

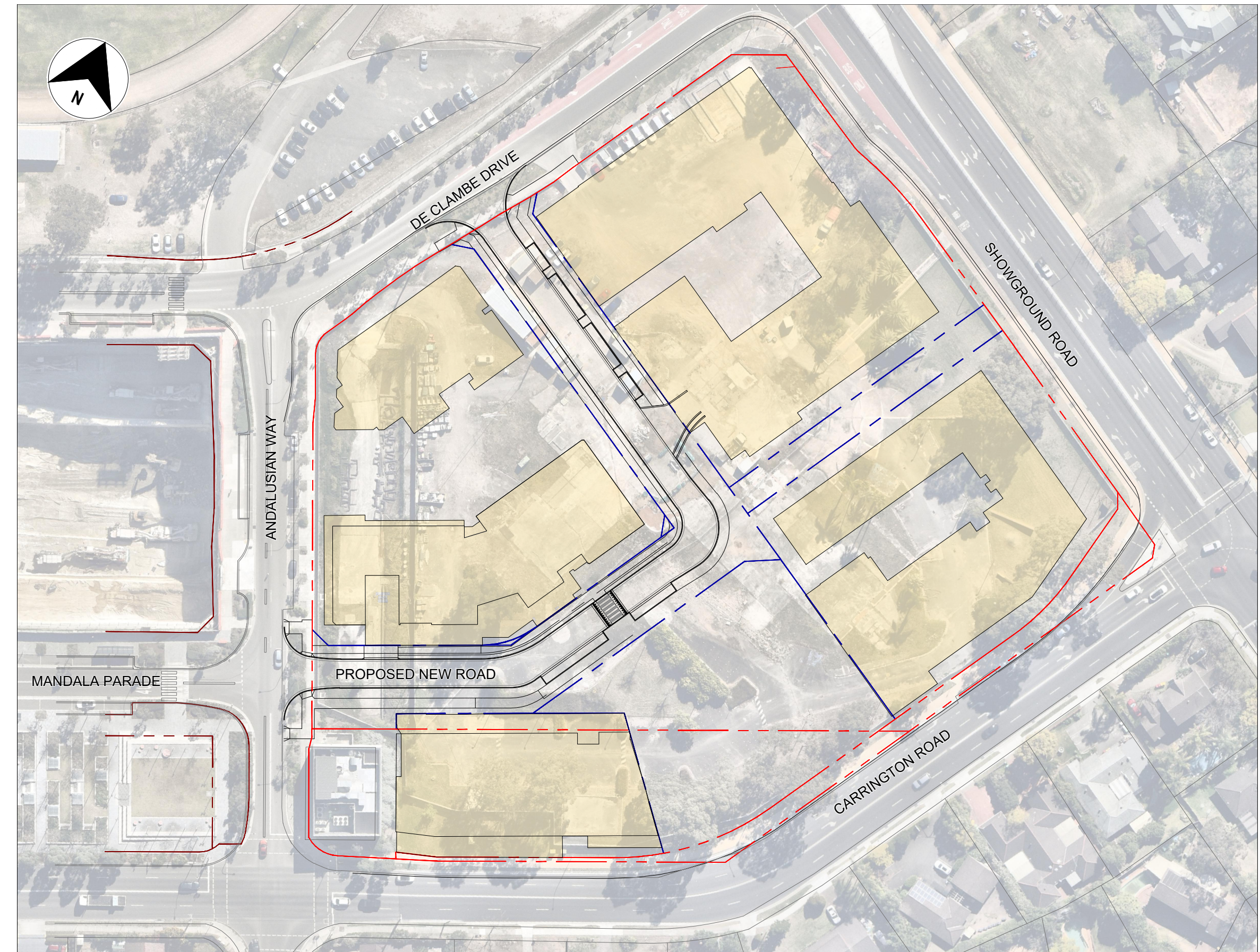


HILLS SHOWGROUND PRECINCT EAST

3 Andalusian Way, Castle Hill NSW 2154
Civil Works
Cover Sheet

Issue for Development Application
Revision Date: 24/05/2024
Revision: B

DRAWING NUMBER	DRAWING TITLE
427623-009-MMD-DA-01-DRG-C-0001	Cover Sheet
427623-009-MMD-DA-01-DRG-C-0002	General Notes and Legends
427623-009-MMD-DA-01-DRG-C-0030	Bulk Earthworks Plan
427623-009-MMD-DA-01-DRG-C-0035	General Arrangement Plan
427623-009-MMD-DA-01-DRG-C-0040	Proposed Road Longitudinal Section
427623-009-MMD-DA-01-DRG-C-0050	Basement Link Cross Section
427623-009-MMD-DA-01-DRG-C-0090	Combined Utilities Plan



LOCALITY PLAN
N.T.S

SOURCE: NEARMAPS 2023

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	A	19/01/24	ISSUE FOR DEVELOPMENT APPLICATION	AT	DF					
	P3	10/01/24	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	AT	DF					
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	P1	24/11/23	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	AT	DF					
	Rev	Date	Description	Ch'k'd	App'd					

FILE LOCATION: C:\Users\Wu107446\Mott MacDonald\Deicorp Civil Engineering - 9.3 Andalusian Way, Castle Hill\04 Working\01 Drafting\Civil\Drawings\Precinct East Drawings\CIVIL WORKS\427623-009-MMD-DA-01-DRG-C-0001.dwg May 27, 2024 - 5:53PM Wu107446

SURVEY LEGEND	
	EXISTING BOUNDARY, BEARING AND DISTANCE
	EXISTING ROAD NAME
	EXISTING BUILDING
	EXISTING KERB AND SPOT LEVELS
	EXISTING FENCE
	EXISTING SPOT LEVEL
	EXISTING EARTH BATTER
	EXISTING TREE

CIVIL WORKS LEGEND	
	SITE BOUNDARY
	BOUNDARY ADJACENT
	PUBLIC DOMAIN LIMIT OF WORKS
	EXISTING EASEMENT
	PROPOSED SUBDIVISION BOUNDARY
	PROPOSED SETBACK
	PROPOSED BASEMENT 01 (LOT 3 & 4)
	PROPOSED LOWER GROUND (LOT 5)
	SYDNEY METRO UP NSWRL
	SYDNEY METRO UP NSWRL
	FIRST RESERVE
	SECOND RESERVE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED KERB AND GUTTER
	PROPOSED DISH DRAIN
	PROPOSED VEHICULAR CROSSING
	PROPOSED RAISED PEDESTRIAN CROSSING
	PROPOSED SECURE PERIMETER WALL WITH PEDESTRIAN ACCESS GATE

LANDSCAPE LEGEND	
	PROPOSED TREE
	SHOWGROUND PARK (BY OTHERS)
	PROPOSED LANDSCAPING (REFER TO LANDSCAPING PACKAGE FOR DETAILS)
	PROPOSED SEATING AREA
	PROPOSED RECREATIONAL AREA

SEDIMENT & EROSION CONTROL	
	PROPOSED BUILDING
	PROPOSED TEMPORARY DIVERSION DRAIN
	CONSTRUCT TEMPORARY BARRIER FENCE
	CONSTRUCT TEMPORARY STABILISED ENTRY WITH SHAKER GRID
	INDICATIVE LOCATION OF STOCKPILE
	INSTALL SANDBAG SEDIMENT TRAPS
	INSTALL TEMPORARY SEDIMENT BASIN
	EXISTING STORMWATER PIT
	EXISTING SURFACE INLET PIT

STORMWATER DRAINAGE LEGEND	
	INTER-ALLOTMENT STORMWATER DRAINAGE
	PUBLIC DOMAIN STORMWATER DRAINAGE
	GRATED SURFACE INLET PIT
	GRATED SURFACE INLET PIT WITH OCEANBASKET INSERT
	KERB INLET PIT
	PIT NUMBER
	ON-SITE DETENTION WITH STORMFILTER CHAMBER

PAVEMENT LEGEND	
	PROPOSED NEW ROAD
	PROPOSED TEXTURED ROAD
	PROPOSED PUBLIC DOMAIN FOOTPATH
	PROPOSED PEDESTRIAN LINK FOOTPATH

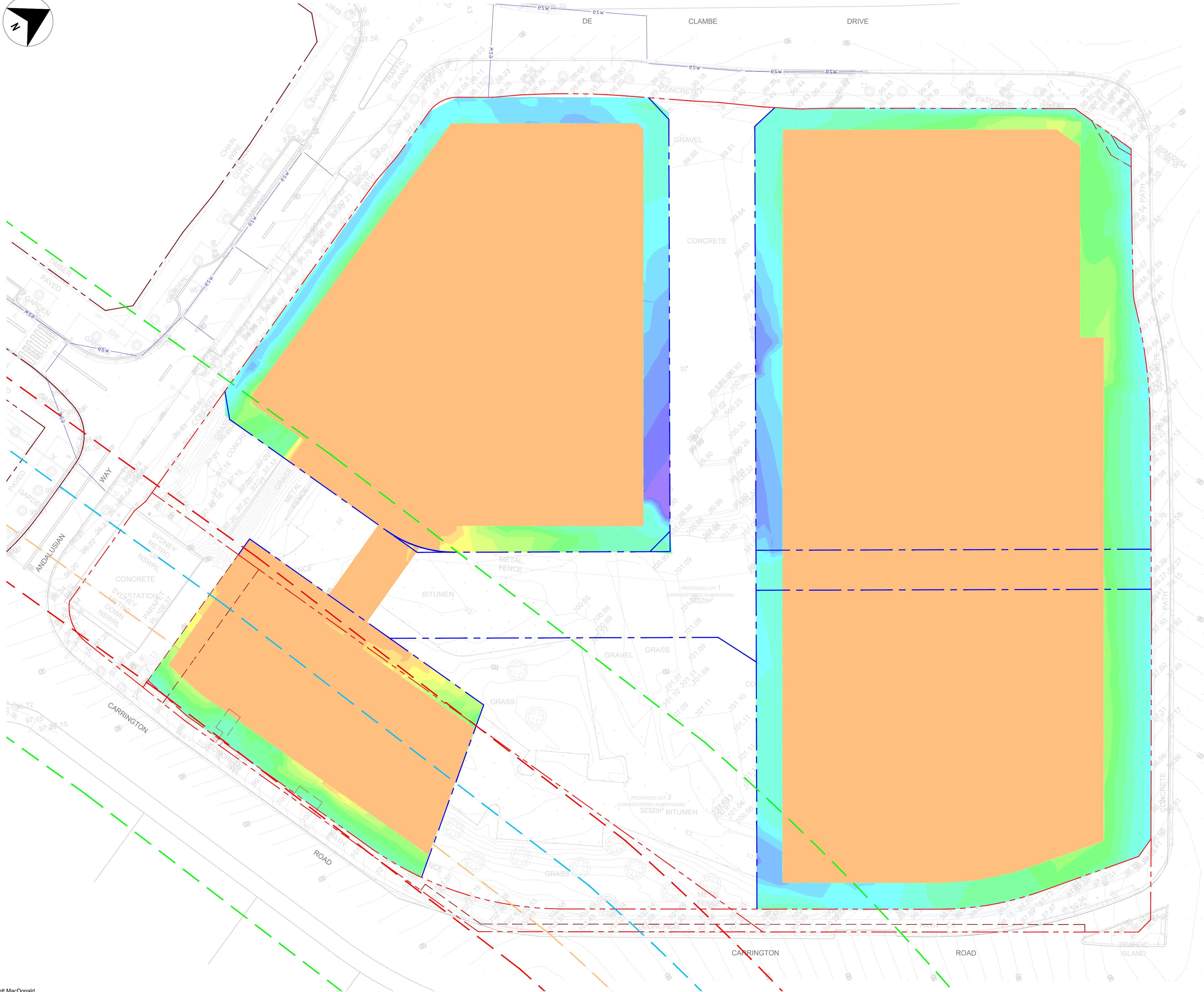
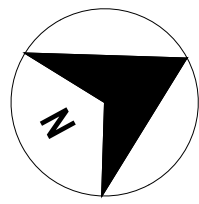
GENERAL NOTES	
GN1	ALL WORKMANSHIP AND MATERIALS SHALL COMPLY WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA AND THE RELEVANT CURRENT AUSTRALIAN STANDARDS.
GN2	ANY DISCREPANCIES, OMISSIONS OR ERRORS SHALL BE REPORTED TO THE SUPERINTENDENT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
GN3	DO NOT SCALE MEASUREMENTS FROM THE DRAWINGS.

SITEWORKS NOTES	
SN1	DATUM : Australian Height Datum (AHD) ORIGIN OF LEVELS : SSM: 62673 RL: 102.368 ORIGIN OF CO-ORDINATES : Mapping Grid Of Australia (MGA) SURVEY PREPARED BY : Daw&Walton Consulting Surveyors PO Box 3222, Redfern NSW 2016 W: www.daw-walton.com.au
SN2	THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK, AND REPORT ANY DISCREPANCIES TO THE SUPERINTENDENT.
SN3	ALL EXISTING SERVICES (INCLUDING ANY NOT SHOWN ON THE PLANS) MUST BE ACCURATELY LOCATED IN POSITION AND LEVEL PRIOR TO ANY EXCAVATION. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. MINIMUM SERVICE CLEARANCES SHALL BE MAINTAINED FROM THE RELEVANT SERVICE AUTHORITY.
SN4	THE CONTRACTOR SHALL ARRANGE FOR ALL SETTING OUT BY A REGISTERED SURVEYOR.
SN5	IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE NSW LAND REGISTRY SERVICES, OF ANY SURVEY MARKS THAT WILL BE DESTROYED IN THE CONSTRUCTION OF WORKS. CONTACT HEAD OFFICE ON 02 8776 3575 www.nswlrs.com.au
SN6	THE CONTRACTOR SHALL OBTAIN ALL REGULATORY AUTHORITY APPROVALS AT THEIR OWN EXPENSE.
SN7	WHERE NEW WORKS ABUT EXISTING, THE CONTRACTOR MUST ENSURE THAT A SMOOTH AND EVEN PROFILE, FREE FROM ABRUPT CHANGES IS OBTAINED.
SN8	ALL DISTURBED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION, UNLESS SPECIFIED OTHERWISE.
SN9	EXCAVATED TRENCHES SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT NATURAL MATERIAL. ANY SUBSIDENCE'S DURING THE PERIOD TO BE RECTIFIED AS DIRECTED BY THE SUPERINTENDENT.
SN10	ANY EXISTING TREES WHICH FORM PART OF THE FINAL LANDSCAPING PLAN WILL BE PROTECTED FROM CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S DETAILS AND / OR BY - PROTECTING THEM WITH BARRIER FENCING OR SIMILAR MATERIALS INSTALLED OUTSIDE THE DRIP LINE, ENSURING THAT NOTHING IS NAILED TO THEM, PROHIBITING PAVING, GRADING, SEDIMENT WASH OR PLACING OF STOCKPILES WITHIN THE DRIP LINE EXCEPT UNDER THE FOLLOWING CONDITIONS - ENCROACHMENT ONLY OCCURS ON ONE SIDE AND NO CLOSER TO THE TRUNK THAN EITHER 1.5m OR HALF THE DISTANCE BETWEEN THE OUTER EDGE OF THE DRIP LINE AND THE TRUNK, WHICHEVER IS THE GREATER. A DRAINAGE SYSTEM THAT ALLOWS AIR AND WATER TO CIRCULATE THROUGH THE ROOT ZONE (eg A GRAVEL BED) IS PLACED UNDER ALL FILL LAYERS OF MORE THAN 300mm CARE IS TAKEN NOT TO CUT ROOTS UNNECESSARILY NOR TO COMPACT THE SOIL AROUND THEM.
SN11	RECEPTORS FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER ARE TO BE EMPTIED AS NECESSARY. DISPOSAL OF WASTE SHALL BE IN A MANNER APPROVED BY THE SUPERINTENDENT OR AS SPECIFIED IN THE WORKS CONTRACT.

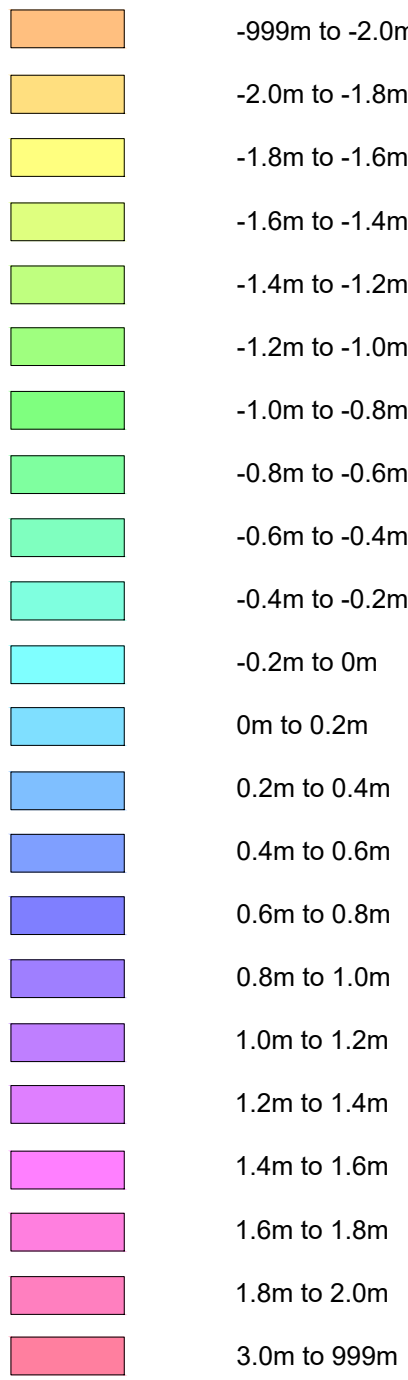
EXISTING SERVICES NOTES	
ES1	EXISTING SERVICES HAVE BEEN PLOTTED FROM SUPPLIED DATA AND AS SUCH THEIR ACCURACY CANNOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT.
ES2	THE CONTRACTOR SHALL ALLOW FOR THE CAPPING OFF, EXCAVATION AND REMOVAL IF REQUIRED OF ALL REDUNDANT EXISTING SERVICES IN AREAS AFFECTED BY WORKS WITHIN THE CONTRACT AREA, AS SHOWN ON THE DRAWINGS UNLESS DIRECTED OTHERWISE BY THE SUPERINTENDENT.
ES3	THE CONTRACTOR SHALL ENSURE THAT AT ALL TIMES SERVICES TO ALL BUILDINGS NOT AFFECTED BY THE WORKS ARE NOT DISRUPTED.
ES4	IF REQUIRED, THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SERVICES TO MAINTAIN EXISTING SUPPLY TO BUILDINGS REMAINING IN OPERATION DURING WORKS TO THE SATISFACTION AND APPROVAL OF THE SUPERINTENDENT. ONCE DIVERSION IS COMPLETE AND COMMISSIONED THE CONTRACTOR SHALL REMOVE ALL SUCH TEMPORARY SERVICES AND MAKE GOOD TO THE SATISFACTION OF THE SUPERINTENDENT AND THE RELEVANT SERVICE AUTHORITY.
ES5	INTERRUPTION TO SUPPLY OF EXISTING SERVICES SHALL BE DONE SO AS NOT TO CAUSE ANY INCONVENIENCE TO THE PRINCIPAL. THE CONTRACTOR IS TO GAIN APPROVAL FROM THE SUPERINTENDENT FOR TIME OF INTERRUPTION - THE CONTRACTOR IS RESPONSIBLE FOR ALL LIAISON.
ES6	ALL BRANCH GAS AND WATER SERVICES UNDER DRIVEWAYS AND BRICK PAVING SHALL BE LOCATED IN 600mm uPVC SEWER GRADE CONDUITS EXTENDING A MINIMUM OF 500mm BEYOND THE EDGE OF PAVING.
ES7	CLEARANCE AND COVER REQUIREMENTS SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY BEFORE COMMENCEMENT OF WORKS AND SHALL BE ADHERED TO AT ALL TIMES.
ES8	CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATIONS ARE TO BE UNDERTAKEN OVER TELECOM OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS ONLY.

STORMWATER NOTES	
SW1	FOR RESIDENTIAL SUBDIVISIONS AND PUBLIC ROADS - ALL Ø375mm TO Ø600mm DRAINAGE PIPES SHALL BE CLASS 4 APPROVED SPIGOT AND SOCKET REINFORCED CONCRETE PIPES WITH RUBBER RING JOINTS (UNO). ALL Ø675mm OR LARGER DRAINAGE PIPES SHALL BE CLASS 3 APPROVED SPIGOT AND SOCKET REINFORCED CONCRETE PIPES WITH RUBBER RING JOINTS (UNO). ALL PVC-u DRAINAGE PIPES IN FOOTWAYS OR ACCESS WAYS SHALL BE DWV GRADE CLASS SN8 IN ACCORDANCE WITH AS/NZS 1260:2009 - PVC-u PIPES AND FITTINGS FOR DRAIN, WASTE AND VENT APPLICATION. HEAVY DUTY PVC-u PIPES TO BE IN ACCORDANCE WITH AS/NZS 1254 : 2010 - PVC PIPES AND FITTINGS FOR STORM AND SURFACE WATER APPLICATIONS MAY BE USED WITHIN ALLOTMENTS.
SW2	FOR COMMERCIAL OR INDUSTRIAL SITES - ALL Ø300mm TO Ø600mm DRAINAGE PIPES SHALL BE CLASS 4 APPROVED SPIGOT AND SOCKET REINFORCED CONCRETE PIPES WITH RUBBER RING JOINTS (UNO). ALL Ø675mm OR LARGER DRAINAGE PIPES SHALL BE CLASS 3 APPROVED SPIGOT AND SOCKET REINFORCED CONCRETE PIPES WITH RUBBER RING JOINTS (UNO). ALL DRAINAGE PIPES LESS THAN OR EQUAL TO Ø225mm SHALL BE PVC-u DWV GRADE CLASS SN8 IN ACCORDANCE WITH AS/NZS 1260 : 2009 - PVC-u PIPES AND FITTINGS FOR DRAIN, WASTE AND VENT APPLICATION WITH SOLVENT WELDED JOINTS.
SW3	EQUIVALENT STRENGTH FIBROUS REINFORCED CONCRETE (F.R.C.) AND / OR HIGH DENSITY POLYETHYLENE (H.D.P.E.) MAY BE USED SUBJECT TO APPROVAL BY THE SUPERINTENDENT.
SW4	ALL PIPE JUNCTIONS UP TO AND INCLUDING Ø450mm AND TAPERS, SHALL BE VIA PURPOSE MADE FITTINGS (UNO).
SW5	MINIMUM GRADE TO STORMWATER LINES TO BE 1% (UNO).
SW6	CONTRACTOR TO SUPPLY AND INSTALL ALL FITTINGS AND SPECIALS INCLUDING VARIOUS PIPE ADAPTORS TO ENSURE PROPER CONNECTION BETWEEN DISSIMILAR PIPEWORK.
SW7	ALL CONNECTIONS TO EXISTING DRAINAGE PITS SHALL BE MADE IN A TRADESMAN-LIKE MANNER AND THE INTERNAL WALL OF THE PIT AT THE POINT OF ENTRY SHALL BE CEMENT RENDERED TO ENSURE A SMOOTH FINISH WITH NO PROTRUSIONS.
SW8	ALL IN-SITU CONCRETE PITS TO BE 32Mpa MINIMUM AT 28 DAYS.
SW9	PITS AND PIPES IN AREAS OF SALINITY HAZARD SHALL HAVE INCREASED COVER TO ANY REINFORCEMENT.
SW10	PRECAST CONCRETE PITS MAY BE INSTALLED IN LIEU OF CAST IN-SITU PITS. WHEN PIPE JUNCTIONS ARE ACCOMMODATED WITHIN THE OVERALL DIMENSIONS OF THE PIT, AND APPROVED BY THE SUPERINTENDENT.
SW11	PITS DEEPER THAN 1000mm SHALL HAVE STEP IRONS INSTALLED IN ACCORDANCE WITH THE LOCAL OR STATUTORY AUTHORITY REQUIREMENTS.
SW12	BEDDING SHALL BE TYPE H2 (UNO) FOR PIPES NOT UNDER PAVEMENTS, AND TYPE HS2 FOR PIPES UNDER PAVEMENTS IN ACCORDANCE WITH AS/NZS 3725 : 2007 - DESIGN FOR INSTALLATION OF BURIED CONCRETE PIPES.
SW13	BACKFILL TRENCH WITH SAND OR APPROVED GRANULAR BACKFILL TO 300mm (MIN) ABOVE THE PIPE. WHERE THE PIPE IS UNDER PAVEMENTS BACKFILL REMAINDER OF TRENCH TO PAVEMENT SUBGRADE WITH SAND OR APPROVED GRAVEL. SUB-BASE COMPACTED IN 150mm LAYERS TO 98% STANDARD MAXIMUM DRY DENSITY. THE CONTRACTOR IS TO ENSURE COMPACTION EQUIPMENT IS APPROPRIATE FOR THE PIPE CLASS USED.
SW14	WHERE STORMWATER LINES PASS UNDER FLOOR SLABS DWV GRADE PVC-U RUBBER RING JOINTS ARE TO BE USED (UNO).
SW15	WHERE SUBSOIL DRAINAGE LINES PASS UNDER FLOOR SLABS AND VEHICULAR PAVEMENTS, UNSLOTTED PVC-U DWV GRADE CLASS SN8 PIPE SHALL BE USED.
SW16	PROVIDE 3m LENGTH OF Ø100mm SUBSOIL DRAINAGE LINE OR 200 'NILEX' STRIP DRAIN SURROUNDED WITH 150mm OF 20mm BLUE METAL OR GRAVEL, AND WRAPPED IN 'BIDIM' A24 GEOTEXTILE FILTER FABRIC OR APPROVED EQUIVALENT, AT INVERT OF INCOMING UPSTREAM PIPE ON EACH PIT.

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	Drawn: J.Garbo		Revision: B										
	Designed: Z.Wu		Status: FOR APPROVAL										
	Checked: A.Tarshan		Security: STD										
	Approved: D.Fettell												
	DRAWING NUMBER												
	427623-009-MMD-DA-01-DRG-C-0002												



DEPTH RANGE LEGEND (0.2m)



BULK EARTHWORKS VOLUMES

BULK EARTHWORKS CUT: - 170,162 m³ (CUT)
BULK EARTHWORKS FILL: 218 m³ (FILL)
BULK EARTHWORKS BALANCE: - 169,944 m³ (CUT)

NOTES

ESTIMATED VOLUMES BETWEEN EXISTING SURFACE LEVEL TO DESIGNED SURFACE LEVEL. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL VOLUMES PRIOR TO CONSTRUCTION.

- TOPSOIL STRIPPING HAS BEEN INCLUDED WITHIN THE VOLUME CALCULATIONS.
- NO ALLOWANCE HAS BEEN MADE FOR CONCRETE PAVEMENT.
- NO ALLOWANCE HAS BEEN MADE FOR FOOTPATH PAVEMENT.
- NO ALLOWANCE HAS BEEN MADE FOR RETAINING WALL FOOTINGS.
- VOLUME WITHIN STORMWATER TRENCHES HAVE NOT BEEN CALCULATED.
- NO BULKING FACTORS HAVE BEEN APPLIED.

REFERENCES:

- REFER TO DRAWING 427623-009-MMD-DA-01-DRG-C-0002 FOR GENERAL NOTES AND LEGENDS

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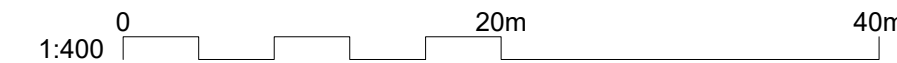
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Rev	Date	Description
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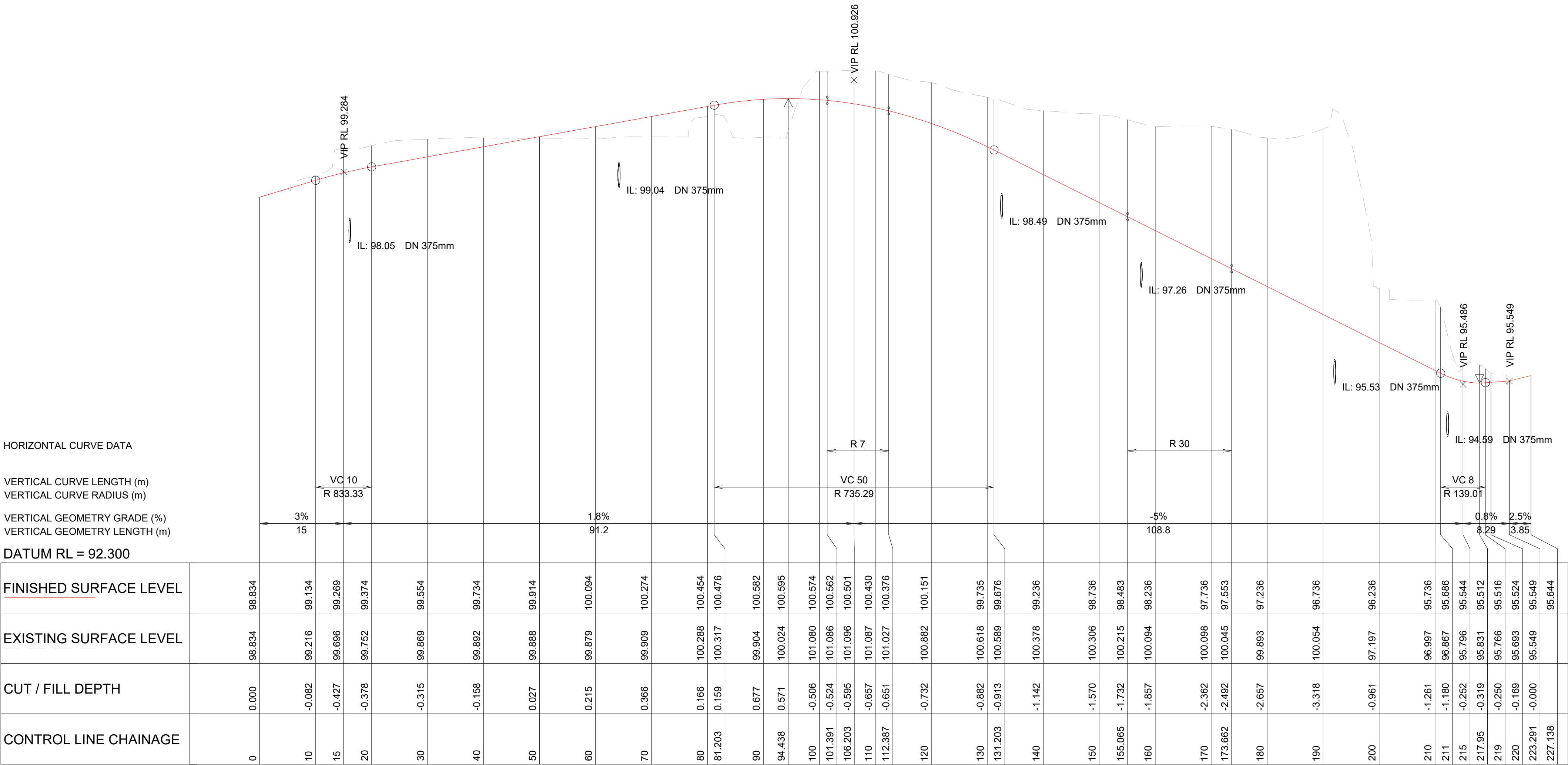
Hills Showground Precinct East
Castle Hill, NSW 2154
Bulk Earthworks Plan

DRAWING INFORMATION

Drawn: J.Garbo	Revision: B
Designed: Z.Wu	Status: FOR APPROVAL
Checked: A.Tarshan	Security: STD
Approved: D.Fettell	

DRAWING NUMBER

427623-009-MMD-DA-01-DRG-C-0030



LONGITUDINAL SECTION MC01
A1 SCALE: H 1:500, V 1:50

NOTE:
PROPOSED ROAD LONG SECTION IS FOR SSDA
BUILDING WORKS REFERENCE ONLY, NOT FOR
APPROVAL UNDER THIS PACKAGE.

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Rev	Date	Description	Ch'k'd	App'd

SCALE

HORIZONTAL

1:500

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25m

50m

VERTICAL

1:100

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5m

10m

CLIENT

DEICORP

TITLE

Hills Showground Precinct East
Castle Hill, NSW 2154
Proposed Road Longitudinal Section

DRAWING INFORMATION

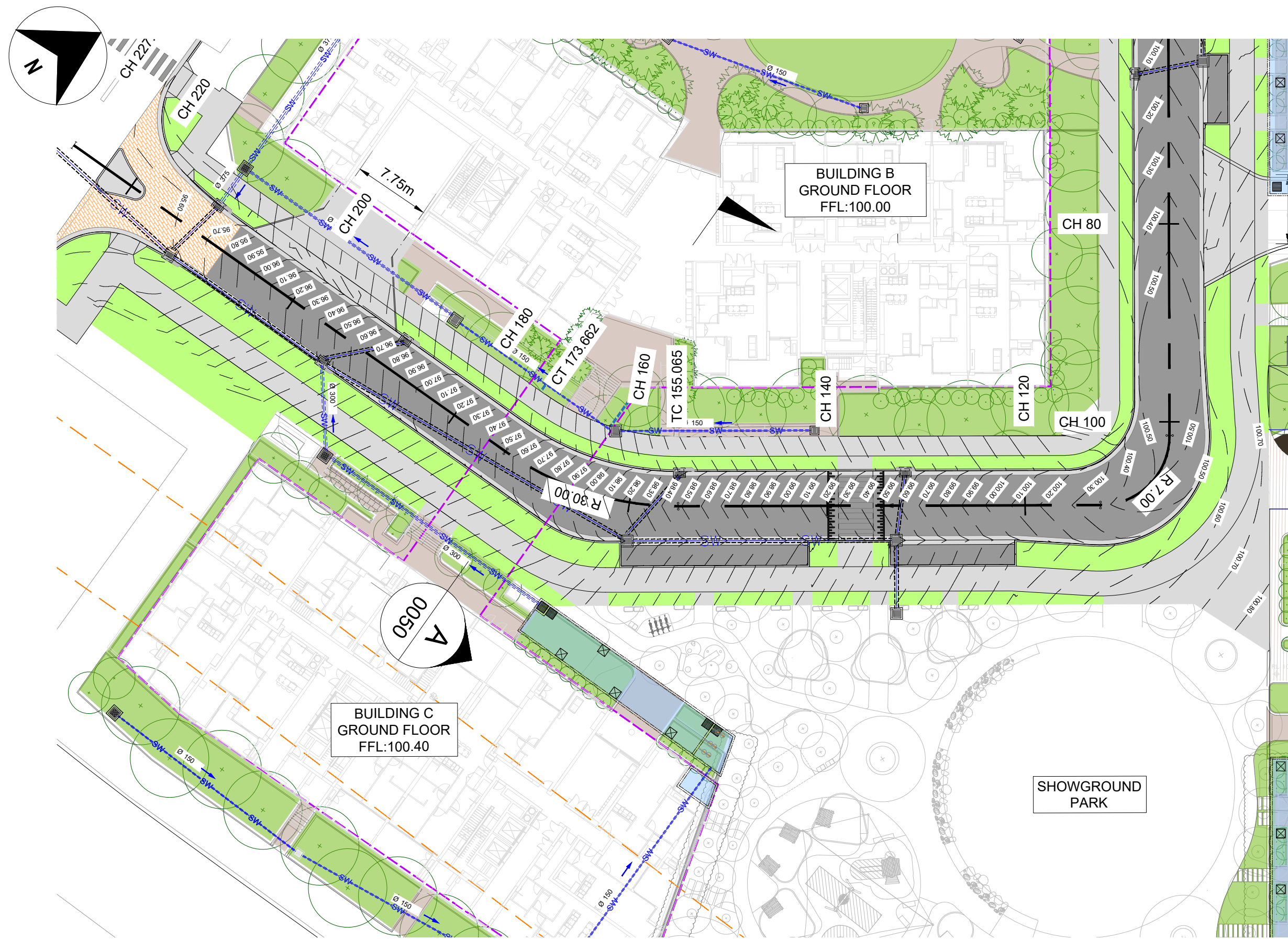
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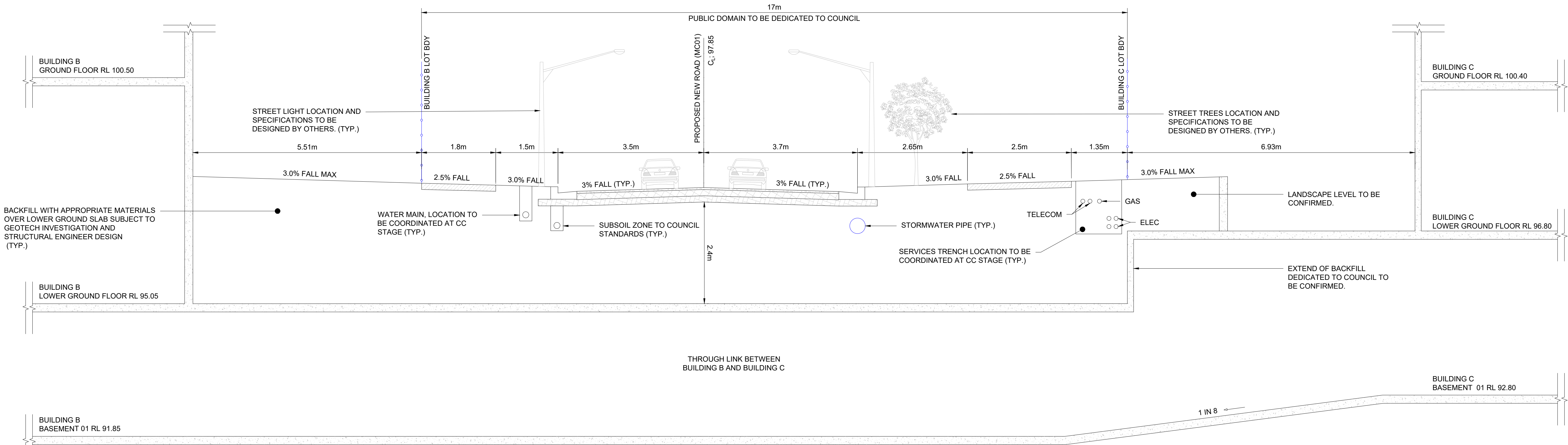
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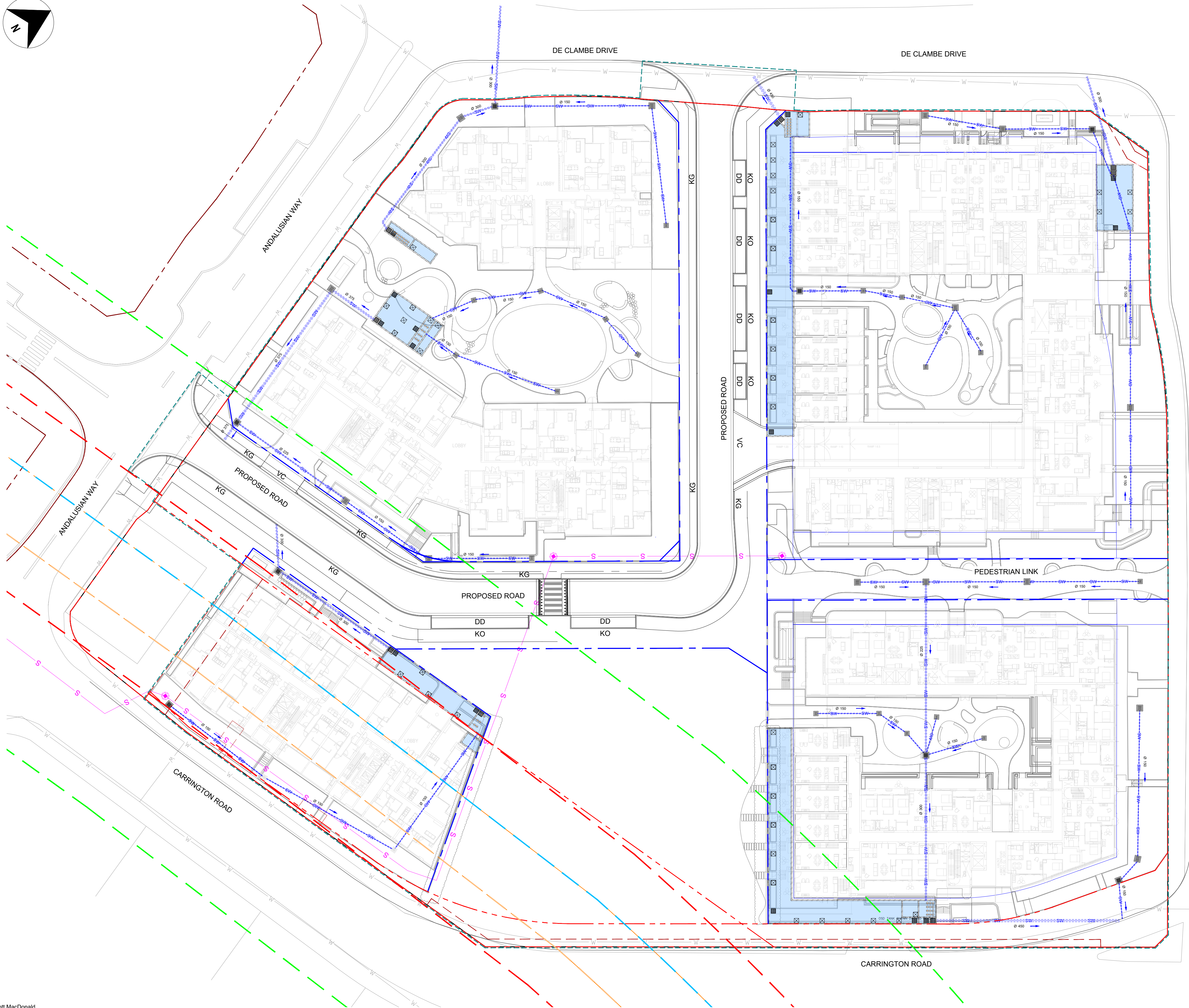
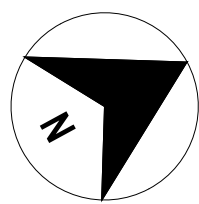
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SECTION A
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	A	19/01/24	ISSUE FOR DEVELOPMENT APPLICATION	AT	DF	Drawn: J.Garbo Revision: B						
	P3	10/01/24	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	AT	DF	Designed: Z.Wu Status: FOR APPROVAL						
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	Rev	Date	Description	Ch'k'd	App'd	DRAWING NUMBER						
						427623-009-MMD-DA-01-DRG-C-0050						



LEGEND

COMBINED SERVICES

- SITE BOUNDARY
- BOUNDARY ADJACENT
- EXISTING EASEMENT
- PROPOSED SUBDIVISION BOUNDARY
- PROPOSED SETBACK
- EXISTING WATER MAIN
- S --- PROPOSED SEWER MAIN
- PROPOSED SEWER STRUCTURE
- PROPOSED STORMWATER
- PROPOSED ON-SITE DETENTION
- GRATED SURFACE INLET PIT
- GRATED SURFACE INLET PIT WITH OCEANBASKET INSERT
- KERB INLET PIT
- EXISTING SURFACE INLET PIT
- EXISTING KERB INLET PIT

NOTE:
PROPOSED SEWER MAIN IS SUBJECT TO SYDNEY WATER APPROVAL. REFER TO CONCEPT DESIGN BY ROSE ATKINS RIMMER (INFRASTRUCTURE) PTY LTD, CASE NO. 210915 FOR DETAILS.

REFERENCES:
- REFER TO DRAWING 427623-009-MMD-DA-01-DRG-C-0002 FOR GENERAL NOTES.

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SCALE

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1:400

CLIENT

DEICORP

TITLE

Hills Showground Precinct East

Castle Hill, NSW 2154

Combined Utilities Plan

DRAWING INFORMATION

Drawn: J.Garbo

Designed: Z.Wu

Checked: A.Tarshan

Approved: D.Fettell

Revision: B

Status: FOR APPROVAL

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