shire Council and will be constructed in accordance with DA 988/2022/JPZ.

### 2.10.1. Road Hierarchy

#### Control

1. *A new local street with a 17m road reserve is to be provided within Precinct East as shown in Figure 30.*

#### Comment

##### Complies

DA 988/2022/JPZ approved this new local street which is consistent with Figure 30. No further assessment of this control is required as part of the assessment of the subject SSDA.

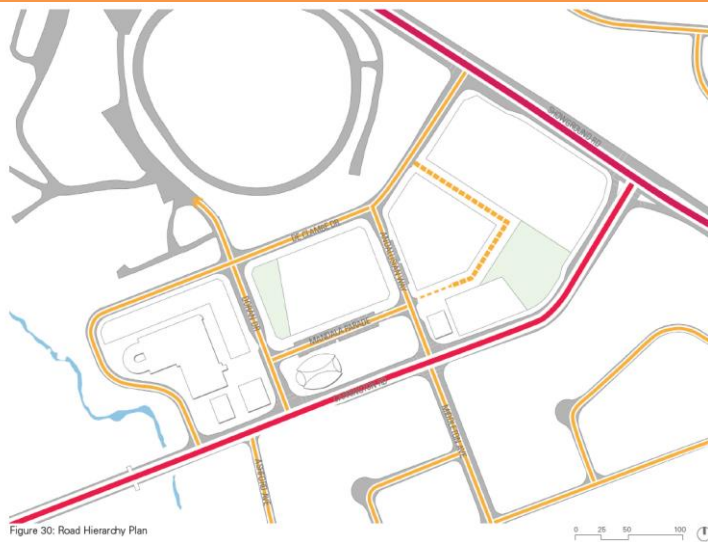


Figure 30: Road Hierarchy Plan  
 Potential two-way street Potential one-way street  
 Existing Local Street Existing Major Road

2. *The new local street is to be consistent with the street profile in Section 5.2.13.*

**Complies**

DA 988/2022/IPZ approved this new local street. No further assessment of this control is required as part of the assessment of the subject SSDA.

3. *The new local street is to be two-way to provide vehicular access to the residential development lots, however the street is to be one-way from the development lot to Andalusian Way to reduce the amount of traffic using Andalusian Way to access Precinct East*

**Non-Compliant but justified**

The approved road deviates from a one-way westbound road identified in the UDG. The intent of the one-way road was to reduce traffic volumes, minimising vehicles and pedestrian conflicts at this location. During the assessment of the application, it was determined that the same intent could be achieved with the two-way road and left-in left-out treatment at Andalusian Way / Road No 1 intersection due to the limited traffic using the proposed road at this location.

No further assessment of this control is required as part of the assessment of the subject SSDA.

4. *An appropriate transition and connectivity is to be provided between the new public road and the existing roads to ensure a uniform and logical profile. This may be achieved through finishes, treatment, and street trees.*

**Complies**

Development Application 988/2022/IPZ approved public domain and landscape works and appropriate transition and connectivity is provided between the new public road and the existing roads. No further assessment of this control is required as part of the assessment of the subject SSDA.

5. *The design and construction of road infrastructure shall comply with The Hills Shire Council's 'Design Guidelines for Subdivision and Developments'.*

**Complies**

The road infrastructure has been approved. No further assessment of this control is required as part of the assessment of the subject SSDA.

## 2.10.2. Active Transport

### Objective

### Comment

- a. *To reduce reliance on private motor vehicles for trips undertaken to/from, through and within the Precinct.*

#### Complies

The proposal meets the objectives of the approved concept plan for the Showgrounds Precinct East.

This area has traditionally been a car dependent community with poor public transport links and limited retail and services offering. This new proposal is part of the transformation of the area which is evolving into a transport orientated community, centered around the new Metro Station. The new Northwest metro line and improved bus connections now link this area to the wider Sydney region. The public domain has been envisaged as a pedestrian centric environment, where quality landscaping will make this an enjoyable place to live and to visit. Bicycle parking is located within the public domain, and in secure lock- up areas in the basement.

- b. *To maximise public transport patronage and encourage walking, cycling and other forms of active transport.*

#### Complies

Pedestrian & Bicycle - The existing pedestrian network enables quick access to Hills Showground Metro Station and De Clambe Drive, as well as a range of retail and employment opportunities with proximity to Doran Drive Plaza. The existing bicycle network includes dedicated off-road routes and links to active transport networks of the broader Precinct and the Garden Shire. With the delivery of the Precinct East Park and accompanying sub-division road, the continuity of landscaped paths provides primary connections between the Precinct, the Hills Showground Station, Castle Hill Showground and Cattai Creek.

Public Transport - Hills Showground Station is a bus-rail interchange station serving the local residents and includes a multi-storey park-and-ride facility. The recently opened Hills Showground Metro Station, part of the Sydney Metro network, is located only a short walk (approximately five minutes) from the site. Metro trains run frequently throughout the day at between six to ten minute intervals – offering a high level of public transport accessibility for site users. This frequency is likely to increase to every four minutes following the completion of the wider Sydney Metro network.

Bus stops are generally within a short walking distance on Doran Drive, Carrington Road and Showground Road. The bus routes that operate around Hills Showground Station typically run between a variety of places such as Dural, Rouse Hill, Castle Hill, Pennant Hills, Kellyville, Epping, Castlewood, Blacktown and Parramatta, via Castle Hill, Cherrybrook, Kellyville, Norwest, Glenwood, Baulkham Hills, and other adjacent suburbs providing a wide array of local accessibility. The frequency of seven bus services available in the proximity of the site, being routes 601, 604, 626, 633, 651, 660 and 730, range from four to eight services per hour.

#### Vehicular

The Hills Showground Station Precinct is well served by parking facilities and supports a well- connected city centre, locally and into the metro region.

- c. *To provide weather protected, active connections between the station, transport interchange, Doran Drive Plaza, Castle Hill Showground, and the regional recreational resource of Cattai Creek via the existing footpath.*

#### N/A

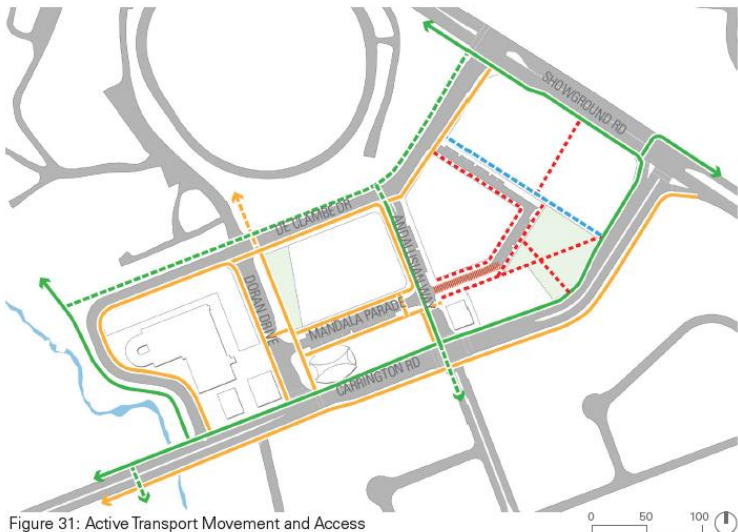
- d. *To complete the pedestrian and bicycle network, which includes a mixture of dedicated off-road routes, pedestrian, and bicycle priority shareways and links to the existing active transport networks of the broader Precinct and the Garden Shire.*

#### Complies

With the exception of the publicly accessible pedestrian link, the pedestrian and bicycle network adjoining the site have either been completed or approved separately to this SSDA. The proposed pedestrian link will connect Showground Road in the east to the new internal road within the site and will improve accessibility and connectivity for pedestrians.

|                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| e. <i>To consider the needs of the residents with particular consideration to access requirements, safety and security.</i>                                                                                                                    | <b>Complies</b><br>Entries, ground floor apartments and townhouses have been carefully considered through the activation of the street edge to provide natural surveillance. Clearly defined pedestrian pathways have been provided around the perimeter of the development and within the proposed publicly accessible pedestrian link. The public domain on all sides of the subject site is pedestrian centric, and has carefully managed any integration of car park, loading, and other services requirements.                                  |
| f. <i>To ensure that appropriate pathways, with high levels of pedestrian amenity are provided for residents in the locality along identified desire lines in accordance with Council's ESD objective 9 (THDCP (2012) Part A Section 5.1).</i> | <b>Complies</b><br>With the exception of the publicly accessible pedestrian link, the pedestrian and bicycle network adjoining the site has either been completed or approved separately to this SSDA. The proposed pedestrian link provides excellent pedestrian amenity and incorporates extensive tree planting, canopy cover, public art and seating areas. For further information, refer to the amended Landscape Report (dated August 2024) and amended Landscape Plans (dated 6 August 2024) prepared by Land and Form Landscape Architects. |
| g. <i>To ensure provision is made for bicycle access and storage in accordance with Council's ESD objective 9.</i>                                                                                                                             | <b>Complies</b><br>Bicycle parking is located in secure areas in the basement.                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |

## 2.10.2. Active Transport

| Control                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>1. <i>Active transport movement and access throughout the Precinct is to be provided in accordance with Figure 31.</i></p>  <p>Figure 31: Active Transport Movement and Access</p> <ul style="list-style-type: none"> <li>Existing Off-Road Shared Path</li> <li>Potential Pedestrian Connection (by others)</li> <li>Existing Pedestrian Path</li> <li>Potential Off-Road Shared Path (by others)</li> <li>Proposed Pedestrian Path</li> <li>Proposed Shared Path</li> <li>Potential Shareway</li> </ul> | <p><b>Generally Compliant</b></p> <p>The pedestrian paths and proposed path to the new road and park will be constructed in accordance with DA 988/2022/JPZ.</p> <p>The UDG identifies two pedestrian paths across the park, however a modification application to 988/2022/JPZ will be lodged to Hills Shire Council to amend the previously approved park design which it interfaces with the proposed adjacent buildings. Specifically, the approved eastern edge of the park assumes two connections into the adjacent future building along the eastern edge. However, the proposed development under the design of the subject application provides a series of townhouses along this interface and so it is proposed to amend the park design along this edge to replace the two pedestrian connections with six individual connections and a landscape buffer along this edge.</p> <p>Similarly, the approved western edge of the park also assumes two connections into the adjacent future building along the eastern edge. However, the proposed development under this SSDA does not involve any direct connections between the adjacent building and the park and so it is proposed to amend the park design along this edge to remove the two pedestrian connections and embellish the landscape treatment along this edge to provide an improved landscape buffer.</p> <p>This non-compliance with the UDG will be assessed by Council as part of a future modification application to DA 988/2022/JPZ. It is noted that Council has provided it's in principal support to these changes within the park.</p> |
| <p>2. <i>A potential shared zoned to supplement the one-way treatment on the local road is to be provided between the Precinct East Park and Andalusian Way, subject to TfNSW and Council approval, to prioritise pedestrian movements between Precinct East and the Station.</i></p>                                                                                                                                                                                                                                                                                                         | <p><b>Complies</b></p> <p>DA 988/2022/JPZ approved a road from Andalusian Way extending to the full park frontage along Road No 1 to provide pedestrian priority outside the park and facilitate high pedestrian volumes generated between the Hills Showground Precinct East and Hills Showground Station. Traffic calming treatments to this road were included to prioritise active transport such that vehicle speeds</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |

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|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                                                                                                                                                                                                     | <p>would be reduced and a transition between the park and local roads can be created.</p> <p>No further assessment of this control is required as part of the assessment of the subject SSDA.</p>                                                                                                                                                                                                                                                                                            |
| 3. <i>Shared paths are to have a minimum width of 2.5m.</i>                                                                                                                                                         | <p><b>Complies</b></p> <p>The design of the shared path has been approved under DA 988/2022/JPZ and will be delivered as part of this approval.</p>                                                                                                                                                                                                                                                                                                                                          |
| 4. <i>Access to dwellings should be direct and without unnecessary barriers. All external and internal pathways and ramps should conform to the requirements set out in Australian Standard 1428 Parts 1 and 2.</i> | <p><b>Complies</b></p> <p>All entrances from buildings and ground floor terraces and apartments provide direct access, without unnecessary barriers. An updated Access Report prepared by Morris Golding (dated 6 August 2024) accompanies this application and confirms that all access requirements appear capable of achieving compliance with Australian Standard 1428 Parts 1 and 2. Further work is to be undertaken during design development to ensure compliance is maintained.</p> |
| 5. <i>Clearly defined pedestrian pathways are to be provided between proposed developments and proposed footpaths along sub-arterial roads.</i>                                                                     | <p><b>Complies</b></p> <p>Clearly defined pedestrian pathways have been provided around the perimeter of the development and are proposed within the proposed publicly accessible pedestrian link.</p>                                                                                                                                                                                                                                                                                       |
| 6. <i>Developments are to have adequate lighting in common and access areas to ensure the safety of residents and property.</i>                                                                                     | <p><b>Complies</b></p> <p>The development will have adequate lighting in common and access areas to ensure the safety of residents and property. The extent of this detail will be confirmed at the later design development and construction certificate phases.</p>                                                                                                                                                                                                                        |
| 7. <i>Building and unit numbering and all signage is to be clear and easy to understand.</i>                                                                                                                        | <p><b>Complies</b></p> <p>Building and unit numbering and all signage will be clear and easy to understand. This extent of detail will be confirmed at the later design development and construction certificate phases.</p>                                                                                                                                                                                                                                                                 |
| 8. <i>Pathway locations must ensure natural surveillance of the pathway from primary living areas of adjoining units. Dwelling entries must not be hidden from view and must be easily accessible.</i>              | <p><b>Complies</b></p> <p>The design, orientation and layout of the apartments and townhouses across the development site provide good levels of passive surveillance of pathways adjoining and within the site. Nearly all ground floor apartments and all townhouses have direct access to the street to create a highly permeable street edge condition with good passive surveillance and safety.</p>                                                                                    |
| 9. <i>Bicycle lockup facilities are to be provided close to the main entry to the building.</i>                                                                                                                     | <p><b>Complies</b></p> <p>Bicycle facilities are provided within the main basement carparking areas and have easy access to the lifts that connect to the residential dwellings above.</p>                                                                                                                                                                                                                                                                                                   |

## 2.11 Public Domain and Landscape

### 2.11.1. Public Open Space

| Objective                                                                                                                                                                           | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| a. <i>To deliver a well-connected, accessible, high quality, diverse, multifunctional and flexible public open space.</i>                                                           | <p><b>Complies</b></p> <p>For Precinct East, the UDG requires the delivery of Precinct East Park and the provision of a public pedestrian link connecting the new internal road to Showground Road. The Precinct East Park has been approved under DA 988/2022/JPZ and will be delivered under this DA.</p> <p>The proposal includes the publicly accessible pedestrian link as required by the UDG which will be universally accessible and compliant with DDA requirements. The link will provide a safe and comfortable public pedestrian connection including a 3m wide footpath within a minimum 8m wide publicly accessible space. The link will be visually interesting, will provide public art and a continuous tree canopy provided along its length. The delivery of the link will add to the diversity and functionality of the public open space across the wider Showground Precinct.</p> |
| b. <i>To reinforce primary connections between the Precinct, the Hills Showground Station, Castle Hill Showground and Cattai Creek.</i>                                             | <p><b>Complies</b></p> <p>The design for the publicly accessible pedestrian link allows for a generous hard landscaped pavement area along that provides a direct connection from the Metro Station to Showground Road. This pedestrian link has been further embellished with artwork as part of the Connecting with Country considerations.</p> <p>The public domain on all sides of the subject site is pedestrian centric, and has carefully managed any integration of car park, loading, and other services requirements. The proposal reinforces the connections between the Metro Station, the Showgrounds, and Cattai Creek.</p>                                                                                                                                                                                                                                                               |
| c. <i>To provide a central open space that can perform as the active community 'heart' over the Precinct.</i>                                                                       | <p><b>Complies</b></p> <p>DA 988/2022/JPZ approved the Precinct East Park which acts as the central open space for this precinct.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| d. <i>To provide sufficient open space to suit the needs of the residents, employment community and visitor, and that complements the existing open space network.</i>              | <p><b>Complies</b></p> <p>The proposal includes a significant amount of open space to meet the needs of the residents and those visiting. The Precinct East Park within Showgrounds Precinct East will provide amenity for the wider community. All ground floor communal open spaces have been designed as flexible spaces that meet the needs of all age groups and demographics within the development. The communal rooftop terraces at the upper levels have been deliberately designed with both active areas and more passive type spaces, for rest and relaxation, to avoid any acoustic implications to adjacent apartments. Collectively this range of open spaces and landscaping allows for quality amenity for the new emerging precinct.</p>                                                                                                                                              |
| e. <i>To ensure clear, legible and safe pedestrian and cycle connections, including links to the regional cycle network.</i>                                                        | <p><b>Complies</b></p> <p>The design of the public domain allows for clear sight lines, good lighting and passive surveillance from apartments and townhouses which creates a safe environment. Bike use is encouraged through the provision of bike racks within secure areas in the basement car park.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| f. <i>To deliver an environmentally and socially sensitive and responsive design that ensures the environmental qualities of surrounding landscapes are maintained or enhanced.</i> | <p><b>Complies</b></p> <p>With regard to the required public open space, approval is sought for the pedestrian through site link as Precinct East Park has been approved under DA 988/2022/JPZ. As detailed in the updated Landscape Report and Landscape Plans prepared by Land and Form Landscape Architects (dated August 2024), the link provides a continuous tree canopy along its entire length which incorporating native trees, and water sensitive urban design planting. The paving comprises locally sourced material which will create a curved meandering path to establish connection to the nearby Cattai Creek Corridor which is located on the western extent of Precinct West.</p>                                                                                                                                                                                                   |
| g. <i>To provide an emphasis on local character and a continuity of landscape.</i>                                                                                                  | <p><b>Complies</b></p> <p>As identified in the Connecting to Country Report prepared by Aboriginal Artists Danny Eastwood and Jamie Eastwood, Cattai Creek has a</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |

deep historical significance and cultural value to the Bediagal (Darug) people. The creek is a location where many Aboriginal artefacts have been recorded. The Creek was key to everyday life of Bediagal people providing fresh water, food, natural resources and used as a camp site and place for spiritual ceremonies. Cattai Creek flows into the Hawkesbury River and is named after the local Aboriginal Clan. For Indigenous people, Cattai Creek is an intricate part of the landscape that holds vast social, cultural and economic importance.

The publicly accessible pedestrian link has been designed to represent the creek having a deep spiritual and cultural connection to the locality and the First Nation People. It is an expression of the natural resources significant within indigenous culture. The proposed link will feature native plants and an interconnected green space providing a physical and spiritual connection to Cattai Creek. Vegetation within the link has been carefully selected to represent native vegetation seen in the Cattai Creek riparian corridor which can support the flourishing of native fauna.

- h. *To ensure the delivery of public art assets as part of an integrated public domain and public open spaces*

#### **Complies**

The design development of the project has evolved with careful consideration and recognition to the importance of the First Nations historic and ongoing care of Country. The UDG identify the publicly accessible pedestrian link in Lot 5 as a preferred location of public art. Indigenous artists Mr Danny Eastwood and Mr Jamie Eastwood (Darug) have been engaged to deliver a public art strategy that integrates Connection to Country with the design of the development. The Connecting to Country strategy was informed by a Walk on Country and ongoing design workshops with the project team, as well as consultation with Traditional Custodians.

The Connecting with Country Strategy has evolved from an identification by Traditional Custodians of the following:

- Connecting with Country through landscape: Cattai Creek has a deep historical significance and cultural values to the Bediagal (Darug People). The creek is a location where many Aboriginal artefacts have been recorded. The creek was key to everyday life of Bediagal people providing fresh water, food, natural resources and used as a camp site and ceremonial spiritual place.
- Connecting with Country through language: The area is rich in native birdlife and language can be expressed by the use of Traditional names of the native birds in the landscape of the Castle Hills Area. The proposed development seeks to implement the above themes within the publicly accessible through site link within Lot 5 with a landscape design that references the Cattai Creek, and with Darug bird names alongside the English bird names in the paver design.

The proposed development seeks to implement the above themes within the publicly accessible through site link within Lot 5 with a landscape design that references the Cattai Creek, and with Darug bird names alongside the English bird names in the paver design.



**Figure 7: Illustrative design of public art and Connecting with Country for publicly accessible pedestrian link**

i. *To retain the existing landscape qualities within public open spaces in terms of topography and existing trees.*

**Complies**

There are no existing landscape qualities to be retained where the future pedestrian link is to be located. The site has been cleared and is devoid of any vegetation and trees in the location where the future pedestrian link is proposed.

### 2.11.1. Public Open Space

| Control                                                                                                                                                                                                                                                         | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>1. Two new publicly accessible open spaces are to be provided:</p> <p>a. An urban plaza in the mixed-use Doran Drive Precinct – Doran Drive Plaza</p> <p>b. A local park within the new residential neighbourhood of Precinct East – Precinct East Park.</p> | <p><b>Complies</b></p> <p>a. N/A</p> <p>b. DA 988/2022/JPZ approved the Precinct East Park</p>                                                                                                                                                                                                                                                                                                                                                                                                     |
| <p>2. A publicly accessible pedestrian link is to be provided between Precinct East Park and Showground Road with a minimum width of 8m.</p>                                                                                                                    | <p><b>Complies</b></p> <p>The dimensions for the publicly accessible pedestrian link comply with the minimum width of 8m. The gradients comply with DDA requirements. Clear sightlines are provided and quality lighting is proposed to ensure a safe and inviting space is created.</p>                                                                                                                                                                                                           |
| <p>3. All new publicly accessible open spaces are to be universally accessible and compliant with the Disability Discrimination Act 1995 (DDA).</p>                                                                                                             | <p><b>Complies</b></p> <p>The publicly accessible pedestrian link has been designed to be universally accessible and compliant with the DDA requirements.</p>                                                                                                                                                                                                                                                                                                                                      |
| <p>4. Buildings that interface directly with the publicly accessible open spaces are to be accessed from those spaces via active retail and commercial frontages or residential courtyards</p>                                                                  | <p><b>Complies</b></p> <p>To ensure activation of the publicly accessible pedestrian link, the residential lobby of Building E1 (Lobby A) is located on the western extent of the link and the residential lobby of Building D2 (Lobby C) is located on the eastern extent of the link. The six townhouses located within Building E have direct access from the Precinct East Park into their private courtyards and the residential lobby of Building C is similarly accessed from the park.</p> |
| <p>5. Attractive, high quality outdoor spaces for children to play shall be integrated into the public domain where appropriate. Such spaces should allow for interactive play and include seating and shading.</p>                                             | <p><b>Complies</b></p> <p>The pedestrian link incorporates public art and patterned paving to provide an attractive and high quality outdoor space appropriate for children to play in. It is noted that the adjoining Precinct East Park includes play equipment, seating and shading more suitable for interactive play.</p>                                                                                                                                                                     |
| <i>Doran Drive Plaza</i>                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| <p>6. Doran Drive Plaza is to be a minimum 1,400m<sup>2</sup> of publicly accessible open space located in accordance with Figure 34 and the drawings forming part of the Plans for Approval.</p>                                                               | <p><b>N/A</b></p> <p>This part does not form part of the proposal.</p>                                                                                                                                                                                                                                                                                                                                                                                                                             |
| <i>Precinct East Park</i>                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| <p>7. Precinct East Park is to be a minimum 3,500m<sup>2</sup> of public open space located in accordance with Figure 34 and the drawings forming part of the Plans for Approval.</p>                                                                           | <p><b>Complies</b></p> <p>The design of the Eastern Park has been approved under DA 988/2022/JPZ and is not part of the scope of this SSDA submission.</p>                                                                                                                                                                                                                                                                                                                                         |
| <i>Utility Infrastructure</i>                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| <p>8. Electricity reticulation and telecommunications is to be provided underground for all urban development.</p>                                                                                                                                              | <p><b>Complies</b></p> <p>Electricity and Telecommunications will all be underground for the development as part of the authority detailed design phase works.</p>                                                                                                                                                                                                                                                                                                                                 |
| <p>9. Any existing above-ground electricity reticulation service is to be relocated underground during the construction stage, to the satisfaction of the relevant authority, with the exception of main transmission lines.</p>                                | <p><b>Complies</b></p> <p>In consideration of the existing Endeavour Energy assets surrounding the proposed subdivision site, it is understood there are no existing overhead conductors that will require relocation underground. Should any overhead assets be identified during the design process, these will be relocated underground as required to the satisfaction of Endeavour Energy.</p>                                                                                                |

## 2.11.2. Communal Open Space

### Objective

- a. *To provide additional amenity and recreational opportunities within the private domain for the residents of the Precinct.*

### Comment

#### Complies

The proposed communal open spaces are designed as highly flexible spaces that can accommodate multiple uses. Generous public and private landscaped paths connect key hubs through the site and extend this connection to the wider context including the Castle Showgrounds Parklands and the Showgrounds Metro Station. A range of communal open spaces equating to 29% of the site area are provided to meet the varied needs of the residents. A summary of the key features of these spaces is outlined below.

- Three central communal courtyards are provided across the site which have been designed to be flush to the adjacent public domain, with all car parking and loading dock facilities located below ground at basement levels. As shown in the figure below, each of these communal spaces contain a range of features to suit a variety of activities. The communal open space between Buildings A, B1 and B2 is identified as the “Active Precinct” containing active green space, an outdoor cinema and BBQ, the communal open space between Buildings D1 and D2 is identified as the “Community Precinct” containing a community garden, breakout space and an outdoor gym and the communal open space between Buildings E1 and E2 is identified as the “Garden Precinct” containing passive space, a garden walk and a sensory garden.



Figure 8: Ground Floor Design Spatial Strategy (Source: Landscape Report, Land and Form Landscape Architects)

- All building entry lobbies have been carefully located to allow for direct view lines from the street into the central communal courtyards beyond. These site wide view lines add to the permeability and openness of the ground plane.
- Ground floor apartments facing into the central communal courtyards have private open space with fence lines that shield the apartment interiors and provide adequate privacy. The courtyards balance the need for significant soft landscaping,

planting and trees with the inclusion of programmed uses for residents such as children's play equipment, spill dining/seating areas adjacent to the resident's internal community room, etc.

- The leafy sheltered character of these central communal courtyards provides a contrast to the more open and sun-drenched rooftop communal courtyards and therefore offers residents the ability to go to outdoor spaces with sufficient comfort and amenity at all times of the year.
- All podium rooftops are landscaped with communal external rooftop terraces. The floorplates of the towers have been designed to allow for equitable access from all lift cores to these rooftop terraces. These spaces form important green outlooks from the apartments above, and their soft landscaping and planting reduces the urban heat island effect of the proposed built form.
- The rooftop terraces enjoy significant solar access at all times of the day and offer views out to the new Precinct East Park and district views across Showgrounds Road. Collectively, the range of communal open spaces provided exceed ADG area requirements and enjoy more than 50% receiving minimum 2hours solar access between 9am and 3pm each day.

## 2.11.2. Communal Open Space

| Control                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. <i>Communal open space is to be provided in the form of private areas at ground level, podium and rooftop level in accordance with SEPP 65 Apartment Design Guide.</i>                                                                                                                                                                                                                                                                                                                                                                                                                                             | <p><b>Complies</b></p> <p>Secure communal open areas are located at ground floor, mid-level and on rooftops. All buildings have direct access to the communal open areas. Collectively these communal open areas meet the requirements of the Apartment Design Guide.</p> <p>The communal open spaces have a range of active and passive uses that meet the varied requirements of all age groups and demographics. The rooftop communal terraces are envisaged as passive and active areas for relaxation, with quality solar access and views across the Showgrounds and surrounding precinct.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| 2. <i>External (outside) communal open space areas are to be located and designed to:</i> <ul style="list-style-type: none"><li>a. <i>Be seen from the street between buildings</i></li><li>b. <i>Provide for active and passive recreation needs of all residents</i></li><li>c. <i>Provide landscaping</i></li><li>d. <i>Present as a private area for use by residents only</i></li><li>e. <i>Include passive surveillance from adjacent internal living areas and/or pathways</i></li><li>f. <i>Have a northerly aspect where possible</i></li><li>g. <i>Be in addition to any public thoroughfares</i></li></ul> | <p><b>Complies</b></p> <ul style="list-style-type: none"><li>a. The main communal open areas are located at ground floor and form large courtyard areas in the middle of Buildings A and B, Building D and Building E. These communal spaces are provided at the same level as the adjacent streets. Straight view lines are provided from the streets into the central courtyards via the main entry lobbies, and via breaks in the built form of the podium. The mid-level rooftops are all landscaped with communal rooftop terraces. There are substantial planted areas around the edges of these rooftop terraces that provide a greening of the facades and visual interest when viewed from the streets below.</li><li>b. A range of uses are provided in the communal courtyards and terraces to cater to varying ages and demographics that are likely to live in a project of this size. The ground floor communal open spaces are generously landscaped with extensive soil depths and tree canopy. The program of the communal open space is designed for a variety of uses including play areas, open lawn and passive retreat spaces. The rooftop spaces are designed to be a series of active outdoor rooms with pergola and expansive district views, providing a variety of uses throughout the year for residents.</li><li>c. As detailed in the Landscape Plans and Landscape Report prepared by Land and Form Landscape Architects (dated August 2024), high-quality landscaping proposed to all communal spaces across the site.</li><li>d. Fences and secure lines are applied to the edges of the ground floor communal open areas to provide sufficient security for residents and remove any ambiguity in the type of space being provided.</li><li>e. Parking, plant rooms, and services are located in the basement, which allows for a highly activated façade to the lower levels of the buildings. Multiple apartments, town houses and lift lobbies overlook the communal open spaces for adequate passive surveillance.</li><li>f. The proposal is generally compliant with the prescriptive UDG controls relating to building envelopes and setbacks. This leads to ground floor communal courtyards that have an east-west orientation rather than northerly. To offset this, numerous communal rooftop terraces are provided to allow for a range of communal external areas that enjoy quality solar access, views and outlook. All lift cores have access to a rooftop terrace. Collectively this gives a range of spaces that can be used all year round and gives a choice between shade and full sun in the warmer summer months.</li><li>g. The communal open areas do not include any public thoroughfares and are located within fences/secure lines or located on the mid-level rooftop terraces.</li></ul> |
| 3. <i>Internal communal open spaces are to be located within a larger courtyard accessible via ground floor residential courtyards.</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | <p><b>Complies</b></p> <p>The main communal open areas are located at ground floor and form large courtyard areas in the middle of Buildings A and B, Building D and Building E. These spaces are accessible to residents only and are accessible from residential lobbies and secure access gates.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |

4. Communal open space is to provide a range of uses including seating, picnic facilities, play spaces, productive gardens and lawn areas amongst generous planting.

**Complies**

The communal open spaces have a range of active and passive uses that meet the varied requirements of all age groups and demographics. The additional rooftop communal terraces are envisaged as passive and active areas for relaxation, with quality solar access and views across the Showgrounds and surrounding precinct.

5. Internal open space areas are to provide opportunities for larger communal gathering and/or active recreation (i.e. kitchen facilities, tables and chairs, small-scale gymnasium or health studio) where possible.

**Complies**

A communal room is located within Building D2 at ground floor level, facing north into the central communal courtyard (refer figure below). It has direct level access from the adjacent D2 lift lobbies and from the central courtyard. The room has an external north facing terrace area, accessed from the north facing fully glazed façade. The communal room will provide opportunities for larger communal gathering and active recreation.



Figure 9: Ground level plan showing location of communal room outlined in red

6. Communal open space in Precinct East is to be primarily at grade and read as a continuation of the adjacent public domain character in planting and materiality. Small trees suitable for the landscaped area provided are encouraged.

**Complies**

Buildings A, B, D and E benefit from centralised at grade communal open spaces. These spaces are provided at the same level as the adjacent streets, with view lines provided from the streets via the main entry lobbies and breaks in the built form. The planting and materiality has been specifically chosen to read as a continuation of the adjacent public domain, including incorporation of a minimum of 70% native planting for local character.

7. Podium and rooftop gardens across all precincts are to incorporate a minimum of 70% native planting for local character, however this may be supplemented with exotics for colour and variation, and edible species as part of vegetable or herb gardens.

**Complies**

As detailed in the Landscape Plans and Landscape Report prepared by Land and Form Landscape Architects (dated August 2024), 70% of native planting is provided throughout the site. Communal open spaces also include lemon, orange and various citrus trees.

8. Rooftop gardens must be adequately enclosed and accessible to occupants of the development.

**Complies**

The proposed communal rooftop terraces all have lift access. The path of travel to the roof terraces and their doorways are all designed to be fully accessible. Pathways and paving have been designed to meet DDA requirements.

9. Roof features shall be designed to generate an interesting skyline and enhance views from adjoining developments and surrounding areas.

**Complies**

The Showgrounds East Precinct has a substantial fall from east to west. Each tower has a varied architectural expression, and their colour, materials, and detailing differ to create a playful grouping of buildings and a highly articulated architectural response. The mid-level and rooftop communal rooftop terraces allow for generous landscaping that provides a green verdant roofscape. Collectively these design considerations generate an interesting skyline and streetscape.

10. The design of exterior private open spaces such as podium or rooftop gardens are to achieve amenity by addressing visual and acoustic privacy, safety, security and wind effects.

#### Complies

All apartments that are directly adjacent to the main podium communal open space, or beside the communal rooftop terraces, are provided with minimum 1800mm high fences to their private terraces for visual and acoustic privacy. The landscape design also allows for generous deep planting adjacent to these fences as a green buffer. Active uses and places of gathering, such as BBQs, are located away from private terraces to avoid conflicts of use. Within the communal open areas, clear sightlines are provided, plus adequate lighting and wayfinding signage will be provided as part of the later detailed design development. Upper-level apartments provide appropriate passive surveillance of the communal open areas to discourage any anti-social behaviour.

11. The location and design of communal open space is to achieve direct sunlight to the principal usable part of the communal open space for a minimum of 2 hours between 9am and 3pm at the winter solstice (21 June).

#### Complies

Please refer to Communal Area Shadow Diagram (refer figure below) which shows the compliance of two hours solar access to the principle usable communal area between 9am and 3pm at the winter solstice. The proposal more than adequately meets this control, due to the size and orientation of the large central podium courtyard, and due to the additional rooftop communal terraces at the upper levels.

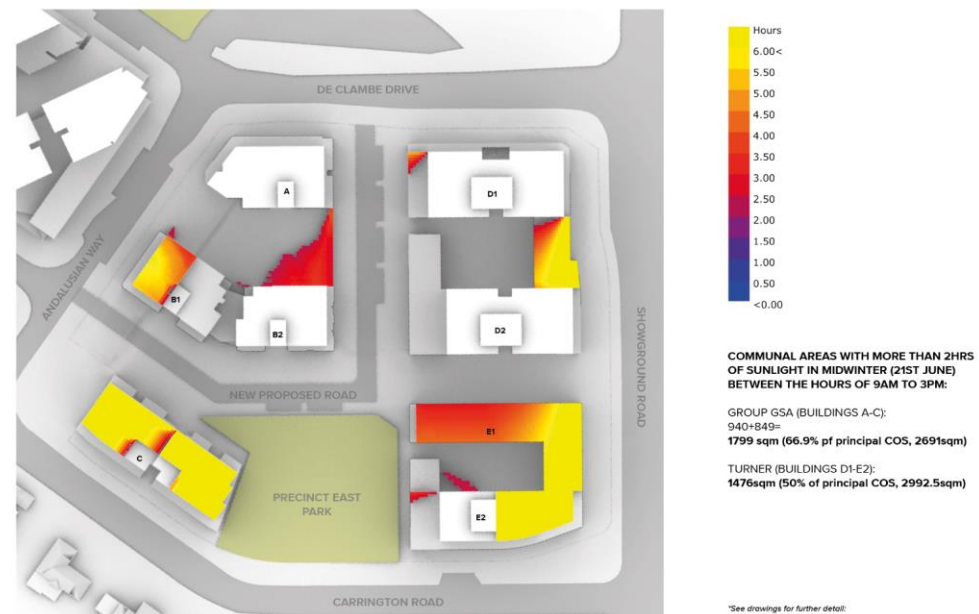


Figure 10: Diagram showing location of communal areas with more than two hours of sunlight at midwinter between 9am and 3pm (Source: Turner Studio)

### 2.11.3. Materials and Elements

#### Objective

#### Comment

a. *To emphasise local character and a continuity of landscape.*

#### Complies

The native palette is a feature element of the design proposal with the intention of creating a natural haven for the local community. The species selection is made up of endemic and important vegetation to the local regions and has been cross referenced with council's native planting list. Over 70% of native planting is proposed throughout the site.

b. *To provide robust and site appropriate materials and elements across the public domain.*

#### Complies

Material, finishes, furniture and fixtures have been selected with consideration to whole of life costs, detailed and installed to minimise ongoing maintenance needs. The materiality complements the natural setting of the site with the use of natural materials such as stone and timber. A high quality set of finishes are proposed throughout the public domain and new park for longevity of use for the local community. As the proposal goes through the development approval process, the team will work closely with Hills Shire Council to ensure the public domain aligns with Council's ambitions, standards and guidelines.

c. *To respond to the materials and elements in the existing open spaces and streets in the broader Precinct.*

#### Complies

Paving and furniture in the pedestrian link will be in accordance Council's standards for public domain works.

d. *To ensure that high quality public art is incorporated into the fabric of buildings in the public domain or other publicly accessible areas.*

#### Complies

Indigenous artists Mr Danny Eastwood and Mr Jamie Eastwood (Darug) have been engaged to deliver a public art strategy that integrates Connection to Country with the design of the development. This strategy was informed by a Walk on Country and ongoing design workshops with the project team, as well as consultation with Traditional Custodians.

The Connecting with Country Strategy has evolved from an identification by Traditional Custodians of the following:

- Connecting with Country through landscape: Cattai Creek has a deep historical significance and cultural values to the Bediagal (Darug People). The creek is a location where many Aboriginal artefacts have been recorded. The creek was key to everyday life of Bediagal people providing fresh water, food, natural resources and used as a camp site and ceremonial spiritual place.
- Connecting with Country through language: The area is rich in native birdlife and language can be expressed by the use of Traditional names of the native birds in the landscape of the Castle Hills Area

The proposed development seeks to implement the above themes within the publicly accessible through site link within Lot 5 with a landscape design that references the Cattai Creek, and with Darug bird names alongside the English bird names in the paver design. The public art will be delivered to a high quality and its detailed design will be overseen by Mr Danny Eastwood and Mr Jamie Eastwood (Darug).

### 2.11.3. Materials and Elements

#### Control

#### Comment

1. *All public domain materials and elements including walls, furniture and play equipment are to be durable and of a quality that can withstand public use and high pedestrian volumes.*

#### Complies

All public domain materials including paving and furniture are in accordance Council's standards for public domain works.

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| 2. <i>Where communal open space is at ground level, the materiality is to be complimentary to the adjacent public domain and may include additional materials such as brick and/or stone paving. Materiality of podium and rooftop</i>                                                                                                      | <p><b>Complies</b></p> <p>Feature granite paving is provided throughout. Paving in the public domain will be in accordance Council's standards for public domain works.</p> <p>The design strategy provides a durable and high-quality landscaped building setting with a consistency of quality and treatments across the site selected to complement the character of the architecture. Consideration has been given to durability and practicality for ongoing maintenance.</p>                                                                                                                                                                                                       |
| 3. <i>Fencing may be provided to delineate private vs public space, however should provide clear views into the ground level private open space.</i>                                                                                                                                                                                        | <p><b>Complies</b></p> <p>Fencing is provided to delineate private and public space.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| 4. <i>The fencing materials chosen must protect the acoustic amenity and privacy of courtyards.</i>                                                                                                                                                                                                                                         | <p><b>Noted</b></p> <p>This guideline will be adhered to during the design development phase prior to the construction certificate.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| 5. <i>All boundary fencing/ walls fronting a street shall be setback to permit landscaping, and shall include recesses and other architectural features.</i>                                                                                                                                                                                | <p><b>Complies</b></p> <p>Feature planters have been designed at key areas around the building perimeter, supplementing architectural recesses and other features.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| 6. <i>All fencing or walls shall be combined and integrated with site landscaping.</i>                                                                                                                                                                                                                                                      | <p><b>Complies</b></p> <p>Planting is integrated with fencing and walls.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| 7. <i>Fencing details for the site, clearly showing the location, height and type of proposed fencing is to be submitted as part of the development application.</i>                                                                                                                                                                        | <p><b>Complies</b></p> <p>The architectural plans prepared by Turner Studio and Group GSA include details regarding fencing locations, height, type and material.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| 8. <i>Lighting is to be provided to all public spaces and connections for interest, wayfinding and safety purposes. Lighting shall be designed to minimise glare and light pollution and is to be aesthetically pleasing, functional and relates to intended night time use and activity.</i>                                               | <p><b>Complies</b></p> <p>The publicly accessible pedestrian link will be lit to the agreed pedestrian category AS1158.3.1. Lighting within this standard ensures that light is provided on the horizontal plane and vertical (for facial recognition). The selected light category is verified against traffic and crime statistics to ensure the space is lit to an acceptable level for safety and ease of wayfinding.</p> <p>Lighting design will be designed to best practice to ensure spaces are not over lit and will be visually comfortable. The proposed lighting is fit for purpose but to also provide an ambience that encourages social interaction and use of space.</p> |
| 9. <i>Outdoor seating, bins, drink fountains and other furniture items are to be provided in consultation with, and to the satisfaction of, The Hills Shire Council, unless these elements are otherwise integrated within landscape design and treatments and that appropriate vehicular access is provided to facilitate maintenance.</i> | <p><b>Complies</b></p> <p>The publicly accessible pedestrian link incorporates seating areas, stone paving, trees and public art which have been integrated within the landscape design. Council has reviewed the landscape plans and made no comments in relation to the choice of materials within the link. Appropriate vehicular access is provided at either end of the link to facilitate maintenance.</p>                                                                                                                                                                                                                                                                         |
| 10. <i>Signage is to be provided in accordance with Sydney Metro's Northwest Wayfinding Strategy.</i>                                                                                                                                                                                                                                       | <p><b>Noted</b></p> <p>Signage related to wayfinding to the station and other destinations within the wider precinct to be coordinated post DA consent.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |

## 2.11.4. Planting and Trees

| Objective                                                                                                                                    | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
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| a. <i>To reinforce the Garden Shire context of the Precinct through extensive and diverse planting across public and private open space.</i> | <p><b>Complies</b></p> <p>Native and exotic planting is provided to both the private and public spaces. The proposal aims to increase urban canopy and city greening to improve green infrastructure, with a minimum 30% site canopy coverage through implementation of trees and ‘green’ canopy structures to mitigate heat island effect. All communal spaces have a strong component of soft native landscaping.</p>                                                                         |
| b. <i>To emphasise local character and a continuity of landscape.</i>                                                                        | <p><b>Complies</b></p> <p>The landscape design strategy is drawn from the site’s rich agricultural history and incorporates citrus planting to communal open spaces. In addition, the planting palette predominantly contains native plantings with the intention of creating a natural haven for the local community. The species selection is made up of endemic and important vegetation to the local regions and has been cross referenced with council’s native planting list.</p>         |
| c. <i>To respond to the existing planting across open spaces and streets in the broader Precinct.</i>                                        | <p><b>Complies</b></p> <p>Planting has been cross referenced with council’s native planting list.</p>                                                                                                                                                                                                                                                                                                                                                                                           |
| d. <i>To retain existing trees within open space where possible.</i>                                                                         | <p><b>N/A</b></p> <p>The site has been cleared and is devoid of any vegetation and trees in the location where the future pedestrian link is proposed.</p>                                                                                                                                                                                                                                                                                                                                      |
| e. <i>To enable survival and growth of new trees to achieve a large scale.</i>                                                               | <p><b>Complies</b></p> <p>The proposal is compliant with ADG and Council Guidelines regarding soil depth and soil volume to ensure the growth of new trees.</p>                                                                                                                                                                                                                                                                                                                                 |
| f. <i>To increase canopy cover and biodiversity.</i>                                                                                         | <p><b>Complies</b></p> <p>The proposal aims to increase urban canopy and city greening to improve green infrastructure, with a minimum 40% site canopy coverage through implementation of trees and ‘green’ canopy structures to mitigate heat island effect.</p>                                                                                                                                                                                                                               |
| g. <i>To enable the unique history and heritage of the site to be reflected through plant species and garden design.</i>                     | <p><b>Complies</b></p> <p>The landscape design strategy is drawn from the site’s rich agricultural history and incorporates citrus planting to communal open spaces.</p> <p>The landscape design also includes locally sourced sandstone, native vegetation seen in the Cattai Creek Riparian corridor including Eucalyptus Robusta, Ango Florbuna, Eucalyptus Moluccana, Eucalyptus Tereticornis, and Eucalyptus Crebra and an environment which supports the flourishing of native fauna.</p> |

## 2.11.4. Planting and Trees

| Control                                                                                                                                                                                                                                                                                                                        | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
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| <b>Species</b>                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| <p>1. <i>Planting design is to be appropriate for the intended location and function. Tree and plant species selection must take into account a number of factors including:</i></p> <p>a. <i>Climate/microclimate</i></p> <p>b. <i>Size requirements/constraints</i></p> <p>c. <i>Form</i></p> <p>d. <i>Native/exotic</i></p> | <p><b>Complies</b></p> <p>The planting palette has been carefully selected in direct response to a variety of site-specific conditions. The planting design will meet the following objectives:</p> <ul style="list-style-type: none"> <li>To increase the number of indigenous species planted in Hills shire region.</li> <li>To eliminate the use of noxious weeds of potentially invasive species in developments.</li> <li>To use plants in such a way to foster energy efficient development that relies on passive energy principles for heating and cooling.</li> <li>To reduce maintenance and water consumption through appropriate species selection.</li> </ul> |

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| <p>e. <i>Density of foliage</i></p> <p>f. <i>Growth rate</i></p> <p>g. <i>Availability</i></p> <p>h. <i>Maintenance (i.e. leaf fall, fruit drop) and safety (i.e. branch drop)</i></p> <p>i. <i>Other considerations such as interpretation, which is outlined in the Interpretation Strategy for the precinct and must be used to guide decisions.</i></p> | <ul style="list-style-type: none"> <li>• To create buffer zones and add to existing areas of remnant vegetation with locally indigenous species.</li> <li>• The landscape planting for the site will have a minimum of 75% of indigenous / water sensitive planting species.</li> <li>• The planting design incorporates native Cumberland woodland species including Eucalyptus moluccana, Eucalyptus tereticornis, and Eucalyptus crebra to reinforce the theme of Cattai Creek.</li> </ul>                                                                                                                                   |
| <p>2. <i>Drought tolerant plant species, and species that enhance habitat and ecology, are to be prioritised.</i></p>                                                                                                                                                                                                                                       | <p><b>Complies</b></p> <p>The Landscape planting for the site will have a minimum of 70% of indigenous / water sensitive planting species which are drought tolerant plant species, and species that enhance habitat and ecology.</p>                                                                                                                                                                                                                                                                                                                                                                                           |
| <p>3. <i>Native ground covers and grasses are to be used in garden beds and path surrounds. Turf is to be confined to useable outdoor areas.</i></p>                                                                                                                                                                                                        | <p><b>Complies</b></p> <p>Native ground covers and grasses will be planted within garden beds and lawn to the usable outdoor spaces.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| <p>4. <i>Native species are to be used for the Water Sensitive Urban Design rain garden areas.</i></p>                                                                                                                                                                                                                                                      | <p><b>Complies</b></p> <p>WSUD planting types provided in the planting schedule consists of the following WSUD types: the Corymbia maculata and Melaleuca linariifolia with native grasses, Pennisetum, Poa poiformis, Poa labillardieri and Lomandra longifolia.</p>                                                                                                                                                                                                                                                                                                                                                           |
| <p>5. <i>Tree and plant species are to reflect the four themes outlined in the Hills Showground Station Precinct Interpretation Strategy 2019, which are:</i></p> <p>a. <i>Aboriginal Cultural Heritage and History</i></p> <p>b. <i>Resistance and Rebellion</i></p> <p>c. <i>Agriculture and Orchardng</i></p> <p>d. <i>Pride in the Hills.</i></p>       | <p><b>Complies</b></p> <p>The planting schedule and proposed species are in accordance with Council's DCP and propose a 70% native palette. Communal open spaces include lemon, orange and various citrus trees. For further detail, refer to the landscaping plans prepared by Land and Form Landscape Architects which include planting plans dated August 2024.</p>                                                                                                                                                                                                                                                          |
| <p>6. <i>Consultation with The Hills Shire Council and with the Aboriginal community (as per Landcom's Draft Aboriginal Reconciliation Action Plan) is required to inform species choices.</i></p>                                                                                                                                                          | <p><b>Complies</b></p> <p>Consultation was undertaken with The Hills Shire Council during the design process. In accordance with the UDG, the proposed tree and plant species reflect the following four themes:</p> <p>a. <i>Aboriginal Cultural Heritage and History</i></p> <p>b. <i>Resistance and Rebellion</i></p> <p>c. <i>Agriculture and Orchardng</i></p> <p>d. <i>Pride in the Hills.</i></p> <p>The Draft Aboriginal Reconciliation Action Plan has wider applicability elsewhere in the precinct. Notwithstanding, the proposed species selection has been informed by the four design themes discussed above.</p> |
| <p>7. <i>Doran Drive Plaza is to utilise a combination of native and exotic species suited to its urban character with a minimum of 50% native species, including a grove of deciduous trees reflecting the area's history with orchards as outlined in Section 4.2.1. Public Art and Interpretation.</i></p>                                               | <p><b>N/A</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
| <p>8. <i>Precinct East Park and the pedestrian link are to have a palette of predominantly native plants (minimum 70%) that includes existing trees. Exotic deciduous trees (to a max 30% of total park trees) may be incorporated into the park as a feature and to provide solar access in winter.</i></p>                                                | <p><b>Complies</b></p> <p>The pedestrian link incorporates Native Cumberland woodland species including Eucalyptus moluccana, Eucalyptus tereticornis, and Eucalyptus crebra which provides a palette of predominantly native plants (minimum 70%). Reinforcing the theme of Cattai Creek – a fluid form and an interpretive paving pattern and locally sourced stone has been incorporated.</p>                                                                                                                                                                                                                                |
| <p>9. <i>Communal open spaces are to contain predominantly native species (minimum 70%) at ground level. Edible and exotic feature species are acceptable on podium and rooftop gardens.</i></p>                                                                                                                                                            | <p><b>Complies</b></p> <p>The planting schedule and proposed species are in accordance with Council's DCP and propose a 70% native palette. Communal open spaces include lemon, orange and various citrus trees. For further detail, refer to the landscaping plans which include planting plans.</p>                                                                                                                                                                                                                                                                                                                           |

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| <b>Existing Trees</b>                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| 10. <i>All existing trees within Precinct East Park that are of arboricultural significance are to be retained and protected, where possible.</i>                                                                                                                                                                                                                                         | <p><b>N/A</b></p> <p>Precinct East Park has been approved under DA 988/2022/JPZ.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
| <b>New Planting and Trees</b>                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| 11. <i>Planting in the public domain is to be combined and layered in a way that provides visual interest, reduces visible areas of mulch, is easily maintained, provides screening where appropriate and maintains clear sight lines where needed.</i>                                                                                                                                   | <p><b>Complies</b></p> <p>With the exception of the pedestrian link, planting within the public domain has been approved under DA 988/2022/JPZ. The pedestrian link includes a variety of planting including native canopy, understorey and water sensitive urban design planting to provide visual interest whilst maintaining adequate privacy for residential apartments fronting the link.</p>                                                                                                                                                                                                 |
| 12. <i>Layered planting is to be used to define the public and private interface with residential buildings, and to provide filtered views and adequate screening to balconies and front courtyards of garden apartments while maintaining visual surveillance of the public domain.</i>                                                                                                  | <p><b>Complies</b></p> <p>A mix of screen and layered planting is provided to address this.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| 13. <i>Large trees are to be planted in the new street in Precinct East, building setbacks and public spaces to provide scale and partial screening to built form in accordance with the Tree Canopy Cover controls contained in Section 2.16.4</i>                                                                                                                                       | <p><b>N/A</b></p> <p>Tree planting within the new street has been approved under DA 988/2022/JPZ.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| 14. <i>The new street in Precinct East is to have a predominantly native palette of large trees for scale and shade.</i>                                                                                                                                                                                                                                                                  | <p><b>N/A</b></p> <p>Tree planting within the new street has been approved under DA 988/2022/JPZ.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| 15. <i>New street trees within Precinct East to be planted at least at 10m intervals.</i>                                                                                                                                                                                                                                                                                                 | <p><b>N/A</b></p> <p>Tree planting within the new street has been approved under DA 988/2022/JPZ.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| 16. <i>Where primary setbacks exceed 6m, deep soil areas are to be incorporated for large scale planting.</i>                                                                                                                                                                                                                                                                             | <p><b>Complies</b></p> <p>Deep soil areas have been maximised with mass native tree planting where feasible throughout the development site.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| 17. <i>Trees and planting are to be used to provide a comfortable microclimate, including shade for seating and footpaths and adverse wind amelioration. In particular, dense evergreen trees shall be provided and shrubs and hedging shall be considered to improve wind conditions in the pedestrian link, at building corners, and between Precinct East Park and Andalusian Way.</i> | <p><b>Complies</b></p> <p>Trees species and planting have been selected and designed to provide a comfortable microclimate, with over 40% tree canopy achieved across the site. The planting design responds to deep soil zones and setbacks and includes Eucalyptus moluccana, Eucalyptus tereticornis, and Eucalyptus crebra to reinforce the theme of Cattai Creek.</p> <p>Within the pedestrian link, trees have been selected which are densely foliating and evergreen, capable of growing up to 4m in height to assist with ameliorating wind conditions within this public open space.</p> |
| 18. <i>Vegetation of the required size and nature is to be provided in locations identified in the wind assessment that is required to be submitted with a Development Application in accordance with Section 2.16.2.</i>                                                                                                                                                                 | <p><b>Complies</b></p> <p>A Wind Report and Addendum prepared by Windtech Consultants (dated 23 February 2024 and 9 August 2024, respectively) accompanies the application and endorses the planting locations and species selection identified in the landscape plans to ameliorate wind impacts.</p>                                                                                                                                                                                                                                                                                             |
| 19. <i>Landscaped areas are to have a minimum width of 2m. Areas less than 2m in width will be excluded from the calculation of landscaped area.</i>                                                                                                                                                                                                                                      | <p><b>Complies</b></p> <p>Landscape areas have a minimum width of 2m. The extent of landscaping is shown on the Landscape Compliance Diagrams provided by Land and Form dated August 2024. An extract of the landscaped areas across the site is provided below.</p>                                                                                                                                                                                                                                                                                                                               |



**Figure 11: Landscape compliance diagram, ground floor (Source: Land and Form)**

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| 20. <i>Soft landscaping to the front of the terrace is to be a minimum of 40% of the setback area, contiguous, and a minimum of 2m in any direction.</i>                                                                                                                                                                                             | <p><b>Non-compliant but justified</b></p> <p>There are some localised non-compliances with this control along the western side of Lot 5 to allow for sufficiently large enough private outdoor terraces to the three storey townhouses so that they have enough hardscaped area for outdoor dining and active uses and meet the ADG private open space requirements. The minor non-compliance is considered acceptable.</p> |
| 21. <i>Landscape design is to be integrated with water and stormwater management.</i>                                                                                                                                                                                                                                                                | <p><b>Complies</b></p> <p>The landscape design is integrated with water and stormwater management.</p>                                                                                                                                                                                                                                                                                                                      |
| 22. <i>The incorporation of green walls and roofs into the design of commercial and residential buildings is encouraged. Where suitable, building facades should incorporate vertical landscaping features to soften the visual bulk of buildings and to improve streetscape appeal. Refer to Section 2.15 Sustainability for relevant controls.</i> | <p><b>Not applicable</b></p> <p>No green roofs or green walls are provided.</p>                                                                                                                                                                                                                                                                                                                                             |
| 23. <i>Where roof gardens and green walls are provided, consideration should be given to the Urban Green Cover in NSW – Technical Guidelines, published by the Office of Environment and Heritage.</i>                                                                                                                                               | <p><b>Complies</b></p> <p>Noted.</p>                                                                                                                                                                                                                                                                                                                                                                                        |

## 2.12 Culture

| Objective                                                                                                                                                                                  | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
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| a. <i>To appropriately design and locate the development with sensitivity in order to minimise the likelihood of disturbance, impact or interface with any significant heritage items.</i> | <p><b>Complies</b></p> <p>The subject site is not listed as a heritage item, however, it is located in the vicinity of two locally listed heritage items under The Hills Local Environmental Plan 2019 (THLEP) including 'House', 128-132 Showground Road (Item No. 69) and 'House', 107 Showground Road (Item No. 68). It is also located directly to the south of the Castle Hill Showground which has previously been identified in the Northwest Rail Link Environmental Impact Statement: European Heritage Report (2012) as having heritage significance at a local level.</p>                                                                                                                                                                                                                                                                                                                                                                                        |
| b. <i>To narrate the different stages of historical land use in the study area and wider area through the design of built form, landscape and public art.</i>                              | <p><b>Complies</b></p> <p>Deicorp and the design team have worked closely with Danny Eastwood, a well-respected elder of the Western Sydney Aboriginal Community to understand the site's history and significance to the local Indigenous people. This is imperative in designing in a holistic and consolidated way.</p> <p>The methodology developed for Showground East Public art opportunity involved:</p> <ul style="list-style-type: none"> <li>• Historical research</li> <li>• Curatorial team discussed with local indigenous and Aboriginal knowledge holders and community members who have identified the potential for storylines and language significant to the native birds in the landscape of the Castle Hills Area.</li> <li>• Development of a Connecting with Country Strategy which has informed the location and type of proposed public art across the site to reflect the Aboriginal heritage of the site and greater Hills district.</li> </ul> |
| c. <i>To embrace and respond to Landcom's Draft Reconciliation Action Plan (RAP).</i>                                                                                                      | <p><b>Complies</b></p> <p>Indigenous artists Danny Eastwood and Jamie Eastwood were engaged by Deicorp from the outset of the project to promote reconciliation of the First Nations people. Through engagement and collaboration with these artists, the design concept provides an understanding of cultural, spiritual and ecological significance through preservation of culture and harmonious integration of Aboriginal Art within the development site.</p> <p>Further creative cultural workshop sessions have been planned for ongoing consultation with the Aboriginal community members who wish to continue to contribute to the Darug language in signage prior to finalising the artwork designs.</p>                                                                                                                                                                                                                                                        |
| d. <i>To foster a strong sense of culture and community within the new residential and non-residential population.</i>                                                                     | <p><b>Complies</b></p> <p>The proposed development will aid in fostering a strong sense of culture and community between the new development and the former Castle Hill Showground through the reinvigoration of the area which the development would afford. The proposal will generate opportunities for communication and public awareness of the Showground and its historical value within the Castle Hill area.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| e. <i>To connect and celebrate the non-Aboriginal and Aboriginal cultural heritage of the site and its context.</i>                                                                        | <p><b>Complies</b></p> <p>A Heritage Interpretation Strategy is to be prepared for the site which will aid in connecting and celebrating the non-Aboriginal and Aboriginal cultural heritage of the site and its context. The Strategy is to reference the Heritage Interpretation previously prepared by GML, which was prepared to support the concept application for the Hills Showground Station Precinct. It is expected that the requirement for the preparation of a Heritage Interpretation Strategy will be conditioned as part of any development consent that is granted.</p>                                                                                                                                                                                                                                                                                                                                                                                   |

| Control                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
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| 1. <i>Development at, or within the vicinity, must have regard to any heritage items listed in Schedule 5 of THLEP.</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | <p><b>Complies</b></p> <p>The development has had regard to the heritage items listed under the Schedule 5 of the THLEP as addressed in the accompanying Heritage &amp; Archaeological Impact Statement prepared by Urbis dated 18 December 2023.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| 2. <i>Future detailed design stages of the buildings should respond to the interface with the Castle Hill Showground site and provide an appropriate interface, through built form articulation and streetscape design in order to mitigate the impact on its setting.</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <p><b>Complies</b></p> <p>The buildings on the northern side of Precinct East, fronting De Clambe Drive and adjoining the Castle Hill Showground site are generally compliant with the built form anticipated by the UDG, noting that Building D1 is one storey lower than the UDG anticipates. These buildings incorporate their principal building entries to De Clambe Drive to provide an activating and engaging frontage which directly overlooks and interacts with the adjacent Castle Hill Showground.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| <p>3. <i>Cultural connections are to be developed during detailed design via the four interpretive themes and stories by incorporating high quality public art into the fabric of buildings in the public domain, other publicly accessible areas or open space areas, as well as other meaningful elements that underpin the themes as outlined below:</i></p> <p><b>Theme 1 - Aboriginal Cultural Heritage:</b></p> <ul style="list-style-type: none"> <li><i>Use extensive native planting across the public domain.</i></li> <li><i>Provide pedestrian and visual connections to Cattai Creek.</i></li> <li><i>Provide art and interpretation in public spaces and in consultation with the local aboriginal community.</i></li> </ul> <p><b>Theme 2 - Resistance and Rebellion:</b></p> <ul style="list-style-type: none"> <li><i>Provide historical interpretation in public spaces.</i></li> </ul> <p><b>Theme 3 - Agriculture and Orchardng:</b></p> <ul style="list-style-type: none"> <li><i>Plant communal vegetable gardens and fruiting trees in communal open spaces.</i></li> <li><i>Plant a grove of flowering trees in Doran Drive Plaza.</i></li> </ul> <p><b>Theme 4 - Pride in the Hills:</b></p> <ul style="list-style-type: none"> <li><i>Provide visual and physical connections to the adjacent Castle Hill Showground.</i></li> <li><i>Provide public art and interpretation in public spaces.</i></li> <li><i>Acknowledge the context of 'The Garden Shire' through extensive tree and understorey planting, planted setbacks to buildings, green roofs and podium gardens and visual connections to open spaces.</i></li> <li><i>Provide space for public community events and gatherings in Doran Drive Plaza.</i></li> <li><i>This is to be documented within the site- specific public art and interpretation plan that is also referenced in control number 10 of the Public Art and Interpretation section.</i></li> </ul> | <p><b>Complies</b></p> <p>Castle Hill is on the northern periphery of the Cumberland Plain and was part of the Cumberland Plain woodlands. These were the lands of the Bendigal, Tugagal and Booroobirronggal people. The Aboriginal people of this area depended on the small animals, insects and edible roots that were found on the Cumberland Plan, and also ate mullet from the creeks. Weapons and tools were made from stalks of grass trees, timber, or tree roots tipped with stone and bone.</p> <p>Throughout the 19th century, the area developed into a fruit- growing region, and by the 1890s the Castle Hill district was home to many orchards, small farms and houses. Oranges became a staple crop of the area, and market gardens became common with the arrival of European migrants in the early 20th century and again after World War II. The Showground became a centre for agricultural and horse shows and has retained its character as the surrounding development has evolved. In 2013, the Hills Entertainment Centre was demolished to make way for Showground Station.</p> <p>The landscape design strategy is drawn from the site's rich agricultural history and incorporates citrus planting to communal open spaces.</p> <p>Under the Connecting with Country Draft Framework created by the Government Architects of NSW, an Aboriginal Artist has been engaged to create integrated Aboriginal artworks into the project. As Indigenous artists with cultural heritage connections to the traditional land of the Darug people, the artists will elevate and create awareness of stories of the First Nation People, and to display these stories in a way that promotes reconciliation and awareness to Connecting with Country.</p> <p>Through shared knowledge and learning between local Aboriginal Elders, Aboriginal advisors, consultants, and the Aboriginal community as well as with project design team and The Hills Shire Council, the artist will create artworks that gives all who visit the artworks site access to learn and understand the local First Nation people.</p> |

4. Undertake appropriate and meaningful consultation and collaboration for the planning and production of Public Art and Interpretation as outlined in Control 4 of the Public Art and Interpretation section.

**Complies**

Indigenous artists Mr Danny Eastwood and Mr Jamie Eastwood (Darug) have been engaged to deliver a public art strategy that integrates Connection to Country with the design of the development. This strategy was informed by a Walk on Country and ongoing design workshops with the project team, as well as consultation with Traditional Custodians.

## 2.13 Public Art and Interpretation

| Objectives                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>a. <i>To celebrate the Aboriginal and European heritage of the site and its surrounds.</i></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | <p><b>Complies</b></p> <p>Public art has been approved in Precinct East Park by Council under DA 988/2022/JPZ. Over 150 artists were considered for the public art commission with local and indigenous artists included where possible, with a focus on public artists in NSW, with an established public art practise. The artist was chosen through selective tender. An evaluation panel was appointed comprising Landcom Public Art Curator, a Landcom representative, a project landscape architect representative and The Hills Shire Council representative.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| <p>b. <i>To add interest and local character to the public domain through public art and interpretation by including a range of public artwork types via an engagement of a Public Art Curator.</i></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | <p>The successful artist is Christina Waterson is from northern NSW with a concept that combined artistic excellence with practicality.</p> <p>The public art installation is a robust collection of elements which include:</p> <ul style="list-style-type: none"><li>• 8 vertical poles with powder coated folded metal floral forms</li><li>• 4-6 sandstone block seats</li><li>• 8 small granite seat pods</li><li>• 2 circular paving elements covering approximately 27 square metres</li><li>• Various laser cut inlaid interpretive elements folded into the seating</li></ul>                                                                                                                                                                                                                                                                                                                                                                                                                      |
| <p>c. <i>To select themes that reflect resonant and enduring ideas from the past and connect with values, interest and the kinds of experiences that has meaning and relevance to today's diverse communities.</i></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| <p>d. <i>To engage diverse communities and artists in a shared creative dialogue through consultation with local experts including The Hills Shire Council, state records and representatives of the Aboriginal community to ensure public art and interpretation are a true expression of the lived history of the area.</i></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | <p>Public art is proposed in two locations:</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| <p>e. <i>To ensure public art:</i></p> <ul style="list-style-type: none"><li>• <i>exemplifies artistic excellence and integrity and is driven by curatorial merit.</i></li><li>• <i>contributes to cultural identity and creates a distinctive sense of place for each precinct – both past and present.</i></li><li>• <i>helps build stronger, more connected</i></li><li>• <i>can be enjoyed by people of varied ages, backgrounds and abilities;</i></li><li>• <i>relates well to the built and natural environment, and is genuinely integrated into new development;</i></li><li>• <i>is appropriate and safe in public contexts, and is durable and easily maintained;</i></li><li>• <i>responds to the challenge of climate change through sustainable design and fabrication.</i></li></ul> |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <p><b>Figure 12: Approved public artwork locations within Precinct East Park</b></p> <p>In addition to the approved public art, under the Connecting with Country Draft Framework created by the Government Architects of NSW, an Aboriginal Artist has been engaged to create integrated Aboriginal artworks into the project. As Indigenous artists with cultural heritage connections to the traditional land of the Darug people, the artists will elevate and create awareness of stories of the First Nation People, and to display these stories in a way that promotes reconciliation and awareness to Connecting with Country.</p> <p>Indigenous artists Mr Danny Eastwood and Mr Jamie Eastwood (Darug) have been engaged to deliver a public art strategy that integrates Connection to Country with the design of the development. This Strategy was informed by a Walk on Country and ongoing design workshops with the project team, as well as consultation with Traditional Custodians.</p> |

The Connecting with Country Strategy has evolved from an identification by Traditional Custodians of the following:

- Connecting with Country through landscape: Cattai Creek has a deep historical significance and cultural values to the Bediagal (Darug People). The creek is a location where many Aboriginal artefacts have been recorded. The creek was key to everyday life of Bediagal people providing fresh water, food, natural resources and used as a camp site and ceremonial spiritual place.
- Connecting with Country through language: The area is rich in native birdlife and language can be expressed by the use of Traditional names of the native birds in the landscape of the Castle Hills Area.

The proposed development seeks to implement the above themes within the publicly accessible through site link within Lot 5 with a landscape design that references the Cattai Creek, and with Darug bird names alongside the English bird names in the paver design. The public art embodies all of the aims and objectives set out in the UDG, seeking to embed public art at the heart of the precinct, for the benefit of humans and animals.

| Control                                                                                                                                                                                                                                                                                                                                                                           | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
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| 1. <i>Deliver on the recommendations of Landcom's Hills Showground Station Precinct Heritage Interpretation Strategy (GML, 2019) and SMNWP Public Art Guidelines through the design and implementation of public art and interpretation within the public domain.</i>                                                                                                             | <p><b>Complies</b></p> <p>As described above, the proposed development seeks to implement the themes identified in the Connecting with Country Strategy within the publicly accessible through site link within Lot 5 with a landscape design that references the Cattai Creek, and with Darug bird names alongside the English bird names in the paver design. The public art embodies all of the aims and objectives set out in the UDG, seeking to embed public art at the heart of the precinct, for the benefit of humans and animals. The public art has been developed having regard to the SMNWP Public Art Guidelines.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| 2. <i>Develop an Implementation Plan including:</i> <ul style="list-style-type: none"><li>a. <i>the engagement of a Public Art Curator and evaluation panel to determine the suitable public artwork type for each opportunity;</i></li><li>b. <i>the selection of a preferred procurement strategy;</i></li><li>c. <i>the undertaking of stakeholder consultation.</i></li></ul> | <p><b>Complies</b></p> <p>As part of the separate development application submitted to Council for the new road and park, consent was sought for public art located within the Precinct East Park. A Public Art Plan was prepared specifically for the Precinct East Park by Public Art Works (dated November 2022) which has been submitted with the SSDA.</p> <p>A brief overview of the public art process is provided below.</p> <p><u>Public art curator role and responsibility</u></p> <p>The Public Art Plan confirms that a Public Art Curator was engaged by Landcom to advise on the optimal delivery method including:</p> <ol style="list-style-type: none"><li>1. Artist Brief</li><li>2. Artist's selection process</li><li>3. Evaluation Panel</li><li>4. Stakeholder &amp; community engagement</li><li>5. Artwork budget</li><li>6. Programme</li></ol> <p><u>Artist Brief</u></p> <p>An Artist's Brief was prepared based on the Sydney Metro Northwest Places Public Art Guidelines.</p> <p><u>Artist engagement: Two step selective tender</u></p> <p>Over 150 artists were considered, local and indigenous artists included where possible, with a focus on public artists in NSW, with an established public art practise. The artist was chosen through selective tender, comprising a two step process. A long-list of 21 artists</p> |

were selected and invited to submit a Registration of Interest (ROI). Of the 13 who registered interest in the project, 5 were shortlisted and engaged to produce artist concepts based on the issued Artist Brief.

#### Evaluation Panel

The Evaluation Panel was appointed comprising:

1. Landcom Public Art Curator
2. Landcom representative
3. Project Landscape Architect representative
4. The Hills Shire Council representative

#### Successful artist

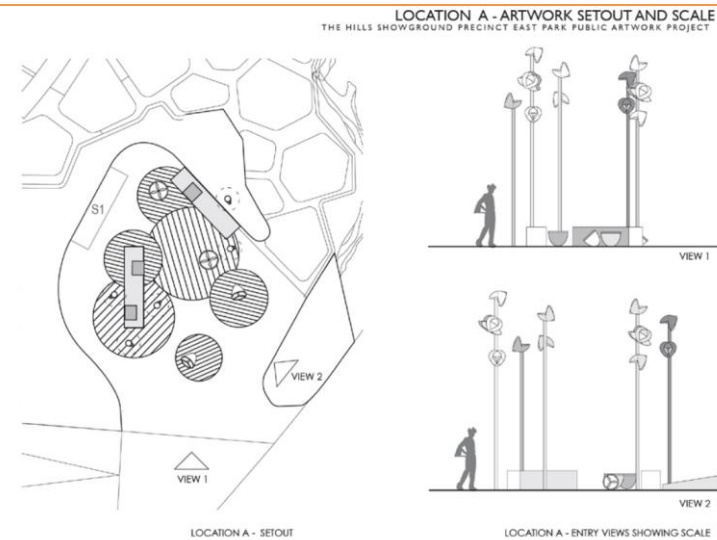
The successful artist was Christina Waterson with her “Seeds for the Future, Orchids of Hope” artwork.

#### Artwork locations

The location of the artwork is within Precinct East Park, as shown in the figure below.



**Figure 13: Precinct East Park showing artwork locations (Source: Public Art Plan, Public Art Works)**



**Figure 14: Location A - Artwork Setout and Scale (Source: Public Art Plan, Public Art Works)**

#### Community engagement

The artist has proposed a community engagement plan which will address the various ways in which people learn, engage with and respond to external stimuli by facilitating workshops which engage with all six senses and use a range of tools and mediums for people to participate including drawing, writing, making, reflecting and communicating.

The community engagement will take the form of a series of either online or face to face guided workshops. During these workshops, presentations will be delivered highlighting the background to the Hills Showground public artwork

Separate to the above, workshops with local indigenous community groups have taken place by Uncle Danny and Jamie Eastwood. At the workshops, the public art concept was embraced and it was discussed that the knowledge gained from learning from community and country can be deepened by immersion and exposure to native Flora which establish Aboriginal traditions, customs and beliefs. This is further detailed in the Connecting with Country Report prepared by Danny and Jamies Eastwood which accompanies the SSDA.

3. *Where indigenous artworks are to be included, undertake appropriate and meaningful consultation and collaboration for the planning and production of Public Art and Interpretation.*

- a. *Landcom's Draft Reconciliation Action Plan (RAP), which is expected to be completed late 2020 will include the development of the appropriate consultation required with Indigenous communities.*
- b. *In lieu of the completion of the Landcom RAP (expected in late 2020), the SMNWP Public Art Guidelines makes reference to the Arts Council of Australia "Protocols for Producing Indigenous Australian Visual Arts Guide." This Guide provides an appropriate process of consultation for engaging on and producing Aboriginal Art and is encouraged to be used during consultation for Indigenous public art and interpretation in the Doran Drive Plaza, Precinct East Park*

#### **Complies**

Indigenous artists Mr Danny Eastwood and Mr Jamie Eastwood (Darug) have been engaged to deliver a public art strategy that integrates Connection to Country with the design of the development. This strategy was informed by a Walk on Country and ongoing design workshops and consultation with Traditional Custodians. Community workshops were held with local indigenous communities, guided by local Indigenous knowledge holders and artists Danny and Jamie Eastwood.

The methodology to develop Showground Precinct East public art opportunities and themes involved:

- Historical research.
- The curatorial team discussed with local Indigenous and Aboriginal knowledge holders and community members who have identified the potential for storylines and language significant to the native birds in the landscape of the Castle Hill Area.

These workshops identified opportunities to develop a country centered design approach, building relationships with local Aboriginal communities to create places of cultural significance for all visitors and residents.

and the pedestrian link.

- c. *The SMNWP Public Art Guidelines also outline the processes for genuine collaboration and consultation with other stakeholders including community groups and local council to assist in building on and delivering public art and interpretation. The steps provided in the SMNWP Public Art Guidelines are to be used for planning and delivery purposes.*

4. *Include and select themes and stories that celebrate and present the local character of the area. The key thematic framework for public art in SMNWP lies in the idea of a network represented by the connections we have to things that we value throughout our lives, including the relationships we develop with people, places and the environment, and the mutual effects we have on each other. The network consists of five key themes.*

- *Human and Environment: art with a focus on sustainability and our relationship to the environment.*
- *Art and Community: art that is participatory and socially engaged and fosters connectivity.*
- *Here and Far: art that transports us literally or through the imagination.*
- *Past and Present: art that connects us to stories specific to the site over time.*
- *Existing and New: art that celebrates renewed sites and development.*
- *The Hills Showground Station Precinct has further developed this with four sub- themes specifically related to the Aboriginal and European heritage interpretation for the precinct including:*
  - *Theme 1 - Aboriginal Cultural Heritage*
  - *Theme 2 - Resistance and Rebellion*
  - *Theme 3 - Agriculture and Orchardng*
  - *Theme 4 - Pride in the Hills*

#### **Complies**

Community workshops and advice from Danny Eastwood identified opportunities for Connecting with Country through public art and landscape. It was determined that the themes that best embrace the indigenous connection to country are:

- Cattai Creek
- Native Birds (Binyang) Dreaming Stories
- Bediagal (Darug) Language
- Native Flora and Fauna

These are further described below.

#### Cattai Creek

Cattai Creek has a deep historical significance and cultural value to the Bediagal (Darug) people. The creek is a location where many Aboriginal artefacts have been recorded. The Creek was key to everyday life of Bediagal people providing fresh water, food, natural resources and used as a camp site and place for spiritual ceremonies.

The shape of the publicly accessible link represents the creek having a deep spiritual and cultural connection to the locality and the First Nation People. It is an expression of the natural resources significant within indigenous culture.

#### Native Birds (Binyang) Dreaming Stories

The curatorial team has implemented local Indigenous bird dreaming stories, which are the main content for the public art within in the publicly accessible link of Lot 5. The publicly accessible link and art installation will include indigenous language bird names, totems and design throughout the pathway that represents Cattai Creek.

#### Bediagal (Darug) Language

The community workshops and advice from Danny Eastwood demonstrates a link between Indigenous identity and traditional language. Through listening and understanding it was learned that embedding Darug language artistically into public space, reinforces Indigenous cultural connection with country. In Aboriginal culture, speaking the language on country, you awaken country and its innate spirituality. The embedding of Darug language protects Aboriginal cultural heritage. By creating an artwork using native language is a gateway to honour the First Nation People and language through the art.

#### Native Flora and Fauna

The outcome of community workshops lead by Uncle Danny Eastwood demonstrates that the knowledge gained from learning from community and country can be deepened by immersion and exposure to native Flora which establish Aboriginal traditions, customs and beliefs. This concept is embraced through the Public Art approved within Showground Precinct East Park by artist Christina Waterson – Orchid of Hope.

The proposed development includes locally sourced sandstone, native vegetation seen in the Cattai Creek Riparian corridor including Eucalyptus Robusta, Ango Florbuna, Eucalyptus Moluccana, Eucalyptus Tereticornis, and Eucalyptus Crebra and an environment which

supports the flourishing of the Black Cockatoo and other native Fauna.

The opportunities draw on Care for Country principles by re-establishing fragmented bushland through the use of local vegetation communities within the proposed landscape design.

5. *The following suggested devices provide interpretive solutions that best fits within the scale of opportunity sites for public art and complements the surrounding built form.*

- *Device 1 - Surface inlays*
- *Device 2 - Lighting*
- *Device 3 - Public Art / Murals*
- *Device 4 - Branding and Naming*

*Permanent artworks must be durable and weatherproof, fabricated to a high quality standard and seamlessly integrate into the landscape plan.*

**Complies**

The proposed publicly accessible link will feature native plants, meandering along the form of Cattai Creek. The footpath will be engraved with the Bediagal (Durag) language, telling the Native Bird (Binyang) Dreaming stories. The native Flora, landscaping and Dream Stories create an environment that reinforces Connecting with Country.

6. *The public art and interpretation in Doran Drive Plaza may integrate an installation of an interpretive water feature within the plaza that reflects the site's connection to Cattai Creek, and a deciduous tree grove referencing the area's previous use for orchards, along with the devices listed above. For further information on Doran Drive Plaza, refer to the Doran Drive Precinct Guidelines.*

**N/A**

7. *Public art is to be included within the Precinct East Park and is to include integrated public domain elements. This may be in the form of surface inlays, sculptural interactive play elements or other integrated elements that meet the objectives. For further information on the Precinct East Park refer to the Precinct East Guidelines.*

**N/A**

DA 988/2022/JPZ approved the Precinct East Park including the location of public art.

8. *Public art and interpretation is to be included within the Precinct East publicly accessible pedestrian link. For further information on the Precinct East Park refer to the Precinct East Guidelines.*

**Complies**

Public art is provided within the publicly accessible pedestrian link.

9. *Procure a Public Art Curator to manage the commission of public artists and designers, to make use of local knowledge, experience and understanding, as well as strengthening the local arts industry.*

**Complies**

As discussed in (2) above, a Public Art Curator was engaged by Landcom to advise on the optimal delivery of public art within Precinct East.

10. *Provide a site specific public art and interpretation plan that adheres to the 'Implementation Plan' as outlined in the SMNWP Public Art Guidelines, and outlines how the objectives and controls in this section are or can be met.*

**Complies**

As discussed in (2) above, a Public Art Plan was prepared by Public Art Works (dated November 2022) which related to the delivery of public art located within the Precinct East Park. This Plan was subsequently approved as part of DA 988/2022/JPZ. The Public Art Plan was prepared in accordance with the SMNWP Public Art Guidelines and meets the objectives and controls of this section of the UDG.

## 2.14 Integrated Water Management

| Objectives                                                                                                                                                                                                                                                                                      | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
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| a. <i>To carry out the recommendations of the IWCMS through the sustainable use and implementation of water treatment measures.</i>                                                                                                                                                             | <p><b>Complies</b></p> <p>A variety of water treatment measures are proposed across the development including rainwater tanks for each building, an extensive civil stormwater network consisting of pit and pipe networks to be treated by StormFilters and stormwater runoff not draining to water quality chamber to be installed with OceanGuard basket within the pit to treat suspended solids as best practice.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| b. <i>To ensure the quality and integrity of urban waterways is maintained and enhanced through both construction and occupation phases of the development at an individual lot, overall development and regional scale; to minimise impact in erosion or pollution to receiving waterways.</i> | <p><b>Complies</b></p> <p>The application is accompanied by a Stormwater Management Plan prepared by Mott MacDonald (dated May 2024). A variety of sediment and erosion control measures are proposed to minimise soil erosion and control sediment discharge from site.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| c. <i>To utilise stormwater runoff to its fullest for non-potable purposes.</i>                                                                                                                                                                                                                 | <p><b>Complies</b></p> <p>Rainwater tanks are proposed across the development and are to be used for all public landscaping within the development site.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| d. <i>To minimise risk to life and property from minor or major flooding to an acceptable level.</i>                                                                                                                                                                                            | <p><b>Complies</b></p> <p>A Flood Assessment prepared by Mott MacDonald (dated May 2024) accompanies this application. The Assessment confirms that the construction of the new buildings will not cause increased flood inundation within the site and surrounds. The site sits atop a local topographical high point with flood waters draining away from the site to the existing Cattai Creek riparian corridor to the west along Carrington Road and the tributary to the east along Showground Road.</p> <p>An assessment of the flood levels using the flood model adopting Council approved input data shows that the site is at low risk to flooding in both the 1% AEP and PMF. Flood Planning Levels in all residential lobby entrances and basement entry points provide for a safe refuge for pedestrians and parked vehicles in a large-scale storm event.</p> |
| e. <i>To protect and enhance the integrity and functionality of ecology and significant riparian corridors.</i>                                                                                                                                                                                 | <p><b>N/A</b></p> <p>There are no significant riparian corridors within the site or its immediate vicinity which will be impacted by the development.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |

| Control                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
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| 1. <i>Any water treatment measures provided are to be located within the development lot with provided access for inspection and maintenance. Water treatment measures are to consider gross pollutant traps and stormwater filtration devices at surface inlet pits and grated drains; linear bioretention in garden and tree beds; and along pedestrian and vehicle pathways are to provide for additional treatment of runoff from Precinct East.</i> | <p><b>Complies</b></p> <p>Stormwater devices for Building A and B are to be accessed from Andalusian Way, refer to drawing 427623-009-MMD-DA-01-DRG-C-0051; Building C stormwater devices are to be accessed from proposed road parking bay, refer to drawing 427623-009-MMD-DA-01-DRG-C-0052; Building D are to be accessed from De Clambe Drive or proposed road parking bay, refer to drawing 427623-009-MMD-DA-01-DRG-C-0053 and Building E are to be accessed from Carrington Road, refer to drawing 427623-009-MMD-DA-01-DRG-C-0054. Refer to the Stormwater Management Plans prepared by Mott Macdonald dated May 2024 for further information.</p> <p>Storm filter treatment methodology has been detailed in Section 5.2.3 of the Stormwater Management Report dated May 2024 as below:</p> <ul style="list-style-type: none"> <li>• 20kL Rainwater Tanks are to be provided for each new building for re-use purpose as per hydraulic engineer's specifications.</li> <li>• Stormwater capture within the development area is directed into the civil stormwater network consisting of pit and pipe networks and to be treated by StormFilters from Ocean Protect or equivalent.</li> <li>• Stormwater runoff not draining to water quality chamber shall be installed with OceanGuard basket within the pit to treat suspended solids as best practice.</li> </ul> <p>Based on the results, the proposed water quality treatment train will provide adequate improvements in Total Suspended Solids, Total Phosphorus, Total Nitrogen and Gross Pollutants for the proposed development. All water treatment divisions are located within the</p> |

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|                                                                                                                                                                                                                                                                                                                                                                                                                                                      | development and have provided with access for inspection and maintenance, including provision of ventilation within the OSDs.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| 2. <i>Erosion and sediment control is to be provided to all points where stormwater runoff can enter stormwater systems or where runoff may leave the construction site, and have a documented maintenance plan.</i>                                                                                                                                                                                                                                 | <p><b>Complies</b></p> <p>Erosion and sediment control plan and details has been documented in the drawing No. 427623-009-MMD-DA-01-DRG-C-0020 and 0021 submitted as part of the Stormwater Management Plans dated May 2024. The construction phase objectives and performance to be considered as appropriate maintenance targets as stated in the stormwater management report at Section 7.2.</p> <p>The following measures are to be undertaken as part of the proposed construction works:</p> <ul style="list-style-type: none"> <li>• Sediment fence to be installed around the site perimeter to trap any sediment</li> <li>• Shaker grid/wash down facility to be installed at the site egress to limit any sediments from being carried outside of the constructions site.</li> <li>• Stockpile location to be confirmed by contractor on-site during the construction phase, preferably to be located at the highest point of the site.</li> </ul> <p>Erosion and sediment control has been provided to all points where stormwater runoff can enter the stormwater systems, or where runoff may leave the construction site. The maintenance plan for the Erosion and Sediment control is shown within the drawing notes and will be further detailed within a future Construction Management Plan.</p> |
| 3. <i>A WSUD Management Plan is to be prepared that considers all placement and sizing of rainwater tanks to meet/ improve rainwater capture, and reuse application and demand for other array of purposes such as: outdoor use, laundries and toilets. In addition to capture and re-use stormwater from roof areas as irrigation for planting; selected plant species are to withstand the local climate and require a low amount of watering.</i> | <p><b>Complies</b></p> <p>A WSUD management plan has been outlined in drawings No.427623-009-MMD-DA-01-DRG-C-0051-0054. Refer to the Stormwater Management Plans prepared by Mott Macdonald dated May 2024 for further information.</p> <p>A maintenance and operational schedule will be prepared prior construction by the manufacturer. Rainwater tank sizing and purpose of re-use is outlined in the accompanying BASIX reports.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| 4. <i>All floor levels are to be above the 1% AEP level + 0.5m freeboard (i.e. above 83.6 mAHD at the intersection of De Clambe Drive and Carrington Road, and above 78.7mAHD at the detention basin). All garages/ carpark entrances are to be protected from inundation by flood waters up to the 1% AEP + 0.5m.</i>                                                                                                                               | <b>N/A</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| 5. <i>For development adjoining the Cattai Creek riparian corridor an interface adopted riparian width of 30m from the 'top of bank' is to be considered each side of the creek. A minimum 7.5m built form setback is required to be provided to the riparian corridor. Underground carparks are not permitted within 5m of the riparian corridor boundary for Precinct West</i>                                                                     | <b>N/A</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| 6. <i>Consideration is to be given through the detailed design process to the reuse of greywater or blackwater.</i>                                                                                                                                                                                                                                                                                                                                  | <p><b>N/A</b></p> <p>There is no greywater or blackwater proposed for the development.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| 7. <i>Where used, vegetated bioretention measures are to be integrated and coordinated with the landscape design to be aesthetically pleasing and contribute to the visual amenity.</i>                                                                                                                                                                                                                                                              | <p><b>Complies</b></p> <p>Formal bioretention measures within the public domain have not been applied in this instance. Proprietary devices have been specified to achieve the required outcome. An excerpt from Table 5-6 in the Stormwater Management Plan delineates the treatment train employed as follows:</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |

**Table 5-6: Water Quality Treatment Measures Summary**

| Building | Water Quality Treatment Measures        |
|----------|-----------------------------------------|
| A        | 1 x OceanGuard                          |
|          | 14 x 460mm Psorb StormFilter Cartridges |
| B        | 2 x OceanGuard                          |
|          | 8 x 690mm Psorb StormFilter Cartridges  |
| C        | 2 x OceanGuard                          |
|          | 6 x 690mm Psorb StormFilter Cartridges  |
| D        | 2 x OceanGuard                          |
|          | 12 x 690mm Psorb StormFilter Cartridges |
| E        | 3 x OceanGuard                          |
|          | 12 x 690mm Psorb StormFilter Cartridges |

The civil engineering design has been coordinated with the landscape architect to ensure areas of passive irrigation are integrated and aesthetically pleasing.

8. Any water feature integrated into the design of Doran Drive Plaza is to be low water use.

**N/A**

9. All stormwater drainage designs are to comply with the most up to date revision of Council's Design Guidelines Subdivision/Developments.

**Complies**

All stormwater drainage design complies with:

- Hills Shire Council Design Guidelines Subdivisions/ Developments
- Hills Shire Council DCP 2012 Part D Section 19 Showground Station Precinct
- Hills Shire Council DCP 2012 Appendix B Water Sensitive Urban Design

This has been outlined in the Stormwater Management Plan Section 2 and summarised in Table 2-1, excerpt below:

**Table 2-1: Design Criteria and Guidelines**

| Reference                                         | Title                                                                                                      | Version or Date | Originator                                           |
|---------------------------------------------------|------------------------------------------------------------------------------------------------------------|-----------------|------------------------------------------------------|
| DRAINS                                            | DRAINS User Manual                                                                                         |                 | DRAINS                                               |
| eWater                                            | MUSIC User Manual                                                                                          | V5              | eWater                                               |
| Blue Book                                         | Managing Urban Stormwater – Soils and Construction, Volume 1, 4 <sup>th</sup> edition, March 2004, Landcom | March 2004      | Landcom                                              |
| NCC                                               | National Code Australia                                                                                    | 2022            | Australian Building Codes Board                      |
| The Hills Shire Council                           | Design Guidelines Subdivisions/Developments                                                                | 2011            | Hills Shire Council                                  |
| The Hills Shire Council DCP 2012                  | Part D Section 19 Showground Station Precinct                                                              | 2012            | Hills Shire Council                                  |
| The Hills Shire Council Standard Drawings         | Standard Drawings                                                                                          | Oct 2022        | Hills Shire Council                                  |
| State Significant Development Assessment SSD 9653 | Hills Showground Station Concept Plan                                                                      | January 2021    | NSW Department of Planning, Industry and Environment |
| AS/NZS 3500.3                                     | Plumbing and Drainage – Stormwater Drainage                                                                | 2021            | -                                                    |

10. All developments are to implement an Erosion and Sediment Control Plan, prepared in accordance with 'Managing Urban Stormwater – Soils and Construction, to minimise land disturbance and erosion and control sediment pollution of waterways.

**Complies**

Erosion and sediment control plan and details has been documented in the drawing No. 427623-009-MMD-DA-01-DRG-C-0020 and 0021 and is prepared in accordance with "Managing Urban Stormwater: Soils and construction - Volume 1" known as "Blue Book". For information on the measures already implemented, please see the response to Item #2 mentioned above. For additional details, please refer Section 7 of the Stormwater Management Plan.

11. All developments within the Precinct are required to manage the pollutant loads from each separate allotment as per the IWCMS prior to discharge to any adjoining drainage system.

**Complies**

Pollutant load management is part of Water Sensitive Urban Design (WSUD) methodology which has been incorporated into stormwater management plan and as per the broader Integrated Water Cycle Management Strategy (IWCMS) by WSP.

A WSUD management plan has been outlined in drawings No.427623-009-MMD-DA-01-DRG-C-0051-0054.

A snippet of Table 5-7 is reproduced below:

**Table 5-7: MUSIC Modelling Assessment Results**

| Pollutant Reduction Targets Required and Results |                                         |                    |                    |                    |                    |                    |
|--------------------------------------------------|-----------------------------------------|--------------------|--------------------|--------------------|--------------------|--------------------|
| Pollutants                                       | Hill Shire Council DCP 2011 Section 4.5 | Building A Results | Building B Results | Building C Results | Building D Results | Building E Results |
| Gross Pollutants (GP)                            | 90%                                     | 100%               | 100%               | 100%               | 100%               | 100%               |
| Total Suspended Solids (TSS)                     | 85%                                     | 87.8%              | 90.2%              | 88.1%              | 89.9%              | 92.8%              |
| Total Phosphorus (TP)                            | 65%                                     | 75%                | 72.1%              | 75.4%              | 74.1%              | 77.4%              |
| Total Nitrogen (TN)                              | 45%                                     | 58.3%              | 52%                | 55.7%              | 53.3%              | 56%                |

12. *Water quality modelling undertaken to support development proposals within the Precinct shall utilise the latest version of MUSIC and be in line with the Draft NSW MUSIC Modelling Guidelines, Sydney Metropolitan Catchment Management Authority, 2010, utilising the modelling parameters in Tables 4 and 5.*

**Complies**

Water quality modelling was undertaken utilising the latest version of MUSIC in line with the Draft NSW MUSIC Modelling Guidelines alongside the Showground Precinct DCP requirements. These are show in table 5-4 and 5-5 in the stormwater management report. Result is shown in table 5-7.

**Table 5-4: Soil/groundwater parameters recommended for adoption in MUSIC modelling, (Showground Precinct Development Control Plan, 2012)**

| Units                                 |               | Urban | Non-urban |
|---------------------------------------|---------------|-------|-----------|
| Impervious area parameters            |               |       |           |
| Rainfall threshold                    | mm/day        | 1.4   | 1.4       |
| Pervious area parameters              |               |       |           |
| Soil storage capacity                 | mm            | 170   | 210       |
| Initial storage                       | % of capacity | 30    | 30        |
| Field capacity                        | mm            | 70    | 80        |
| Infiltration capacity coefficient - a |               | 210   | 175       |
| Infiltration capacity coefficient - b |               | 4.7   | 3.1       |
| Groundwater properties                |               |       |           |
| Initial depth                         | mm            | 10    | 10        |
| Daily recharge rate                   | %             | 50    | 35        |
| Daily baseflow rate                   | %             | 4     | 20        |
| Daily deep seepage rate               | %             | 0     | 0         |

**Table 5-5: Recommended Stormwater Quality Parameters for MUSIC modelling, (Showground Precinct Development Control Plan, 2012)**

| Land Use                                         | Storm Flow |      |       |      |       |      | Base Flow |      |       |      |       |      |
|--------------------------------------------------|------------|------|-------|------|-------|------|-----------|------|-------|------|-------|------|
|                                                  | TSS        |      | TP    |      | TN    |      | TSS       |      | TP    |      | TN    |      |
|                                                  | Mean       | SD   | Mean  | SD   | Mean  | SD   | Mean      | SD   | Mean  | SD   | Mean  | SD   |
| (All values expressed as log <sub>10</sub> mg/l) |            |      |       |      |       |      |           |      |       |      |       |      |
| General Urban                                    |            |      |       |      |       |      |           |      |       |      |       |      |
| Residential                                      | 2.15       | 0.32 | -0.60 | 0.25 | 0.30  | 0.19 | 1.20      | 0.17 | -0.85 | 0.19 | 0.11  | 0.12 |
| Industrial                                       |            |      |       |      |       |      |           |      |       |      |       |      |
| Commercial                                       |            |      |       |      |       |      |           |      |       |      |       |      |
| Roads                                            | 2.43       | 0.32 | -0.30 | 0.25 | 0.34  | 0.19 | -         | -    | -     | -    | -     | -    |
| Roofs                                            | 1.30       | 0.32 | -0.89 | 0.25 | 0.30  | 0.19 | -         | -    | -     | -    | -     | -    |
| Forest/Natural                                   | 1.60       | 0.32 | -1.10 | 0.25 | -0.05 | 0.19 | 0.78      | 0.17 | -1.52 | 0.19 | -0.52 | 0.12 |

(Note: SD = Standard Deviation, TSS = Total Suspended Solids, TP = Total Phosphorus and TN = Total Nitrogen)

13. *For developments generating oils and grease, the additional objective of no visible oils for flows up to 50% of the one- year Average Recurrence Interval peak flow shall be achieved.*

**Complies**

Allowance for an oil separator/ sediment filter to treat the sub- soil drainage system has been provided.

14. *Water Sensitive Urban Design elements are to be designed and constructed in accordance with the following publications:*

- Adoption Guidelines for Stormwater Biofiltration Systems – Cities as Water Supply Catchments, Sustainable Technologies (CRC for Water Sensitive Cities, 2015 or later)*
- Australian Runoff Quality (Engineers Australia 2005)*
- Water Sensitive Urban Design Technical Guidelines for Western Sydney*

**Complies**

Water Sensitive Urban Design elements have been designed in accordance with the:

- Adoption Guidelines for Stormwater Biofiltration Systems – Cities as Water Supply Catchments, Sustainable Technologies (CRC for Water Sensitive Cities, 2015 or later)
- Australian Runoff Quality (Engineers Australia 2005)
- Water Sensitive Urban Design Technical Guidelines for Western Sydney (NSW Government Stormwater Trust and Upper Parramatta River Catchment Trust, May 2004)

|                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                    |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><i>(NSW Government Stormwater Trust and Upper Parramatta River Catchment Trust, May 2004).</i></p>                                                                                                                                                                                                                                                                                               | <p>No bio-retention is proposed for this project, for information on the measures already implemented, please see the response to Item #7 mentioned above. For additional details, please refer Section 5.2 of the Stormwater Management Report.</p>                               |
| <p>15. <i>Rainwater tanks are to be provided with potable water trickle top-up with a back flow prevention device, complying with Sydney Water requirements.</i></p>                                                                                                                                                                                                                                | <p><b>Complies</b><br/>The re-use rainwater system will be provided with a back-up supply from the potable water service.</p>                                                                                                                                                      |
| <p>16. <i>In accordance with the recommendations made in the publication “Guidance on the Use of Rainwater Tanks” (enHealth, Commonwealth Government 2004), diversion of the “first flush” of up to 180 litres is to be incorporated into the design of the rainwater tank and associated plumbing based on a minimum first flush of 1L/m2 of roof area.</i></p>                                    | <p><b>Complies</b><br/>The minimum first flush volume stated is quite excessive and would be appropriate for single detached homes. Notwithstanding this the roof capture areas are likely to exceed 180m2; therefore 180 litres could be adopted for all first flush systems.</p> |
| <p>17. <i>The natural form, characteristics and function of waterways, including riparian land, are to be retained, restored, protected and enhanced wherever possible.</i></p>                                                                                                                                                                                                                     | <p><b>Complies</b><br/>Not applicable, as there are no waterways, including riparian lands, within the subject site.</p>                                                                                                                                                           |
| <p>18. <i>Waterway rehabilitation and construction works are to apply ‘Best Practice’ combination of soft and hard engineering techniques establishing a water sensitive, geomorphically stable, diverse and functional waterway corridor that addresses urban influences and considers the immediate waterway corridor and aquatic systems both upstream and downstream of a subject site.</i></p> | <p><b>Complies</b><br/>Not applicable, as there are no waterways, including riparian lands, within the subject site.</p>                                                                                                                                                           |

## 2.15 Sustainability

| Objectives                                                                                                                                                               | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| a. <i>To minimise energy and water consumption during operation and occupation of the Precinct.</i>                                                                      | <p><b>Complies</b></p> <p>As outlined in the BASIX Reports for Lots 3 &amp; 4 and Lot 5 prepared by Windtech, a BASIX score of 40% is achieved for water and a BASIX score of 60% is achieved for energy. The buildings incorporate numerous fittings, fixtures and design elements to ensure that less potable water and energy is used and consumed.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| b. <i>To reduce waste generation and increase treatment.</i>                                                                                                             | <p><b>Complies</b></p> <p>All residents will have access to a waste storage area within their unit, capable of holding separate receptacles for general waste, recycling and FOGO.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| c. <i>To provide resilience to climate change projections.</i>                                                                                                           | <p><b>Complies</b></p> <p>Urban heat analysis has identified that the suburb of Castle Hill is traditionally warmer than most parts of Sydney. Further mitigation of the urban heat island effect is therefore required through the provision of cooler pedestrianised areas for residents and visitors to create a comfortable pedestrian experience for years to come. To assist in mitigating the heat island effect the proposal provides a minimum 30% site coverage through the planting of trees and erection of green canopy structures.</p>                                                                                                                                                                                                                                                                                                                                           |
| d. <i>To reduce dependence on private transport</i>                                                                                                                      | <p><b>Complies</b></p> <p>The precinct encourages the use of public transport and pedestrianisation. The community has been centralised around the Metro Station, creating a pedestrian focused central node for people to shop, access services, and take the metro to the CBD and around Sydney. There is also a focus on pedestrian routes over roads, through public open spaces and bike parking available to residents.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| e. <i>To increase biodiversity.</i>                                                                                                                                      | <p><b>Complies</b></p> <p>The proposal seeks to not only strengthen the connection between people and nature through a series of integrated &amp; diverse landscape spaces where people and nature come together in an interactive manner. The proposal aims to increase urban canopy and city greening to improve green infrastructure with a minimum 40% site canopy coverage through the planting of trees and implementation of 'green' canopy structures to mitigate the heat island effect.</p>                                                                                                                                                                                                                                                                                                                                                                                          |
| f. <i>To reduce urban heat and improve amenity and comfort via natural and passive means wherever possible.</i>                                                          | <p><b>Complies</b></p> <p>The site experiences the urban heat island much hotter than Sydney's baseline, so reducing heat at the local scale is critical. The site's baseline heatwave temperature experiences peaks approximately 7.0°C above the baseline, as defined by the NSW government for the urban heat island effect.</p> <p>To minimise the urban heat island effect and provide a more comfortable environment for occupants, the development has incorporated the following initiatives:</p> <ul style="list-style-type: none"> <li>• Approximately 280 new trees contributing to tree canopy coverage</li> <li>• A minimum of 40% site canopy coverage</li> <li>• Approximately 3,400sqm of communal open spaces on the ground floor</li> <li>• Light coloured roof with solar PV panels</li> <li>• Introduction of architectural treatments to foster façade shading</li> </ul> |
| g. <i>To meet the mandatory requirements outlined in Appendix K of the SSDA (SSD- 9653) during detailed design, construction and operation, as they are carried out.</i> | <p><b>Complies</b></p> <p>Appendix K relates to the ESD Report prepared by WSP dated October 2019. As detailed in the accompanying ESD Memo prepared by E-Lab dated 16 August 2024, the development has committed to the following:</p> <ul style="list-style-type: none"> <li>A. Design is capable to achieve a 5 Star Green Star Standard, equivalent to Green Star Buildings v1, 2023</li> <li>B. Compliance with BASIX Energy, Water and Thermal Comfort Targets 60% Energy &amp; 40% Water</li> <li>C. 7 Star NatHERS Average</li> <li>D. Exceeding compliance requirements for NCC/BCA Section J 2022, including a performance façade and shading devices</li> </ul>                                                                                                                                                                                                                     |

|                                                                                                                                 |                                                                                                                     |
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| h. <i>To continually improve the opportunities in advancing design or construction measures by achieving the stretch goals.</i> | <b>Complies</b><br>The design team endeavours to advance the design and construction measures at every opportunity. |
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| Controls                                                                                                                                            | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
|-----------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. <i>Achieve minimum 5 star Green Star 'Design and As Built' with full points in 'Adaptation and Resilience' and 'Heat Island Effect' credits.</i> | <p><b>Non-Compliant but justified</b></p> <p>All buildings will be designed to a Green Star Buildings standard, but no certified rating is being proposed. In place of a rating, a self-certified pathway is proposed, whereby the proponent's Green Star Consultant is responsible for overseeing the works, advising through design, construction and post-construction and self-certifying the works are in line with a 5 Star Green Star Buildings Standard.</p> <p>The proposed Alternative ESD certified approach will ensure ESD compliance is tracked and verified throughout the project, from design through to completion. The alternative ESD certification methodology proposed is as follows:</p> <ul style="list-style-type: none"> <li>• A 5 Star ESD Framework that aligns with the current Green Star Buildings v1 tool is to be established, achieving a minimum of 35 points as required for a 5 Star outcome. The Framework will be continually developed with inputs from the project team.</li> <li>• The relevant design and construction initiatives will be implemented by the Head Contractor and the design team. E-LAB Consulting, as the ESD Consultant, will provide advice to the design team of the required initiatives as required under the ESD Framework.</li> <li>• Compliance against the ESD Framework will be continually monitored and tracked to ensure the required initiatives are implemented. This will be in the form of quarterly reports by the Head Contractor identifying the current compliance status for each initiative. The quarterly report will be submitted to the ESD Consultant for review.</li> <li>• Evidence of compliance with the ESD Framework will be provided by the Head Contractor and its associated Subcontractors to E-LAB Consulting at completion of the project. This will be in the form of ESD compliance statements confirming that the design and/or construction elements for which they are responsible complies with the agreed requirements of the ESD Framework.</li> <li>• Following review of the compliance documentation provided by the Head Contractor, E-LAB consulting will prepare an ESD Compliance Report confirming that the design and construction of the project has achieved the targets outlined within the ESD Framework. The report will include descriptions of the ESD initiatives, how they address the ESD Framework and make reference to supporting evidence.</li> </ul> <p>The alternative ESD certification approach provides an appropriate level of rigour and quality assurance for planning compliance purposes and allows the provide a high level of sustainability and allows for recognition of initiatives beyond those recognised by a formal certification scheme.</p> |
| 2. <i>Achieve 4.5 star NABERS Energy rating (non-residential).</i>                                                                                  | <p><b>N/A</b></p> <p>No non-residential uses are proposed.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| 3. <i>Achieve 5 star NatHERS Energy rating (residential).</i>                                                                                       | <p><b>Complies</b></p> <p>A 7 star NatHERS Energy rating is achieved for each dwelling unit.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| 4. <i>Achieve minimum BASIX ratings 25-35 Energy rating and 40 Water rating.</i>                                                                    | <p><b>Complies</b></p> <p>A minimum target score in BASIX to achieve water usage compliance is 40%. The minimum score is achieved.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| 5. <i>Provide separate metering energy across commercial and multi-unit tenancies.</i>                                                              | <p><b>N/A</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| 6. <i>Provide tree canopy cover in accordance with the controls outlined in Section 2.16.3. Tree Canopy Cover of the UDG.</i>                       | <p><b>Complies</b></p> <p>A compliant quantum of tree canopy is achieved.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| 7. <i>Ensure the project does not engage in modern slavery practices.</i>                                                                           | <p><b>Complies</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |

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|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                                                                                                                                                                                                                                                                                                                                                                                                                       | The project will not engage in modern slavery practices.                                                                                                                                                                                                                                                                                                                                                                                                                     |
| 8. <i>A minimum of 10% of total parking spaces are to have Electric Vehicle charging stations.</i>                                                                                                                                                                                                                                                                                                                                    | <b>Complies</b><br>10% of total parking spaces provided with electric vehicle charging connections.                                                                                                                                                                                                                                                                                                                                                                          |
| 9. <i>Canopy trees are to be planted within street verges and medians to provide shade and reduce pavement surface.</i>                                                                                                                                                                                                                                                                                                               | <b>N/A</b><br>Planting within the public domain has been approved under DA 988/2022/JPZ.                                                                                                                                                                                                                                                                                                                                                                                     |
| 10. <i>As a minimum, external landscape in or on the building (such as rooftop gardens, green walls, green or brown roofs) must be provided at a ratio of 15% of the development lot area. Vertical or horizontal landscapes are acceptable. Indigenous planting is to be used; this should be suitable local endemic species, as far as possible.</i>                                                                                | <b>Complies</b><br>33% of the site is dedicated to landscaped areas. The plant schedule and proposed species are in accordance with Council's DCP and propose a 70% native palette.                                                                                                                                                                                                                                                                                          |
| 11. <i>Building designs are to:</i><br>a. <i>Maximise the use of natural light and cross ventilation;</i><br>b. <i>Reduce the reliance on mechanical heating and cooling through the use of eaves, awnings, good insulation and landscaping;</i><br>c. <i>Include energy efficient light fittings and water fittings;</i><br>d. <i>Allow for separate metering of water and energy usage for commercial and multi-unit tenancies.</i> | <b>Complies</b><br>The building design meets these objectives through the design philosophies incorporated into the design.                                                                                                                                                                                                                                                                                                                                                  |
| 12. <i>Implement the key elements of the Integrated Water Cycle Management (IWCMS) Strategy, including:</i><br>a. <i>Inclusion of rain water tanks</i><br>b. <i>Improvement of water quality treatment devices such as gross pollutant traps and filtration devices as well as linear bioretention in garden beds</i><br>c. <i>Selection of energy efficient equipment and fixtures.</i>                                              | <b>Complies</b><br>a. 20kL Rainwater Tanks are to be provided for each new building for re-use purpose as per hydraulic engineer's specifications.<br>b. Pollutant load management is part of Water Sensitive Urban Design (WSUD) methodology which has been incorporated into stormwater management plan and as per the broader Integrated Water Cycle Management Strategy (IWCMS) by WSP.<br>c. Energy efficient equipment and fixtures will be included in the buildings. |

## 2.16 Amenity

### 2.16.1. Solar Access

| Objectives                                                                                                                                                                | Comment                                                                                                                                                                                                                                        |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| a. <i>To ensure solar access to public open spaces achieves a high level of amenity year round for those visiting, residing and working in the Precinct.</i>              | <b>Complies</b><br>The proposal enables the protection of nearby public open spaces including the Station Plaza and Precinct East Park.                                                                                                        |
| b. <i>To ensure that overshadowing from new development does not result in significant loss of sunlight and diminish the enjoyment of public and private open spaces.</i> | <b>Complies</b><br>The proposal is compliant in maintaining adequate solar access to the Station Plaza and Precinct East Park and providing adequate solar access to the principal part of the private open spaces in accordance with the ADG. |

### 2.16.1. Solar Access

| Controls                                                                                                                                                                                                                                                                                                                                                                                                   | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. <i>Figure 62 prescribes the minimum proportions of the public spaces that are to achieve a minimum of 2 hours of sunlight between 9am and 3pm at the winter solstice (21 June). The minimum proportions are:</i><br><br>a. <i>Doran Drive Plaza – 100% (excluding areas under awnings)</i><br>b. <i>Station Plaza – 65%</i><br>c. <i>Precinct East Park – 70%</i><br>d. <i>Station Forecourt - 80%.</i> | <b>Complies</b><br>The proposal enables the protection of nearby public open spaces including the Station Plaza and Precinct East Park. Specifically, at mid-winter, the Station Plaza received the majority of its solar access between 9am and 12pm and receives no direct sunlight from 2pm to 3pm. In relation to Precinct East Park, the park receives direct solar access throughout the day but the majority of its solar access between 10am to 3pm.<br><br>Refer figure below depicting the compliant overshadowing caused by the proposed development. |

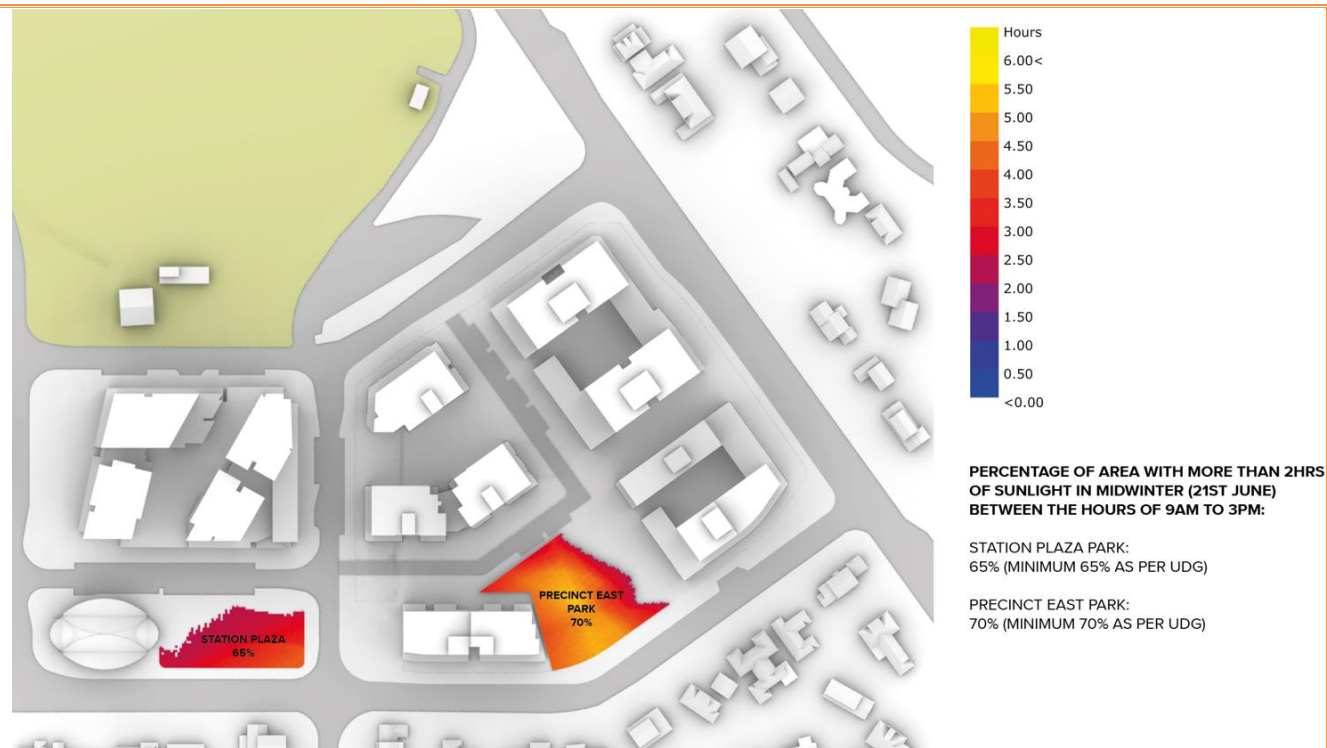


Figure 15: Diagram showing percentage of area with more than two hours of sunlight in midwinter between 9am and 3pm (Source: Turner Studio)

### 2.16.2. Wind and Weather Protection

| Objective                                                                              | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
|----------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| a. <i>To allow for cooling summer breezes to move through the Precinct.</i>            | <b>Complies</b><br><br>Wind tunnel testing has been carried out by Windtech Consultants (refer report 23 February 2024) which identifies an acceptable wind environment within the critical outdoor trafficable areas of the development. This includes impacts on the ground level areas within and around the development, the private balconies and the communal open spaces. The Wind Environment Addendum Memo (dated 9 August 2024) has been prepared following receipt of the amended architectural plans which accompany this resubmission. Subject to the inclusion of the various treatments which have been incorporated into the architectural and landscape design, the wind conditions within and around the development are expected to satisfy applicable wind comfort and safety criteria and the outdoor trafficable areas to be suitable for its intended uses. |
| b. <i>To ensure pedestrian comfort in streets, and public and private open spaces.</i> |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |

### 2.16.2. Wind and Weather Protection

| Controls                                                                                                                                                                                                                                                                                                                         | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. <i>Secondary setbacks are to comply with the controls contained in Sections 3.2.4, 4.2.5 and 5.2.7 to mitigate wind down draft.</i>                                                                                                                                                                                           | <b>Complies</b><br>Compliant secondary setbacks are provided in accordance with 5.2.7 to mitigate wind down draft.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| 2. <i>Wind and weather protection is to be provided at major entry points, active interfaces and dwelling/gathering spaces within the development lots and public domain.</i>                                                                                                                                                    | <b>Complies</b><br><br>a. N/A. No non-residential uses are proposed.<br><br>b. All building entries points from the public domain incorporate 2.5m awnings for the width of the entry on Buildings A, B and C. On Buildings D and E the proposal has carefully integrated either 2.5m awnings, or indented entries to offer weather protection to the main lobby and building entries. The choice of awning and versus indented entries is based on what is spatially the most appropriate at that location in the podium. These elements have been considered in the context of wind, solar and other weather mitigation factors.<br><br>c. All awnings are 2.5m in width to provide adequate weather protection.<br><br>d. N/A. No non-residential uses are proposed.<br><br>e. N/A<br><br>f. Planting is proposed along the publicly accessible link between Buildings D and E and at the corner of various building to respond to the site-specific wind conditions anticipated as a result of the built form. The landscape plans have been co-ordinated to ensure all landscaping treatments detailed in the Wind Environment Addendum Memo are provided.<br><br>g. Awnings have been designed as an integral part of the buildings they relate to and provide a high quality of architectural design that reflects the architecture of its building while also complementing the streetscape |
| a. <i>All non-residential interfaces are to have a 2.5m awning and/or operable screening to protect pedestrians from the elements. This applies in all conditions, including where there may be a 3m colonnade inset – refer to Section 4.2.10 Active Use and Street Frontage Street of the Doran Drive Precinct Guidelines.</i> |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| b. <i>All building entry points are to have a 2.5m awning for the width of the entry.</i>                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| c. <i>All non-residential interfaces to communal open space on a podium are to have a 2.5m awning and/or operable screening for the length of that interface.</i>                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| d. <i>Localised screening is to be provided where longer duration activities are expected.</i>                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| e. <i>Wind screens or planting are to be provided within publicly accessible through-site links and at corners of buildings.</i>                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| f. <i>Awnings are to be designed to complement and integrate with the facade and the streetscape.</i>                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| 3. <i>It is recommended that private courtyards on the ground floor are protected from down draft by an awning and/or operable screening where the existing/future trees in the public and private domain facilitate an awning.</i>                                                                                              | <b>Complies</b><br>Wind tunnel testing has been carried out by Windtech Consultants which has informed the location of awnings, operable screens and vegetation to assist in managing down drafts across the site. At ground level, the majority of private courtyards are designed within the built form and are covered areas. The wind testing identified that awnings and/or operable screening are not required for private courtyards on the ground floor. The impacts from down drafts can be addressed by the inclusion of additional tree planting which has been incorporated in                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                         |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | the landscape plans.                                                                                                                                                                                                                                                                    |
| <p>4. <i>Intertenancy screening, blade walls and recessed balconies are recommended where the communal area or private courtyard is elevated and subject to side-streaming winds.</i></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | <p><b>Complies</b></p> <p>As detailed in the Wind Tunnel Testing Report and Wind Environment Addendum Memo, screening, blade walls and the like have been included in the design where necessary to prevent side-streaming winds.</p>                                                   |
| <p>5. <i>Buildings 8 or more storeys in height (or over 25 metres) require wind tunnel testing, irrespective of whether they are built to the street frontage or not, which demonstrates the following:</i></p> <p>a. <i>In walkways and pedestrian transit areas and streets where pedestrians do not generally stop, sit, stand, window shop and the like, the gust equivalent mean (GEM) should not exceed 7.5 metres per second, with 5% probability of exceedance.</i></p> <p>b. <i>In areas where pedestrians are involved in stationary short-exposure activities such as window shopping, standing or sitting (including areas such as bus stops, public open space and private open space, cafes) the gust equivalent mean (GEM) should not exceed 5.5 metres per second, with 5% probability of exceedance.</i></p> <p>c. <i>In areas for stationary long-exposure activity, such as outdoor fine dining or outdoor amphitheatres, the gust equivalent mean (GEM) should not exceed 3.5 metres per second, with 5% probability of exceedance.</i></p> <p>d. <i>The wind tunnel testing report is to be prepared by a suitably qualified engineer.</i></p> | <p><b>Complies</b></p> <p>A Wind Tunnel Testing Report (dated 23 February 2024) and Wind Environment Addendum Memo (dated 9 August 2024) have been prepared by Windtech and accompany this application. These Reports have been prepared utilising the criteria set out in the UDG.</p> |

### 2.16.3. Tree Canopy Cover

#### Objectives

- a. *To maximise tree canopy cover in order to increase biodiversity, reduce urban heat and provide shade and amenity.*

#### Comment

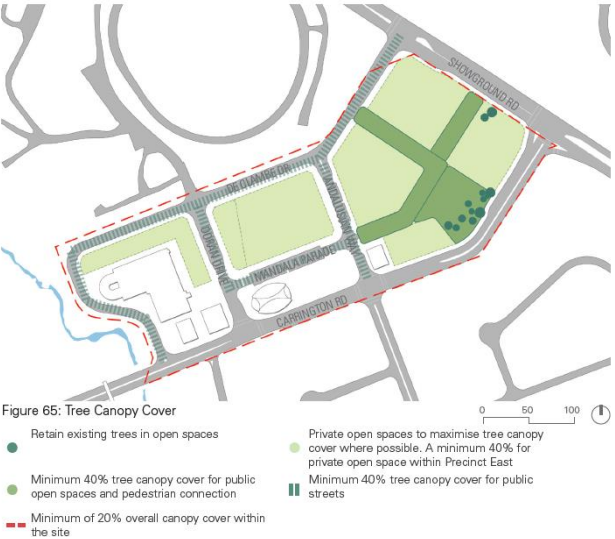
**Complies**

The design maximises tree canopy coverage with a minimum 40% site canopy coverage proposed across the development through implementation of trees and green canopy structures to mitigate the heat island effect. Over 280 new trees will contribute to tree canopy at the site which will create comfortable spaces around homes and the public domain.

### 2.16.3. Tree Canopy Cover

#### Control

1. *In accordance with Figure 65, a minimum of 20% overall tree canopy cover is to be achieved within the Hills Showground Station Precinct (i.e. the combined canopy area of all trees contained within the entire site outlined in red).*



**Complies**

The proposal provides for over 40% of tree canopy cover for Precinct East (excluding Precinct East Park) which will contribute towards meeting the minimum 20% overall tree canopy within the *Hills Showground Station Precinct*

2. *In accordance with Figure 65, a minimum of 40% tree canopy cover is to be achieved for the new public domain areas, including Precinct East internal street, pedestrian link and park.*

**Complies**

It is noted that all public domain areas with the exception of the pedestrian link have been approved by Council under DA 988/2022/Jpz. Consent is sought under this SSDA for the approval of the pedestrian link which provides 40% tree canopy cover.

3. *A minimum of 40% tree canopy cover is to be achieved in private open space areas of Precinct East.*

**Complies**

As detailed in the accompanying landscape plans prepared by Land and Form dated August 2024, 40.2% of tree canopy cover (equating to 11,460sqm) is achieved in the private open space areas of Precinct East.

4. *Tree planting and canopy cover is to be maximised within all other private open space areas, including building setbacks, communal open space and rooftop/podium gardens, where possible.*

**Complies**

Tree planting has been maximised, with a minimum of 40% site canopy coverage proposed across the development. Over 280 new trees are proposed across the site to contribute to tree canopy coverage, to further mitigate urban heat island effect and create comfortable spaces

around homes and within the public domain.

5. *Street trees are to be planted at 10m intervals to provide continuous canopy cover at expected mature sizes.*

**N/A**

Street tree locations have been approved under Development Application 988/2022/JPZ.

6. *Adequate soil depth and volumes to support tree growth are to be provided in accordance with SEPP 65 Apartment Design Guide.*

**Complies**

Adequate deep soil zones have been provided, 2,367sqm equating to 11.6% of the total site area (excluding Precinct East Park) has been allocated to deep soil.

#### 2.16.4. Air Quality, Noise and Vibration

| Objective                                                                                                                                                                                        | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| a. <i>To ensure good amenity for future residents and workers within the development lots through the provision of appropriate interfaces and mitigation of air and noise pollutant impacts.</i> | <b>Complies</b><br><br>The design ensures a good level of amenity for future residents and workers, with the provision of an appropriate interfaces and mitigation of air and noise pollutant impacts.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| b. <i>To ensure development appropriately responds to noise and vibration impacts.</i>                                                                                                           | <b>Complies</b><br><br>The application is accompanied by an Acoustic Report prepared by Acoustic Logic (dated 3 May 2024) which has considered a range of sources of noise and vibration including: <ul style="list-style-type: none"><li>• Road traffic on Carrington Road, Showground Road, De Clambe Drive and Andalusian Way;</li><li>• Special event noise from Castle Hill Showground; and</li><li>• Vibration and ground-borne noise transmission from the operating metro rail tunnel located at the southern west corner of the site.</li></ul><br>The report has identified the relevant noise criteria and includes recommendation measures to be incorporated into the construction of the development in order to meet the internal noise criteria. |
| c. <i>To minimise land use conflicts arising from noise impacts between non-residential and residential land uses.</i>                                                                           | <b>Complies</b><br><br>There are no non-residential land uses proposed and limited non-residential uses within the immediate vicinity of the site. As such, conflicts from noise impacts between non-residential and residential land uses are not anticipated.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| d. <i>To ensure that future residential development at the site satisfies the appropriate noise measures.</i>                                                                                    | <b>Complies</b><br><br>As detailed in the Acoustic Report prepared by Acoustic Logic (dated 3 May 2024), subject to the implementation of the recommendations, noise and vibration impacts will achieve adherence to the acoustic requirements from: <ul style="list-style-type: none"><li>• NSW EPA <i>Noise Policy for Industry</i> (NPfI) 2017.</li><li>• NSW EPA 'Interim Construction Noise Guideline' July 2009.</li><li>• NSW EPA 'Road Noise Policy' 2011.</li></ul>                                                                                                                                                                                                                                                                                     |

#### 2.16.4. Air Quality, Noise and Vibration

| Control                                                                                                                                                                                                                                                                                                              | Comment                                                                                                                                                                                                                                                                             |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Air Quality</b>                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                     |
| 1. <i>The external facade of a residential building is to be located at least 10m from the roadway of Showground Road.</i>                                                                                                                                                                                           | <b>Complies</b><br><br>A 10m setback to Buildings D1, D2, E1 and E2 from Showground Road is provided.                                                                                                                                                                               |
| 2. <i>Balconies that directly face Showground Road on the ground floor and first floor of any building should be able to be closed (i.e. a winter garden or sun room). Windows on the balcony side should be openable/closable to allow the occupant to prevent direct air flow from Showground Road as desired.</i> | <b>Complies</b><br><br>Balconies at ground and first floor level to Showground Road have the ability to be closed, should residents desire. All windows on the balcony side are openable/closable to allow the occupant to prevent direct air flow from Showground Road as desired. |
| <b>Noise</b>                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                     |

|                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                       |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>3. Residential accommodation is to be designed to ensure that the following LAeq levels are not exceeded (measured with windows closed):</p> <p>a. 35 dB(A) for any bedrooms between 10pm and 7am</p> <p>b. 40 dB(A) for anywhere else in the accommodation (other than a garage, kitchen, bathroom or hallway) at any time.</p>             | <p><b>Complies</b></p> <p>Internal noise levels of the proposed development are designed to achieve compliance with requirements detailed in this guideline. Complying construction details are provided in Section 6.4 of the Acoustic Report dated 3 May 2024.</p>  |
| <p>4. Residential accommodation is to be designed to ensure that the following LAeq levels are not exceeded (measured with windows open):</p> <p>a. 45 dB(A) (1 hour) for bedrooms between 10pm and 7am</p> <p>b. 55 dB(A) (1 hour) for anywhere else in the accommodation (other than a garage, kitchen, bathroom or hallway) at any time.</p> | <p><b>Complies</b></p> <p>Internal noise levels of the proposed development are designed to achieve compliance with requirements detailed in this guideline. Complying construction details are provided in Section 6.4 of the Acoustic Report dated 3 May 2024..</p> |
| <p>5. Site planning, building orientation and interior layout are to be used as tools to lessen noise intrusion as far as possible.</p>                                                                                                                                                                                                         | <p><b>Complies</b></p> <p>Design of building orientation and interior layout have considered noise attenuation.</p>                                                                                                                                                   |
| <p>6. Attenuation of noise at the source is preferred. Applicants are to indicate measures undertaken to mitigate the impact of noise upon adjacent residents and/or workers.</p>                                                                                                                                                               | <p><b>Complies</b></p> <p>Any proposed mechanical plant will be acoustically treated during detailed design (CC) stage to ensure compliance with noise emission criteria.</p>                                                                                         |
| <p>7. It is preferable that noise attenuation measures last for a minimum of 10 years or the life of the development proposal, before being upgraded to meet current standards as required.</p>                                                                                                                                                 | <p><b>Complies</b></p> <p>Any proposed noise attenuation measures are designed to have a life span meeting this requirement.</p>                                                                                                                                      |
| <p>8. A Noise Impact Assessment prepared by a suitably qualified consultant may be required when submitting a DA for a new development or the renovation of an existing development.</p>                                                                                                                                                        | <p><b>Complies</b></p> <p>An SSDA Acoustic Assessment Report prepared by Acoustic Logic has been provided.</p>                                                                                                                                                        |
| <p>9. The provisions of State Environmental Planning Policy (Infrastructure) 2007 and Development near Rail Corridors and Busy Roads Interim Guideline must be taken into consideration to minimise impacts of busy roads and railway corridors on residential and other sensitive development.</p>                                             | <p><b>Complies</b></p> <p>These two guidelines have been incorporated in the Acoustic Report.</p>                                                                                                                                                                     |
| <b>General</b>                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                       |
| <p>10. Development shall address all applicable recommendations contained in the Hills showground Station Precinct Noise Impact Assessment. (Renzo Tonin October 2019) Submitted as a part of the SSDA Package (SSD 9653)</p>                                                                                                                   | <p><b>Complies</b></p> <p>Recommendations have been incorporated in the SSDA Acoustic Assessment Report.</p>                                                                                                                                                          |
| <p>11. Site planning, building orientation and interior layout are to be used as tools to lessen noise intrusion as far as possible.</p>                                                                                                                                                                                                        | <p><b>Complies</b></p> <p>Design of building orientation and interior layout have considered noise attenuation.</p>                                                                                                                                                   |
| <p>12. Attenuation of noise at the source is preferred. Applicants are to indicate measures undertaken to mitigate the impact of noise upon adjacent residents and/or workers.</p>                                                                                                                                                              | <p><b>Complies</b></p> <p>Any proposed mechanical plant will be acoustically treated during detailed design (CC) stage to ensure compliance with noise emission criteria.</p>                                                                                         |
| <p>13. It is preferable that noise attenuation measures last for a minimum of 10 years or the life of the development proposal, before being upgraded to meet current standards as required.</p>                                                                                                                                                | <p><b>Complies</b></p> <p>Any proposed noise attenuation measures are designed to have a life span for a minimum of 10 years.</p>                                                                                                                                     |

14. A Noise Impact Assessment prepared by a suitably qualified consultant may be required when submitting a development application for a new development or the renovation of an existing development.

**Complies**

An Acoustic Assessment Report prepared by Acoustic Logic has been provided.

15. The provisions of State Environmental Planning Policy (Infrastructure) 2007 and Development near Rail Corridors and Busy Roads Interim Guideline must be taken into consideration to minimise impacts of busy roads and railway corridors on residential and other sensitive development.

**Complies**

These two guidelines have been incorporated in the report.

**Residential Uses**

16. Development for the purposes of residential accommodation shall comply with the following requirements:

**Complies**

Internal noise levels of the proposed development are designed to achieve compliance with requirements detailed in this guideline. Complying construction details are provided in Section 6.4 of the Acoustic Report.

a. Appropriate measures shall be taken to ensure that the following cumulative impacts of simultaneous road traffic noise and patron and music noise (provided they are individually compliant with Controls 7a and 7b) are not exceeded:

Table 2: Projected Internal Traffic Noise Levels

| Period               | Internal Space                                                          | Project Internal Noise Goals  |                               |
|----------------------|-------------------------------------------------------------------------|-------------------------------|-------------------------------|
|                      |                                                                         | Windows Closed                | Windows Open                  |
| Between 10pm and 7am | In any bedroom                                                          | 35 dB(A) LAeq (9hour)         | 45 dB(A) LAeq (9hour)         |
| At any time          | Any habitable space (other than a garage, kitchen, bathroom or hallway) | 40 dB(A) LAeq (9hour /15hour) | 50 dB(A) LAeq (9hour /15hour) |

b. Appropriate measures shall be taken to ensure that the following internal traffic noise levels are not exceeded:

Table 3: Internal Noise Levels from "Normal Use" of Active Street Fronts

| Period                         | Internal Space                                     | Measured with Internal Windows Closed |
|--------------------------------|----------------------------------------------------|---------------------------------------|
| Daytime/Evening (7am to 10pm)  | In bedrooms                                        | 38dB(A) Leq(15min)                    |
|                                | Living rooms                                       | 43dB(A) Leq(15min)                    |
| Late Evening (10pm - midnight) | In bedrooms                                        | 35dB(A) Leq(15min)                    |
| From 7am up to midnight        | Living rooms                                       | 40dB(A) Leq(15min)                    |
| Overnight (midnight to 7am)    | Each tenancy inaudible at any residential receptor | -                                     |

c. Appropriate measures shall be taken to ensure that the following internal noise levels from "normal use" of the active street fronts and Castle Hill Showground (i.e. combined patron and music noise) are not exceeded:

Table 4: Cumulative Impacts of Simultaneous Road Traffic, Patron and Music Noise

| Internal Space               | Recommended Noise Criteria | Maximum Noise Criteria     |
|------------------------------|----------------------------|----------------------------|
| Living areas / Working areas | 40 dBA LAeq(9hour /15hour) | 45 dBA LAeq(9hour /15hour) |
| Sleeping areas               | 35 dBA LAeq(9hour /15hour) | 40 dBA LAeq(9hour /15hour) |

**Non-Residential Uses**

|                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                        |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 17. <i>Environmental noise intrusion from road traffic noise and operational noise to non- residential uses shall comply with the design internal sound levels of Australian/New Zealand Standard AS/NZS 2107:2016 “Acoustics –design sound</i>                                                                         | <b>N/A</b>                                                                                                                                                                                                                             |
| 18. <i>The use and internal fit-out of non- residential premises may be carried out by future operators and tenants in which case they will be subject to separate approval by the relevant determination authority. THDCP 2012 applies to the assessment of the use of non-residential premises, where applicable.</i> | <b>N/A</b>                                                                                                                                                                                                                             |
| <b>Mechanical Plant and Equipment</b>                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                        |
| 19. <i>External noise emissions from the use of mechanical plant and equipment and vehicles being driven on site shall comply with the requirements of relevant NSW EPA Noise Policy for Industry and any other guideline, policy or standard.</i>                                                                      | <b>Complies</b><br>Noise Policy for Industry has been adopted to establish noise emission criteria refer to Section 7.1 of the report. Preliminary noise emission assessment has been conducted in Section 7.3 of the Acoustic Report. |
| 20. <i>Acoustic assessment of mechanical services equipment is to be undertaken during the detailed design phase of the development to ensure that the cumulative noise of all equipment does not exceed the applicable noise criteria.</i>                                                                             | <b>Complies</b><br>Mechanical acoustic review is to be conducted to achieve compliance with noise emission criteria during detailed design (CC) stage.                                                                                 |
| 21. <i>Fans shall be mounted on vibration isolators and balanced in accordance with Australian Standard 2625 ‘Rotating and Reciprocating Machinery – Mechanical Vibration’.</i>                                                                                                                                         | <b>Complies</b><br>Mechanical plant vibration treatment to be provided during CC stage.                                                                                                                                                |
| <b>Vibration</b>                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                        |
| 22. <i>The provisions of Environmental Protection Authority’s Rail Infrastructure Noise Guideline (EPA, 2013) and Assessing Vibration: a technical guideline (DECC, 2006) must be taken into consideration to ensure acceptable vibration and ground-borne noise limits for spaces within the development.</i>          | <b>Complies</b><br>Vibration impact from the Metro to the proposed development has been analysed in detail in Section 6.5-6.7 of the Acoustic Report.                                                                                  |

## 5.2. Precinct East Design Guidelines

### 5.2.1. Precinct East Park

| Objectives                                                                                            | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
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| <p>a. <i>To provide a new local park to meet the passive recreational needs of the community.</i></p> | <p><b>Complies</b></p> <p>The new Precinct East Park has been designed by others and has been approved by Council under DA 988/2022/JPZ. The proposed new buildings within the Showgrounds East Precinct are respectful of the park and maintain the UDG requirement for two hours of solar access to a minimum of 70% of the park.</p> <p>A separate modification application is to be lodged to The Hills Shire Council separately to this SSDA to modify DA 988/2022/JPZ to amend the design at the edges of the park where it interfaces with the proposed adjacent buildings. This modification application will be lodged following the determination of this SSDA.</p> <p>The approved eastern edge of the park assumes two connections into the adjacent future building along the eastern edge. However, the proposed development under this SSDA provides a series of townhouses along this interface and so it is proposed to amend the park design along this edge to replace the two pedestrian connections with six individual connections and a landscape buffer along this edge.</p> <p>Similarly, the approved western edge of the park also assumes two connections into the adjacent future building along the eastern edge. However, the proposed development under this SSDA does not involve any direct connections between the adjacent building and the park and so it is proposed to amend the park design along this edge to remove the two pedestrian connections and embellish the landscape treatment along this edge to provide an improved landscape buffer.</p> <p>The proposed modification application has been discussed with staff from The Hills Shire Council who are supportive of the minor design amendments. Refer to the plans below showing the landscape design approved under DA 988/2022/JPZ and the proposed design.</p> |



**Figure 16: Approved Landscape Plan Showing Design of Precinct East Park**



**Figure 17: Proposed Landscape Plan showing additional connections to east and west**

b. To retain existing trees within the new local park.

**Complies**

The new Precinct East Park is already designed by others and approved. The proposed new buildings have no further impact on the existing site above that already envisaged by the approved design for the park.

### 5.2.1. Precinct East Park

| Controls                                                                                                                                                                                                                                                                                                                          | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
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| 1. A minimum 250m2 play space with play elements that cater to the very young (up to 5yo) and primary school age children (5-12yo) is to be provided within the park. This shall comprise of a range of play equipment that may include a mixture of natural play elements and high-quality custom or off-the-self play elements. | <b>Complies</b><br>The design of the park has been approved under DA 988/2022/JPZ and includes the required play space. No further consideration of this control is required.                                                                                                                                                                                                                                                                                                          |
| 2. An open lawn for passive recreation is to be provided within the park.                                                                                                                                                                                                                                                         | <b>Complies</b><br>The design of the park has been approved under DA 988/2022/JPZ and provides an open lawn for passive recreation. No further consideration of this control is required.                                                                                                                                                                                                                                                                                              |
| 3. The park is to comprise of insitu concrete paths and paving.                                                                                                                                                                                                                                                                   | <b>Complies</b><br>The design of the park has been approved under DA 988/2022/JPZ and includes insitu concrete paths and paving. No further consideration of this control is required.                                                                                                                                                                                                                                                                                                 |
| 4. Durable picnic shelters, tables and park seating are to be provided throughout the park.                                                                                                                                                                                                                                       | <b>Complies</b><br>The design of the park has been approved under DA 988/2022/JPZ and includes picnic shelters, tables and park seating. No further consideration of this control is required.                                                                                                                                                                                                                                                                                         |
| 5. Footpath access is to be provided between areas of the park, the adjacent residential building entries, and the surrounding street network.                                                                                                                                                                                    | <b>Complies</b><br>The design of the park has been approved under DA 988/2022/JPZ. As discussed above, minor amendments are proposed to the park design to provide access to the residential building entries of Buildings C and E2. This modification application will be lodged following the determination of this SSDA.<br><br>The proposed modification application has been discussed with staff from The Hills Shire Council who are supportive of the minor design amendments. |
| 6. Existing trees of arboricultural significance within the footprint of the park are to be retained and protected.                                                                                                                                                                                                               | <b>Complies</b><br>The design of the park has been approved under DA 988/2022/JPZ and has retained existing trees of arboricultural significance. No further consideration of this control is required.                                                                                                                                                                                                                                                                                |
| 7. A minimum 40% tree canopy cover (at maturity) is to be provided throughout the park.                                                                                                                                                                                                                                           | <b>Complies</b><br>The design of the park has been approved under DA 988/2022/JPZ and provides 40% tree canopy cover (at maturity). No further consideration of this control is required.                                                                                                                                                                                                                                                                                              |
| 8. Tree planting is to utilise a palette of predominantly native plants (minimum 70%) that includes existing trees.                                                                                                                                                                                                               | <b>Complies</b><br>The design of the park has been approved under DA 988/2022/JPZ and the design utilises a palette of predominantly native plants. No further consideration of this control is required.                                                                                                                                                                                                                                                                              |
| 9. Exotic deciduous trees (max. 30% of total park trees) may be incorporated into the park as a feature and to provide solar access in winter.                                                                                                                                                                                    | <b>Complies</b><br>The design of the park has been approved under DA 988/2022/JPZ and the design includes exotic deciduous trees. No further consideration of this control is required.                                                                                                                                                                                                                                                                                                |

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| 10. <i>No basement or sub-basement is permitted below ground for the full extent of the park, with the exception of the existing Metro tunnel.</i>                       | <p><b>Complies</b></p> <p>The design of the park has been approved under DA 988/2022/JPZ. The basements of the proposed adjacent buildings do not extend below the park. No further consideration of this control is required.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| 11. <i>The park must be universally accessible and DDA compliant.</i>                                                                                                    | <p><b>Complies</b></p> <p>The design of the park has been approved under DA 988/2022/JPZ and has been designed as universally accessible and DDA compliant. No further consideration of this control is required.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
| 12. <i>Development is to comply with The Hills shire Council's Recreation Strategy (2019) and the Level of Service for a local park.</i>                                 | <p><b>Complies</b></p> <p>The design of the park has been approved under DA 988/2022/JPZ and complies with <i>The Hills shire Council's Recreation Strategy (2019) and the Level of Service for a local park</i>. No further consideration of this control is required.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| 13. <i>Public art and interpretation is to be incorporated into the design of the park.</i>                                                                              | <p><b>Complies</b></p> <p>The design of the park has been approved under DA 988/2022/JPZ. Public art has been included in the park and incorporated into its design. No further consideration of this control is required.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| 14. <i>The design and layout of any building adjoining the park shall ensure there is natural surveillance of the area to protect the security and amenity of users.</i> | <p><b>Complies</b></p> <p>Buildings C, E1 and E2 adjoin the park.</p> <p>A pathway is proposed to integrate the park with the proposed entry of Building C at ground floor level. The route connects the entry way to the existing park pathway and pedestrian crossing beyond providing a direct access route for occupants. Along the eastern edge of Building C removal of paving and addition of a landscape buffer and proposed screening will offer privacy to tenants within the ground floor units. The park landscape buffer and proposed screening will also provide views into the Precinct East Park to ensure there is natural surveillance.</p> <p>The western extent of Buildings E1 and E2 provides a highly activated frontage to the park and includes pedestrian entrances to the six townhouses, access to the ground floor communal courtyard and the lobby of Building E1. The highly activated ground floor plane will ensure natural surveillance of the adjoining park.</p> <p>The proposed minor changes within Precinct East Park will maintain the design and integrity of the park approved under DA 988/2022/JPZ.</p> |

## 5.2.2. Publicly Accessible Pedestrian Link

### Objectives

- a. To provide a safe and comfortable public pedestrian connection between Showground Road and Precinct East internal street.

### Comment

#### Complies

A key design move has been the consolidation of the car park entries and loading docks for Buildings D and E into a single entry/exit point located on the sub-divided road. The figure below has been taken from the UDG and identifies proposed parking entries directly to the north and south of the publicly accessible pedestrian link.

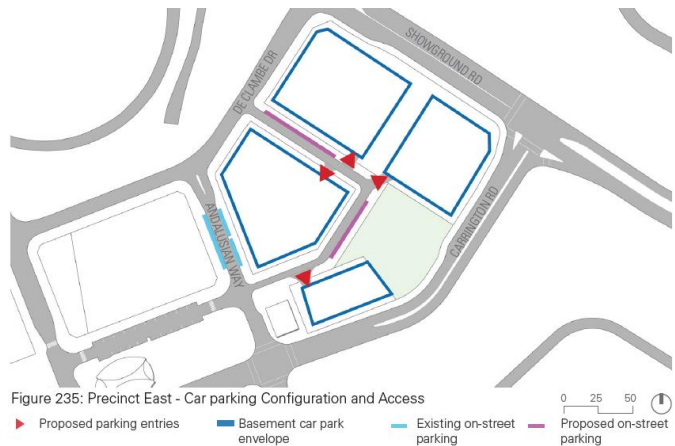


Figure 18: Figure 235 from the UDG identifying car parking configuration and access within Precinct East (Source: UDG)

The proposed design includes the provision of a single consolidated entry located further to the north of the pedestrian link which has removed traffic movement conflicts at the western end of the publicly accessible pedestrian link (refer figure below).

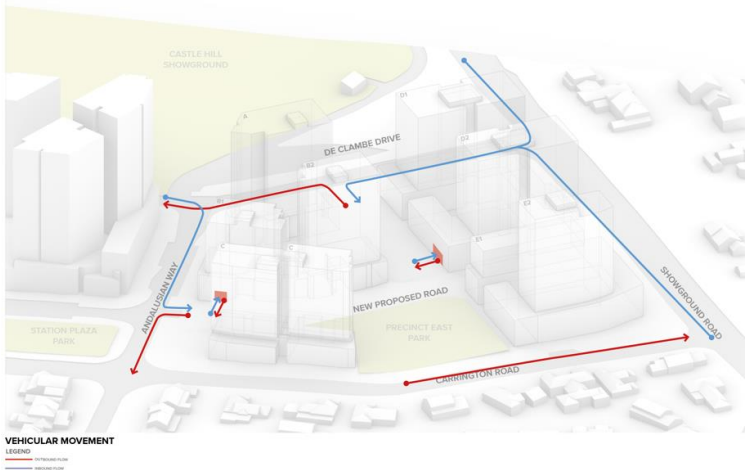


Figure 19: Proposed vehicular movements, outbound flow in red and inbound flow in blue (Source: Turner Studio)

The loading dock is located within the basement and allows for trucks to enter and exit the site safely in a forward direction. The consolidation of the car park and loading dock has allowed for a highly activated north-west corner to Building E1, characterised by a

generous residential entry lobby and direct sightlines into the central communal courtyard area. This greatly improved street edge activation and passive surveillance allows for a safe and inviting public domain for pedestrians and cyclists to use at all times of day.

The enhanced public domain created by this change, has allowed for unimpeded pedestrian and bicycle movements from the publicly accessible pedestrian link to the new eastern park, creating a green network of pathways and parkland that connects the wider precinct.

Public art has been carefully integrated into this new pedestrian link, with collaboration undertaken with Aboriginal artists Danny Eastwood and Jamie Eastwood to ensure the landscape reinforces Connecting with Country. The pedestrian link is embellished with native planting and engraved with indigenous words, telling the native bird dreaming stories to create an immersive experience that awakens the senses and convey a deeper understanding of country.

There is provision for a minimum 2m set down of the basement slab under, which allows for a flush landscaping condition that does not rely on mounding or retaining walls for achieve soil depths for large tree types. This flush landscaping condition maintains quality sightlines through the space for safety. Overhead, the buildings allow for apartments that overlook the new publicly accessible pedestrian link, providing passive surveillance. Three building entry lobbies are front the link which further activates the space at all times of day.

### 5.2.2. Publicly Accessible Pedestrian Link

| Controls                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
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| 1. <i>The pedestrian link is to be aligned with the wider pedestrian connection between Showground Road and the Metro Station (via Mandala Parade) to maximise pedestrian and visual access.</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <p><b>Complies</b></p> <p>The proposal seeks to deliver a pedestrian centric public domain where the impact of cars and traffic movement is carefully managed. As discussed above, a key design move has been the consolidation of the car park entries and loading docks for Buildings D and E into a single entry/exit point located on the sub-divided road. This has removed traffic movement conflicts at the western end of the publicly accessible pedestrian link.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| 2. <i>The pedestrian link is to comprise a minimum 3m wide footpath within a minimum 8m wide publicly accessible space.</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | <p><b>Complies</b></p> <p>The pedestrian link is compliant with a minimum 3m wide footpath within a minimum 8m wide publicly accessible space.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| <p>3. <i>Pedestrian link shall have regard to the following:</i></p> <ul style="list-style-type: none"> <li><i>Be publicly accessible.</i></li> <li><i>Include a minimum of 500mm of landscaping (maximum height of 800mm) along each side of the pedestrian link.</i></li> <li><i>Be clearly identifiable as a publicly accessible pedestrian link.</i></li> <li><i>Encourage pedestrians to move along the link and not linger.</i></li> <li><i>Maintain the privacy of ground floor apartments which adjoin the link.</i></li> <li><i>Ensure adequate passive surveillance is provided.</i></li> <li><i>Have adequate lighting to improve safety.</i></li> <li><i>Building setbacks to the pedestrian links are to as per the UDG.</i></li> </ul> | <p><b>Complies</b></p> <ul style="list-style-type: none"> <li>The pedestrian link complies with these objectives in that:</li> <li>The pedestrian link will be publicly accessible, 24 hours a day, seven days a week.</li> <li>Both sides of the pedestrian link are landscaped with extensive native trees and shrubs in deep soil with sitting areas and boulders to the edge.</li> <li>The pedestrian link is clearly identifiable as a publicly accessible pedestrian link, accessed from the adjoining public domain and provides a clear route linking Showground Road to the new internal road.</li> <li>The pedestrian link had been designed to act predominantly as a thoroughfare, with embellishments including landscaping, public art and small timber deck seating nooks to improve the amenity of this space.</li> <li>To maintain privacy for ground floor apartments, the ground floor apartments are located above the level of the link and deep landscape planters are proposed between the edge of the apartments and the pedestrian link.</li> <li>Passive surveillance of the link is provided by the location of multiple building and apartment entries into Buildings D2 and E1 directly from the pedestrian link. In addition, all apartments fronting the link in Buildings D2 and E1 have their private open space addressing this link.</li> <li>The pedestrian link will be lit to the agreed pedestrian category AS1158.3.1. Lighting within this standard ensures that light is provided on the horizontal plane and vertical (for facial recognition). The selected light category is verified against traffic and crime statistics to ensure the space is lit to an acceptable level for safety and ease of wayfinding.</li> </ul> |

- Building setbacks to the link is in accordance with this UDG.

4. *The pedestrian link is to have an insitu concrete footpath that ties into the surrounding public domain rather than appear as a privatised space.*

**Complies**

An insitu concrete footpath is provided which incorporates Darug bird names alongside the English bird names in the paver design.

5. *A continuous tree canopy (at maturity) is to be provided along the length of the pedestrian link.*

**Complies**

As detailed in the landscape plans dated August 2024, extensive native tree planting is proposed adjacent to the pedestrian link. This is shown on the detailed section below extracted from the landscape plans.



**Figure 20: Detailed section showing proposed landscaping to pedestrian link and identifying 2m deep soil set down to basement level below (Source: Land and Form)**

6. *A clear line of sight is to be maintained from one end of the pedestrian link to the other.*

**Complies**

The pedestrian link has been designed as an unobstructed link with direct sightlines from the internal road in the west to Showground Road in the east.

7. *The design and layout of any building adjoining the pedestrian link is to ensure there is natural surveillance of the pathway to protect the security and amenity of users. Solid fences are not permitted along the boundary of a pathway as they will restrict passive surveillance over the pathway.*

**Complies**

Palisade fencing is incorporated to the ground floor apartments which front the pedestrian link to provide passive surveillance of the pathway.

8. *Bioretention measures are to be provided in line with the Integrated Water Management Strategy.*

**Complies**

The pedestrian link incorporates native Cumberland woodland species including Eucalyptus moluccana, Eucalyptus tereticornis, and Eucalyptus crebra.

9. *No basement or sub-basement is permitted below the pedestrian link.*

**Non-Compliant but justified**

A key design move has been the consolidation of the car park entries and loading docks for Buildings D and E into a single entry/exit point located on the sub-divided road. This has removed the need for driveways and hard landscaping at the western end of the publicly accessible pedestrian link.

The consolidated car park of Buildings E and F generally sits directly under the footprint of the buildings overhead, as well as the publicly accessible pedestrian link. The extent of car park has generous setbacks from all site boundaries to allow for significant deep soil area above, which is in excess of the ADG requirements.

Within the publicly accessible pedestrian link, the proposal incorporates a minimum 2m set down of the basement slab. This allows for significant soil depth sufficient for large tree types and quality soft landscaping. This set down also allows for a flush condition within the public domain, free of mounding and low retaining walls, for a more open and permeable streetscape. Accompanying this application is a report prepared by SELS Australia dated 17 July 2024 which confirms the soil specifications within the pedestrian link are sufficient for the proposed mass planting. The location of the basement underneath the new pedestrian link is supported.

10. *The pedestrian link must be universally accessible and DDA compliant.*

**Complies**

The pedestrian link is universally accessible and DDA compliant.

11. *Public art and interpretation is to be incorporated into the design of the pedestrian link in line with the SMNWP Public Art Guidelines and Hills Showground Station Precinct Heritage Interpretation Strategy (GML, 2019).*

**Complies**

The proposed development seeks to implement the themes identified in the Connecting with Country Strategy prepared by Danny Eastwood and Jamie Eastwood within the publicly accessible through site link with a landscape design that references the Cattai Creek, and with Darug bird names alongside the English bird names in the paver design. The public art embodies all of the aims and objectives set out in the UDG, seeking to embed public art at the heart of the precinct, for the benefit of humans and animals. The public art has been developed having regard to the SMNWP Public Art Guidelines.

### 5.2.3. Communal Open Space

| Objectives                                                                                                                                 | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
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| <p>a. <i>To provide additional amenity and recreational opportunities within the private domain for the residents of the Precinct.</i></p> | <p><b>Complies</b></p> <p>A range of communal open spaces are provided to meet the varied needs of the residents who live within the development site.</p> <p>The central communal courtyards have been designed to be flush with the adjacent street scape, with all car parking and loading dock facilities located below ground at basement levels. The building entry lobbies have been carefully located to allow for direct view lines from the street into the central communal courtyards beyond. These site wide view lines add to the permeability and openness of the ground plane. Ground floor apartments facing into the central communal courtyards have private open space with fence lines that shield the apartment interiors and provide adequate privacy.</p> <p>The courtyards balance the need for significant soft landscaping, planting, and trees with the inclusion of programmed uses for residents such as children's play equipment, spill dining/seating areas adjacent to the resident's internal community room, etc. The leafy sheltered character of these central communal courtyards is a good contrast to the more open and sun-drenched rooftop communal courtyards and therefore offers residents the ability to go to outdoor spaces with sufficient comfort and amenity at all times of the year. All the podium rooftops are landscaped with communal external rooftop terraces. The floorplates of the towers have been designed to allow for equitable access from all lift cores to these rooftop terraces.</p> <p>These spaces form important green outlooks from the apartments above, and their soft landscaping and planting reduces the urban heat island effect of the proposed built form. The rooftop terraces enjoy significant solar access at all times of the day and offer views out to the Precinct East Park and district views. Collectively, the range of communal open spaces provided exceed ADG area requirements and enjoy more than 50% receiving minimum 2hours solar access between 9am and 3pm each day.</p> |

### 5.2.3. Communal Open Space

| Control                                                                                                                                                                    | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
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| <p>1. <i>Communal open space is to be provided in the form of private areas at podium, rooftop and ground level in accordance with SEPP 65 Apartment Design Guide.</i></p> | <p><b>Complies</b></p> <p>A range of communal open areas which include:</p> <p><b>Ground floor</b></p> <ul style="list-style-type: none"><li>• Centralised communal open space between Buildings A and B (1,372sqm)</li><li>• Centralised communal open space between Buildings D1 and D2 (855sqm)</li><li>• Indoor communal facility within Building D2 (55sqm)</li><li>• Centralised communal open space between Buildings E1 and E2 (568sqm)</li></ul> <p><b>Rooftop</b></p> <ul style="list-style-type: none"><li>• Small breakout space between Buildings B1 and B2 at level four (142sqm)</li><li>• Communal rooftop at level 12 on Building B1 (243sqm)</li><li>• Communal rooftop at levels 14 and 15 on Building C (859sqm)</li><li>• Communal rooftop at level three on Building D1 (124sqm), Building D2 (239sqm), Building E1 (372sqm) and Building E2 (209sqm)</li><li>• Communal rooftop at level four between Buildings D1 and D1 (319sqm)</li></ul> |

- Communal rooftop at level eight on Building E1 (435sqm)
- Communal rooftop at level 17 on Building E2 (237sqm)

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| <p>2. <i>Communal open space is to be primarily at grade and read as a continuation of the adjacent public domain character in planting and materiality. The materiality is to compliment the adjacent public domain and may include additional materials such as brick and/or stone paving. Small trees suitable for the landscaped area provided are encouraged.</i></p>                                                                                                                                                                                                                                                                                                | <p><b>Complies</b></p> <p>Buildings A, B, D and E benefit from centralised at grade communal open spaces. These spaces are provided at the same level as the adjacent streets, with view lines provided from the streets via the main entry lobbies and breaks in the built form. The planting and materiality have been specifically chosen to read as a continuation of the adjacent public domain, including incorporation of a minimum of 70% native planting for local character.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p>3. <i>Fencing may be provided to delineate private vs public space; however, it should be designed to provide clear views into the ground level private open space.</i></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | <p><b>Complies</b></p> <p>Large communal open areas are provided within the central ground floor courtyards. These courtyards are at the same level as the adjacent streets with clear sightlines. Picket style fences are provided that have sufficient permeability to allow for sightlines into the central courtyards but maintain adequate security and privacy.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| <p>4. <i>External (outside) communal open space areas are to be located and designed to:</i></p> <ul style="list-style-type: none"> <li>• <i>Be seen from the street.</i></li> <li>• <i>Between buildings (were possible).</i></li> <li>• <i>Provide for active and passive recreation needs of all residents.</i></li> <li>• <i>Provide landscaping.</i></li> <li>• <i>Present as a private area for use by residents only.</i></li> <li>• <i>Include passive surveillance from adjacent internal living areas and/or pathways.</i></li> <li>• <i>Have a northerly aspect (where possible).</i></li> <li>• <i>Be in addition to any public thoroughfares.</i></li> </ul> | <p><b>Complies</b></p> <ul style="list-style-type: none"> <li>• The main communal open areas are located at ground floor and form large courtyard areas in the middle of Buildings A and B, Building D and Building E. These communal spaces are provided at the same level as the adjacent streets. Straight view lines are provided from the streets into the central courtyards via the main entry lobbies, and via breaks in the built form of the podium. The mid-level rooftops are all landscaped with communal rooftop terraces. There are substantial planted areas around the edges of these rooftop terraces that provide a greening of the facades and visual interest when viewed from the streets below.</li> <li>• A range of uses are provided in the communal courtyards and terraces to cater to varying ages and demographics that are likely to live in a project of this size. The ground floor communal open spaces are generously landscaped with extensive soil depths and tree canopy. The program of the communal open space is designed for a variety of uses including play areas, open lawn and passive retreat spaces. The rooftop spaces are designed to be a series of active outdoor rooms with pergola and expansive district views, providing a variety of uses throughout the year for residents.</li> <li>• As detailed in the Landscape Plans and Landscape Report prepared by Land and Form Landscape Architects (dated August 2024), high-quality landscaping proposed to all communal spaces across the site.</li> <li>• Fences and secure lines are applied to the edges of the ground floor communal open areas to provide sufficient security for residents and remove any ambiguity in the type of space being provided.</li> <li>• Parking, plant rooms, and services are located in the basement, which allows for a highly activated façade to the lower levels of the buildings. Multiple apartments, town houses and lift lobbies overlook the communal open spaces for adequate passive surveillance.</li> <li>• The proposal is compliant with the already approved Concept Plan building envelopes and massing. There is little ability to vary from these building envelopes due to the highly prescriptive dimension of the setbacks and building separation requirements. This leads to ground floor communal courtyards that have an east-west orientation rather than northerly. To offset this, numerous communal rooftop terraces are provided to allow for a range of communal external areas that enjoy quality solar access, views and outlook. All lift cores have access to a rooftop terrace. Collectively this gives a range of spaces that can be used all year round and gives a choice between shade and full sun in the warmer summer months.</li> <li>• The communal open areas do not include any public thoroughfares and are located within fences/secure lines or located on the mid-level rooftop terraces.</li> </ul> |
| <p>5. <i>Communal open space is to provide a range of uses including seating, picnic facilities, play spaces, productive gardens and</i></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | <p><b>Complies</b></p> <p>The communal open spaces have a range of active and passive uses that meet the varied requirements of all age groups and demographics.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |

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| <p><i>lawn areas amongst generous plantings.</i></p>                                                                                                                                                                                                  | <p>The additional rooftop communal terraces are envisaged as passive and active areas for relaxation, with quality solar access and views across the Showgrounds and surrounding precinct.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| <p>6. <i>Communal open space is to incorporate a minimum of 70% native planting for local character; however this may be supplemented with exotics for colour and variation, and edible species as part of vegetable or herb gardens.</i></p>         | <p><b>Complies</b><br/>As detailed in the Landscape Plans and Landscape Report prepared by Land and Form Landscape Architects (dated August 2024), 70% of native planting is provided throughout the site. Communal open spaces also include lemon, orange and various citrus trees.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| <p>7. <i>The design of exterior communal open space areas is to achieve amenity by addressing visual and acoustic privacy, safety, security and wind effects.</i></p>                                                                                 | <p><b>Complies</b><br/>All apartments that are directly adjacent to the main podium communal open space, or beside the communal rooftop terraces, are provided with minimum 1800mm high fences to their private terraces for visual and acoustic privacy. The landscape design also allows for generous deep planting adjacent to these fences as a green buffer. Active uses and places of gathering, such as BBQs, are located away from private terraces to avoid conflicts of use. Within the communal open areas, clear sightlines are provided, plus adequate lighting and wayfinding signage will be provided as part of the later detailed design development. Upper-level apartments provide appropriate passive surveillance of the communal open areas to discourage any anti-social behaviour.</p> |
| <p>8. <i>The location and design of communal open space is to achieve a minimum of 50% direct sunlight to the principal usable part of the communal open space for a minimum of 2 hours between 9am and 3pm at the winter solstice (21 June).</i></p> | <p><b>Complies</b><br/>Areas enjoy significant solar access, and therefore overall, the communal open areas collectively achieve greater than two hours solar access between 9am and 3pm on June 21st.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |

## 5.2.4. Building Siting, Massing and Scale

| Objective                                                                                                                                                                                                                                                        | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| a. <i>To protect and enhance the rich, distinctive and valued character of the area, particularly those elements that contribute to a sense of place and identity including the Castle Hill Showground and existing landscape within the Precinct East Park.</i> | <p><b>Complies</b></p> <p>The wider Castle hill area is synonymous with its green streetscapes, and the brick vernacular of its homes, which create a welcoming and high-quality suburban character. The proposed development will provide extensive landscape spaces and a dedicated publicly accessible through site link to contribute to the area's established network of green infrastructure. The built form has taken its inspiration and design cues from both the extensive parklands and natural surroundings and low density suburban architecture evident within the existing neighbourhood.</p>                                                                                                                                                                                                         |
| b. <i>To provide building forms that reinforce the desired character of the area.</i>                                                                                                                                                                            | <p><b>Complies</b></p> <p>The Showgrounds Station Precinct has a very prescriptive Concept Plan approval with establishes all allowable building envelopes, setbacks, and building separation. The proposed buildings are generally compliant with these building envelope requirements and align fully with design intent of the UDG.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| c. <i>To ensure building orientation maximises visual amenity and natural surveillance, taking advantage of any views to open space, public reserves and bushland.</i>                                                                                           | <p><b>Complies</b></p> <p>The Showgrounds Station Precinct has a very prescriptive Concept Plan approval which establishes all allowable building envelopes, setbacks, and building separation. The proposed buildings are generally compliant with these building envelope requirements and align fully with design intent of the UDG. The orientation of buildings and apartments have been designed to leverage outlook onto the new public domain as well as district views to connect residents to nature.</p>                                                                                                                                                                                                                                                                                                   |
| d. <i>To ensure towers are of a slender design to reduce perceived bulk and scale.</i>                                                                                                                                                                           | <p><b>Complies</b></p> <p>For the precinct to read as a cohesive grouping of buildings with a considered streetscape, there needs to be key datums and alignments precinct wide. These datums and alignments have been established in the very detailed and prescriptive UDG. Street setbacks, stepped facades, facade lengths, and building height datums are established in the UDG. Compliance with these controls provides for a very coherent and consistent approach to building massing across the Showgrounds East Precinct. This includes towers which are setback from the podium base and vertical articulation of the tower to further enhance their slenderness.</p>                                                                                                                                     |
| e. <i>To ensure towers create an open, attractive and distinct skyline.</i>                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| f. <i>To frame and define the streets and public open spaces with appropriately scaled built edge.</i>                                                                                                                                                           | <p><b>Complies</b></p> <p>Compliant with the UDG controls, a four storey podium is provided to all buildings, with the towers above purposefully setback in accordance with the UDG to help frame and define the streets and adjoining public open spaces. The podiums include landscaping, articulation, defined building entries and incorporate brick to provide a sense of weight and grounding in the podium facades in contrast to the lighter expression of the towers above.</p>                                                                                                                                                                                                                                                                                                                              |
| g. <i>To create a cohesive built environment through consistent and/or complementary elements of built form composition (e.g. relationships between podiums, modulation, proportions, and the like).</i>                                                         | <p><b>Complies</b></p> <p>The proposed built form complies with the UDG controls and therefore matches the design intent and desired future character of the precinct. The towers are setback from the podiums, which creates strong horizontal datum of four storeys within the streetscapes. The façade and material colour/types of the podiums change at intervals along each street edge so add the diversity and playful character. There are breaks in the built form and carefully located lobby entries.</p>                                                                                                                                                                                                                                                                                                 |
| h. <i>To protect the natural features of the Precinct in existing stands of trees and solar access to the public realm.</i>                                                                                                                                      | <p><b>Complies</b></p> <p>Previous development consents (988/2022/JPZ and 304/2020/LA) granted by the Hills Shire Council permit the removal of all trees in Lot 4 and most trees in Lot 5 (43 trees in total). An additional seven (7) trees require removal to accommodate the current development proposal. Unfortunately, the removal of these trees is unavoidable due to their location within the approved Concept Plan building footprints. Please note, this application does not include the removal of any trees located within Precinct East Park, noting consent for this park has been approved separately to this SSDA by the Hills Shire Council.</p> <p>Solar access to the public realm has been optimised through the careful redistribution of building heights across the precinct. This has</p> |

resulted in a compliant quantum of solar access to both Precinct East Park and the Station Plaza in accordance with the UDG.

## 5.2.4. Building Siting, Massing and Scale

### Control

1. Development shall be designed to incorporate clearly defined ground floor street zone, podium and upper-level elements as shown in Envelope A (Figure 199).

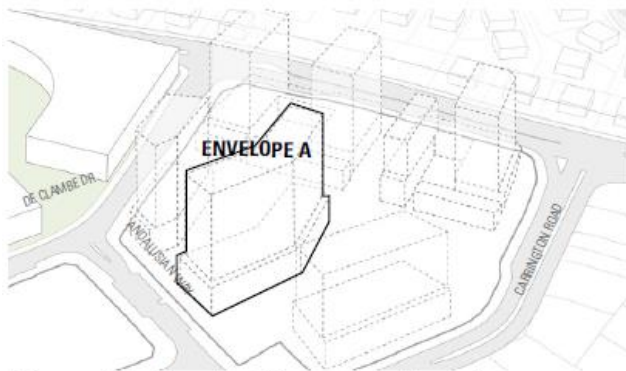


Figure 199: Precinct East - Envelope A

### Comment

#### Complies

As shown in the figures below, all buildings have been designed to provide a clearly defined ground floor street zone, a podium between three and four storeys in height and a distinctive upper level element above.



Figure 21: 3D massing diagram looking north from Carrington Road (Source: Turner Studio)

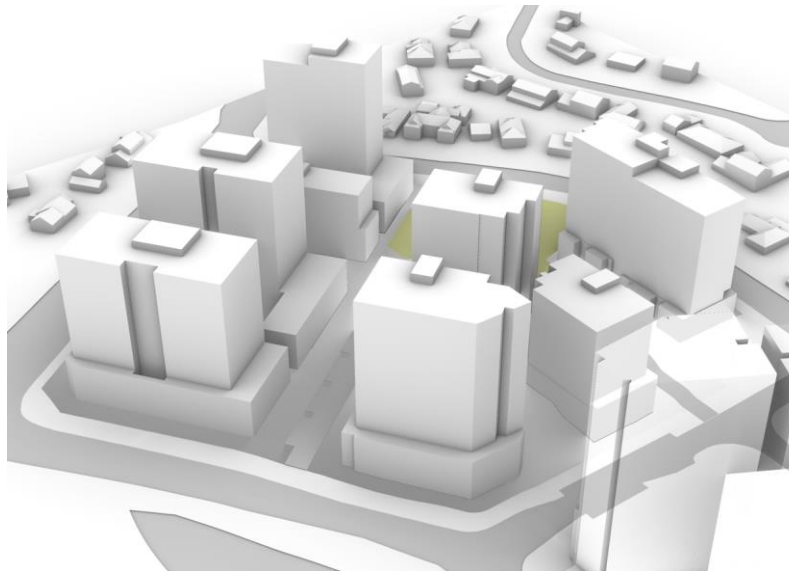


Figure 22: 3D massing diagram looking south from De Clambe Drive (Source: Turner Studio)

2. Ground floor heights are to be a minimum of 4m (floor to floor) for all non- residential uses.
3. Streets are to be defined by a mix of townhouse apartments and apartment podium edges:
- a. Apartment podiums are to provide a 4 storey street wall with a height of up to 16m (depending on the use) is to be provided in accordance with Figure 204. The street wall is to respond to the topography of the site and may vary between buildings where appropriate.
- b. Townhouse apartments are to be a maximum of 3 storeys (12m) in height.



**N/A**  
Non-residential uses are not proposed at ground level.

**Compliant**  
The proposal is compliant with the UDG in providing a four storey street wall to all road frontages with the exception of the townhouses which provide a three storey street wall to Precinct East Park and the new internal road. Refer Figure below.

It is noted there is a drafting error in Figure 204 of the UDG which requires a four storey street wall to the eastern and western extents of Building C. However, this is inconsistent Figures 207, 210, 211 and 219 of the UDG which all identify these frontages are not required to provide a four storey street wall.

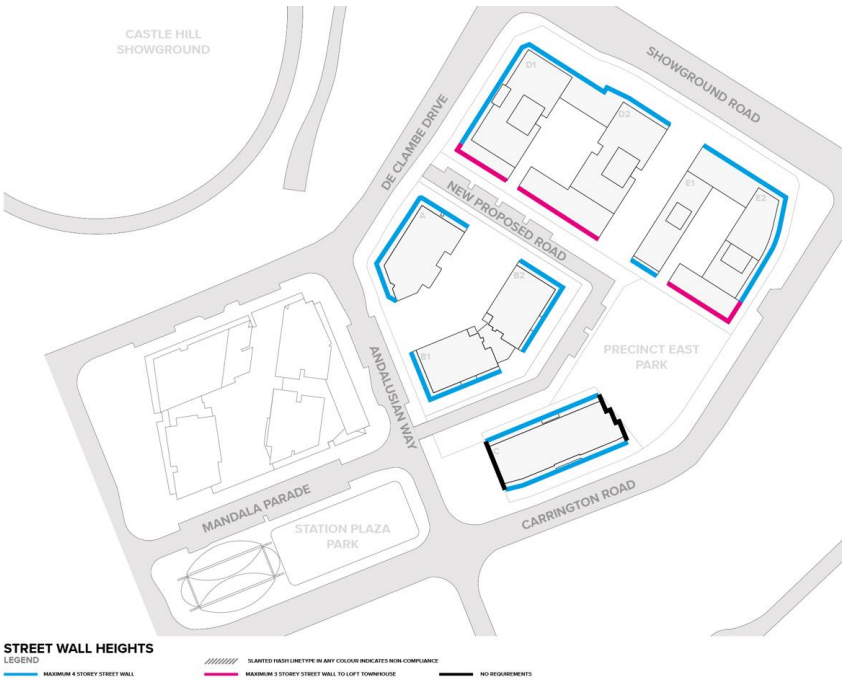


Figure 23: Proposed street wall heights (Source: Turner Studio)

4. A secondary setback above the podium is to be provided in accordance with Figure 204 to maximise solar access to public and private spaces and habitable rooms, district views to the east, north and west, and to minimise wind down draft.
5. Tower forms above the podium shall not exceed 50m in length and 24m in width (measured through the centre of the building, except for the Building A envelope identified in Figure 199) and shall have floor plates of no more than 850sqm GFA per floor.

**Complies**  
As identified in the figure above, compliant secondary setbacks are provided above the podium to maximise solar access to public and private spaces and habitable rooms, district views to the east, north and west, and to minimise wind down draft.

**Minor non-compliance**  
With the exception of Building C, all tower forms are less than 50m in length. All tower forms are less than 24m in width and have a floorplate of no more than 850sqm of GFA per floor.

Building C exceeds 50m in length, however the building reads as two separate buildings, with a central recess creating two distinct building forms. The form and massing of building is broken into two distinct towers, a light white mix of brick to the western tower and sand mix to

the eastern tower. The use of brick offers a common dialogue between each tower although treated in various ways. Refer Figure below.



**Figure 24: CGI image showing southern facade of Building C which fronts Carrington Road (Source: Ivolve Studios)**

6. Tower form is to be orientated to:

- a. Reduce the perceived mass of the building, particularly to Showground Road.
- b. Provide solar access to station plaza as per the controls in Section 2.16.1.
- c. Provide privacy for both communal and private open space areas.
- d. Maximise solar access to public and private spaces and habitable rooms, district views to the east, north and west and to.
- e. Minimise wind down draft.

Complies

In response:

- a. Buildings D1, D2 and E2 contain tower forms which are adjacent to Showground Road. To assist in reducing the perceived mass of all tower forms, the following design methods have been employed:
  - Towers set back from the podium base
  - Vertical articulation of tower architecture to increase slenderness
  - Relief in tower facade lengths through indentation
  - Lighter facade expression to contrast against the more solid brick architecture of the podium base
  - Rooftop plantrooms to be set back to minimise visual impact
  - Bespoke and playful detailing
  - Landscaping to soften street edge interface and provide privacy
- b. Solar access to the station plaza is maintained, specifically 65% of solar access is provided to this plaza at midwinter.
- c. The rooftop communal open spaces have been carefully sited and designed to act as predominantly passive spaces, with seating and break out areas complemented by extensive landscaping to reduce any conflicts with nearby private open space for residential apartments.
- d. Compliance with the ADG is achieved in relation to ensuring 50% direct sunlight is achieved to the principal useable part of the communal open spaces at midwinter and ensuring living rooms and private open spaces of at least 70% of apartments receive a minimum of two hours of sunlight at midwinter. The orientation and layout of apartments has optimised the number of apartments receiving sunlight and ensuring district views are available from both private and elevated communal open spaces.
- e. The tower forms incorporate awnings and screens to minimise wind down draft, refer to the Wind Tunnel Testing Addendum Memo prepared by Windtech (dated 9 August 2024) which endorses the proposed design.

7. Tower massing and scale is to consider possible future development on adjoining sites, including Precinct West, Precinct East and the Castle Hill Showground.

Complies

As discussed in detail in Section 5.2.8, the massing of the built form and towers within the Precinct has been redistributed due to inaccuracies in the UDG with the solar access controls. This has resulted in the southern most towers within Buildings C, D1 and D2 increasing in height with reductions in height to towers in Buildings D1 and B1.

The amended tower massing and scale is respectful of adjoining sites. The relocation of additional height to the south, near to Carrington Road is considered appropriate given adjacent development has a 40m building height and additional density nearby to the Metro Station is considered appropriate. In the northern part of the site, reductions in heights are proposed to respond to the adjoining Castle Hill Showground and the residential areas to the north-east of Showground Road.

The proposed amendments to the heights are further addressed in the modification application (SSD-9563 Mod-4) submitted concurrently with this SSDA.

8. *Built form within the Envelope A (identified in Figure 199) shall be:*
- a. *Designed to address different orientations.*
  - b. *Designed with different heights.*
  - c. *Significantly articulated both horizontally and vertically to read as two separate buildings.*
  - d. *Articulated through a minimum 3m wide and deep recess and treated with different materials and finishes.*

**Complies**

In response, the built form within Envelope A (referred to as Building B):

- a. Has been designed to address its different orientations, with Building B1 stepping down in line with the topography.
- b. Provides two distinct building forms, with Building B1 13 storeys in height and Building B2 16 storeys in height.
- c. At podium level, Buildings B1 and B2 are connected, however above the four storey podium, separation is provided to create two distinctive tower forms. The three storey height difference between the buildings further extenuates this separation between the buildings.
- d. At podium level, both Buildings B1 and B2 incorporate a 3m wide and deep recess to further articulate the built form.



**Figure 25: CGI of Building B, with Building B1 located on the right and Building B2 located to the left (Source: Involve Studios)**

### 5.2.5. Pedestrian Connectivity

#### Objectives

- a. *To cater for existing and future pedestrian movement to, through and within the Precinct.*
- b. *To ensure that any future connection from the station to the broader catchment is via dedicated/pedestrian priority links.*

#### Comment

**Complies**

The design of the public domain adjoining the development allotments has been approved separately to this SSDA and facilitates excellent permeability through and within Precinct East.

The consolidation of the car park entries and loading docks for Buildings D and E and Buildings B and C into two separate single entry/exit points located on the subdivided road has improved pedestrian connectivity within the precinct by improving street edge activation and passive surveillance to allow for a safe and inviting public domain for pedestrians and cyclists to use at all times of the day.

**Complies**

Pedestrian connectivity links are provided as per the UDG to ensure ease of access to and from the station.

### 5.2.5. Pedestrian Connectivity

#### Controls

1. *Pedestrian connectivity throughout the Precinct is to be provided in accordance with Figure 203.*

#### Comment

**Complies**

The proposal provides the desired pedestrian connections as set out in Figure 203.

The design of the public domain adjoining the development allotments has been approved separately to this SSDA and facilitates excellent permeability through and within Precinct East.

The consolidation of the car park entries and loading docks for Buildings D and E and Buildings B and C into two separate single entry/exit points located on the subdivided road has improved pedestrian connectivity within the precinct by improving street edge activation and passive surveillance to allow for a safe and inviting public domain for pedestrians and cyclists to use at all times of the day.



2. *Car parking access and ramps for the eastern-most super lot are not to extend beyond the facade of the building to ensure the private and public domain provide cohesive connections to the publicly accessible through site link from the local park.*

No driveway location is proposed in this location, with access to the consolidated basement located within Building D2 for this super lot. The enhanced public domain created by this change, has allowed for unimpeded pedestrian and bicycle movements from the publicly accessible pedestrian link to the new eastern park, creating a green network of pathways and parkland that connects the wider precinct.

### 5.2.6. Street Wall Heights

#### Objectives

- a. *To ensure that the height of the street walls make a significant contribution to the experience of place and add uniformity of character along particular streetscapes, or provide variations in areas where so desired.*
- b. *To provide street wall heights that are a response to future conditions within and adjoining the site and the desired future character of the streets and Character Areas.*

#### Comment

**Complies**  
The proposed built form complies with the UDG and matches the design intent and desired future character of the precinct. The towers are setback from the podiums, which creates strong horizontal datum of 3 to 4 storeys within the streetscapes. The façade and material colour/types of the podiums differ by buildings which will add into variety of streetscape.

### 5.2.6. Street Wall Heights

#### Controls

- 1. *In accordance with Figure 204, there is a provision of a mixed 3-storey and 4-storey street wall for Precinct East to define the streets and public open spaces with an appropriately scaled built form.*



#### Comment

**Complies**  
The proposal is compliant with the UDG in providing a four storey street wall to all road frontages with the exception of the townhouses which provide a three storey street wall to Precinct East Park and the new internal road. Refer Figure below.

It is noted there is a drafting error in Figure 204 of the UDG which requires a four storey street wall to the eastern and western extents of Building C. However, this is inconsistent Figures 207, 210, 211 and 219 of the UDG which all identify these frontages are not required to provide a four storey street wall.

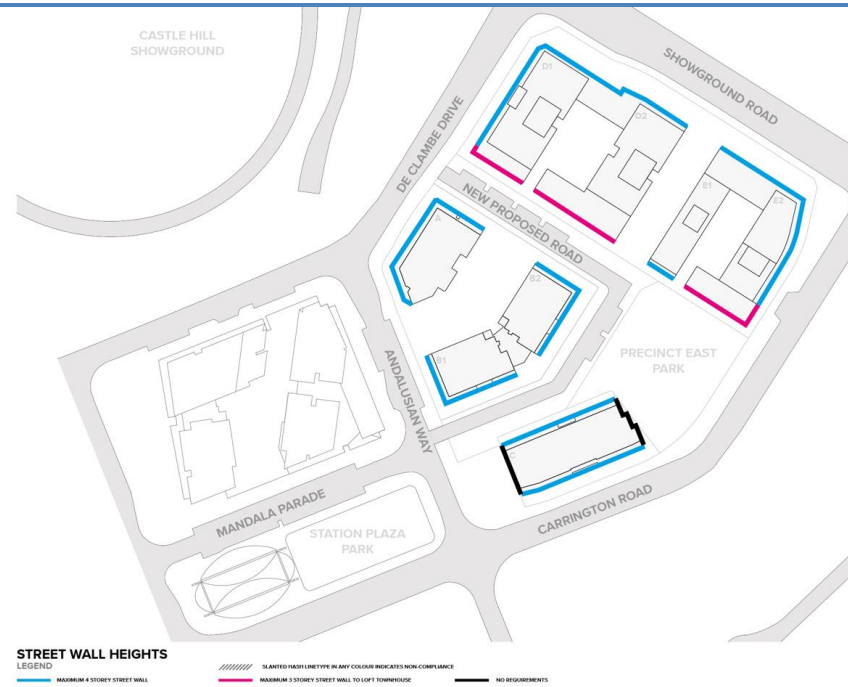


Figure 26: Proposed street wall heights (Source: Turner Studio)

### 5.2.7. Setbacks

| Objectives                                                                                                                                                                                 | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| a. <i>To contribute to the visual experience of the street.</i>                                                                                                                            | <b>Complies</b><br>The proposed design is compliant with the setbacks stipulated in the UDG to contribute to the visual experience of the street.                                                                                                                                                                                                                                                                                                                                                                                                        |
| b. <i>To provide space for landscaping and courtyards that weave together them public and private domain.</i>                                                                              | <b>Complies</b><br>The UDG requires provision of a minimum 5m primary setback to generally all built form interfaces. Compliance with the UDG results in all buildings being surrounded by a landscaped band which provides a buffer between the public domain and the proposed built form. Where the topography allows, nearly all ground floor apartments and all townhouses have direct access to enter from the public domain into their private open spaces to assist weave together the public and private domain.                                 |
| c. <i>To mitigate noise and particulate matter pollution.</i>                                                                                                                              | <b>Complies</b><br>The UDG allows for significant setbacks to all street edges. The proposal includes extensive planting and street tree canopy coverage within these setbacks. All ground floor apartments include private open spaces which address the street edge to help provide a buffer between the private and public domain interfaces. In addition, the facades of the podium levels include brick as the key material to allow for a more solid façade.                                                                                       |
| d. <i>To enhance the pedestrian experience through visual enclosure and scale of streets and provide access to sunlight.</i>                                                               | <b>Complies</b><br>Compliance with the UDG results in significant setbacks to all street edges. The proposal includes extensive planting and street tree canopy coverage within these setbacks to provide a green buffer between the public domain and the individual buildings. To assist further enhance the pedestrian experience, large residential lobbies are proposed which have direct visual connection to the central communal open spaces to assist in providing access to sunlight to the public domain.                                     |
| e. <i>To define the public domain and create a consistent streetscape.</i>                                                                                                                 | <b>Complies</b><br>Compliance with the UDG setback controls results in the proposed built form providing a consistent building line which clearly establishes and delineates between the private domain and public domain. To further define the public domain, the ground floor plane is highly activated incorporating numerous lobbies and private open spaces which activate the street.                                                                                                                                                             |
| f. <i>To reduce building bulk and scale and enable adequate sunlight access to the public domain.</i>                                                                                      | <b>Complies</b><br>All buildings comply with the UDG setback controls which include primary and secondary (above podium) controls to all buildings. Compliance with this results in buildings being setback from the public domain and setback at the upper floors to reduce the perceived bulk of the buildings from the street level. The compliant setbacks provided by all buildings enables sunlight to penetrate the podium levels and ground floor levels below to maintain a pleasant pedestrian environment within the adjoining public domain. |
| g. <i>To complement building mass and emphasise key design elements such as entrance points and respond to environmental conditions including solar, access, noise, privacy and views.</i> | <b>Complies</b><br>Compliance with the UDG setback controls enables all buildings to step back from the street and adjoining public domain to help reduce the perceived bulk of the built form within the Precinct. Compliance with the setbacks also responds to environmental considerations including solar, access, noise, privacy and views.                                                                                                                                                                                                        |
| h. <i>To reinforce street edges that contribute to the existing character of the Precinct and the broader Hills Showground Station Precinct.</i>                                           | <b>Complies</b><br>The UDG allows for significant setbacks to all street edges. The proposal includes extensive planting and street tree canopy coverage within these setbacks which responds to the desired character of the Precinct as a green residential village environment.                                                                                                                                                                                                                                                                       |

### 5.2.7. Setbacks

| Controls                                                                                                   | Comment                                                                                                                                                |
|------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. <i>In accordance with Figure 207, the minimum primary setback for a development to the boundary is:</i> | <b>Complies</b><br>As shown in the Figure below, the proposed development complies with Figure 207 of the UDG in providing compliant primary setbacks. |
| a. <i>5m for all interfaces, except those specified below.</i>                                             |                                                                                                                                                        |
| b. <i>0m to Precinct East Park for the southern building.</i>                                              |                                                                                                                                                        |

- c. 5m to publicly accessible through site link.
- d. 6m to the metro services building.
- e. 10m to Showground Road.

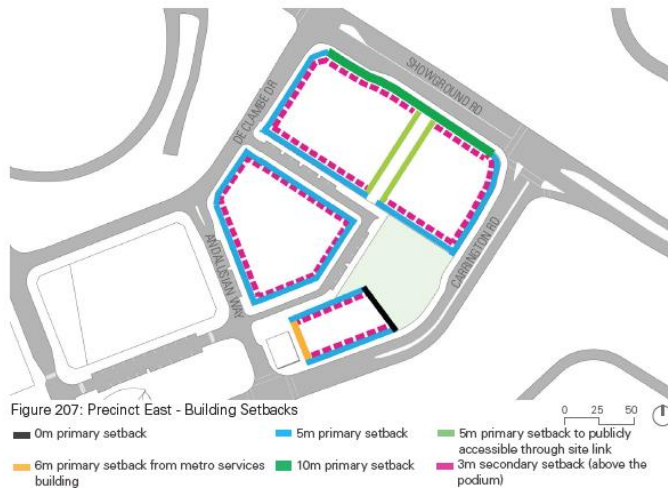


Figure 27: Proposed Building Setbacks (Source: Turner Studio)

2. In accordance with Figure 207, the minimum secondary setback for a development above the podium is 3m.

#### Complies

As per Figure 207 and the figure above, the proposal provides a minimum secondary setback of 3m above the podium.

## 5.2.8. Building Height

### Objectives

- a. To translate the permissible building heights into desired building heights that reinforce the Urban Design Principles and desired future character of the Precinct.

### Comment

#### Non-Compliant

There are two fundamental issues with the building heights prescribed in the UDG for Precinct East. These issues are discussed in detail below.

#### Redistribution of Building Heights

During the assessment of the application, it was identified that compliance with the heights set out in Section 5.2.8 of the UDG would result in non-compliances with the solar access controls contained in the UDG at Section 2.16(1). Specifically, adverse overshadowing would occur to the Station Plaza and Precinct East Park which are required to achieve 65% and 70% solar access at midwinter, respectively.

During the assessment of the application, this issue was identified with the DPE and it was agreed that to ensure solar access compliance whilst maintaining compliance with the desired density envisaged for the Precinct, a redistribution of building heights across the Precinct would be required.

At the meeting with the SDRP on 5<sup>th</sup> June 2024, Deciorp's design team presented an amended massing diagram of the Precinct which proposed redistributed building heights to enable compliance with the solar access provisions contained in Section 2.16(1). Importantly, this redistribution sought to maintain the anticipated density of development for the Precinct allowed under the UDG and the Concept Approval (SSD 9653). The redistributed heights as presented to the SDRP are shown in the figure below.

At the meeting and in the formal written comments provided by the SDRP, panel members supported the redistribution of height and noted this redistribution would increase visual interest and create skyline diversity.

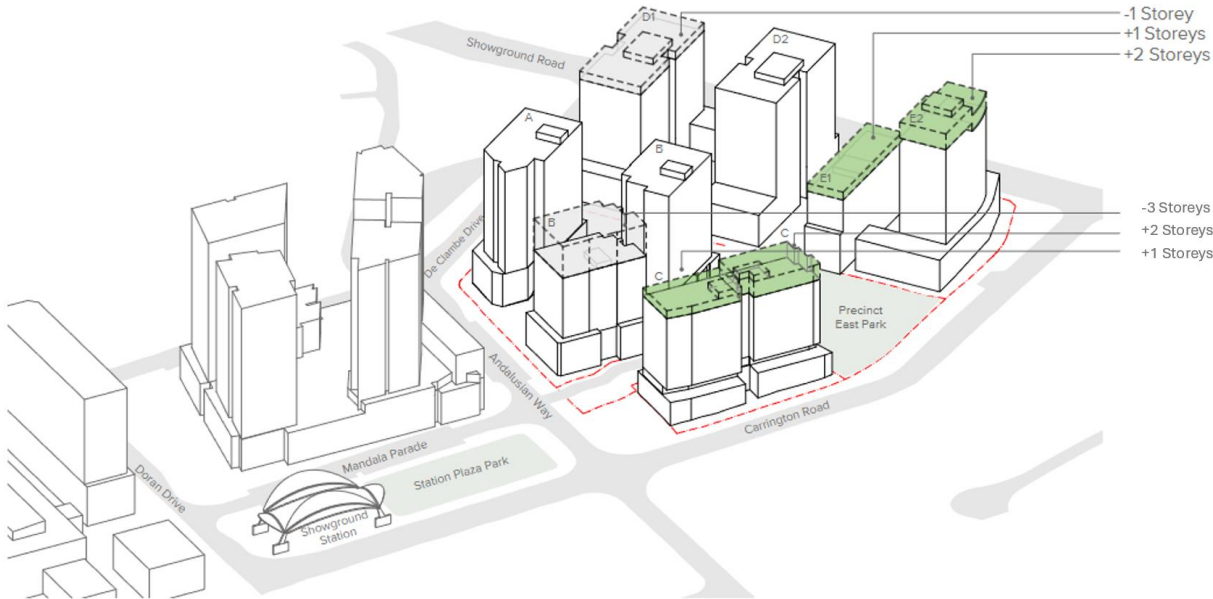


Figure 28: Amended height distribution presented to the SDRP on 5<sup>th</sup> June 2024 (Source: Turner Studio)

The amended submission is consistent with the proposed redistributed building heights which were endorsed by the SDRP and the DPE.

Specifically, the following building heights are now proposed:

| Building           | UDG Required Height in Storeys                                                                                 | Proposed Height in Storeys | Increase / Decrease                               |
|--------------------|----------------------------------------------------------------------------------------------------------------|----------------------------|---------------------------------------------------|
| <b>Building A</b>  | 16                                                                                                             | 16                         | No change                                         |
| <b>Building B1</b> | 16                                                                                                             | 13                         | Decrease by three (3) storeys                     |
| <b>Building B2</b> | 16                                                                                                             | 16                         | No change                                         |
| <b>Building C</b>  | 12* note this is inconsistent with the Concept Approval (SSD 9653) which approved 14 storeys for this building | 16                         | Increase by two (2) storeys from Concept Approval |
| <b>Building D1</b> | 16                                                                                                             | 15                         | Decrease by one (1) storey                        |
| <b>Building D2</b> | 16                                                                                                             | 16                         | No change                                         |
| <b>Building E1</b> | 8                                                                                                              | 9                          | Increase by one (1) storey                        |
| <b>Building E2</b> | 16                                                                                                             | 18                         | Increase by two (2) storeys                       |

The areas of non-compliance with the UDG are shown in the figure below and identified in red.



Figure 29: Proposed maximum building height, non-compliances with the UDG heights shown in red (Source: Turner Studio)

The amended heights are supported for the following reasons:

- The amended heights result in compliant solar access to the Station Plaza and Precinct East Park as required by Section 2.16(1) of the UDG.
- The amended heights introduce variation not only within buildings, but across the Precinct. It is acknowledged that at the initial SDRP meeting held on 1<sup>st</sup> November 2023, the SDRP specifically made the following comments in relation to building heights:

*“It is understood that there is limited scope to amend the approved Concept Plan. However, it is noted that the precinct would benefit from greater variation in building heights. Explore the potential to reduce the height of the north of the site and add more height to the south to improve amenity, particularly increased solar access.”*

Consistent with the above SDRP comments, the amended proposal provides additional height to the southern most buildings (Building C, E1 and E2).

- The proposed height responds to the planning controls and likely future form of development in the broader Hills Showground precinct on the southern side of Carrington Road. This includes promoting a consistent height and form along Carrington Road and ensuring future development is capable of meeting ADG requirements.
- The redistribution of heights within the Precinct will deliver the anticipated density for the Precinct which is envisaged in the UDG.

**Insufficient height in metres specified in the UDG**

During design development it became apparent that insufficient height (in metres) has been provided in the UDG to achieve the anticipated number of storeys. Section 5.2.8 of the UDG specifies heights in metres which correspond to the prescribed height in storeys control.

The table below identifies the height in storeys and corresponding height in metres specified in the UDG. The last column identifies the amended proposal’s height in metres proposed for these corresponding heights in storeys control.

| Storeys    | Approved Metres as per the UDG | Proposed Heights in Metres    |
|------------|--------------------------------|-------------------------------|
| 3 storeys  | 12m                            | 13m                           |
| 4 storeys  | 14m                            | 15m – 19m                     |
| 8 storeys  | 28m                            | n/a – 8 storeys not proposed  |
| 14 storeys | 46m                            | n/a – 14 storeys not proposed |
| 16 storeys | 52m                            | 55m – 58m                     |

The reasons for these amendments are discussed below:

**Floor to floor heights**

The heights in the UDG were based on a 3.1 metre floor to floor measurement, which at the time was considered sufficient to achieve an internal floor to ceiling height of 2.7 metres within an apartment. However, the recently implemented Design and Building Practitioners Act legislation and the NCC changes, has now created less flexibility for localised areas of reduced ceiling heights, which results in the need to increase the floor to floor heights to 3.2 metres to ensure there is sufficient room for services and to achieve the required floor to ceiling height internally within the apartments. When a 3.2 metre floor to floor is applied to the buildings, the proposed buildings will breach the heights set out in the UDG.

#### Fall of the land

The heights in the UDG assume that the site is flat. However, there is a high point or crown which runs north-south through the middle of the site with falls away to the Andalusian Way boundary and the Showground Road boundary. These falls occur along the east-west lengths of the various buildings across the site and require a balancing of the ground and internal levels to ensure that apartments do not become subterranean. To avoid this outcome, various buildings need to be increased in height, which results in numerous breaches to the heights stipulated in the UDG.

#### Rooftop common open space

Rooftop common open space is proposed at podium level and above some buildings which requires a higher lift overrun when compared with that which was anticipated by the height controls. When the necessary lift overruns are provided in order to gain access to the high amenity rooftop common open space areas, there are breaches to the height controls.

#### Overall Summary

As discussed above, there are two separate fundamental issues with the UDG height controls which are driving the non-compliances. Essentially, compliance with the existing height controls set out in the UDG is unfeasible.

The redistribution of building heights within Precinct East has been carefully considered to ensure solar access control can be maintained to the Station Plaza and Precinct East Park, whilst providing a positive urban design outcome. The amended built form introduces greater variation of heights within the Precinct and places the additional height in the southern extent of the Precinct, an outcome which has been specifically endorsed by the SDRP.

Whilst the proposed redistributed heights are non-compliant with the UDG, the amended heights reinforce the Urban Design Principles and desired future character of the Precinct.

- b. *To provide a transition between the heights of buildings near the Hills Showground Metro Station and the heights of buildings in the residential areas to the north-east of Showground Road.*

#### **Complies**

The additional height has been purposefully located in the southern extent of the Precinct, adjacent to Carrington Road and the nearby Metro Station. In the northern part of the site, reductions in heights are proposed (Building B1 and Building D1) to respond to the adjoining Castle Hill Showground and the residential areas to the north-east of Showground Road. The redistributed height introduces greater variation within the Precinct.

- c. *To deliver a varied skyline across the Hills Showground Station Precinct and the broader precinct.*

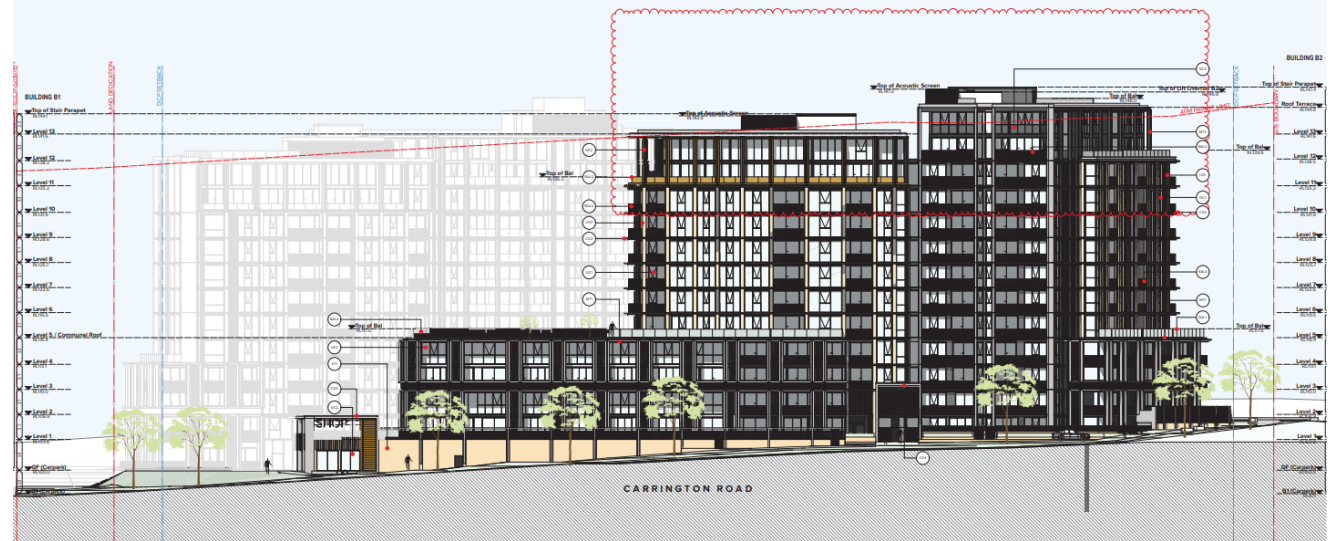
#### **Complies**

The redistributed height has introduced greater variation within the Precinct than the UDG anticipates with a fully compliant proposal. The proposal will deliver a more varied and diverse skyline across the Hills Showground Station Precinct and the broader precinct. This aspect was endorsed by the SDRP in their comments dated 1<sup>st</sup> November 2023 and 5<sup>th</sup> July 2024.

- d. *To reinforce the building heights planned for the broader precinct on the southern side of Carrington Road.*

#### **Complies**

The Hills LEP 2019 prescribes a 40m maximum building height on the immediate southern extent of Carrington Road, which reduces to 27m beyond. It is noted that a development application (DA 1037/2020/JP) has been approved by the Central Sydney Planning Panel for land located directly opposite the site on the corner of Carrington Road and Showground Road (known as 125-127 Showground Road, 4-10 Carrington Road, 15A-23 Sexton Avenue, Castle Hill). This application approved development fronting Carrington Road between four and 13 storeys in height. Refer figure below.



**Figure 30: Approved Carrington Road elevation of DA 1037/2020/JP showing variation in building heights**

The redistribution of building height to the Carrington Road frontage is appropriate given the scale of development anticipated by the controls under the Hills LEP 2019 for the southern extent of Carrington Road.

- e. To provide podium heights that appropriately interface with streets and to link elements between towers.

**Complies**

Consistent with the UDG, all podiums are four storeys in height to provide a human scale interface with the street. At the top of all podium levels and compliant with the UDG, a three metre setback is proposed to all tower forms above to help reduce the perceived mass of the tower forms whilst improving view corridors and enabling adequate building separation and privacy to be provided.

## 5.2.8. Building Height

### Controls

1. A maximum height of 52m (16 storeys) is permitted for towers.

### Comment

**Non-Compliant but justified**

With the exception of Building E2 (18 storeys in height), all towers have a maximum height of 16 storeys. The proposed tower heights are identified in the table below.

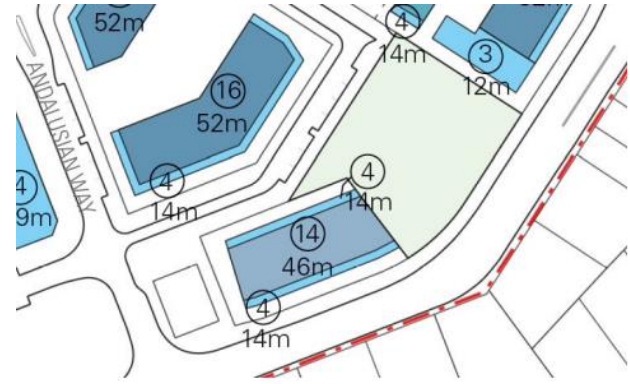
| Building | Proposed Maximum Height |
|----------|-------------------------|
| A        | 55m                     |
| B        | Part 46m, part 56m      |
| D1       | 54m                     |
| D2       | 58m                     |
| E2       | 66m                     |

The issue with the insufficient height (in metres) stipulated in the UDG to achieve the anticipated number of storeys is discussed earlier in response to Objective (a). For the reasons discussed, the non-compliances are considered acceptable.

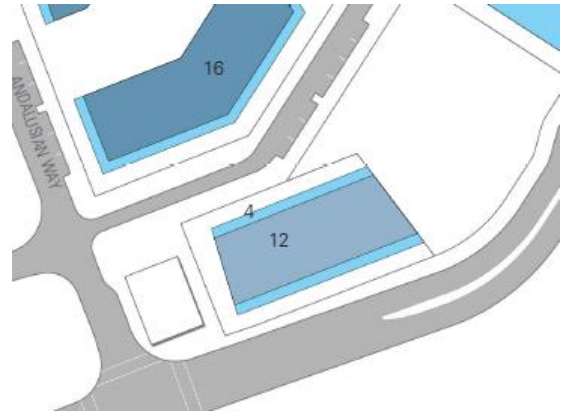
2. A maximum height of 46m (14 storeys) is permitted for the building that adjoins the metro services box on Carrington Road.

**Non-compliant but justified**

It is noted that the Concept DA (SSD 9653) approved a building with a height of 14 storeys in this location, not 12 as stated in the UDG. Refer extract below of approved building envelope for Precinct East and the extract of Figure 210 from the UDG.



**Figure 31: Approved building envelope plan showing 14 storeys approved for Building C located adjacent to the metro services box on Carrington Road**



**Figure 32: Figure 210 of the UDG showing Building Height in Maximum Storeys**

Building C has a proposed height of 16 storeys which is non-compliant with the UDG. For the reasons discussed earlier in response to Objective (a), the proposed additional height for this building is acceptable.

3. A maximum 26m (8-storey) mid-rise on the south-eastern edge of the pedestrian link.

**Non-compliant but justified**

Building E1 located on the south-eastern edge of the pedestrian link is predominantly eight storeys in height, but due to the level change along the pedestrian link which connects the internal road and Showground Road, a small extent of this building on the south-eastern extent is nine storeys. Refer Figure below.



**Figure 33: North elevation (pedestrian link side) of Building E1 showing small extent of nine storey height (Source: Turner Studio)**

For the reasons discussed earlier in response to Objective (a), the proposed additional height for this building is acceptable.

4. A maximum height of 14m (4 storeys) is permitted for podiums.

**Non-compliant**

All podiums are a maximum of four storeys in height. However, the 14m height stipulated in the UDG is insufficient to support the anticipated four storey podium height. The proposed podium heights are identified in the table below.

| Building | Proposed Height                                                                                               |
|----------|---------------------------------------------------------------------------------------------------------------|
| A        | 15m                                                                                                           |
| B        | 16m                                                                                                           |
| C        | 15m                                                                                                           |
| D        | Showground Road = 19m<br>De Clambe Drive = 15.5m<br>Townhouses on internal road (west) = 13m                  |
| E        | Showground Road = 19m<br>Townhouses on internal road (west) = 13m<br>Apartments on internal road (west) = 15m |

For the reasons discussed earlier in response to Objective (a), the proposed additional heights for the podiums are acceptable.

5. *A maximum height of 12m (3 storeys) is permitted for townhouse apartments located along the new local street and adjoining the local park.*

**Non-compliant**

All townhouses are three storeys in height, however, for the reasons discussed earlier in response to Objective (a), the townhouses have a maximum height of 13m. The minor increase is considered acceptable.

## 5.2.9. Building Separation

| Objectives                                                                                                                                         | Comment                                                                                                                                                                                                                                                                                                                                                                              |
|----------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| a. To protect privacy and solar access to private and public spaces.                                                                               | <b>Complies</b><br>The proposed built form provides compliant building separation as required by the UDG to ensure privacy and solar access is protected to private and public spaces.                                                                                                                                                                                               |
| b. To ensure suitable open sky views are provided from key public infrastructure elements such as Doran Drive Plaza and the transport interchange. | <b>Complies</b><br>Compliant building separation is provided to Doran Drive Plaza and the transport interchange to ensure open sky views are provided from key public infrastructure elements. Consistent with the UDG, a minimum of 30m podium separation is provided across Andalusian Way between the built forms which increases to between 36m and 53m between the tower forms. |
| c. To provide building envelopes that enable design options that exceed minimum ADG requirements.                                                  | <b>Complies</b><br>All building envelopes comply with the minimum separation distances set out in the ADG to provide appropriate massing and spaces between the built form and assist in providing residential amenity including visual and acoustic privacy, natural ventilation, sunlight and daylight access and outlook.                                                         |
| d. To provide generous building separation between the towers that interface with Showground Road.                                                 | <b>Complies</b><br>Compliant with the UDG, separation of 26m is provided between Buildings D1 and D2 towers and separation of 50m is provided between Building D2 and E2 towers.                                                                                                                                                                                                     |
| e. To ensure that views to Castle Hill Showground from the local park and beyond are open to the sky.                                              | <b>Complies</b><br>In maintaining compliance with the UDG building separation controls and with the reduction in heights in the northern part of the Precinct, views to Castle Hill Showground from the local park and beyond are open to the sky.                                                                                                                                   |

## 5.2.9. Building Separation

| Control                                                                                                                                                                                                                                                                     | Comment                                                                                                                                                                         |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>Figure 211: Precinct East - Building Separation</p> <p>Legend: Podium Separation (green), Midrise Separation (yellow), Tower Separation (orange)</p> <p>Design Guidance: Refer to Figure 202 for possible conformance to Precinct East building separation controls.</p> | <p>The proposed building separation between the built form within the Precinct is provided in the figure below and demonstrates full compliance with Figure 211 of the UDG.</p> |



**Figure 34: Proposed Building Separation (Source: Turner Studio)**

|                                                                                                                                                       |                                                                                                                                                                                                                         |
|-------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. A minimum building separation of 24m is required for towers and a minimum building separation of 18m is required for podium and midrise buildings. | <p><b>Complies</b></p> <p>With regards to building separation, in excess of 24m is provided for towers and 18m is provided for podium and midrise buildings. Refer to figure above.</p>                                 |
| 2. A minimum building separation of 28m is required for towers on Showground Road to the north-west of the Precinct.                                  | <p><b>Complies</b></p> <p>With regards to building separation, a minimum building separation of 28m is provided for towers on Showground Road to the north-west of the Precinct. Refer to the figure above.</p>         |
| 3. A minimum building separation of 48m is required for towers on Showground Road to the north-east of the Precinct.                                  | <p><b>Complies</b></p> <p>With regards to building separation, a minimum building separation of 48m is provided for towers on Showground Road to the north-east of the Precinct. Refer to the figure above.</p>         |
| 4. A minimum building separation of 18m is required for the 8-storey mid-rise building and the 16 storey building in the north-east of the Precinct.  | <p><b>Complies</b></p> <p>With regards to building separation, a minimum building separation of 18m is provided for the nine-storey mid-rise building and the 16 storey building in the north-east of the Precinct.</p> |

### 5.2.10. Residential Typologies and Street Activation

| Objective                                                                                                                                                                                                                                     | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| a. <i>To provide a range of residential typologies within the Precinct.</i>                                                                                                                                                                   | <p><b>Complies</b></p> <p>The proposed mix provides a diversity of 1 bed [16%], 2 bed [60%] and 3 bed [24%] dwellings. Within these dwelling types, there is a range of size and layouts that offer a high level of choice and amenity. Most dwellings allow for either a dedicated study or media space, to facilitate working from home and studying. Storage has been carefully integrated into the apartment plans, with an additional storage cage provided for every apartment in the basement car park. Two storey apartments are also proposed in Buildings B1 and C in add to the housing diversity.</p> <p>The proposal also provides 14 three storey townhouses on the western extent of Buildings D and E which comprise family style housing with significant private open space which add further to the diversity of choice.</p> |
| b. <i>To complement the built form and uses planned for surrounding Precincts, including Doran Drive Precinct, Precinct West and the future higher density residential communities north of Showground Road and south of Carrington Road.</i> | <p><b>Complies</b></p> <p>The design of Precinct East is generally compliant with the built form controls stipulated under the UDG. Precinct East is fully residential and will support and complement the adjoining precincts including Doran Drive Precinct, Precinct West and the future higher density residential communities north of Showground Road and south of Carrington Road.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| c. <i>To enable potential demand for non-residential facilities or services within Precinct East to be met.</i>                                                                                                                               | <p><b>Complies</b></p> <p>Precinct East is wholly residential, with a range of non-residential facilities located within the adjoining Doran Drive Precinct.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| d. <i>To ensure ground floor uses (whether residential or non-residential) activate the public domain and streets and provide passive surveillance to the public domain and streets.</i>                                                      | <p><b>Complies</b></p> <p>There are multiple stair/lift cores to each residential tower. Each of these stair/lift cores have a large open plan lobby that has clear sightlines to the adjacent street. The multiple lobbies offer activation of the streets at key locations. All proposed townhouses and ground floor apartments, when located within a reasonable distance of the adjacent public domain RL, have direct access to the street via steps and gates. This creates a highly permeable street edge condition with good passive surveillance and safety.</p>                                                                                                                                                                                                                                                                       |

### 5.2.10. Residential Typologies and Street Activation

| Town House Apartments Controls                                                                                                                                     | Comment                                                                                                                                                                                                                                   |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. <i>Townhouse apartments are to be in the areas identified in Figure 215. Townhouse apartments are to have a direct interface with the local street or park.</i> | <p><b>Complies</b></p> <p>As identified in the figure below, consistent with the UDG, townhouses have been included along the western edge of Buildings D and E in Lot 5 facing the new Precinct East Park and the new internal road.</p> |

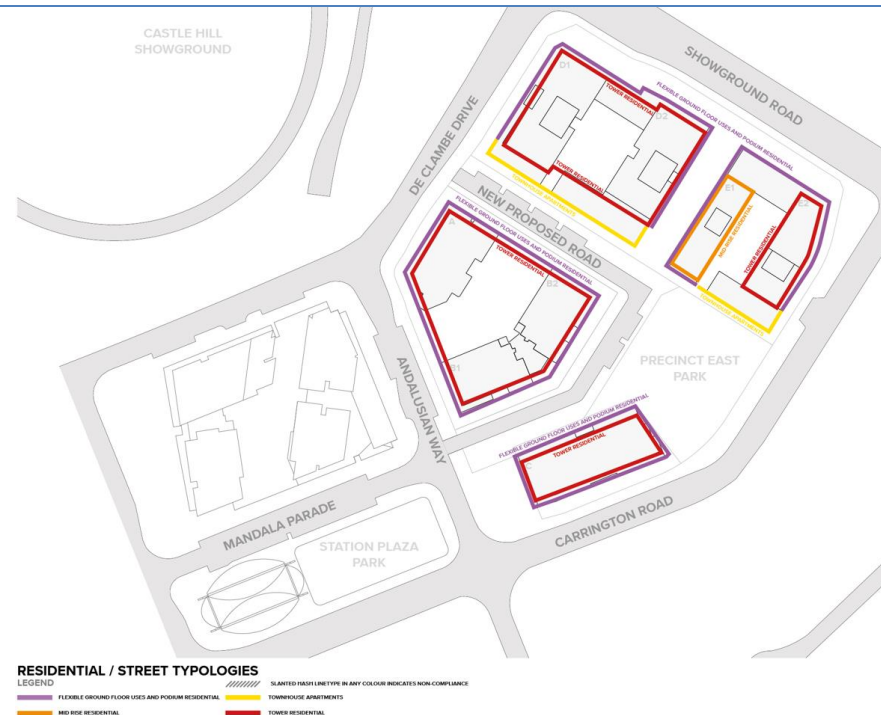


Figure 35: Proposed Residential / Street Typologies (Source: Turner Studio)

2. Townhouse apartments are to be physically separate from the residential apartment buildings they are collocated with on the development lots to allow for movement between the public and private communal open space.

#### Non-compliant, but justified

Townhouses have been included along the western edge of Buildings D and E. Whilst not all of the townhouses are physically separated from the adjoining residential flat buildings, they have been expressed as individual homes with direct street access from their private open space. As such, there is no conflict between any movements between the public and private communal open spaces.

It is noted that all townhouses share amenities including communal open space, parking

The design of the townhouses was supported by the State Design Review Panel in their comments dated 10 November 2023.

3. A maximum of 8 townhouse apartments are permitted in a row with a minimum 3m break in between.

#### Complies

Building D contains eight townhouses, with the communal open space entry physically separating the townhouses resulting in two rows of four. Building E2 contains six townhouses.

4. A rear setback of 3m and a side setback of 3m is required for townhouse apartments adjoining residential development.

#### Non-compliant, but justified

A compliant side setback is provided for townhouses apartments. Due to the incorporation of the townhouses with the adjoining residential buildings, a rear setback of 3m is not provided to single loaded townhouses.

The non-compliance does not result in any issues between the adjoining residential flat buildings and the townhouses. The townhouses have been carefully designed so that private open spaces, openable windows and operable roof ventilation can be provided and there are no overlooking issues.

|                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                          |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                                                                                                                                                                                                      | Further, the design of the townhouses was supported by the State Design Review Panel in their comments dated 10 November 2023.                                                                                                                                                                                                                                                           |
| 5. <i>Communal open space is to be provided within the front courtyard and on the rooftop of each townhouse apartment.</i>                                                                                           | <p><b>Complies</b></p> <p>Private open space is provided at ground floor level within a private courtyard for each townhouse. Townhouses D2.G38 – D2.G441 each include an additional balcony at the rear at ground floor level.</p> <p>Rooftop communal open space is provided on level three of buildings D2, E1 and E2 located directly above the townhouses for residents to use.</p> |
| 6. <i>Townhouse apartments shall have access to the front door from the public domain and private courtyards, with supplementary access to the basement parking below.</i>                                           | <p><b>Complies</b></p> <p>All townhouses have access to the front door from the public domain and private courtyards and benefit from access to basement parking below.</p>                                                                                                                                                                                                              |
| <b>Residential Flat Building Controls</b>                                                                                                                                                                            | <b>Comment</b>                                                                                                                                                                                                                                                                                                                                                                           |
| 7. <i>Residential and non-residential uses are permitted on the ground floor areas of all buildings that interface with the public domain, with the exclusion of those areas nominated for townhouse apartments.</i> | <p><b>Complies</b></p> <p>Residential uses are proposed on the ground floor areas of all building which interface with the public domain. Townhouses are located on the western extent of Buildings D and E as required by the UDG.</p>                                                                                                                                                  |
| 8. <i>For larger developments, building entrances should be provided on each street frontage.</i>                                                                                                                    | <p><b>Complies</b></p> <p>Generous residential lobbies are provided on each street frontage to each building.</p>                                                                                                                                                                                                                                                                        |
| 9. <i>Ground floor dwellings are to have a primary street address or are to be orientated and accessed in a way that activates the public domain with clear, legible entries.</i>                                    | <p><b>Complies</b></p> <p>All townhouses and all ground floor apartments, when located within a reasonable distance of the adjacent public domain RL, have direct access to the street via steps and gates. This creates a highly permeable street edge condition with good passive surveillance and safety.</p>                                                                         |
| 10. <i>Separate entrances are required where buildings include both non-residential and residential use. Entrances must be from the public domain and publicly accessible open spaces.</i>                           | <p><b>N/A</b></p> <p>Non-residential uses are not proposed as part of this development.</p>                                                                                                                                                                                                                                                                                              |
| 11. <i>Outdoor dining areas or other spaces associated with any non-residential ground floor uses are to be located within the primary ground floor setback so as to not intrude into the public domain.</i>         | <p><b>N/A</b></p> <p>Non-residential uses are not proposed as part of this development.</p>                                                                                                                                                                                                                                                                                              |

### 5.2.11. Building Envelopes

| Objective                                                                                                                                                                                                                                               | Comment                                                                                                                                                                                                                                                                                                                                                                                              |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| a. <i>To prescribe a desired outcome for individual sites, and the Precinct as a whole, that delivers a level of certainty to Council and the community and retain a level of flexibility for innovation and diverse design outcomes in the future.</i> | <p><b>Minor Non-Compliance</b></p> <p>The building envelopes are generally compliant with the UDG and align with the desired outcome anticipated by the UDG for individual sites and the Precinct as a whole. It is acknowledged there are minor non-compliances relating to the location of minor sun shading elements and awnings which protrude beyond this envelope, refer discussion below.</p> |
| b. <i>To ensure good amenity is provided through appropriate building separation, setbacks and depths.</i>                                                                                                                                              | <p><b>Complies</b></p> <p>In complying with the building envelopes prescribed in the UDG, good amenity is achieved with appropriate building separation, setbacks and building depths provided between the different building within the Precinct.</p>                                                                                                                                               |
| c. <i>To ensure building depths support well designed apartment layouts.</i>                                                                                                                                                                            | <p><b>Complies</b></p> <p>In complying with the building envelopes prescribed in the UDG, appropriate building depth requirements are provided to ensure that the bulk of the development relates to the scale of the desired future context and supports apartment layouts which meet the objectives, design criteria and design guidance within the ADG.</p>                                       |

### 5.2.11. Building Envelopes

| Control                                                                                                                                                   | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>1. Development is to conform to the building envelopes outlined in Figure 219 and Figure 221.</p> <p>Figure 219: Precinct East - Envelope Controls</p> | <p><b>Complies</b></p> <p>The below figure has been prepared which demonstrates the building envelopes are compliant with Figures 219 and 221 of the UDG. The only exception relates to minor non-compliance of awnings and sun shading elements in the following locations:</p> <ul style="list-style-type: none"> <li>Building B – protrusions by 150mm on the northern façade of towers B1 and B1 for solar shading.</li> <li>Building D1 – protrusions by 310mm on the northern façade of the northernmost townhouse in Building D1 for an awning.</li> <li>Building D1 – protrusion by 1165mm on the northern façade of Building D1 for an entry awning.</li> <li>Building D1 – protrusion by 1372mm on the eastern façade of Building D1 for an entry awning.</li> <li>Building E2 – protrusion by 250mm on the northern facades for solar shading.</li> </ul> <p>The reason for this non-compliance is as follows:</p> <ul style="list-style-type: none"> <li>Comments from the SDRP dated 16 June 2024 explicitly stated that sun shading needs to be addressed, particularly along the northern and western facades of the buildings. The SDRP requested that sun shading devices are included to greatly reduce summer heat gain and improve energy performance.</li> <li>The protrusions are extremely minor and will not be discernible from the streetscape below. The provision of additional sun shading to the buildings significantly enhances the amenity for future residents by improving indoor thermal comfort and enabling heat gain and light levels to be managed.</li> <li>The proposed awnings provide for weather protection and wind mitigation and have been carefully integrated into the overall building design to ensure they result in a high quality design outcome.</li> <li>A Solar Light Reflectivity Study prepared by Windtech dated 21 August 2024 has been prepared and specifically states that the sun shading devices are required to avoid any glare to motorists and pedestrians on the surrounding streets and occupants of the neighbouring buildings.</li> <li>To require full compliance would result in the apartment sizes shrinking, thereby reducing amenity. In the absence of any impacts caused by these small protrusions and the significant benefits the sun shading elements and awnings provide, the non-compliance is acceptable.</li> </ul> |

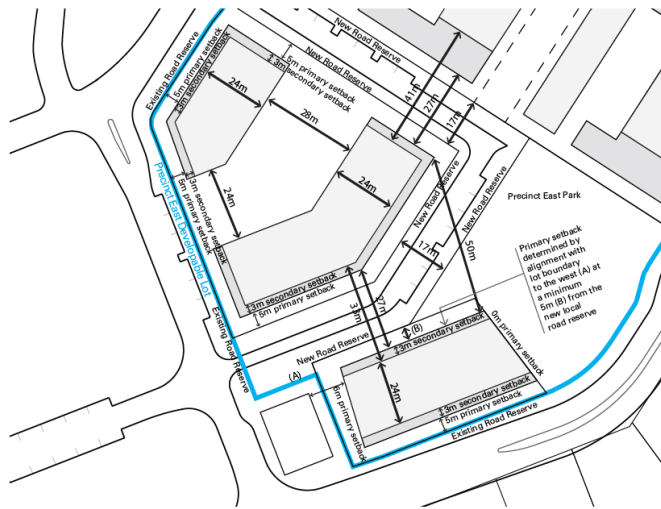


Figure 221: Precinct East - Envelope Controls



**BUILDING ENVELOPES**  
**LEGEND**  
 ← ORIGINAL UDG ENVELOPE CONTROLS  
 → CHANGED ENVELOPE CONTROLS (COMPLIANT)

THE BELOW MATCHES INDICATE MOSTLY COMPLIANT ENVELOPE FACES WITH THE EXCEPTION OF PROTRUSIONS FOR THE PURPOSES OF SOLAR SHADING  
 150mm OVER BUILDING ENVELOPE  
 250mm OVER BUILDING ENVELOPE  
 300mm OVER BUILDING ENVELOPE  
 1000mm OVER BUILDING ENVELOPE  
 1375mm OVER BUILDING ENVELOPE

Figure 36: Proposed Building Envelopes (Source: Turner Studio)

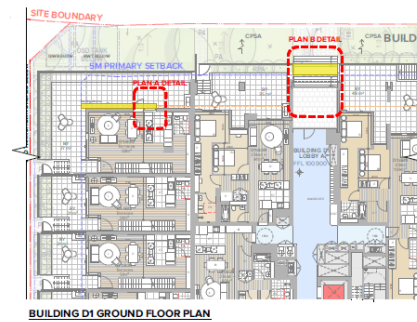
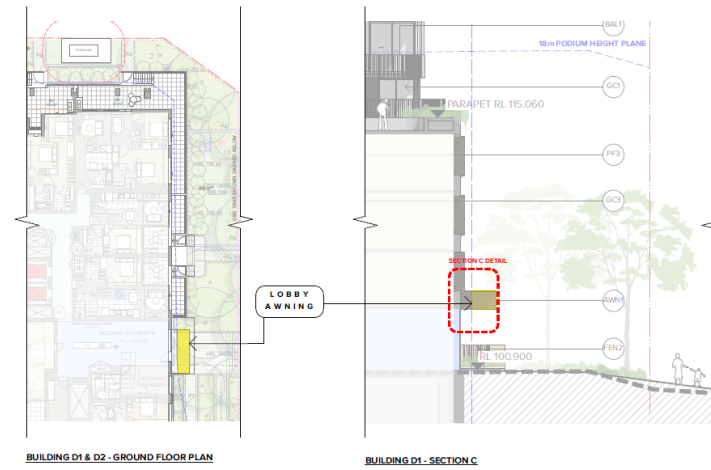
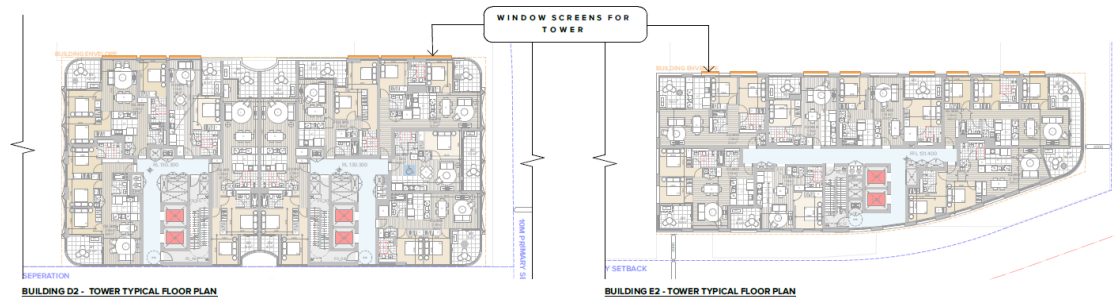


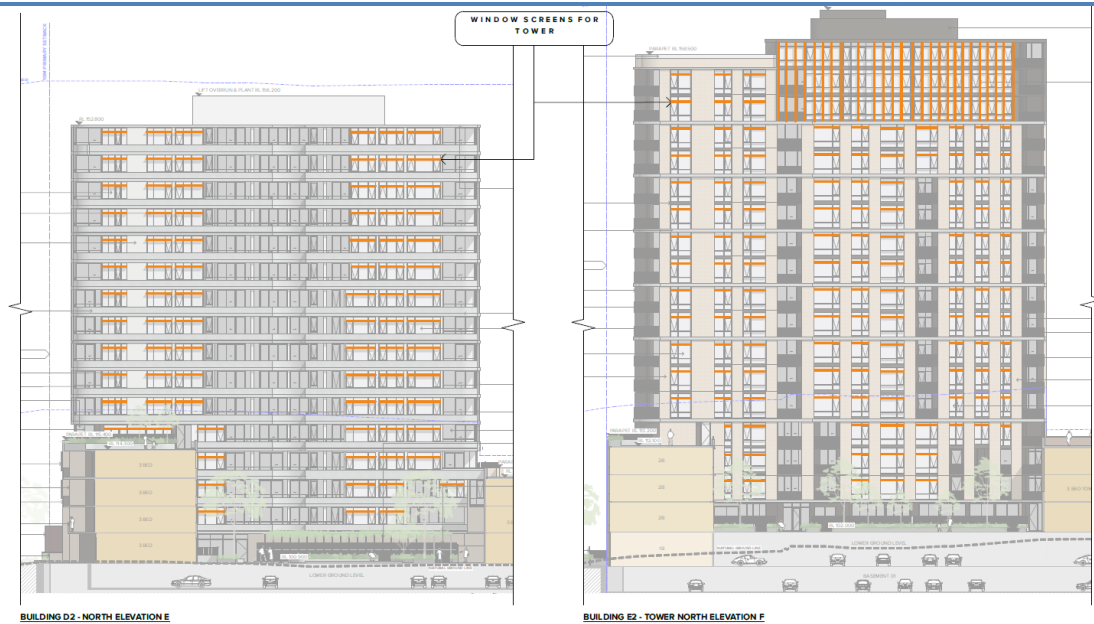
Figure 37: Building D1 ground floor plan (left) and north elevation (right) showing extent of non-compliance with UDG envelope outlined in yellow (Source: Turner Studio)



**Figure 38: Building D1 ground floor plan (left) and section (right) showing extent of non-compliance with UDG envelope outlined in yellow (Source: Turner Studio)**



**Figure 39: Building D2 (left) and Building E2 (right) showing tower typical floor plan with extent of non-compliance with UDG envelope outlined in orange (Source: Turner Studio)**



**Figure 40: Building D2 (left) and Building E2 (right) showing north elevation with extent of non-compliance with UDG envelope outlined in orange (Source: Turner Studio)**



**Figure 41: Building B1 (left) and Building B2 (right) showing tower typical floor plan with extent of non-compliance with UDG envelope outlined in yellow (Source: Group GSA)**

### 5.2.12. Building Articulation and Facades

| Objective                                                                                                                                                                                                               | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| a. <i>To ensure that developments are aesthetically pleasing, encourage creativity and diversity in design, incorporating architectural relief and modulation of facades to avoid a bulky or monotonous appearance.</i> | <p><b>Complies</b></p> <p>The configuration of Precinct East affords elongated interfaces with the public domain that provide opportunities for extensive expressions of local character through material and finishes.</p>                                                                                                                                                                                                                                                                                  |
| b. <i>To deliver a varied built form via both horizontal and vertical articulation.</i>                                                                                                                                 | <p>The podium bases of the buildings have been designed as a series of smaller scale buildings, ranging from three to four storeys that are varied in character. Their palette is made up of a variety of brick colours that offer a robust, high quality and low maintenance finish. Collectively, this grouping of buildings creates a dynamic, fine-grain, and interesting street interface.</p>                                                                                                          |
| c. <i>To reinforce the intended neighbourhood character and enhance the pedestrian experience.</i>                                                                                                                      | <p>The towers above are set back from the lower levels, creating strong horizontal datums to the street wall condition. As part of the desired diversity of architectural language and built form, the towers offer a range of architectural expression, articulation and indentation. This gives a strong street identity, marks the primary entries to the precinct, and emphasises the vertical slender proportions of the buildings. This varied approach to built form avoids a homogenous outcome.</p> |
| d. <i>To ensure that building design achieves a sense of address.</i>                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |

### 5.2.12. Building Articulation and Facades

| Control                                                                                                                                                                                                                 | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. <i>To ensure that developments are aesthetically pleasing, encourage creativity and diversity in design, incorporating architectural relief and modulation of facades to avoid a bulky or monotonous appearance.</i> | <p><b>Complies</b></p> <p>The towers are setback from the podiums, which creates strong horizontal datum of three and four storeys within the streetscapes. The façade and material colour/types of the podiums change at intervals along each street edge so add the diversity and playful character. There are breaks in the built form and carefully located lobby entries to all further modulation to these lower levels. The proposed towers allow for a diversity of architectural styles across the precinct, while allowing for some familiar elements that tie the design together.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| 2. <i>To deliver a varied built form via both horizontal and vertical articulation.</i>                                                                                                                                 | <p><b>Complies</b></p> <p>Refer to the response above in item 5.2.12.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| 3. <i>To reinforce the intended neighbourhood character and enhance the pedestrian experience.</i>                                                                                                                      | <p><b>Complies</b></p> <p>The locality is comprised of a mixture of existing residential buildings, low to medium residential and single dwellings, with the future vision of the area zoned to encourage an increased scale of higher density residential development adjacent to the Metro Station. The proposal is designed with a number of different architectural strategies in order to achieve a well-balanced aesthetic and an appropriate presence across the site. The resulting dynamic streetscape complemented by the diversity in tower articulation, reinforce objectives highlighted within the approved concept SSDA (SSD-9653) and UDG.</p> <p>A key design move has been the consolidation of the car park entries and loading docks for Buildings D and E and Buildings B and C into two separate single entry/exit points located on the subdivided road. The consolidation of these entry/exit points to the separate car parks and loading docks allows for a highly activated ground floor plane, improving street edge activation and passive surveillance to allow for a safe and inviting public domain for pedestrians and cyclists to use at all times of the day.</p> <p>The removal of the entry/exit to the immediate south of the publicly accessible pedestrian link which is identified in the UDG is a significant urban design benefit and allows for a highly activated north-west corner to Building E1, characterised by generous residential entry lobbies and direct sightlines into the central communal courtyard area. The enhanced public domain created by this change, has allowed for unimpeded pedestrian and bicycle movements from the publicly accessible pedestrian link to the new eastern park, creating a green network of pathways and parkland that connects the wider precinct.</p> |
| 4. <i>To ensure that building design achieves a sense of address.</i>                                                                                                                                                   | <p><b>Complies</b></p> <p>Lobbies to the buildings have been located at key points in the street which either activate prominent corners or allow for clear view lines</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |

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|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                                                                                                                                                                                                                                                                                                                                                       | from the street through the lobby into the central communal courtyards. Lobbies are marked within the streetscape by feature awnings/canopies.                                                                                                                                                                                                                                                                           |
| 5. <i>Buildings on corners are to address both streets and corner elements are to be emphasised to signify key intersections and enhance public domain legibility. Street corners shall be addressed by giving visual prominence to those parts of the building façade, such as a change in building articulation, material or colour, roof expression or height.</i> | <b>Complies</b><br>Due to the configuration of Precinct East and location of the roads within and outside of the Precinct, most of the individual buildings are located on corners. Street corners have been addressed through the use of lobbies at prominent locations, changes in materiality and façade typology and incorporation of a variation of vertical and horizontal elements within the buildings' facades. |
| <b>Ground Floor Street Zone Controls</b>                                                                                                                                                                                                                                                                                                                              | <b>Comment</b>                                                                                                                                                                                                                                                                                                                                                                                                           |
| 6. <i>A sense of address and visual interest from the street is to be provided through the use of insets and projections, however ground floor recesses that undermine the safety of the public domain are to be avoided.</i>                                                                                                                                         | <b>Complies</b><br>The design of the ground floor plane does not include recesses which undermine the safety of the public domain.                                                                                                                                                                                                                                                                                       |
| 7. <i>Building entries are to be visually identifiable from the street frontage with clear sight lines and are to have direct address to the street.</i>                                                                                                                                                                                                              | <b>Complies</b><br>The buildings have been designed to provide activation, overlooking and natural surveillance of the adjoining public domain. There are numerous stairs and lift cores to the residential buildings, with these cores providing generous lobbies which provide clear sightlines to the adjacent streets. These lobbies offer activation of the streets and public domain at key locations.             |
| 8. <i>Ground floor residential fences are to be no more than 1.2m in height with a minimum 50% transparency. Contemporary palisade fence designs in a dark recessive colour are encouraged.</i>                                                                                                                                                                       | <b>Complies</b><br>Ground floor residential fences are no more than 1.2m in height with a minimum 50% transparency.                                                                                                                                                                                                                                                                                                      |
| 9. <i>Ventilation louvres and carpark entry doors are to be integrated into façade designs where located on street frontages.</i>                                                                                                                                                                                                                                     | <b>Complies</b><br>Car park entry doors are appropriately setback and are integrated within the ground floor façade design.                                                                                                                                                                                                                                                                                              |
| 10. <i>Services such as for fire protection, water and power distribution are not to intrude upon the pedestrian right of way, visually detract from the appearance of the development, and are to be screened from the street frontage with materials which are integrated with architectural expression of the development.</i>                                     | <b>Complies</b><br>Where possible, services have been integrated into the building design so as to not detract from the adjoining public domain. Where these services are provided as standalone elements, including the substations and fire boosters, these have been designed to be integrated with the architectural expression of the development.                                                                  |
| 11. <i>Any visible carpark entries or walls should be comprised of more than one material and colour to enhance visual attractiveness and interest.</i>                                                                                                                                                                                                               | <b>Complies</b><br>Carpark entries are setback from the street and integrated into the building design.                                                                                                                                                                                                                                                                                                                  |
| 12. <i>Any ground level car park entries should be concealed or screened by planting from the street and public view, as much as possible.</i>                                                                                                                                                                                                                        | <b>Complies</b><br>Low level planting is located either side of the two ground level car park entries to provide screening whilst maintaining adequate sight lines for vehicles.                                                                                                                                                                                                                                         |
| 13. <i>Security grilles may only be fitted internally behind the shopfront of any non-residential uses at ground level. They are to be transparent and fully retractable.</i>                                                                                                                                                                                         | <b>N/A</b><br>Non-residential uses are not proposed.                                                                                                                                                                                                                                                                                                                                                                     |
| <b>Podium Controls</b>                                                                                                                                                                                                                                                                                                                                                | <b>Comment</b>                                                                                                                                                                                                                                                                                                                                                                                                           |
| 14. <i>Horizontal articulation is to be provided within the podium façade between the second and third storey of podiums (not applicable to townhouse apartments).</i>                                                                                                                                                                                                | <b>Complies</b><br>All podium forms are horizontally articulated to clearly indicate the four storey datum and provide an engaging and human scale of built form.                                                                                                                                                                                                                                                        |

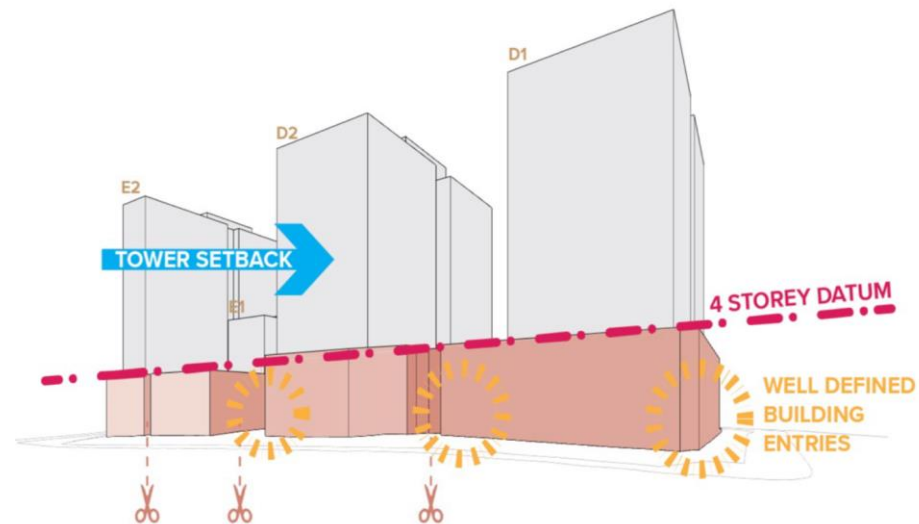


**Figure 42: CGI showing horizontal articulation of podiums**

15. A constant podium height is required across individual buildings. Podium height may vary between buildings in response to topography.

**Complies**

With the exception of the three storey townhouses, a consistent four storey podium height is proposed to all buildings, noting this steps in line with the topography of the site. Refer Figure below.

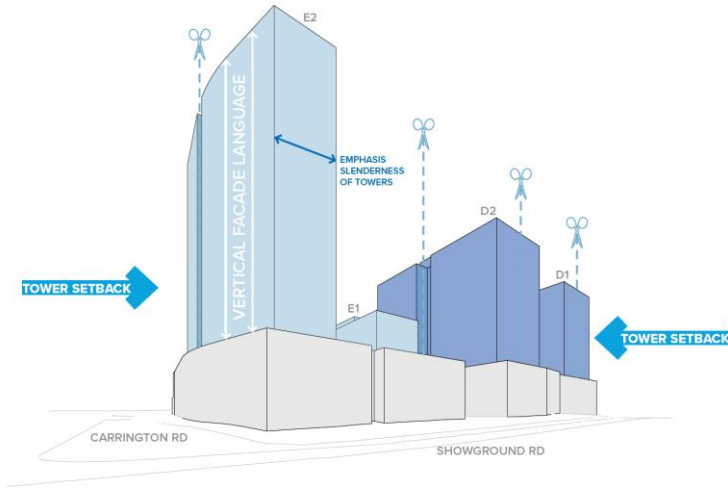


**Figure 43: Podium design (Source: Turner Studio)**

16. A minimum 1m wide notch at regular intervals is required for vertical podium façade articulation.

**Complies**

The podiums have been designed as series of smaller scale buildings that are varied in character. Their palette is made up of a variety of brick colours that offer a robust, high quality and low maintenance finish. Collectively, this grouping of buildings creates a dynamic, fine-grain, and interesting street interface.

|                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>17. Podium facades shall avoid blank, featureless walls by patterning high quality architectural elements such as window bays, canopies and fenestration.</p>                              | <p><b>Complies</b></p> <p>The podium facade types change at intervals along the street edge to ensure a playfulness and diversity. Landscaping is integrated at the bases of all podiums to soften the street edge interface and provide privacy. The strong use of brick at these lower levels grounds the buildings.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| <p><b>Upper Level Controls</b></p>                                                                                                                                                            | <p><b>Comment</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| <p>18. Building facades are to be vertically articulated to reduce the appearance of building bulk and express the elements of the building's architecture.</p>                               | <p><b>Complies</b></p> <p>The building facades of the tower forms are broken down in the following ways:</p> <ul style="list-style-type: none"> <li>• Towers are set back from the podium base</li> <li>• Vertical articulation of tower architecture is used to increase slenderness</li> <li>• Relief in tower facade lengths provided through indentation</li> <li>• Lighter facade expression to contrast against the more solid brick architecture of the podium base</li> <li>• Rooftop plantrooms to be set back to minimise visual impact</li> <li>• Bespoke and playful detailing</li> <li>• Landscaping to soften street edge interface and provide privacy</li> </ul>  <p>The diagram illustrates a building design with multiple towers. A large tower on the left is labeled 'E2' at its peak. A vertical double-headed arrow next to it is labeled 'VERTICAL FACADE LANGUAGE'. To its left, a blue arrow points left with the text 'TOWER SETBACK'. To its right, a blue arrow points right with the text 'TOWER SETBACK'. Below the towers, two streets are labeled: 'CARRINGTON RD' and 'SHOWGROUND RD'. To the right of the main tower, there are two smaller towers labeled 'D2' and 'D1'. A blue arrow points from the main tower towards these smaller ones with the text 'EMPHASIS SLENDERNESS OF TOWERS'. Scissors icons are placed at various heights on the towers, indicating vertical articulation points.</p> <p><b>Figure 44: Tower design (Source: Turner Studio)</b></p> |
| <p>19. Where a tower above the podium has a length greater than 50m it shall have the appearance of two distinct building elements with individual architectural expression and features.</p> | <p><b>Complies</b></p> <p>The tower of Building C exceeds 50m in length, however the building reads as two separate buildings, with a central recess creating two distinct building forms. The form and massing of building is broken into two distinct towers, a light white mix of brick to the western tower and sand mix to the eastern tower. The use of brick offers a common dialogue between each tower although treated in various ways. Refer Figure below.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |



**Figure 45: CGI image showing southern facade of Building C which fronts Carrington Road (Source: Ivolve Studio)**

20. *Telecommunications, service structures, lift motor rooms and mechanical plants are to be integrated within the roof design and roof features to contribute to an attractive and interesting skyline for the precinct.*

**Complies**

All services and rooftop plant equipment are setback from the street edge and have been integrated within the roof design.

21. *Tower facades are to be articulated to be:*

- *Articulated to manage passive solar gain.*
- *Well-glazed with functional windows where possible to reduce reliance on artificial cooling.*
- *Designed with high-quality sustainable materials and finishes that promote building longevity.*
- *Varied in design and articulation to promote visual interest.*

**Complies**

Facades have been designed to include shading to glazing via expressed slab edges, horizontal louvres to glazing systems, and general facade depth within the brick detailing. The proposed selection of materials is pre-finished, high quality, low maintenance materials that will ensure the longevity of the facades and includes a range of brick colours, natural finish concrete, etc. There is a diversity of architecture to amongst the towers to meet this requirement. Refer to the responses in the above sections which outlines in detail the facade design intent.

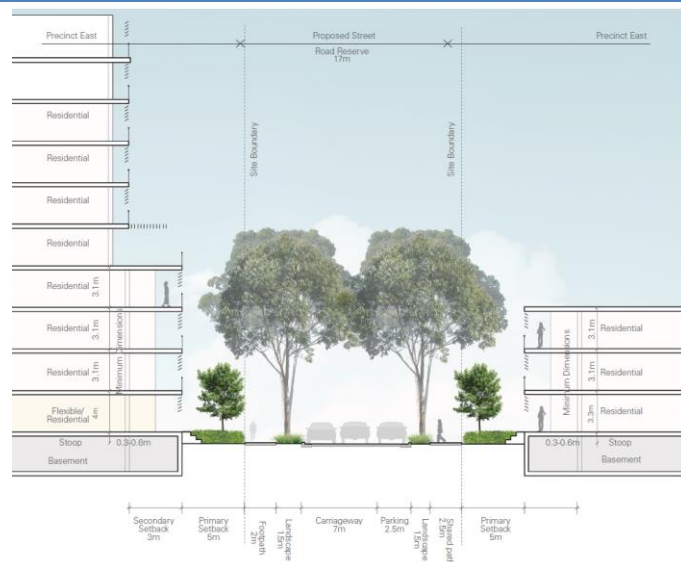
### 5.2.13. Precinct East New Street

| Objective                                                                                                                                           | Comment                                                                                                                                                                                                   |
|-----------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| a. <i>To provide vehicular access to and from the residential development and the local park.</i>                                                   | <b>Complies</b><br>The Precinct East new street has been approved under DA 988/2022/JPZ and when constructed will facilitate vehicular access to and from the residential development and the local park. |
| b. <i>To provide a vehicular and pedestrian connection between De Clambe Drive and the intersection of the sub-divided road and Andalusian Way.</i> | <b>Complies</b><br>The Precinct East new street has been approved under DA 988/2022/JPZ and provides access from De Clambe Drive in the north to Andalusian Way in the west through Precinct East.        |

### 5.2.13. Precinct East New Street

| Control                                                                                                                                                                                                                                                                                             | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. <i>The design and construction of road infrastructure shall comply with The Hills Shire Council's Design Guidelines for Subdivisions/ Development.</i><br><br>2. <i>A new local street with a 17m road reserve is to be provided within Precinct East as shown in Figure 226 and Figure 229.</i> | <b>Complies</b><br>The Precinct East new street has been approved under DA 988/2022/JPZ.<br><br>The approved two-way road deviates from a one-way westbound road identified in the UDG. The intent of the one-way road was to reduce traffic volumes, minimising vehicles and pedestrian conflicts at this location. During the assessment of the application it was determined that the same intent could be achieved with the two-way road and left-in left-out treatment at Andalusian Way / Road No 1 intersection due to the limited traffic using the proposed road at this location.<br><br>No further assessment of this control is required as part of the assessment of the subject SSDA. |





3. *The new street is to have insitu concrete paths as per the existing surrounding streets, with shared paths differentiated using coloured concrete as per Council's standard approach in the Hills Shire Council Public Domain Plan Showground Station Planned Precinct.*
4. *The road carriageway may be paved with concrete or stone cobblestones at thresholds and key points to emphasise a slow speed and high pedestrian movement zone.*
5. *On-street parking is to be provided on the northern side from De Clambe Drive and the southern side adjoining the park.*
6. *A minimum 2m wide footpath is required on the southern side of the street.*
7. *A 2.5m shared path shared path is required on the northern side of the street to provide access to the park.*
8. *A minimum 5m primary setback is to be provided to both sides of the street.*
9. *On-street parking is to be provided on the northern side from De Clambe Drive and the southern side adjoining the park.*

### 5.2.14. Street Interface – Andalusian Way Interface

| Objective                                                                                                                  | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
|----------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| a. <i>To enhance the existing functions of Andalusian Way where it interfaces with the Precinct East development lots.</i> | <b>Complies</b><br>Buildings A and B1 adjoin Andalusian Way. Compliant with the UDG, the built form along this frontage is setback 5m from the road and comprises a four storey street wall with the tower form set back 3m above the podium level. The setback creates a strong horizontal datum of four storeys within the streetscape. The façade and material colour and types of the podiums differ between the buildings to add variety to the streetscape. |
| b. <i>To maintain the existing functions of Andalusian Way as a local road.</i>                                            | <b>Complies</b><br>The functions of Andalusian Way are maintained, with the proposed built form creating an activated and attractive frontage to this local road.                                                                                                                                                                                                                                                                                                 |

### 5.2.14. Street Interface – Andalusian Way Interface

| Control                                                                                                                                                                                                                                                                                                                                                                                                              | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  <p>Figure 231: Andalusian Way Interface</p>                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| <ol style="list-style-type: none"> <li>Development is to comply with the following interface controls:               <ol style="list-style-type: none"> <li>5m primary setback</li> <li>3m secondary setback above the 4 storey podium</li> <li>Minimum 4m floor to ceiling height for flexible use on the ground floor</li> <li>Minimum 3.1m floor to ceiling height above the ground floor.</li> </ol> </li> </ol> | <b>Non-compliant but justified</b><br>Consistent with the UDG, development adjoining Andalusian Way: <ol style="list-style-type: none"> <li>Is setback 5m</li> <li>Is setback 3m above the four storey high podium</li> <li>A floor to floor height of 3.6m is provided for Building A and a floor to floor height of 4.4m is provided for Building B1. The buildings have been designed as residential flat buildings and are not anticipated to be used for any non-residential uses. As such, the non-compliance is considered acceptable.</li> <li>Floor to floor heights above ground level are at least 3.2m.</li> </ol> |
| <ol style="list-style-type: none"> <li>Ground floor residential apartments are to be elevated from the street level by a minimum of 300mm and a maximum of 600mm.</li> </ol>                                                                                                                                                                                                                                         | <b>Non-compliant but justified</b><br>Due to level changes along Andalusian Way it is not possible to comply with the UDG. Building A ground floor apartments are elevated from the street between 0.8m – 1.29m, with a 5m wide landscape buffer comprising native tree planting in front. Building B1 ground floor apartments                                                                                                                                                                                                                                                                                                 |

are located between 0.54m below and 0.09m above the street level with a similar 5m wide landscape buffer comprising native tree planting in front. All apartments provide good surveillance and visibility of Andalusian Way whilst the incorporation of a 5m wide setback ensures privacy will be maintained for future occupants.

### 5.2.15 Park Interface

| Objective                                                                                                       | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
|-----------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <i>a. To provide residential activation to the Precinct East Park and footpaths and shared paths within it.</i> | <p>Complies</p> <p>A separate modification application is to be lodged to Council separately to this SSDA to modify DA 988/2022/IPZ to amend the design at the edges of the Precinct East Park where it interfaces with the proposed adjacent buildings. This modification application will be lodged following the determination of this SSDA.</p> <p>The approved eastern edge of the park assumes two connections into the adjacent future building along the eastern edge. However, the proposed development under this SSDA provides a series of townhouses along this interface and so it is proposed to amend the park design along this edge to replace the two pedestrian connections with six individual connections and a landscape buffer along this edge.</p> <p>Similarly, the approved western edge of the park also assumes two connections into the adjacent future building along the eastern edge. However, the proposed development under this SSDA does not involve any direct connections between the adjacent building and the park and so it is proposed to amend the park design along this edge to remove the two pedestrian connections and embellish the landscape treatment along this edge to provide an improved landscape buffer.</p> <p>The proposed modification application has been discussed with staff from The Hills Shire Council who are supportive of the minor design amendments. Refer to the plans below showing the landscape design approved under DA 988/2022/IPZ and the proposed design.</p> |
| <i>b. To ensure residential address and identity for the interface with the park.</i>                           | <p>Complies</p> <p>The western elevation of Building E which adjoins the park is highly activated by the six residential entries to the townhouses, the principal entry to the shared communal courtyard and the accessible entry to the Building E1 lobby (Lobby A). The western elevation of Building E incorporates multiple openings, private open spaces and rooftop communal open space which are orientated towards the park to provide good levels of passive surveillance over the park.</p> <p>Similarly, the eastern extent of Building C adjoins the park. The design has incorporated a residential lobby accessed from the park and the eastern extent of the building incorporates private open spaces which overlook the park to provide natural surveillance.</p> <p>The design of Buildings E and C which directly interface with the park provide excellent address to the park.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |



**Figure 46: Plan showing relation of Buildings C and E2 with the adjoining Precinct East Park (Source: Land and Form)**

- c. *To provide appropriate passive surveillance and residential privacy within the townhouse apartments that interface with the park.*

**Complies**

The western edges of the podium to Buildings E1 & E2 includes for three storey townhouses that look over the park. These townhouses have large elements of glazing to maximise the outlook, and to provide passive surveillance of the adjacent new park.

## 5.2.15. Park Interface

| Controls                                                                                                                                                               | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. <i>Townhouse Apartments are to have individual gates and entrances accessed directly from the shared path within Precinct East Park.</i>                            | <p><b>Complies</b></p> <p>All townhouses have large private terraces that face the Precinct East Park, with each have direct access to the edge of the park via a gate and steps. New pathways are proposed within the Eastern Park that allows for connection to the townhouse terraces.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| 2. <i>The ground floor of the townhouse apartments are to be elevated from the shared path level by a minimum of 300mm and a maximum of 600mm.</i>                     | <p><b>Non-Compliant but justified</b></p> <p>The steeper topography of the site closer to Carrington Road and Showgrounds Road means that parts of some private terraces are above 600mm noted in this control. The design has aimed to minimise this height exceedance and to make sure that such interfaces are highly landscaped via mounding or terraces to ensure a high-quality outcome within the public domain.</p>                                                                                                                                                                                                                                                                                                                           |
| 3. <i>Fences are to be no more than 1.2m in height with a minimum 50% transparency. Contemporary palisade fence designs in a dark recessive colour are encouraged.</i> | <p><b>Complies</b></p> <p>The ground floor townhouses and apartments private open spaces are elevated above the adjacent street level. The front fences to the townhouses are 1200mm high to form a balustrade. The proposal uses a metal picket style fence to meet the requirements of the controls. There are some isolated locations where the fence is greater than 1200mm in height due to the steep adjacent topography. The fences are stepped as much as it practical in these locations to accommodate the typography and minimise the height of the fence facing the public domain. The design has aimed to make such interfaces highly landscaped via mounding or terraces to ensure a high-quality outcome within the public domain.</p> |
| 4. <i>Soft landscaping to the front of the terrace is to be a minimum of 40% of the setback area, contiguous, and a minimum of 2m in any direction.</i>                | <p><b>Generally Complies</b></p> <p>The private external terraces of the townhouses facing the new Precinct East Park have provided the hardscape requirements to meet the minimum dimensions of the ADG and to allow for adequate useable and flexible paved area for outdoor dining and other uses for these family friendly homes. The remaining area within the setback contains soft landscaping where practical, and where the steep topography allows. While the numbers are not fully compliant in some located areas with this control due to the location of the OSD tank below, the overall architectural composition is highly considered and allows for a high-quality outcome with substantial planting.</p>                            |

|                                                                                                                                                  |                                                                                                                                                                                                                                                                                         |
|--------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 5. <i>Small trees suitable for the landscaped area provided are encouraged.</i>                                                                  | <b>Complies</b><br>Small trees are located on the edge of the private external terraces to maintain privacy for occupants.                                                                                                                                                              |
| 6. <i>Shared path in front of townhouse apartments to be a minimum 2.5m in width and located a minimum 500mm from the fence of the dwelling.</i> | <b>Complies</b><br>The location of the shared path has been approved under DA 988/2022/JPZ. The changes proposed as part of a future modification application to The Hills Shire Council relate only to the location of the individual townhouse entries proposed off this shared path. |

## 5.2.16. Car Parking and Access

Control

1. Residential car parking spaces are to be provided at the rates specified in Table 9. For any use not specified, the car parking rates in The Hills Development Control Plan 2012 (Part C Section 1 – Parking) shall apply.

Table 9: Precinct East Residential Car Parking Spaces

|                 | Minimum (per unit)    | Maximum (per unit)                            | Affordable Housing Minimum (per unit) | Affordable Housing Maximum (per unit) |
|-----------------|-----------------------|-----------------------------------------------|---------------------------------------|---------------------------------------|
| 1 bedroom units | 0.4                   | Average of 1 across all bedroom apartment mix | 0.4                                   | 0.4                                   |
| 2 bedroom units | 0.7                   |                                               | 0.5                                   | 0.5                                   |
| 3 bedroom units | 1.0                   |                                               | 1                                     | 1                                     |
| Visitor Parking | 0.05                  | 0.05                                          | -                                     | 0.05                                  |
|                 | Minimum (per area)    | Maximum (per area GFA)                        |                                       |                                       |
| Retail          | 1 space per 130m² GFA | 1 space per 60m² GFA                          |                                       |                                       |
| Commercial      | 1 space per 145m² GFA | 1 space per 100m² GFA                         |                                       |                                       |

Comment

Complies

As detailed in the Traffic Report prepared by JMT Consulting dated 12 August 2024, residential car parking spaces are compliant with the rates in Table 9. The proposed development makes provision for a total of 918 off-street parking spaces for residents and visitors.

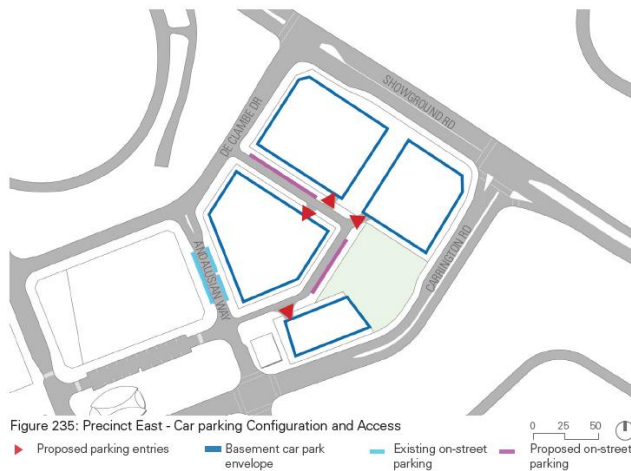
The affordable housing apartments are to revert to market housing after 10 years, whereupon the higher parking rate of 1 space per unit would apply. Accordingly, it is proposed to provide 873 resident car spaces and 44 visitor spaces. Additional parking spaces are allocated for car share, car wash and service cars.

18 of the 873 car spaces will be quarantined for a period of 10 years following which they can become available for the affordable apartments once they revert to market housing. This approach towards car parking provision is compliant with both the current and future requirements for the development. It is noted that this approach was supported by the DPE in the assessment of the Doran Drive Plaza Precinct (SSD 15882721) which imposed Condition B29(a)(i) which allowed for the parking provision to increase “when the affordable housing agreement expires”.

The proposed car parking provision split by lot is provided in the table below.

| Lot                    | Type                                                     | No. of Unit | Parking Rate | Spaces |     |
|------------------------|----------------------------------------------------------|-------------|--------------|--------|-----|
| Lot 3                  | 1                                                        | 21          | 1            | 21     |     |
|                        | B                                                        |             |              |        |     |
|                        | 2                                                        | 85          | 1            | 85     |     |
|                        | B                                                        |             |              |        |     |
| Lot 3                  | 3                                                        | 41          | 1            | 41     |     |
|                        | B                                                        |             |              |        |     |
|                        | Total                                                    |             |              |        | 147 |
|                        | Lot 3 (Affordable)                                       | 1           | 11           | 0.4    | 4   |
| B                      |                                                          |             |              |        |     |
| 2                      |                                                          | 22          | 0.5          | 11     |     |
| B                      |                                                          |             |              |        |     |
| Lot 3                  | 3                                                        | 11          | 1            | 11     |     |
|                        | B                                                        |             |              |        |     |
|                        | Total                                                    |             |              |        | 26  |
|                        | Parking to be allocated back to apartment after 10 years |             |              |        | 18  |
| Parking after 10 years |                                                          |             |              | 44     |     |
| Lot 4                  | 1                                                        | 47          | 1            | 47     |     |
|                        | B                                                        |             |              |        |     |
|                        | 2                                                        | 166         | 1            | 166    |     |
|                        | B                                                        |             |              |        |     |
| Lot 4                  | 3                                                        | 60          | 1            | 60     |     |
|                        |                                                          |             |              |        |     |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |           |                      |                     |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|----------------------|---------------------|--------------------------------------------------------|------|---------|----------------------|---------------------|-----------|----------------|-----------|---------------|-----|----------------------------|------------------------------------------------------------------------|----|-------|-----------|----------------|---------------------------------|-----|---------------------|----------------|------------|---------------------------------|-----------|-----------|---------------|-----|---------------------|----------------|-----|--|---|--|--|--|-------|--|-----|--|--------------------------------|--|-----|--|
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | <table><tr><td colspan="2">B</td><td colspan="2"></td></tr><tr><td colspan="2">Total</td><td colspan="2">273</td></tr><tr><td rowspan="5">Lot 5</td><td>1</td><td>68</td><td>1</td><td>68</td></tr><tr><td>B</td><td></td><td></td><td></td></tr><tr><td>2</td><td>276</td><td>1</td><td>276</td></tr><tr><td>B</td><td></td><td></td><td></td></tr><tr><td>3</td><td>109</td><td>1</td><td>109</td></tr><tr><td></td><td>B</td><td></td><td></td><td></td></tr><tr><td colspan="2">Total</td><td colspan="2">453</td></tr><tr><td colspan="2">Total (Parking after 10 years)</td><td colspan="2">873</td></tr></table>                                                                                                |           |                      |                     | B                                                      |      |         |                      | Total               |           | 273            |           | Lot 5         | 1   | 68                         | 1                                                                      | 68 | B     |           |                |                                 | 2   | 276                 | 1              | 276        | B                               |           |           |               | 3   | 109                 | 1              | 109 |  | B |  |  |  | Total |  | 453 |  | Total (Parking after 10 years) |  | 873 |  |
| B                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |           |                      |                     |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
| Total                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | 273       |                      |                     |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
| Lot 5                                                                                                                                                                                                                                                                                                                                                                                                                                                                | 1                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | 68        | 1                    | 68                  |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | B                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |           |                      |                     |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | 2                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | 276       | 1                    | 276                 |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | B                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |           |                      |                     |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | 3                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | 109       | 1                    | 109                 |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | B                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |           |                      |                     |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
| Total                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | 453       |                      |                     |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
| Total (Parking after 10 years)                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | 873       |                      |                     |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
| 2. The maximum cap for residential car spaces is 1,663 across the Hills Showground Station Precinct.                                                                                                                                                                                                                                                                                                                                                                 | <b>Complies</b><br>1303 parking spaces are to be delivered between Precinct East and Doran Drive, 360 spaces below the cap. When considering the 307 apartments to be delivered under Precinct West at a parking ratio of 1:1, there will be 53 fewer residential spaces compared to the maximum 1,663 stated in the UDG.                                                                                                                                                                                                                                                                                                                                                                                              |           |                      |                     |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
| 3. Secure, conveniently located bicycle parking facilities are to be provided at the rates specified in Table 10.                                                                                                                                                                                                                                                                                                                                                    | <b>Complies</b><br>As detailed in the Traffic Report prepared by JMT Consulting (dated 12 August 2024), based on the number of apartments provided there will be a total of 291 resident bicycle parking spaces and 72 visitor bicycle spaces provided across the entire site. This is compliant with the UDG.<br><br>The proposed bicycle parking provision is provided in the table below.                                                                                                                                                                                                                                                                                                                           |           |                      |                     |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
| <table><tr><td colspan="5">Table 10: Precinct East Bicycle Parking Facility Rates</td></tr><tr><td></td><td colspan="4">Rate (minimum)</td></tr><tr><td>Residential flat buildings</td><td colspan="4">1 resident space per 3 apartments<br/>1 visitor space per 12 apartments</td></tr><tr><td>Commercial use</td><td colspan="4">1 space per 600m² GFA for staff</td></tr><tr><td>Retail use</td><td colspan="4">1 space per 450m² GFA for staff</td></tr></table> |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |           |                      |                     | Table 10: Precinct East Bicycle Parking Facility Rates |      |         |                      |                     |           | Rate (minimum) |           |               |     | Residential flat buildings | 1 resident space per 3 apartments<br>1 visitor space per 12 apartments |    |       |           | Commercial use | 1 space per 600m² GFA for staff |     |                     |                | Retail use | 1 space per 450m² GFA for staff |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
| Table 10: Precinct East Bicycle Parking Facility Rates                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |           |                      |                     |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Rate (minimum)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |           |                      |                     |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
| Residential flat buildings                                                                                                                                                                                                                                                                                                                                                                                                                                           | 1 resident space per 3 apartments<br>1 visitor space per 12 apartments                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |           |                      |                     |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
| Commercial use                                                                                                                                                                                                                                                                                                                                                                                                                                                       | 1 space per 600m² GFA for staff                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |           |                      |                     |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
| Retail use                                                                                                                                                                                                                                                                                                                                                                                                                                                           | 1 space per 450m² GFA for staff                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |           |                      |                     |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | <table><tr><td>Lot</td><td>User</td><td>Quantum</td><td>Bicycle parking rate</td><td>Minimum requirement</td></tr><tr><td rowspan="2">Lot 3 &amp; 4</td><td>Residents</td><td rowspan="2">420 units</td><td>1 per 3 units</td><td>140</td></tr><tr><td>Residential visitor</td><td>1 per 12 units</td><td>35</td></tr><tr><td rowspan="2">Lot 5</td><td>Residents</td><td rowspan="2">453 units</td><td>1 per 3 units</td><td>151</td></tr><tr><td>Residential visitor</td><td>1 per 12 units</td><td>38</td></tr><tr><td rowspan="2">Total</td><td>Residents</td><td rowspan="2">873 units</td><td>1 per 3 units</td><td>291</td></tr><tr><td>Residential visitor</td><td>1 per 12 units</td><td>73</td></tr></table> |           |                      |                     | Lot                                                    | User | Quantum | Bicycle parking rate | Minimum requirement | Lot 3 & 4 | Residents      | 420 units | 1 per 3 units | 140 | Residential visitor        | 1 per 12 units                                                         | 35 | Lot 5 | Residents | 453 units      | 1 per 3 units                   | 151 | Residential visitor | 1 per 12 units | 38         | Total                           | Residents | 873 units | 1 per 3 units | 291 | Residential visitor | 1 per 12 units | 73  |  |   |  |  |  |       |  |     |  |                                |  |     |  |
| Lot                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | User                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | Quantum   | Bicycle parking rate | Minimum requirement |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
| Lot 3 & 4                                                                                                                                                                                                                                                                                                                                                                                                                                                            | Residents                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | 420 units | 1 per 3 units        | 140                 |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Residential visitor                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |           | 1 per 12 units       | 35                  |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
| Lot 5                                                                                                                                                                                                                                                                                                                                                                                                                                                                | Residents                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | 453 units | 1 per 3 units        | 151                 |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Residential visitor                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |           | 1 per 12 units       | 38                  |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
| Total                                                                                                                                                                                                                                                                                                                                                                                                                                                                | Residents                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | 873 units | 1 per 3 units        | 291                 |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Residential visitor                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |           | 1 per 12 units       | 73                  |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
| 4. Driveways and vehicular access to car parks shall not be located on Showground Road, De Clambe Drive, Andalusian Way or Carrington Road.                                                                                                                                                                                                                                                                                                                          | <b>Complies</b><br>Car park entries are located on the new subdivided road.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |           |                      |                     |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
| 5. Vehicular access is to be limited to a maximum of 1 two-way driveway per superlot.                                                                                                                                                                                                                                                                                                                                                                                | <b>Complies</b><br>Vehicle access is limited to two two-way driveways located on Lot 3 and 4 and Lot 5.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |           |                      |                     |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |
| 6. Vehicular entry and exit is to be in accordance with Figure 235.                                                                                                                                                                                                                                                                                                                                                                                                  | <b>Non-Compliant but justified</b><br>Vehicular access locations are shown in the figure below and are described as follows:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |           |                      |                     |                                                        |      |         |                      |                     |           |                |           |               |     |                            |                                                                        |    |       |           |                |                                 |     |                     |                |            |                                 |           |           |               |     |                     |                |     |  |   |  |  |  |       |  |     |  |                                |  |     |  |



- Single consolidated vehicle access point into Building B1 via the new internal roadway to the east of Andalusian Way serving both passenger vehicles and service vehicles; and
- Single consolidated vehicle access point to Building D2 via the new internal roadway to the south of De Clambe Drive serving both passenger vehicles and service vehicles



**Figure 47: Proposed vehicle access arrangements (Source: JMT Consulting)**

A key design move has been the consolidation of the car park entries and loading docks for Buildings D and E and Buildings B and C into two separate single entry/exit points located on the subdivided road. The consolidation of these entry/exit points to the separate car parks and loading docks allows for a highly activated ground floor plane, improving street edge activation and passive surveillance to allow for a safe and inviting public domain for pedestrians and cyclists to use at all times of the day.

The removal of the entry/exit to the immediate south of the publicly accessible pedestrian link which is identified in the UDG is a significant urban design benefit and allows for a highly activated north-west corner to Building E1, characterised by generous residential entry lobbies and direct sightlines into the central communal courtyard area. The enhanced public domain created by this change, has allowed for unimpeded pedestrian and bicycle movements from the publicly accessible pedestrian link to the new eastern park, creating a green network of pathways and parkland that connects the wider precinct.

7. *Driveways are to be appropriately set back from corners and intersections. Ramps are to be located within the primary setback only and shall not intrude into the public domain.*

**Complies**

Driveway locations are sufficiently set back from corners and intersections. All ramps are located within the primary setback and do not intrude into the public domain.

8. *Driveways are to have a minimum width of 6 metres at the property boundary for a distance of 6 metres (measured along the centreline of the driveway) within the development to ensure easy entry/exit of vehicles.*

**Complies**

The access driveways have been designed in accordance with Australian Standards AS2890.1 with respect to widths and gradients, with a 5% gradient provided for the first 6m within the site.

The site access driveways have been designed to accommodate the simultaneous passing of a truck and passenger vehicle, with relevant swept paths detailed in the Transport Assessment prepared by JMT Consulting dated 12 August 2024.

9. *The driveway ramp for the easternmost superlot shall not extend*

**N/A**

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <i>beyond the facade of the building to maintain pedestrian priority from the park to the pedestrian through-site link.</i>                                                                                                                                                                                                                                                                                                                                                      | No driveway location is proposed in this location, with access to the consolidated basement located within Building D2. The enhanced public domain created by this change, has allowed for unimpeded pedestrian and bicycle movements from the publicly accessible pedestrian link to the new eastern park, creating a green network of pathways and parkland that connects the wider precinct.                                                                                                                                                                                                                                                                                                                                                                 |
| 10. <i>Townhouse apartment parking is to be collated within the basement of superlots. No individual garages or private parking are permitted on any street frontage.</i>                                                                                                                                                                                                                                                                                                        | <b>Complies</b><br>Townhouse apartment parking is located at basement level.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| 11. <i>Adequate vehicular entry, exit and circulation areas are to be provided. The design must:</i><br>a. <i>Provide safe environment for both pedestrians and vehicles using the site and surrounding road networks</i><br>b. <i>Ensure vehicular ingress and egress to the site is in a forward direction at all times</i><br>c. <i>Be designed to minimise the visual impact of hard paved areas.</i>                                                                        | <b>Complies</b><br>Adequate vehicular entry, exit and circulation areas are provided. Minimising points of vehicle access by having combined driveways for passenger vehicles and service vehicles is consistent with the objectives of both the UDG as well as Council's DCP for the precinct. These access arrangements are considered suitable to distribute traffic movements across the site and provide convenient access from the adjacent road network.<br><br>Vehicular ingress and egress to the site is in a forward direction at all times.<br><br>The consolidation of driveway entries from four (as set out in the UDG) to two, as proposed, has resulted in the minimisation of hard paved areas, resulting in a superior urban design outcome. |
| 12. <i>Parking is to be underground, avoided within street setbacks and not located within the public domain. Where above ground parking cannot be avoided due to site conditions, it must be well integrated into the overall façade design and create a good relationship with the public domain.</i>                                                                                                                                                                          | <b>Complies</b><br>All parking is located underground at basement level.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| 13. <i>Garages and parking structures are not to project forward of the building line and are to be screened from the public domain by active uses.</i>                                                                                                                                                                                                                                                                                                                          | <b>Complies</b><br>No garage or above ground parking structures are proposed.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| 14. <i>Basement car parks or other structures must not constrain the infrastructure or access easement to the metro services building or intrude into the first reserve of the metro tunnel in accordance with the Sydney Metro Underground Corridor Protection Technical Guidelines (16 October 2017).</i>                                                                                                                                                                      | <b>Complies</b><br>The basement extent under Building C has been significantly rationalized to ensure that Sydney Metro infrastructure is protected.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| 15. <i>Car parking shall not be located on the roof of buildings.</i>                                                                                                                                                                                                                                                                                                                                                                                                            | <b>Complies</b><br>No parking is located on the roof of buildings.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| 16. <i>Car share spaces are to be provided at a rate of one space per 150 car spaces for residential.</i>                                                                                                                                                                                                                                                                                                                                                                        | <b>Complies</b><br>Based on the 873 parking spaces provided there is a requirement for a total of six car share spaces. Three basement spaces are provided in Lots 3 /4 and three basement spaces are provided in Lot 5.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| 17. <i>Car share spaces are to be for the exclusive use of car share scheme vehicles, and included in the number of car parking spaces permitted on a site.</i><br><i>The car share parking spaces are to be:</i><br>a. <i>Exclusive of visitor car parking</i><br>b. <i>Grouped together in the most convenient locations relative to car parking entrances and pedestrian lifts or access points</i><br>c. <i>Located in well-lit paces that allow for casual surveillance</i> | <b>Complies</b><br>The car share spaces are located in a publicly accessible location adjacent to the visitor parking area. These spaces will therefore be available for use by both residents and the general public.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |

|                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>d. <i>Signposted for use only by car share vehicles</i></p> <p>e. <i>Made known to building occupants and car share members through appropriate signage which indicates the availability of the scheme and promotes its use as an alternative mode of transport.</i></p>                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| <p>18. <i>Development applications are to demonstrate how the car share parking space(s) is to be accessed, including where access is through a security gate. A covenant is to be registered with the strata plan advising of any car share parking space. The covenant is to include provisions that the car share parking space(s) cannot be revoked or modified without prior approval of Council.</i></p> | <p><b>Complies</b></p> <p>Six car share spaces are located adjacent to the visitor parking area. Deicorp will work closely with the appointed car share operator (e.g. GoGet) to allow, for members of the public with a car share subscription, to obtain unrestricted public access to basement levels containing car share spaces. Members of the car sharing scheme will be able to utilise their swipe card (provided by the car share operator) to access the residential lobbies and lifts which then provides access to the basement levels containing the car share spaces. Deicorp will ensure that the relevant points of secure access to the building, including the residential lift lobbies and car park boom gate, are integrated with the car share operator's swipe card in order to allow for public access to the car share spaces.</p> <p>It is anticipated that a condition can be imposed requiring that a covenant is registered with the strata plan advising of any car share parking space. The covenant is to include provisions that the car share parking space(s) cannot be revoked or modified without prior approval of Council.</p> |
| <p>19. <i>A minimum of 10% of the total number of parking spaces are to provide for Electric Vehicle charging stations.</i></p>                                                                                                                                                                                                                                                                                | <p><b>Complies</b></p> <p>As a minimum 10% of total parking spaces within the site will be provided with EV ready infrastructure.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| <p>20. <i>All garages/ carpark entrances must be protected from inundation by flood waters up to the 1% AEP + 0.5m.</i></p>                                                                                                                                                                                                                                                                                    | <p><b>Complies</b></p> <p>All car park entrances are protected from inundation by flood waters up to the 1% AEP + 0.5m.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| <p>21. <i>End of trip facilities are to be provided where there are allocated bicycle parking facilities associated with commercial or retail development.</i></p>                                                                                                                                                                                                                                             | <p><b>N/A</b></p> <p>No non-residential uses are proposed as part of this development and therefore no end of trip facilities are provided.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |

### 5.2.17. Service Vehicles and Waste Collection

| Objective                                                                                 | Comments                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
|-------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <i>To provide a common zone for service vehicles and waste collection.</i>                | <p><b>Complies</b></p> <p>Designated loading zones are provided at lower ground of Building B1 and Basement 01 below Building D1 for deliveries, waste removal, and residential turnover and improvements such as removals vans, trades people, renovations, and maintenance. All loading zones are located within close proximity to lifts and waste holding rooms to allow for ease of transportation.</p> <p>The loading docks are adequately sized to accommodate up to a 12.5m Heavy Rigid Vehicle (HRV). Two truck parking spaces are provided in the loading dock of each building for use of service vehicles, comprising of one space for a HRV and one space for a Small Rigid Vehicle (SRV). In addition to the two truck spaces for each building there will be a total of five service vehicle parking spaces which can be used by vans/utes for the purposes of building servicing and smaller resident deliveries. One of these spaces is located within Building B1 and two of these spaces are located in Building D1.</p> |
| <i>To provide a safe environment for pedestrians and vehicles using the road network.</i> | <p><b>Complies</b></p> <p>A key design move has been the consolidation of the car park entries and loading docks for Buildings D and E and Buildings B and C into two separate single entry/exit points located on the subdivided road. The consolidation of these entry/exit points to the separate car parks and loading docks allows for a highly activated ground floor plane, improving street edge activation and passive surveillance to allow for a safe and inviting public domain for pedestrians and cyclists to use at all times of the day.</p> <p>In addition, vehicle swept paths have been undertaken to confirm the suitability of the loading dock from a manoeuvrability perspectives.</p>                                                                                                                                                                                                                                                                                                                               |

### 5.2.17. Service Vehicles and Waste Collection

| Control                                                                                                                                                                                                                                                                                                                                                             | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>1. <i>On-site waste collection should be either at grade or via a basement and waste collection vehicles must be able to enter and exit the site in a forward direction.</i></p>                                                                                                                                                                                 | <p><b>Complies</b></p> <p>The proposed vehicle access points will accommodate large trucks up to a 12.5m HRV – aligning with the Hills Shire Council waste collection vehicle. Two truck parking spaces are provided in the loading dock of each building for use of service vehicles, comprising of one space for a HRV and one space for a SRV. An internal clearance height within the loading dock of 4.5m is provided which complies with the requirements of Australian Standards AS2890.2 for Heavy Rigid Vehicles.</p>                                                                                                                                                                                                                                                                                                                                                                                                  |
| <p>2. <i>Waste collection must occur from the new street as demonstrated in Figure 237.</i></p>  <p>Figure 237: Precinct East - Service Vehicles and Waste Collection</p> <p>▲ Service Vehicle and Waste Collection Access Point    ■ Service Vehicle and Waste Collection Zone</p> | <p><b>Complies</b></p> <p>Waste collection will occur from the new street.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| <p>3. <i>Townhouse apartments are to be serviced and have their waste collection within the communal basement of the development lot on which they are located.</i></p>                                                                                                                                                                                             | <p><b>Complies</b></p> <p>Each of the townhouses either:</p> <ul style="list-style-type: none"> <li>Have access to the basement via private stairs that directly connects to the basement below the townhouse, where the resident can then place their garbage in chutes and dedicated locations</li> <li>Have direct internal access to the nearest residential lobby at Ground Floor where the garbage chutes are located for easy use.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| <p>4. <i>Loading areas and vehicular access points for development are to be screened from public roads and public access points.</i></p>                                                                                                                                                                                                                           | <p><b>Complies</b></p> <p>For Building B2, the loading dock has been located at lower ground level and is accessed via an entry and ramp off the new subdivided road to the south of Building B. For Building D2, the loading dock has been located at basement level and is accessed via an entry and ramp off the new subdivided road to the west of Building D2.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| <p>5. <i>Service and waste collection vehicle zones must be sufficient dimensions to accommodate a standard 12.5m long HRV and allow for all access and manoeuvring to occur within the zone.</i></p>                                                                                                                                                               | <p><b>Complies</b></p> <p>The proposed vehicle access points will accommodate large trucks up to a 12.5m HRV – aligning with the Hills Shire Council waste collection vehicle. Two truck parking spaces are provided in the loading dock of each building for use of service vehicles, comprising of one space for a HRV and one space for a Small Rigid Vehicle (SRV). An internal clearance height within the loading dock of 4.5m is provided which complies with the requirements of Australian Standards AS2890.2 for Heavy Rigid Vehicles.</p> <p>Vehicle swept paths have been undertaken to confirm the suitability of the loading dock from a manoeuvrability perspective. As indicated in the Transport Assessment prepared by JMT Consulting dated 12 August 2024 an HRV, equivalent to a waste collection vehicle, can enter and exit the site in a forward direction without impacting an SRV parked adjacent.</p> |

6. *Waste management shall comply with the waste management controls contained within Part B Section 5 - Residential Flat Buildings of The Hills DCP 2012.*

**Complies**

An Operational Waste Management Plan has been prepared by Elephants Foot dated 19 August 2024 in accordance with the controls specified in Council's DCP.

### 5.2.18 Subdivision and Earthworks

| Control                                                                                                                                                                                                                                                                                            | Comment                                                                                                                                                                                                                                                                                                                                                                                            |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <i>Earthworks shall be minimised to locations where the construction of roads require it.</i>                                                                                                                                                                                                      | <b>N/A</b><br>The construction of roads within and adjoining the site has been approved separately to this SSDA.                                                                                                                                                                                                                                                                                   |
| <i>Subdivision applications must provide a plan showing the existing predevelopment and proposed finished ground levels to enable an assessment of the extent of earthworks proposed and assessment of the relationship between the finished road levels and proposed building platform levels</i> | <b>N/A</b><br>This application does not include subdivision.                                                                                                                                                                                                                                                                                                                                       |
| <i>A Fill Plan must be prepared.</i>                                                                                                                                                                                                                                                               | <b>Complies</b><br>A cut/fill plan has been prepared refer to the civil plans prepared by Mott Macdonald dated 24 May 2024. Please refer to drawing no. 427623-009-MMD-DA-01-DRG-C-0030 (refer Figure below). The majority of the bulk earthworks are cut volumes and only 218m3 were calculated for fill.<br> |
| <i>All cut and fill works shall be in accordance with Council's Design Guidelines Subdivisions/ Developments and Works Specification Subdivisions/Developments.</i>                                                                                                                                | <b>Complies</b><br>A cut/fill plan has been prepared in accordance with the Hills Shire Council Design Guidelines Subdivisions / Developments. Refer to the civil plans prepared by Mott Macdonald dated 24 May 2024.                                                                                                                                                                              |
| <i>All landfilled areas must comprise clean material free from contamination. Imported material shall be certified "Virgin Excavated Natural Material (VENM)".</i>                                                                                                                                 | <b>Complies</b><br>This is noted and is covered within the Civil Engineering notes in the civil plans dated 24 May 2024 around compaction as detailed within drawing 427623-009-MMD-DA-01-DRG-C-0002 to ensure that all fill is approved prior to use and is certified VENM.                                                                                                                       |