


**CENTRAL Area Schedule**

TOTAL LAND AREA	612,065 sqm	
Lot	Site Area	Building Area
Lot 1A	41,368 sqm	20,220 sqm
Lot 1B	58,760 sqm	31,745 sqm*
Lot 1C	46,417 sqm	27,145 sqm*
Lot 2A	74,693 sqm	36,570 sqm
Lot 2B	60,010 sqm	31,080 sqm*
Lot 3A	15,997 sqm	7,422 sqm*
Lot 3B	58,493 sqm	36,635 sqm*
Lot 3C	55,622 sqm	32,010 sqm*
Lot 3D	18,795 sqm	8,285 sqm*
SUB TOTAL	430,155 sqm	231,012 sqm*
Lot 4	31,615 sqm	0 sqm*
CENTRAL TOTAL	461,770 sqm	231,012 sqm*
Biodiversity Lot A	18,367 sqm	
Biodiversity Lot B	40,812 sqm	
Biodiversity Lot C	41,533 sqm	
Road Widening Lots	4,595 sqm	

\* Areas subject to Survey.

 **NSW GOVERNMENT**  
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 96 (1A) (1) (2) Modification Application  
No. 8 granted on the 1/7/17  
in respect to MP SSD 6078


Signed [Signature]

Sheet No. 1 of 34



Note: Lot 3 estate signage detail to be included on lot 3 site plans

- S1 Car pak
- S2 Truck entry
- S3 Car park
- S4 Truck entry
- S5 Truck entry
- S6 Truck exit
- S7 Car park
- S8 Truck exit
- S9 Truck exit
- S10 Car park
- S11 Truck entry
- S12 Truck entry
- S13 Car park
- S14 Car park
- S15 Truck exit
- S16 Truck entry
- S17 Car park



**NSW GOVERNMENT  
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Sheet No. 2 of 34





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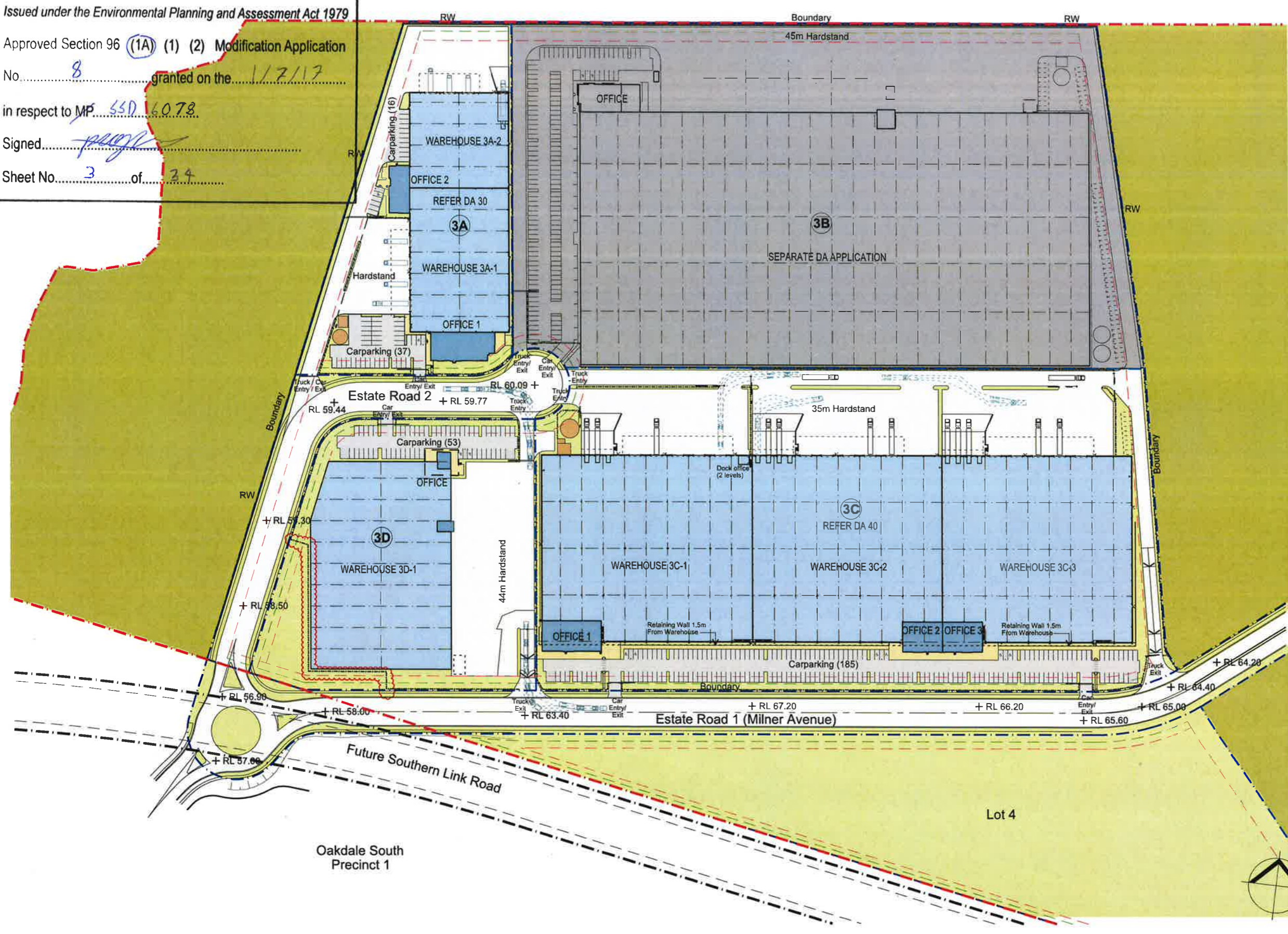
Approved Section 96 (1A) (1) (2) Modification Application

No. 8 granted on the 1/2/17

in respect to MP 550 6078

Signed [Signature]

Sheet No. 3 of 34



Development Area Schedule	
Total Site Area	155,899 sqm
Estate Road 2	6,993 sqm
Total Warehouse	44,865 sqm
Total Office	2,772 sqm
Total Dock Office	80 sqm
Total Building Area	47,717 sqm
Lot 3A	
Site Area	15,997 sqm
Warehouse 1	4,000 sqm
Office 1	500 sqm
Warehouse 2	2,650 sqm
Office 2	272 sqm
Total Building Area	7,422 sqm
Awning	807 sqm
Site Cover (exc. awning)	46 %
Floor Space Ratio	0.46 : 1
Hardstand Area	4,931 sqm
Light Duty Area	1,479 sqm
Carparking	53
Lot 3C	
Site Area	55,622 sqm
Warehouse 1	10,900 sqm
Office 1 - Lower Ground	100 sqm
Office 1 - Ground	500 sqm
Dock Office (upper level)	30 sqm
Warehouse 2	9,690 sqm
Office 2	550 sqm
Warehouse 3	9,690 sqm
Office 3	550 sqm
Total Building Area	32,010 sqm
Awning	1,935 sqm
Site Cover (exc. awning)	57 %
Floor Space Ratio	0.57 : 1
Hardstand Area	13,852 sqm
Light Duty Area	4,843 sqm
Carparking	185
Provisional Spaces	9
Lot 3D	
Site Area	18,795 sqm
Warehouse	7,935 sqm
Office	300 sqm
Dock Office (1 level)	50 sqm
Total Building Area	8,285 sqm
Awning	468 sqm
Site Cover (exc. awning)	44 %
Floor Space Ratio	0.44 : 1
Hardstand Area	5,235 sqm
Light Duty Area	1,505 sqm
Carparking	53





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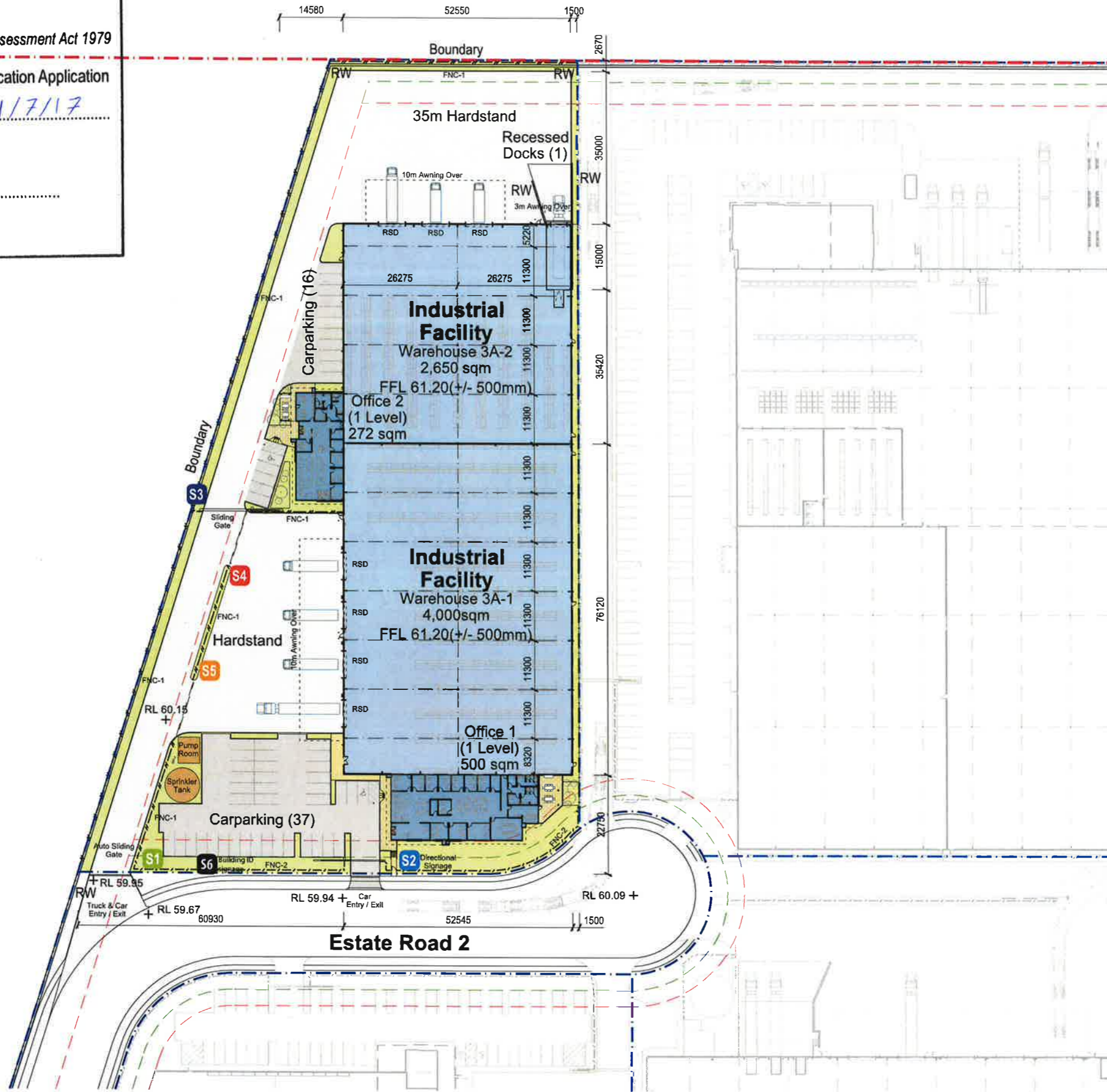
Approved Section 96 (1A) (1) (2) Modification Application

No. 8 granted on the 1/7/17

in respect to MP 550 6078

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Sheet No. 4 of 34



**LEGEND**

- Site Boundary
- Lot Boundary
- Building Setback 7.5m
- Landscape Setback 3.75m
- FNC-1 Chainwire Fencing
- FNC-2 Palisade Fencing
- RW Retaining Wall
- RSD Roller Shutter Door

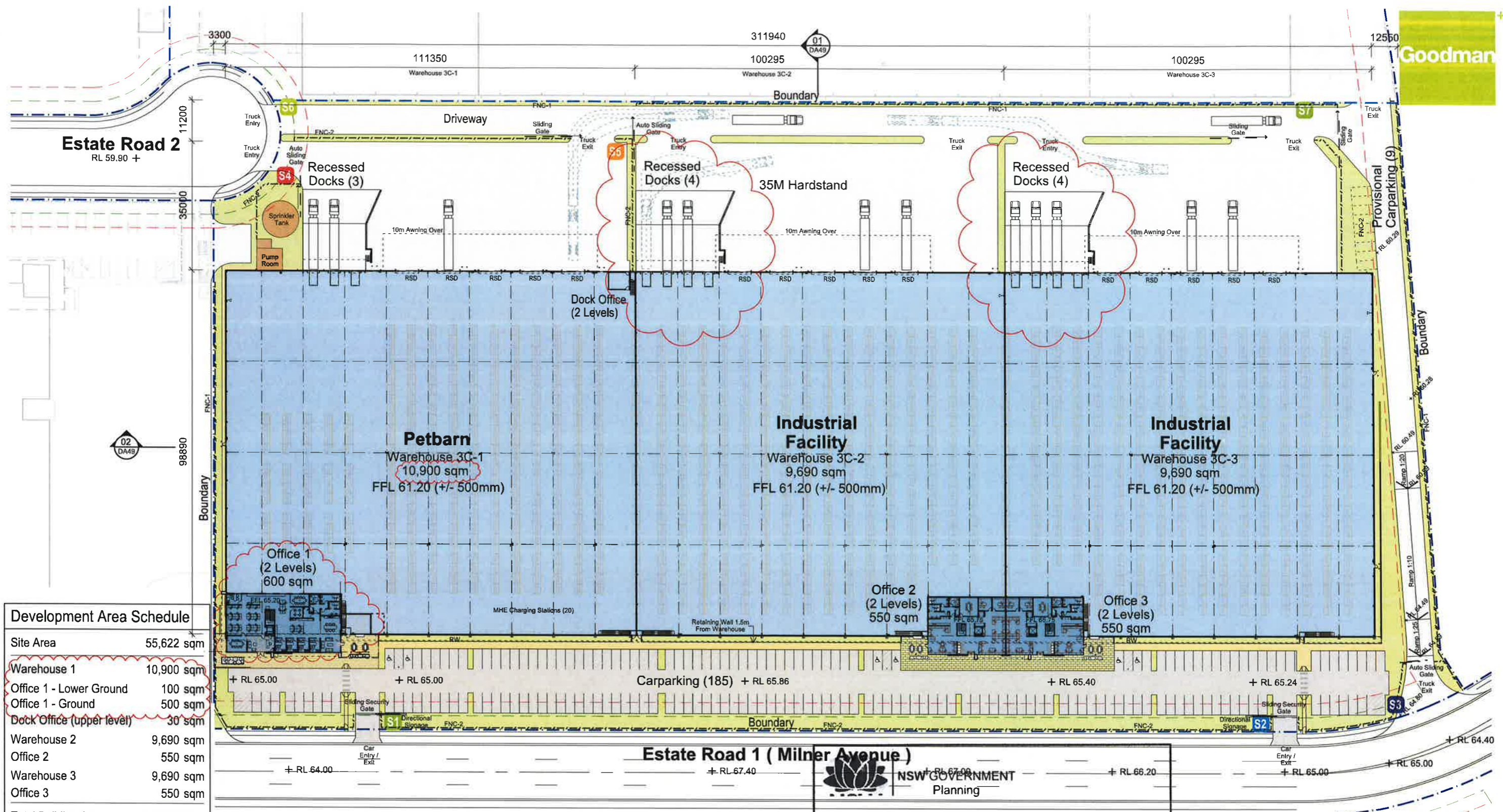
**Signage Legend**

- S1 Mulford Plastics Truck Entry/Exit. B-Dynamic Car/Truck Entry/Exit
- S2 Mulford Plastics Car park Entry/Exit.
- S3 B-Dynamic Car/Truck Entry/Exit
- S4 Mulford Plastics Truck Entry.
- S5 Mulford Plastics Truck Exit.
- S6 Building ID totem

**Development Area Schedule**

Site Area	15,997 sqm
Warehouse 1	4,000 sqm
Office 1	500 sqm
Warehouse 2	2,650 sqm
Office 2	272 sqm
<b>Total Building Area</b>	<b>7,422 sqm</b>
Awning	807 sqm
Site Cover (exc. awning)	46 %
Floor Space Ratio	0.46 : 1
Hardstand Area	4,931 sqm
Light Duty Area	1,479 sqm
Carparking	53





Development Area Schedule	
Site Area	55,622 sqm
Warehouse 1	10,900 sqm
Office 1 - Lower Ground	100 sqm
Office 1 - Ground	500 sqm
Dock Office (upper level)	30 sqm
Warehouse 2	9,690 sqm
Office 2	550 sqm
Warehouse 3	9,690 sqm
Office 3	550 sqm
Total Building Area	32,010 sqm
Awning	1,935 sqm
Site Cover (exc. awning)	57 %
Floor Space Ratio	0.57 : 1
Hardstand Area	13,852 sqm
Light Duty Area	4,843 sqm
Carparking	185
Provisional Spaces	9

Signage Legend			
S1	Car Entry/Exit.	S5	Petbarn Truck Exit
S2	Car Entry/Exit.	S6	Truck Entry
S3	Truck Exit.	S7	Truck Exit
S4	Petbarn Truck Entry		

NSW GOVERNMENT  
Planning

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in respect to MP 550 6078

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Sheet No. 5 of 34

LEGEND	
---	Site Boundary
---	Lot Boundary
---	Building Setback 7.5m
---	Landscape Setback 3.75m
---	FNC-1 Chainwire Fencing
---	FNC-2 Palisade Fencing
---	RW Retaining Wall

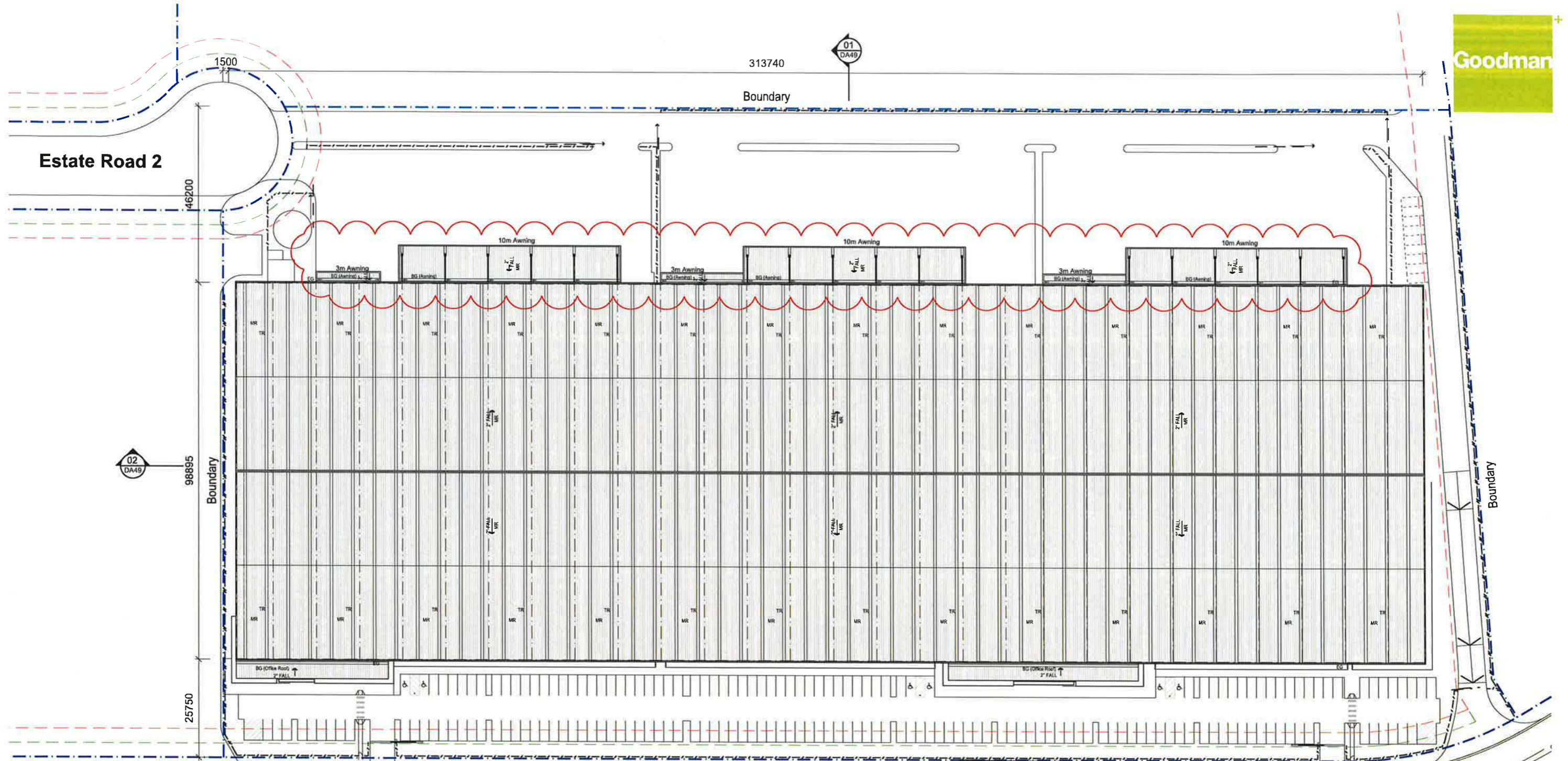


Oakdale CENTRAL  
Horsley Park

Proposed Industrial Facilities - Lot 3C  
Development Application (Section 96)

Site Plan / Floor Plan

1:500 @ A1  
1:1000 @ A3  
03 April 2017  
OAK 3 DA 40 (U)



Estate Road 1 (Milner Avenue)



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Planning

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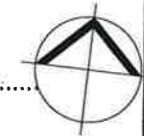
Approved Section 96 (1A) (1) (2) Modification Application

No. 8 granted on the 1/7/17

in respect to MP SSD 6078

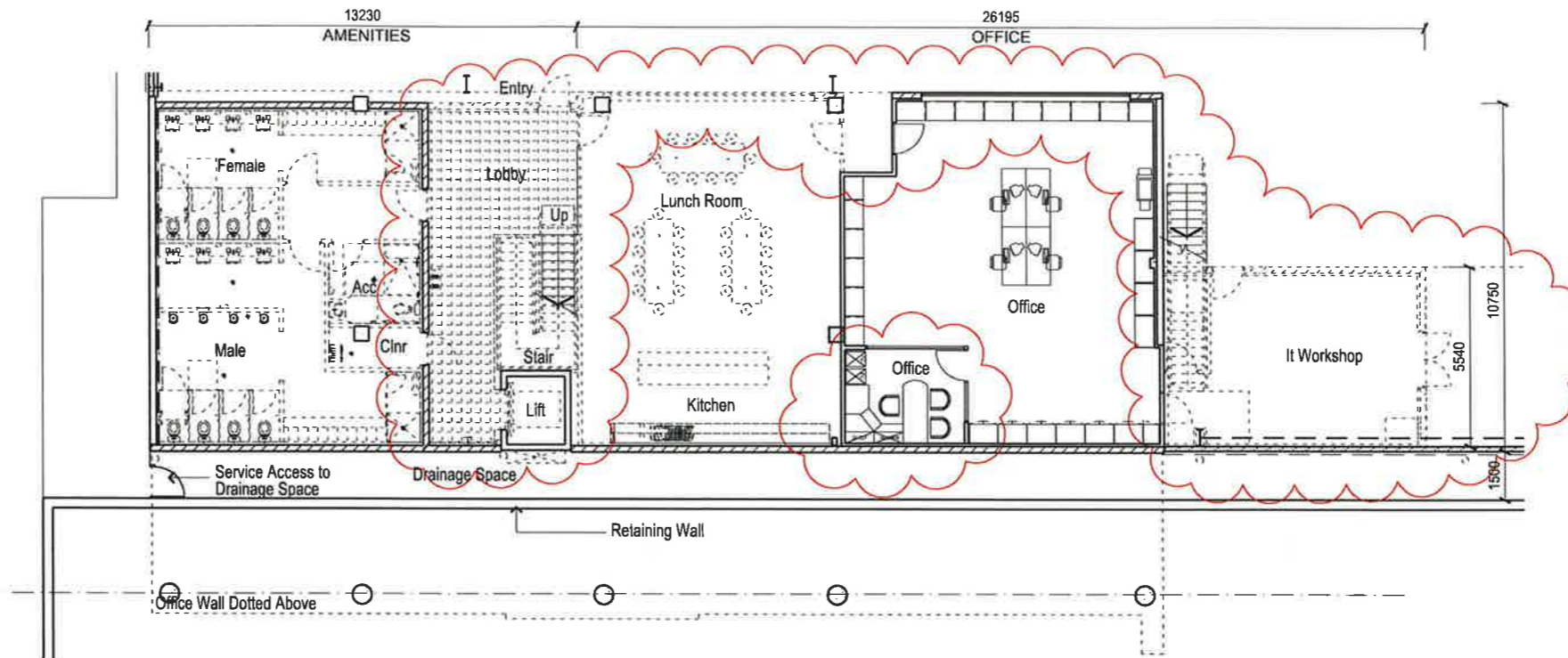
Signed [Signature]

Sheet No. 6 of 34



LEGEND	
BG	Box Gutter
EG	Eaves Gutter
MR	Metal Roof Sheetting
TR	Translucent Sheetting

01 FLOOR PLAN  
OFFICE LOWER GROUND  
AND AMENITIES



NSW GOVERNMENT  
Planning

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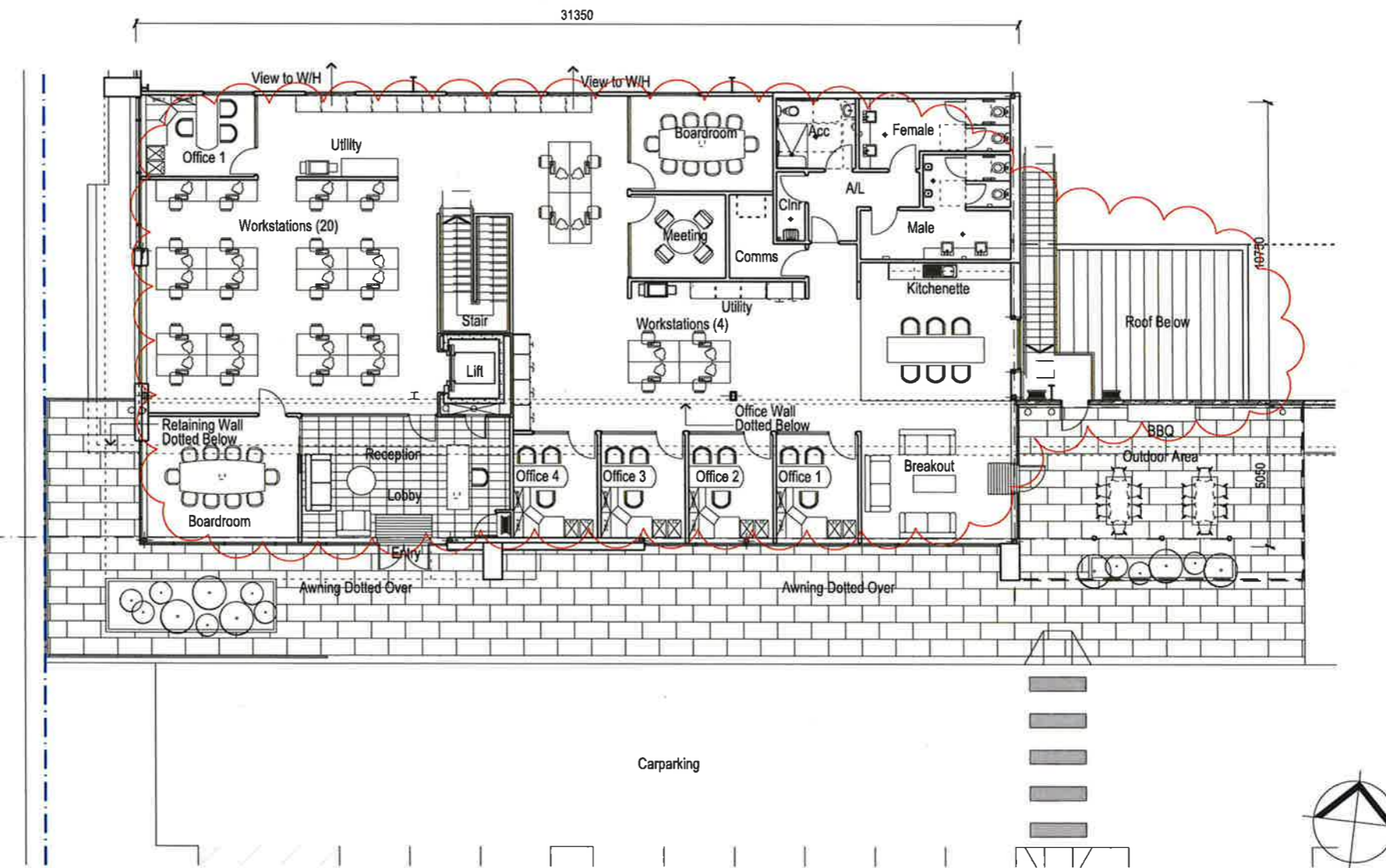
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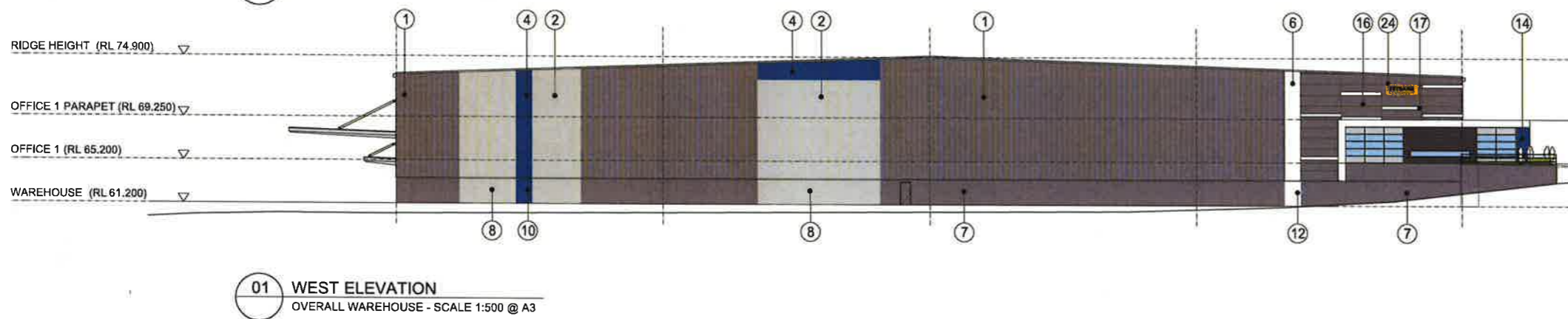
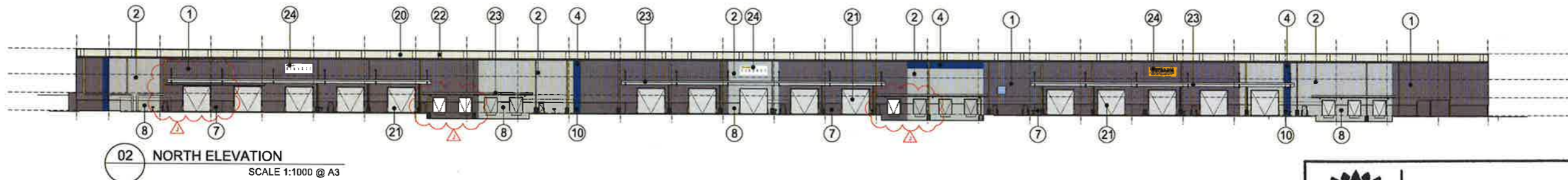
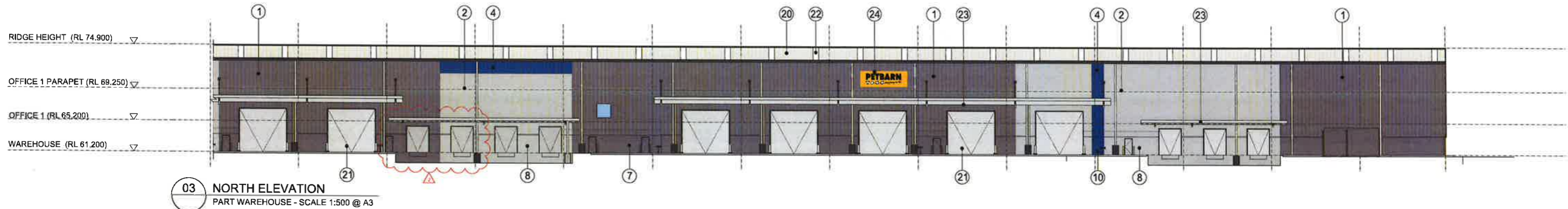
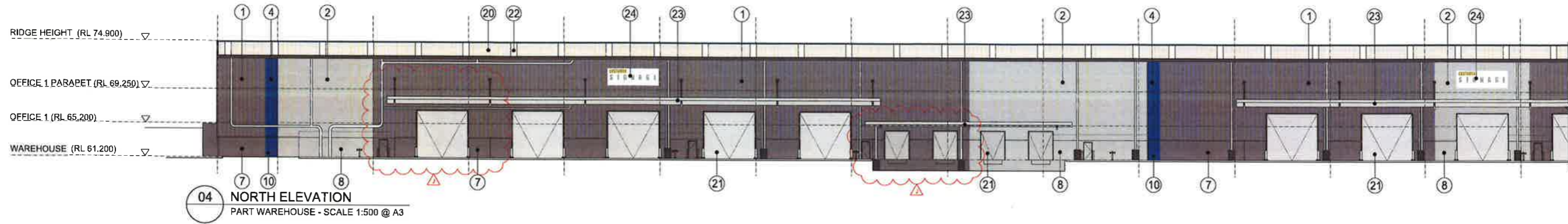
in respect to MP 550 6078


Signed: [Signature]

Sheet No. 7 of 34

02 FLOOR PLAN  
OFFICE GROUND





 **NSW GOVERNMENT Planning**

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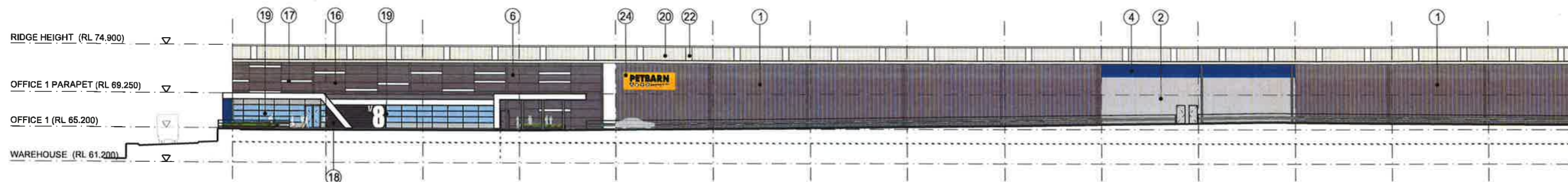
Approved Section 96 (1A) (1) (2) Modification Application  
 No. 8 granted on the 11/7/17  
 in respect to MP SSD 6078

Signed [Signature]

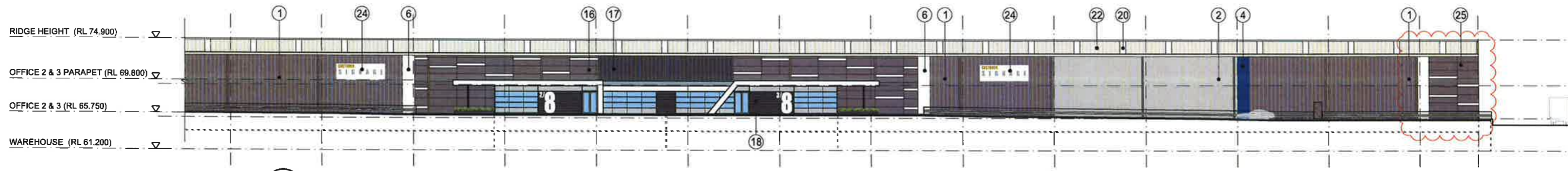
Sheet No. 8 of 34

**Indicative External Finishes Legend**

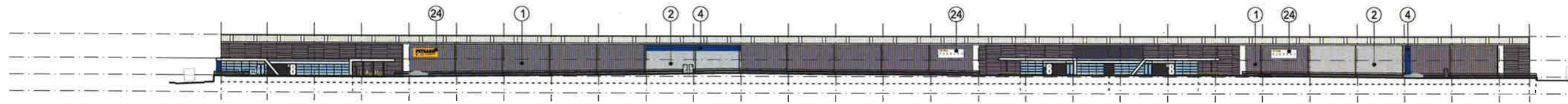
① Profiled Metal Wall Cladding Colorbond Basalt	⑦ Precast Concrete Dado Panel Paint Finish 'Basalt'	⑬ Aluminium Cladding 'Copper'	⑲ Aluminium Window Frames - Dark Grey (or sim.)	⑳ Goodman Sign
② Profiled Metal Wall Cladding Colorbond Shale Grey	⑧ Precast Concrete Dado Panel Paint Finish 'Shale Grey'	⑭ Aluminium Cladding 'Pommel Blue'	㉑ Profilled Metal Roofing - Light Grey	㉒ Colour Back Glass -
③ Profiled Metal Wall Cladding Dulux Alphatec 'Copper'	⑨ Precast Concrete Dado Panel Paint Finish 'Copper'	⑮ Aluminium Cladding 'Dark Grey'	㉒ Metal Roller Shutter Door - 'Galv. Finish'	㉓ Aluminium Cladding 'White'
④ Profiled Metal Wall Cladding Dulux Alphatec 'Pommel Blue'	⑩ Precast Concrete Dado Panel Paint Finish 'Pommel Blue'	⑯ Kingspan Colorbond Panel 'Basalt'	㉔ Translucent Skylight Panel	㉔ Aluminium Cladding 'Grey'
⑤ Profiled Metal Wall Cladding Dulux Alphatec 'Monument'	⑪ Precast Concrete Dado Panel Paint Finish 'Monument'	⑰ Kingspan Colorbond Highlight Panel 'Off White'	㉕ Steel Framed Awning - 'Galv. Finish'	
⑥ Profiled Metal Wall Cladding Dulux Alphatec 'White'	⑫ Precast Concrete Dado Panel Paint Finish 'White'	⑱ Terracade Facade System 'TN Smooth Simpson'	㉕ Tenant Signage	



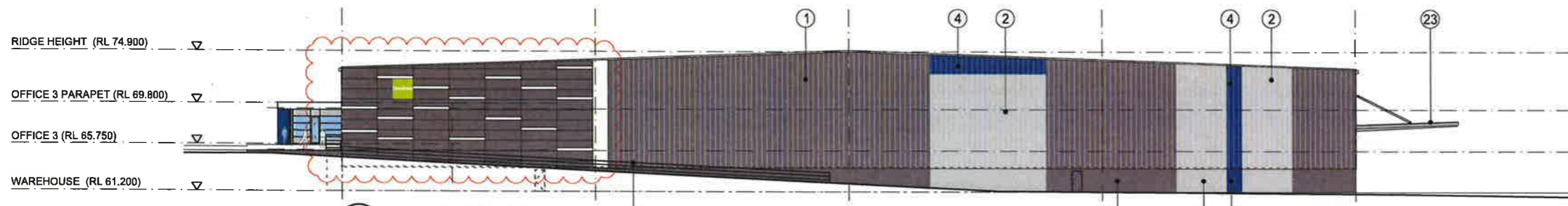
04 SOUTH ELEVATION  
PART WAREHOUSE - SCALE 1:500 @ A3



03 SOUTH ELEVATION  
PART WAREHOUSE - SCALE 1:500 @ A3



02 SOUTH ELEVATION  
OVERALL WAREHOUSE - SCALE 1:1000 @ A3



01 EAST ELEVATION  
OVERALL WAREHOUSE - SCALE 1:500 @ A3

**NSW GOVERNMENT Planning**

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 96 (1A) (1) (2) Modification Application

No. 8 granted on the 1/7/17

in respect to MP SSD 6078

Signed [Signature]

Sheet No. 9 of 34

Indicative External Finishes Legend			
①	Profiled Metal Wall Cladding Colorbond Basalt	⑦	Precast Concrete Dado Panel Paint Finish 'Basalt'
②	Profiled Metal Wall Cladding Colorbond Shale Grey	⑧	Precast Concrete Dado Panel Paint Finish 'Shale Grey'
③	Profiled Metal Wall Cladding Dulux Alphatec 'Copper'	⑨	Precast Concrete Dado Panel Paint Finish 'Copper'
④	Profiled Metal Wall Cladding Dulux Alphatec 'Pommel Blue'	⑩	Precast Concrete Dado Panel Paint Finish 'Pommel Blue'
⑤	Profiled Metal Wall Cladding Dulux Alphatec 'Monument'	⑪	Precast Concrete Dado Panel Paint Finish 'Monument'
⑥	Profiled Metal Wall Cladding Dulux Alphatec 'White'	⑫	Precast Concrete Dado Panel Paint Finish 'White'
⑬	Aluminium Cladding 'Copper'	⑮	Aluminium Cladding 'Dark Grey'
⑭	Aluminium Cladding 'Pommel Blue'	⑯	Kingspan Colorbond Panel 'Basalt'
⑰	Kingspan Colorbond Highlight Panel 'Off White'	⑲	Aluminum Window Frames - Dark Grey (or sim.)
⑱	Aluminum Window Frames - Dark Grey (or sim.)	⑳	Profiled Metal Roofing - Light Grey
㉑	Metal Roller Shutter Door - 'Galv. Finish'	㉒	Tranlucent Skylight Panel
㉓	Steel Framed Awning - 'Galv. Finish'	㉔	Tenant Signage
㉕	Goodman Sign		
㉖	Colour Back Glass -		
㉗	Aluminium Cladding 'White'		
㉘	Aluminium Cladding 'Grey'		



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Approved Section 96 (1A) (1) (2) Modification Application

No. 8 granted on the 11/7/17

in respect to MP 56D 6078

Signed [Signature]

Sheet No. 10 of 34

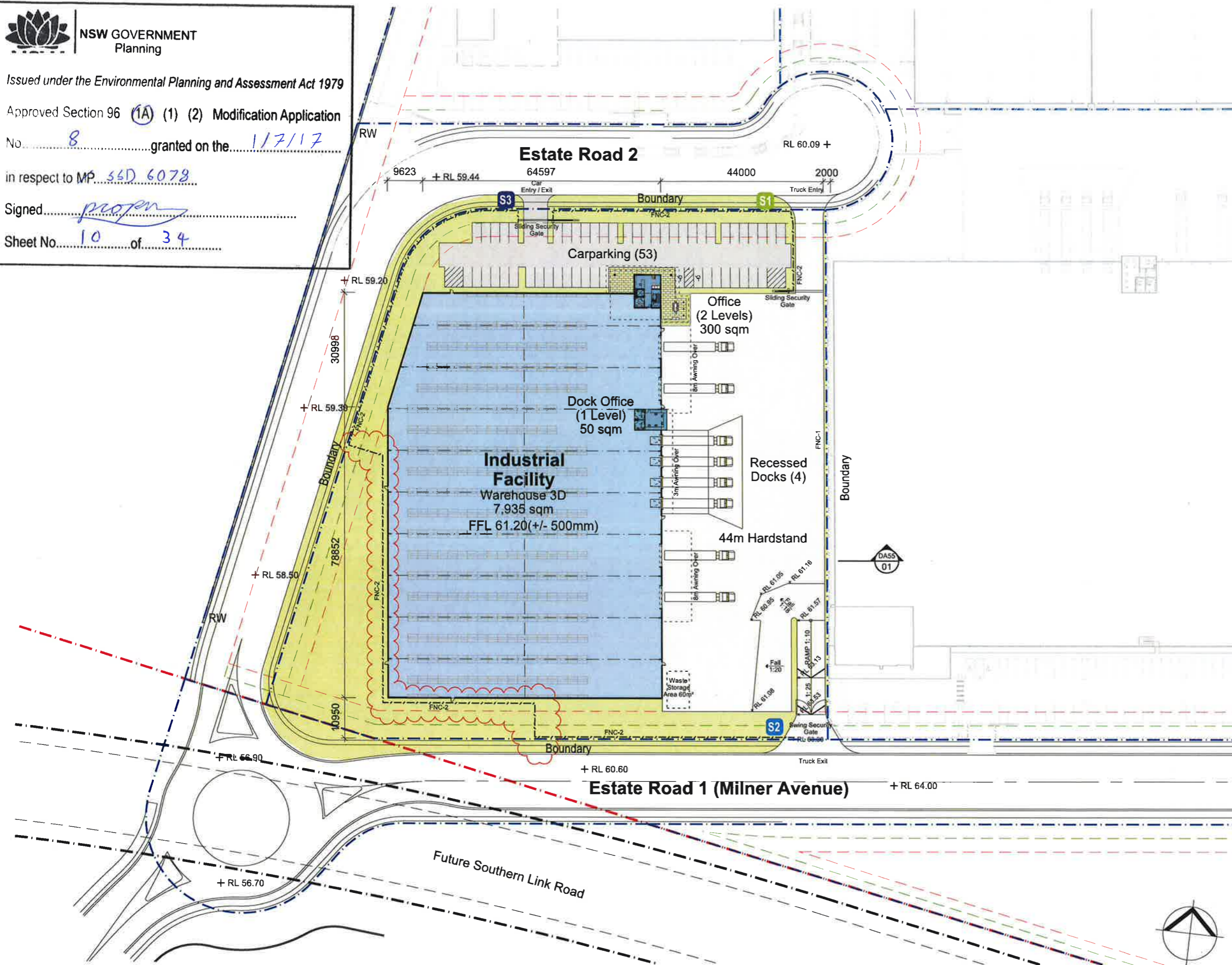


**LEGEND**

- Site Boundary
- Lot Boundary
- Building Setback 7.5m
- Landscape Setback 3.75m
- FNC-1 Chainwire Fencing
- FNC-2 Palisade Fencing
- RW Retaining Wall

**Signage Legend**

- S1 Truck Entry.
- S2 Truck Exit.
- S3 Car Park Entry / Exit



Development Area Schedule	
Site Area	18,795 sqm
Warehouse	7,935 sqm
Office	300 sqm
Dock Office (1 level)	50 sqm
<b>Total Building Area</b>	<b>8,285 sqm</b>
Awning	468 sqm
Site Cover (exc. awning)	44 %
Floor Space Ratio	0.44 : 1
Hardstand Area	5,235 sqm
Light Duty Area	1,505 sqm
Carparking	53



NSW GOVERNMENT  
Planning

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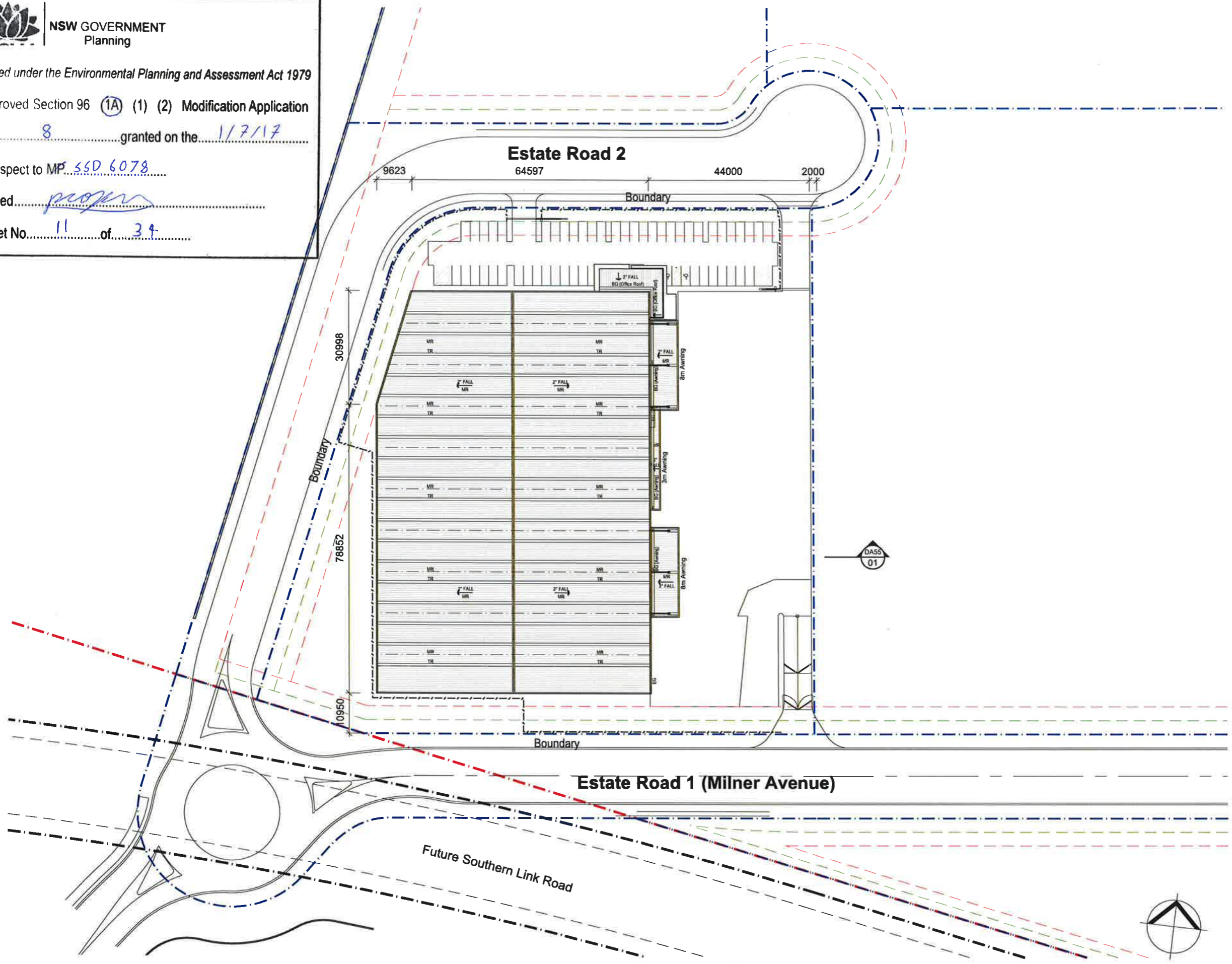
Approved Section 96 (1A) (1) (2) Modification Application

No. 8 granted on the 1/7/17

in respect to MP 55D 6078

Signed [Signature]

Sheet No. 11 of 34



LEGEND	
BG	Box Gutter
EG	Eaves Gutter
MR	Metal Roof Sheetting
TR	Translucent Sheetting



Oakdale CENTRAL  
Horsley Park

Proposed Industrial Facilities - Lot 3D  
Development Application ( Section 96 )

Roof Plan

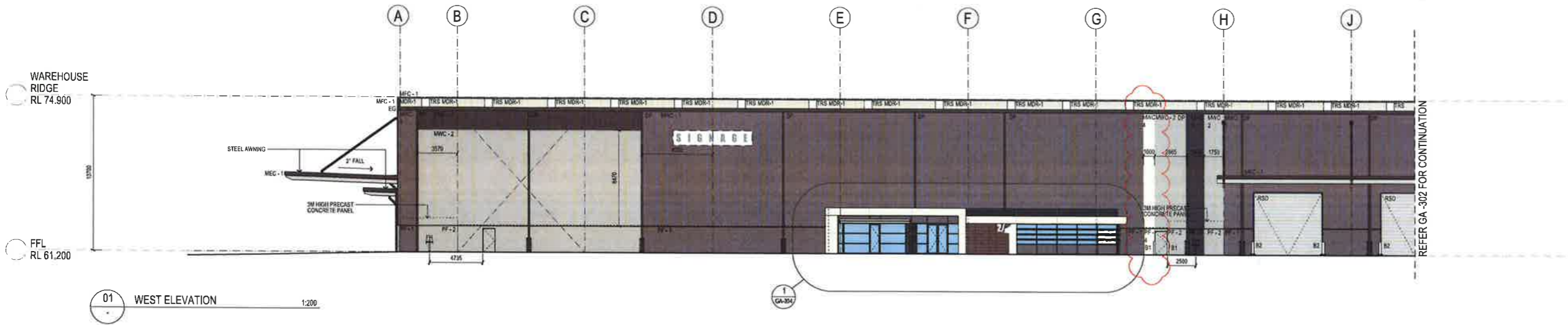
1:500 @ A1  
1:1000 @ A3  
08 May 2017

OAK 3 DA 51(D)

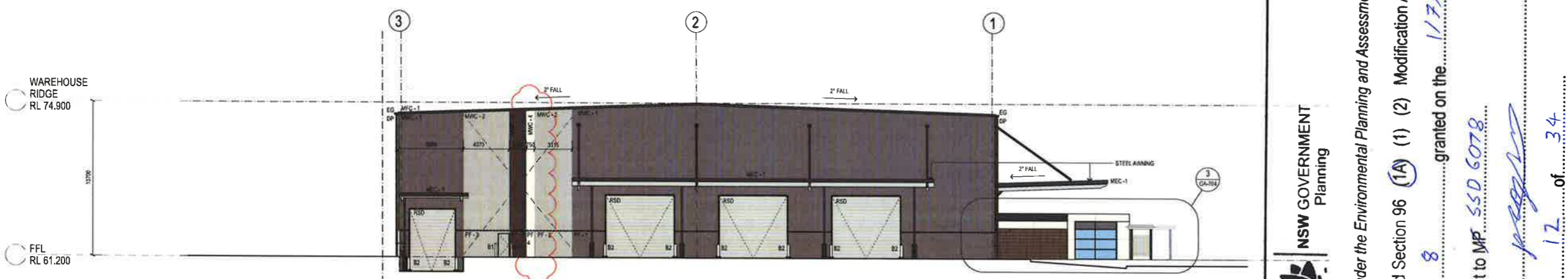
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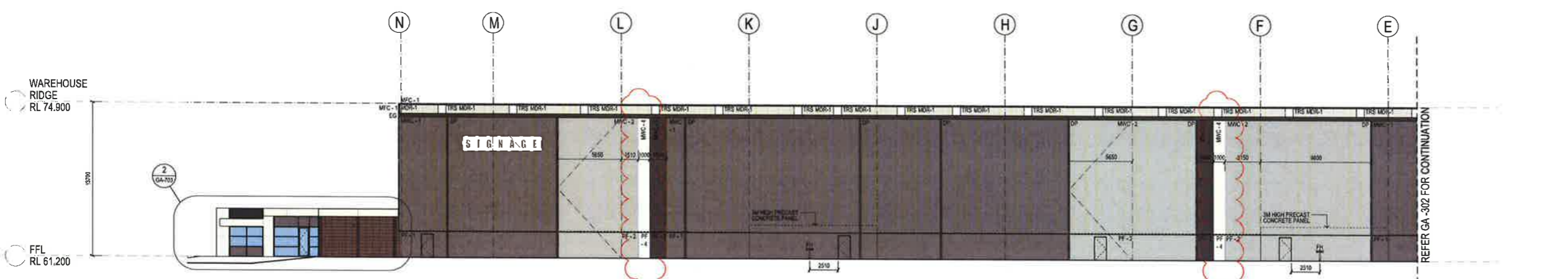
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01 WEST ELEVATION 1:200



02 NORTH ELEVATION 1:200



03 EAST ELEVATION 1:200

**NSW GOVERNMENT**  
Planning

Issued under the *Environmental Planning and Assessment Act 1979*  
Approved Section 96 (1A) (1) (2) Modification Application  
No. 8 granted on the 1/7/17  
in respect to MP 55D 6078  
Signed *[Signature]*  
Sheet No. 12 of 34

**EXTERNAL FINISHES LEGEND**

- ALC-1 COMPOSITE ALUMINUM CLADDING ALUCOBOND ANODIZED LOOK C34
- ALC-2 COMPOSITE ALUMINUM CLADDING ALUCOBOND PURE WHITE
- DP- PAINTED DOWNPIPE AND EXTERNAL COLUMN COLOUR TO MATCH COLORBOND MONUMENT
- EG- PREFINISHED EAVES CUTTER COLORBOND MONUMENT
- GL-1 VISION GLAZING
- GL-2 COLOURBACK GLAZING COLOUR TO MATCH COLORBOND BASALT
- MFC-1 PREFINISHED FOLDED METAL CAPPING COLORBOND MONUMENT
- MFC-2 PREFINISHED FOLDED METAL CAPPING COLORBOND MONUMENT
- MOR-1 METAL DECK ROOF SHEETING - XLP-LOK - ZINCALUME (FOR BOTH OFFICE & WH)
- MWC-1 METAL WALL CLADDING TRIMDEK - COLORBOND BASALT
- MWC-2 METAL WALL CLADDING TRIMDEK - COLORBOND SHALE GREY
- MWC-3 METAL WALL CLADDING TRIMDEK - COLORBOND MONUMENT
- MWC-4 METAL WALL CLADDING TRIMDEK - TO MATCH DUXAL 'ALPHATEC WHITE'
- PCA - POLYCASTER ALUMINUM GLAZING FRAME - DUXAL ZEUS DARK GREY
- PF-1 PAINTED PRECAST CONCRETE PANEL TO MATCH COLORBOND BASALT
- PF-2 PAINTED PRECAST CONCRETE PANEL TO MATCH COLORBOND SHALE GREY
- PF-3 PAINTED PRECAST CONCRETE PANEL TO MATCH COLORBOND MONUMENT
- PF-4 PAINTED PRECAST CONCRETE PANEL TO MATCH COLORBOND 'SURFMIST'
- RSD GALVANISED PAINT FINISH TO MATCH COLORBOND SHALE GREY
- PAINTED ROLLER SHUTTER FRAME TO MATCH COLORBOND MONUMENT
- TFS - TERRACE XP LINEAR COLOUR - TENANT
- TRS - TRANSLUCENT ROOF SHEETING

ISSUE	REV.	DESCRIPTION	DATE
C		ISSUED FOR APPROVAL	04/04/2017
B		ISSUED FOR APPROVAL	31/03/2017
A		ISSUED FOR CONSTRUCTION	21/03/2017
P3		ISSUED FOR COORDINATION	13/03/2017
P2		ISSUED FOR COORDINATION	24/11/2016
P1		ISSUED FOR REVIEW	27/11/2016

**SBA ARCHITECTS**

Commercial Industrial Professional Service Creative Design

Suite 702, 83 Mount Street, North Sydney NSW 2060  
 T 02 9928 8988 F 02 9929 8839  
 E info@sbarch.com.au W www.sbarch.com.au

**Qanstruct**  
Partner of choice

**Goodman**

PROJECT  
**INDUSTRIAL FACILITY  
LOT 3A - OAKDALE CENTRAL  
HORSLEY PARK**

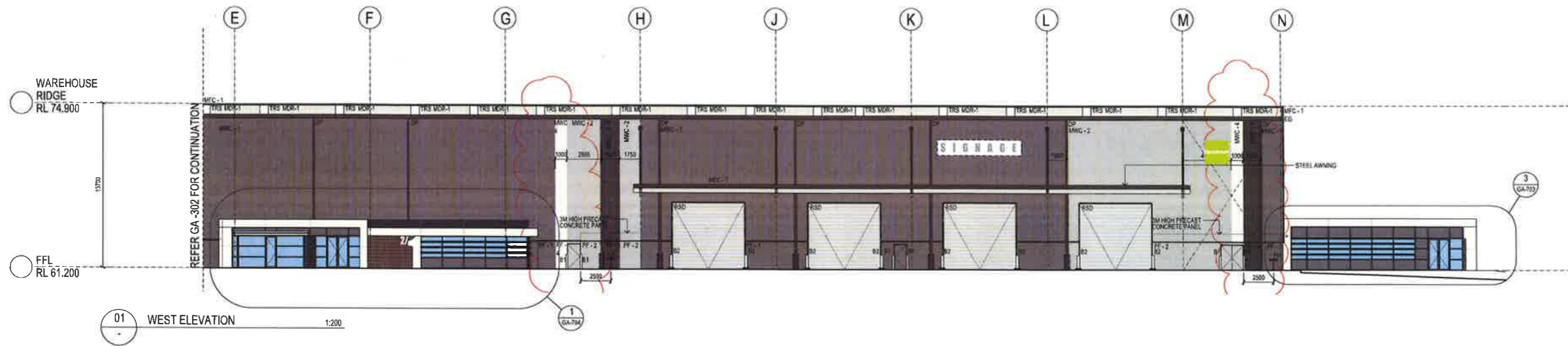
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**OVERALL COLOURED ELEVATIONS  
SHEET 1 - WEST, NORTH & EAST**

DATE	05/09/16	PROJECT No.	
SCALE	1:200 @ A1		<b>16207</b>
DRAWN	VV / JA		
CHECKED		DWG No.	
APPROVED			<b>GA - 701 C</b>

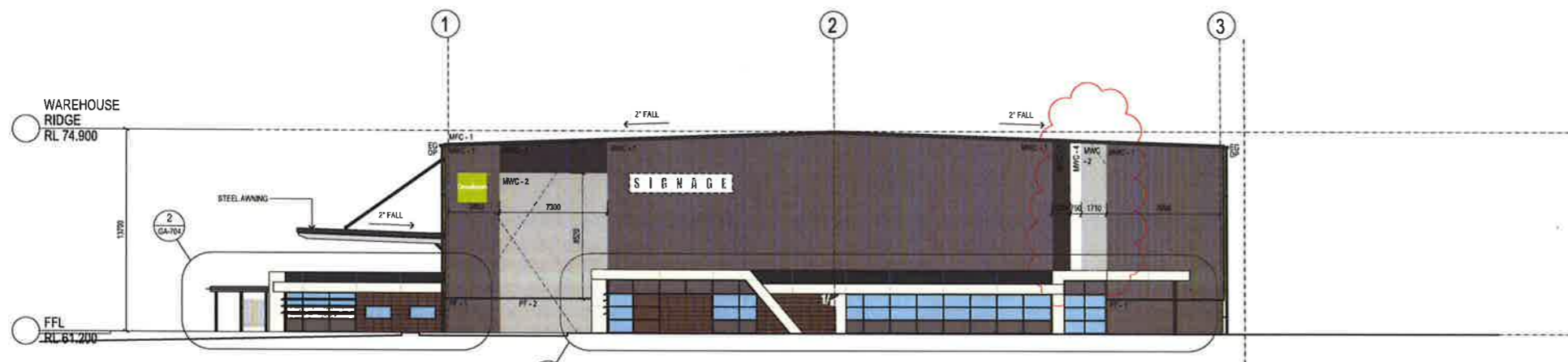
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FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING. ALL DIMENSIONS TO BE CHECKED ON SITE

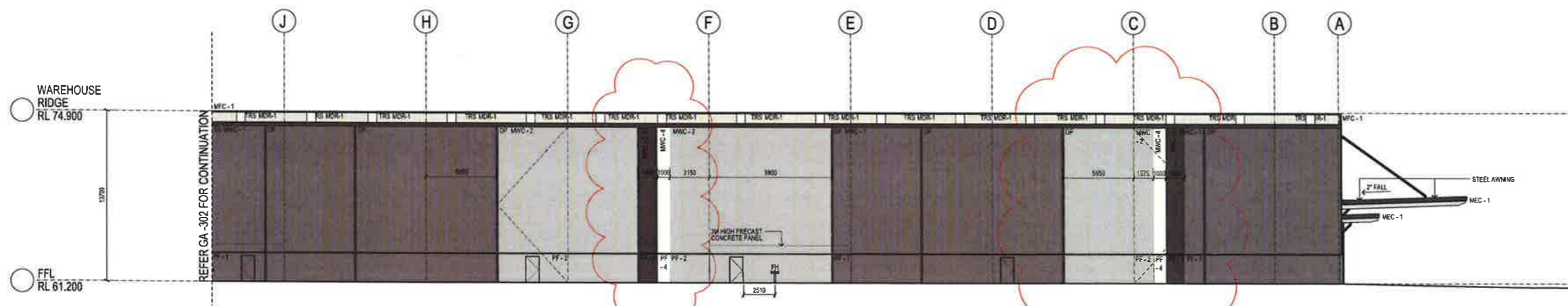
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01 WEST ELEVATION 1:200



02 SOUTH ELEVATION 1:200



03 EAST ELEVATION 1:200

NSW GOVERNMENT Planning  
 Issued under the Environmental Planning and Assessment Act 1979  
 Approved Section 96 (1A) (1) (2) Modification Application  
 No. 8 granted on the 11/7/17  
 in respect to MP SSD 6078  
 Signed [Signature]  
 Sheet No. 13 of 38

EXTERNAL FINISHES LEGEND

- ALC-1 COMPOSITE ALUMINUM CLADDING ALUCOBOND 'ANODED LOOK CF'
- ALC-2 COMPOSITE ALUMINUM CLADDING ALUCOBOND 'PURE WHITE'
- DP - PAINTED DOWNPIPE AND EXTERNAL COLUMN COLOUR TO MATCH COLORBOND MONUMENT
- EG - PREFINISHED EAVES GUTTER COLORBOND 'MONUMENT'
- GL-1 VISION GLAZING
- GL-2 COLOURBACK GLAZING COLOUR TO MATCH COLORBOND BASALT
- MFC-1 - PREFINISHED FOLDED METAL CAPPING COLORBOND MONUMENT
- MEC-1 - PREFINISHED FOLDED METAL CAPPING COLORBOND MONUMENT
- MDB-1 METAL DECK ROOF SHEETING - KUP-LUX - ZINC ALUMINE FOR BOTH OFFICE & WH
- MWC-1 METAL WALL CLADDING TRIMDEX - COLORBOND 'BASALT'
- MWC-2 METAL WALL CLADDING TRIMDEX - COLORBOND 'SHALE GREY'
- MWC-3 METAL WALL CLADDING TRIMDEX - COLORBOND 'MONUMENT'
- MWC-4 METAL WALL CLADDING TRIMDEX - TO MATCH DULUX 'ALPHATEC WHITE'
- PC-1 POWDERCOATED ALUMINUM GLAZING FRAME - DULUX ZEUS DARK GREY
- PF-1 PAINTED PRECAST CONCRETE PANEL TO MATCH COLORBOND 'BASALT'
- PF-2 PAINTED PRECAST CONCRETE PANEL TO MATCH COLORBOND 'SHALE GREY'
- PF-3 PAINTED PRECAST CONCRETE PANEL TO MATCH COLORBOND 'MONUMENT'
- PF-4 PAINTED PRECAST CONCRETE PANEL TO MATCH COLORBOND 'SURFMIST'
- RSD GALVANISED PAINT FINISH TO MATCH COLORBOND 'SHALE GREY'
- PAINTED ROLLER SHUTTER FRAME TO MATCH COLORBOND 'MONUMENT'
- TFS - TERRAZO XP LINEAR COLOUR - TENANT
- TRS - TRANSLUCENT ROOF SHEETING

ISSUE	REV.	DESCRIPTION	DATE
B		ISSUED FOR APPROVAL	31.03.2017
A		ISSUED FOR CONSTRUCTION	21.02.2017
P2		ISSUED FOR COORDINATION	13.02.2017
P1		ISSUED FOR COORDINATION	24.11.2016
		ISSUED FOR REVIEW	22.02.2016

ARCHITECT

**SBA** ARCHITECTS

Commercial Industrial Residential Social Services

Suite 702, 83 Mount Street, North Sydney NSW 2060  
 T 02 9929 9088 F 02 9929 8898  
 E info@sbaarch.com.au W www.sbaarch.com.au

BUILDER

**Qanstruct**  
 Partner of choice

CLIENT

**Goodman**

PROJECT  
**INDUSTRIAL FACILITY  
 LOT 3A - OAKDALE CENTRAL  
 HORSLEY PARK**

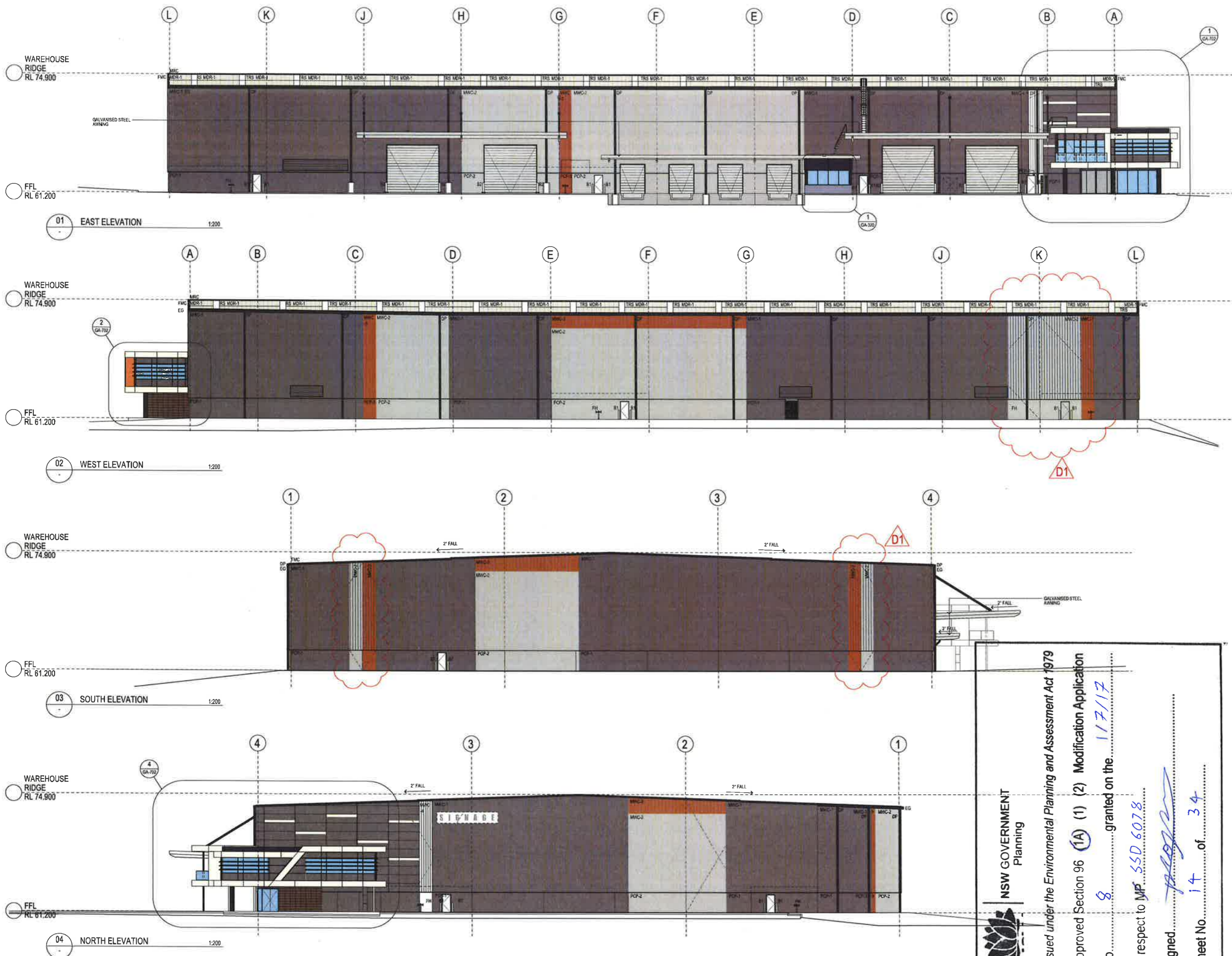
TITLE  
**OVERALL COLOURED ELEVATIONS  
 SHEET 2 - WEST, SOUTH & EAST**

DATE	05.09.16	PROJECT No.	
SCALE	1:200 @ A1		<b>16207</b>
DRAWN	VV/JA		
CHECKED		DWG No.	ISSUE
APPROVED			<b>GA - 702 B</b>

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FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING. ALL DIMENSIONS TO BE CHECKED ON SITE

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**EXTERNAL FINISHES LEGEND**

- AL-1 POWDERCOATED ALUMINUM GLAZING FRAME - DULUX ZEUS DARK GREY
- ALC-1 COMPOSITE ALUMINUM CLADDING ALUCOBOND PURE WHITE
- ALC-2 COMPOSITE ALUMINUM CLADDING ALUCOBOND ANOISED LOOK C24
- ALC-3 COMPOSITE ALUMINUM CLADDING - ALUCOBOND INDIANA COPPER
- DP - PAINTED DOWNPIPE COLOUR TO MATCH COLORBOND MONUMENT
- EG - PREFINISHED EAVES GUTTER COLORBOND MONUMENT
- FMC - PREFINISHED FOLDED METAL CAPPING COLORBOND MONUMENT
- GL-1 VISION GLAZING
- GL-2 COLOURBACK GLAZING COLOUR TO MATCH COLORBOND BASALT
- MOR-1 METAL DECK ROOF SHEETING - KUPA-DK - ZINCALUME
- MWC-1 METAL WALL CLADDING TRIMDEK - COLORBOND BASALT
- MWC-2 METAL WALL CLADDING TRIMDEK - COLORBOND SHALE GREY
- MWC-3 METAL WALL CLADDING TRIMDEK - DULUX ALPHATEC COPPER PEARL
- MWC-4 METAL WALL CLADDING TRIMDEK - DULUX DURATEC ZEUS WHITE
- MWP-1 PREFINISHED INSULATED METAL FACED WALL PANEL - KINGSPAN BENCHMARK EVOLUTION AXIS COLOUR BASALT
- MWP-PF PAINT FINISH TO PREFINISHED INSULATED METAL FACED WALL PANEL COLOUR - OFF WHITE
- PCP-1 PAINTED PRECAST CONCRETE PANEL TO MATCH COLORBOND BASALT
- PCP-2 PAINTED PRECAST CONCRETE PANEL TO MATCH COLORBOND SHALE GREY
- PCP-3 PAINTED PRECAST CONCRETE PANEL TO MATCH DULUX ALPHATEC COPPER PEARL
- PCP-4 PRECAST CONCRETE PANEL
- RSD GALVANISED PAINTED STEEL ROLLER SHUTTER TO MATCH COLORBOND SHALE GREY
- PAINTED ROLLER SHUTTER FRAME TO MATCH COLORBOND MONUMENT
- TER - TERRACE XP LINEAR COLOUR - TENANT
- TRS - TRANSLUCENT ROOF SHEETING

ISSUE	REV.	DESCRIPTION	DATE
B	1	ISSUED FOR APPROVAL	04/04/2017
C	1	Final color rendering issued	26/11/2016
B	1	Final color rendering issued for construction	15/08/2016
A	1	Final color rendering issued for information	10/08/2016

**SBA ARCHITECTS**  
 Suite 702, 83 Mount Street, North Sydney NSW 2060  
 02 9929 9988 02 9929 8898  
 info@sbaarch.com.au www.sbaarch.com.au

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 Design & Construction by  
**PRIME CONSTRUCTIONS**

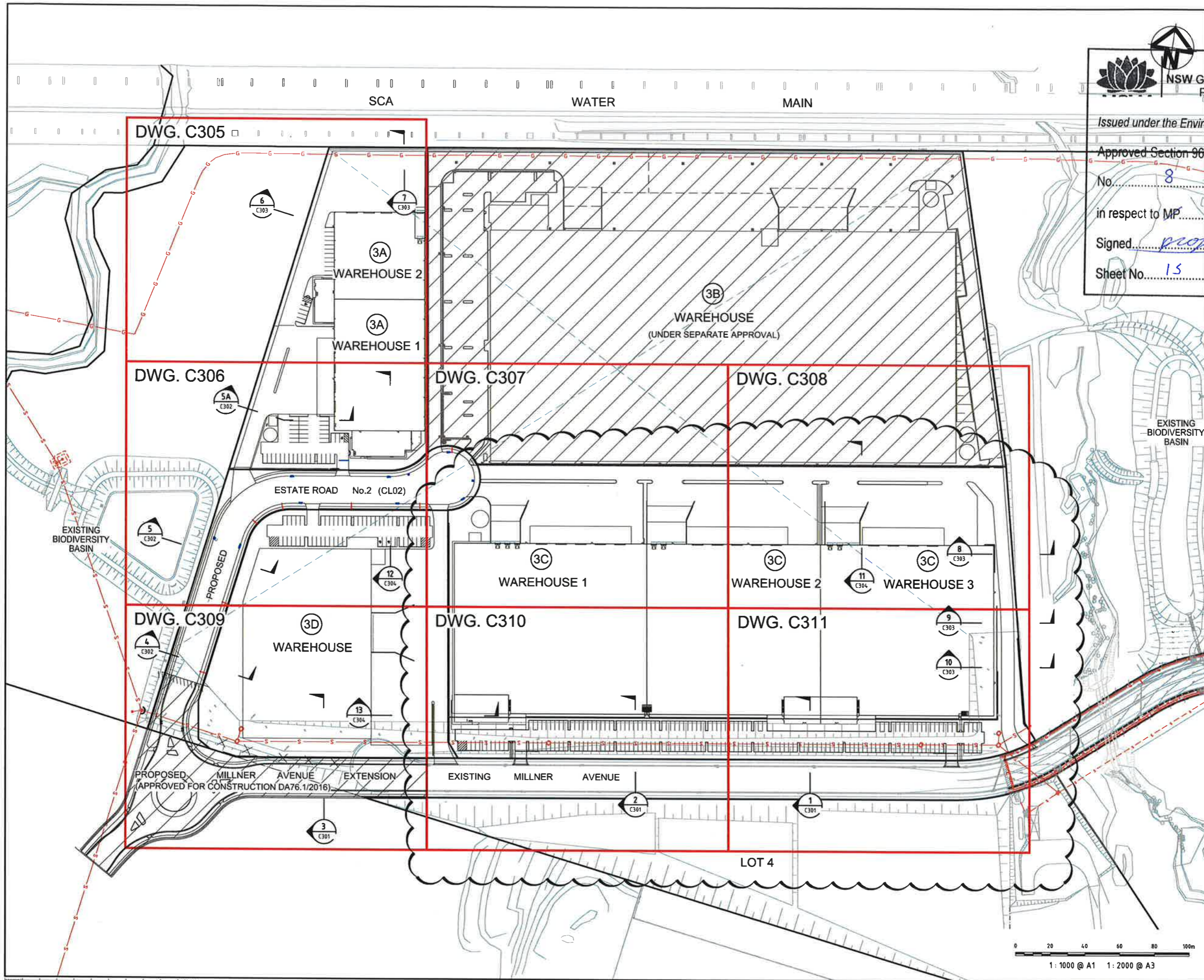
CLIENT


PROJECT  
 DSV  
 LOT 3D - OAKDALE CENTRAL  
 HORSLEY PARK

TITLE  
**OVERALL ELEVATIONS - COLOURED**

DATE	04/04/17	PROJECT No.	16172
SCALE	1:200 @ A1	DRAWN	JA
CHECKED		DWG No.	GA - 701 D
APPROVED		ISSUE	

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 Approved Section 96 (1A) (1) (2) Modification Application  
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 Sheet No. 14 of 34




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 Sheet No. 15 of 34

Issue	Description	Date
J	RE-ISSUED FOR SECTION 96 APPROVAL	30-03-17

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		Designed FX
Height Datum	AHD	Checked MM
Grid	MGA	Approved
File:	C300.dwg	

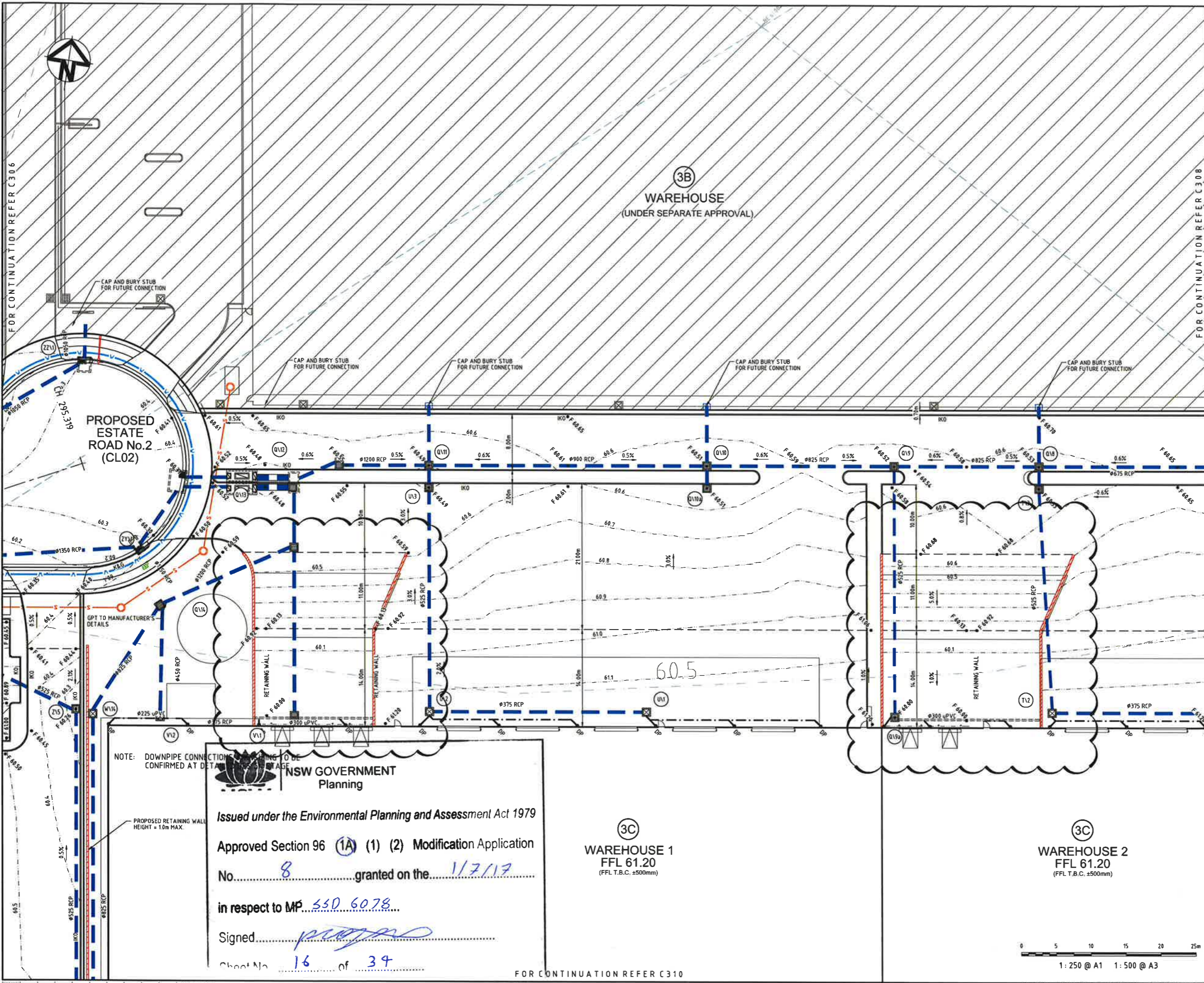


Civil Engineers and Project Managers  
**at&l**  
 Level 7, 153 Walker Street  
 North Sydney NSW 2065  
 ABN 96 130 882 405  
 Tel: 02 9439 1777  
 Fax: 02 9923 1055  
 www.atl.net.au  
 info@atl.net.au

Project: **OAKDALE CENTRAL INDUSTRIAL FACILITIES LOT 3**

Title: **GENERAL ARRANGEMENT PLAN**

Project - Drawing No.	C300	Issue	J
	13-143		



Issue	Description	Date
H	RE-ISSUED FOR SECTION 96 APPROVAL	30-03-17
G	ISSUED FOR SECTION 96 APPROVAL	30-05-16
F	ISSUED FOR SECTION 96 APPROVAL	29-02-16
E	ISSUED FOR CLIENT REVIEW	12-02-16
D	ISSUED FOR SECTION 96 APPROVAL	17-11-15
C	ISSUED FOR SECTION 96 APPROVAL	12-11-15
B	STATE SIGNIFICANT DEVELOPMENT APPLICATION	21-10-13
A	ISSUED FOR CLIENT REVIEW	11-10-13

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	NOT TO BE USED FOR CONSTRUCTION		
Scales	1:250 @ A1	Drawn FX	
		Designed FX	
Height Datum	AHD	Checked MM	
Grid	MGA	Approved	
File:	C307.dwg		



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**at&l**  
 Level 7, 153 Walker Street  
 North Sydney NSW 2065  
 ABN 96 130 882 405  
 Tel: 02 9439 1777  
 Fax: 02 9923 1055  
 www.atl.net.au  
 info@atl.net.au

Project  
**OAKDALE CENTRAL INDUSTRIAL FACILITIES LOT 3**

Title  
**SITWORKS AND STORMWATER DRAINAGE PLAN SHEET 3**

Project - Drawing No.	C307	13-143	Issue	H
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NOTE: DOWNPIPE CONNECTIONS TO BE CONFIRMED AT DETAIL STAGE

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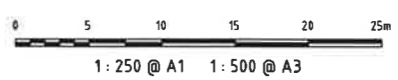
Approved Section 96 (1A) (1) (2) Modification Application No. 8 granted on the 11/7/17 in respect to MP SSD 6078

Signed [Signature]

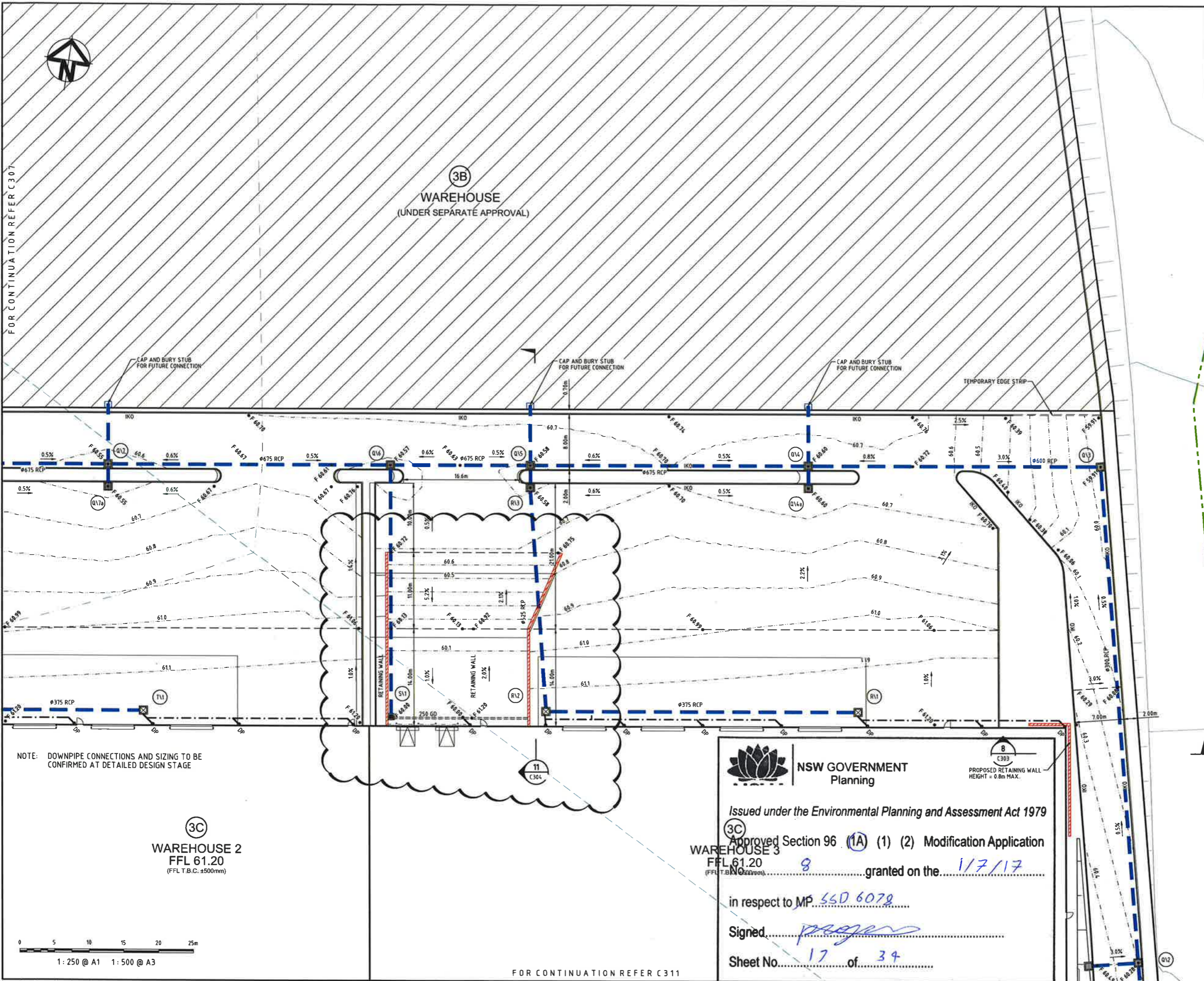
Sheet No 16 of 34

**3C**  
 WAREHOUSE 1  
 FFL 61.20  
 (FFL T.B.C. ±500mm)

**3C**  
 WAREHOUSE 2  
 FFL 61.20  
 (FFL T.B.C. ±500mm)



FOR CONTINUATION REFER C310



FOR CONTINUATION REFER C307

3B  
WAREHOUSE  
(UNDER SEPARATE APPROVAL)

NOTE: DOWNPIPE CONNECTIONS AND SIZING TO BE CONFIRMED AT DETAILED DESIGN STAGE

3C  
WAREHOUSE 2  
FFL 61.20  
(FFL T.B.C. ±500mm)



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3C Approved Section 96 (1A) (1) (2) Modification Application  
WAREHOUSE 3  
FFL 61.20  
(FFL T.B.C. ±500mm) No. 8 granted on the 1/7/17

in respect to MP 550 6078  
Signed: *[Signature]*

Sheet No. 17 of 34

8  
C303  
PROPOSED RETAINING WALL  
HEIGHT = 0.8m MAX.

0 5 10 15 20 25m  
1: 250 @ A1 1: 500 @ A3

FOR CONTINUATION REFER C311

Issue	Description	Date
H	RE-ISSUED FOR SECTION 96 APPROVAL	30-03-17
G	ISSUED FOR SECTION 96 APPROVAL	30-05-16
F	ISSUED FOR SECTION 96 APPROVAL	29-02-16
E	ISSUED FOR CLIENT REVIEW	12-02-16
D	ISSUED FOR SECTION 96 APPROVAL	17-11-15
C	ISSUED FOR SECTION 96 APPROVAL	12-11-15
B	STATE SIGNIFICANT DEVELOPMENT APPLICATION	21-10-13
A	ISSUED FOR CLIENT REVIEW	11-10-13

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Scale	1: 250 @ A1	Drawn FX	
		Designed FX	
Height Datum	AHD	Checked MM	
Grid	MGA	Approved	
File:	C308.dwg		



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**at&l**  
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North Sydney NSW 2065  
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Fax: 02 9523 1055  
www.atl.net.au  
info@atl.net.au

Project: **OAKDALE CENTRAL INDUSTRIAL FACILITIES LOT 3**

Title: **SITeworks AND STORMwater DRAINAGE PLAN SHEET 4**

Project - Drawing No.	C308	Issue	H
	13-143		

**LEGEND**

- SEDIMENT FENCE (SD 6-8)
- CATCH DRAIN
- BARRIER FENCE
- MESH AND GRAVEL INLET FILTER (SD 6-11)
- GEOTEXTILE INLET (SD 6-12)
- STABILISED SITE ACCESS AND TRUCK WASH DOWN AREA (SD 6-14)
- ACCESS GATES

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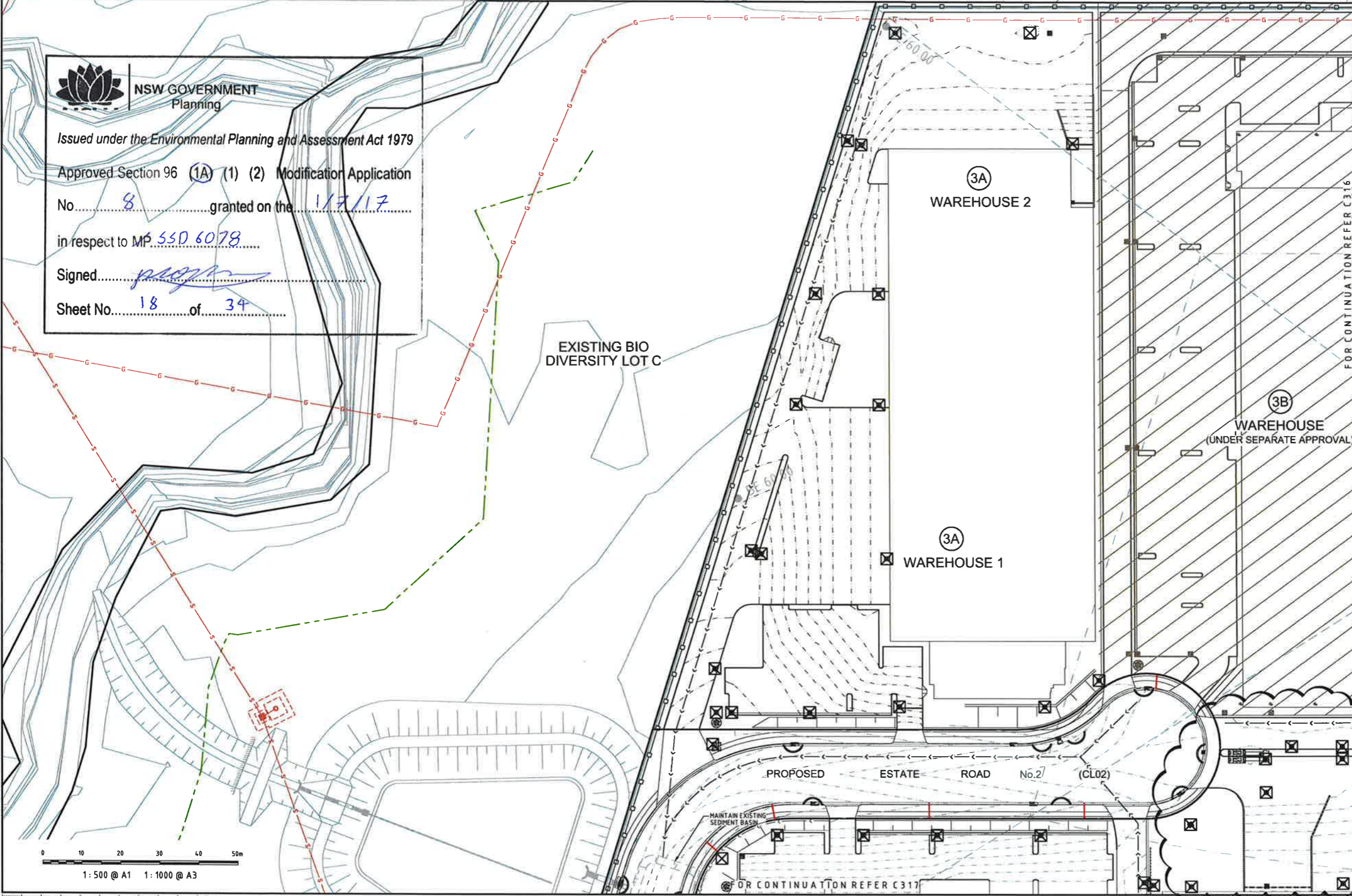
Approved Section 96 (1A) (1) (2) Modification Application

No. 8 granted on the 1/7/17

in respect to MP 550 6078

Signed.....

Sheet No. 18 of 34



FOR CONTINUATION REFER C316

Issue	Description	Date
J	RE-ISSUED FOR SECTION 96 APPROVAL	30-03-17

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Scales: 1 : 500 @ A1

Drawn FX	
Designed FX	
Checked MM	
Approved	

Height Datum: AHD  
Grid: MGA

File: C315.dwg

Client:

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Tel: 02 9439 1777  
Fax: 02 9923 1055  
www.atl.net.au  
info@atl.net.au

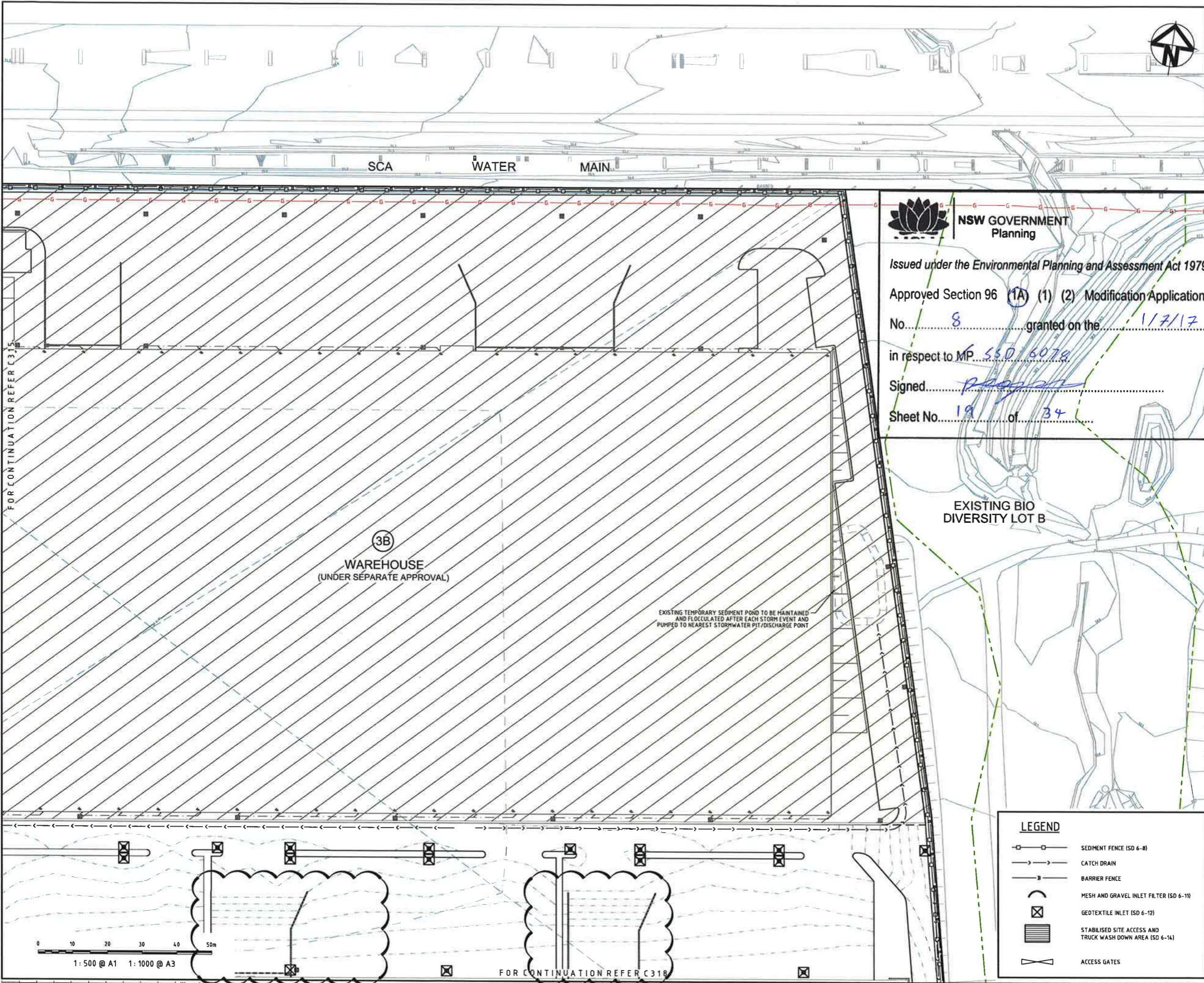
Project: **OAKDALE CENTRAL INDUSTRIAL FACILITIES LOT 3**

Title: **SEDIMENTATION AND EROSION CONTROL PLAN SHEET 1**

Project - Drawing No. C315 13-143 Issue J

0 10 20 30 40 50m

1: 500 @ A1 1: 1000 @ A3



H	RE-ISSUED FOR SECTION 96 APPROVAL	30-03-17
G	ISSUED FOR SECTION 96 APPROVAL	30-05-16
F	ISSUED FOR SECTION 96 APPROVAL	29-02-16
E	ISSUED FOR CLIENT REVIEW	12-02-16
D	ISSUED FOR SECTION 96 APPROVAL	17-11-15
C	ISSUED FOR SECTION 96 APPROVAL	12-11-15
B	STATE SIGNIFICANT DEVELOPMENT APPLICATION	21-10-13
A	ISSUED FOR CLIENT REVIEW	11-10-13

Issue	Description	Date
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Status: **FOR APPROVAL** A1  
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Scales	1: 500 @ A1	Drawn FX
		Designed FX
Height Datum	AHD	Checked MM
Grid	MGA	Approved

File: C316.dwg

Client:

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Fax: 02 9923 1055  
www.atl.net.au  
info@atl.net.au

Project: **OAKDALE CENTRAL INDUSTRIAL FACILITIES LOT 3**

Title: **SEDIMENTATION AND EROSION CONTROL PLAN SHEET 2**

Project - Drawing No.	C316	13-143	Issue	H
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Date Plotted: 30 Mar 2017 - 05:26PM File Name: F:\13-143 Oakdale - SSD Application\Orgs\Civil\Final\Lots 1C 2B 3A 3B\C316.dwg



NSW GOVERNMENT  
Planning

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Approved Section 96 (1A) (1) (2) Modification Application

No. 8 granted on the 1/7/17

in respect to MP 55D 6078

Signed: *[Signature]*

Sheet No. 20 of 34

SCA WATER MAIN

BIO DIVERSITY LOT C

3A  
WAREHOUSE 2

3A  
WAREHOUSE 1

3B  
WAREHOUSE  
(UNDER SEPARATE APPROVAL)

PROPOSED ESTATE ROAD No.2 (CL02)

FOR CONTINUATION REFER C321

FOR CONTINUATION REFER C322

PAVEMENT LEGEND	
	HEAVY DUTY RIGID PAVEMENT
	ESTATE ROAD PAVEMENT
	ASPHALT PAVEMENT
	VEHICULAR CROSSING PAVEMENT
	FOOTPATH PAVEMENT



Issue	Description	Date
J	RE-ISSUED FOR SECTION 96 APPROVAL	30-03-17

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1: 500 @ A1	FX	FX	MM	
Height Datum	AHD			
Grid	MGA			

File: C320.dwg



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 ABN 96 130 882 405  
 Tel: 02 9439 1777  
 Fax: 02 9823 1055  
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 info@atl.net.au

Project: OAKDALE CENTRAL INDUSTRIAL FACILITIES LOT 3

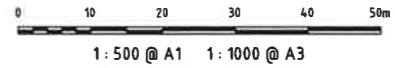
Title: PAVEMENT PLAN SHEET 1

Project - Drawing No.	Issue
C320 13-143	J



SCA " WATER " MAIN

PAVEMENT LEGEND	
	HEAVY DUTY RIGID PAVEMENT
	ESTATE ROAD PAVEMENT
	ASPHALT PAVEMENT
	VEHICULAR CROSSING PAVEMENT
	FOOTPATH PAVEMENT



FOR CONTINUATION REFER C320

**NSW GOVERNMENT Planning**

**WAREHOUSE**  
(UNDER SEPARATE APPROVAL)

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No. 8 granted on the 11/7/13  
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FOR CONTINUATION REFER C323

BIO DIVERSITY LOT B

Issue	Description	Date
H	RE-ISSUED FOR SECTION 96 APPROVAL	30-03-17
G	ISSUED FOR SECTION 96 APPROVAL	30-05-16
F	ISSUED FOR SECTION 96 APPROVAL	29-02-16
E	ISSUED FOR CLIENT REVIEW	12-02-16
D	ISSUED FOR SECTION 96 APPROVAL	17-11-15
C	ISSUED FOR SECTION 96 APPROVAL	12-11-15
B	STATE SIGNIFICANT DEVELOPMENT APPLICATION	21-10-13
A	ISSUED FOR CLIENT REVIEW	11-10-13

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Status	<b>FOR APPROVAL</b>		<b>A1</b>
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Scales	1: 500 @ A1	Drawn FX	
		Designed FX	
Height Datum	AHD	Checked MM	
Grid	MGA	Approved	
File:	C321.dwg		



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**at&l**  
Level 7, 153 Walker Street  
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Fax: 02 9523 1055  
www.atl.net.au  
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Project  
**OAKDALE CENTRAL INDUSTRIAL FACILITIES LOT 3**

Title  
**PAVEMENT PLAN SHEET 2**


Project - Drawing No.	C321	13-143	Issue	H
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# PROPOSED INDUSTRIAL FACILITY

Oakdale Central Lot 3C,  
HORSLEY PARK, NSW  
LANDSCAPE TENDER

## DRAWINGS

DWG NO.	DRAWING TITLE	SCALE
000	COVERSHEET	N/A
101	LANDSCAPE PLAN	1:200
102	LANDSCAPE PLAN	1:200
103	LANDSCAPE PLAN	1:200
104	LANDSCAPE PLAN	1:200
105	LANDSCAPE PLAN	1:200
106	LANDSCAPE PLAN	1:200
501	LANDSCAPE DETAILS	AS SHOWN



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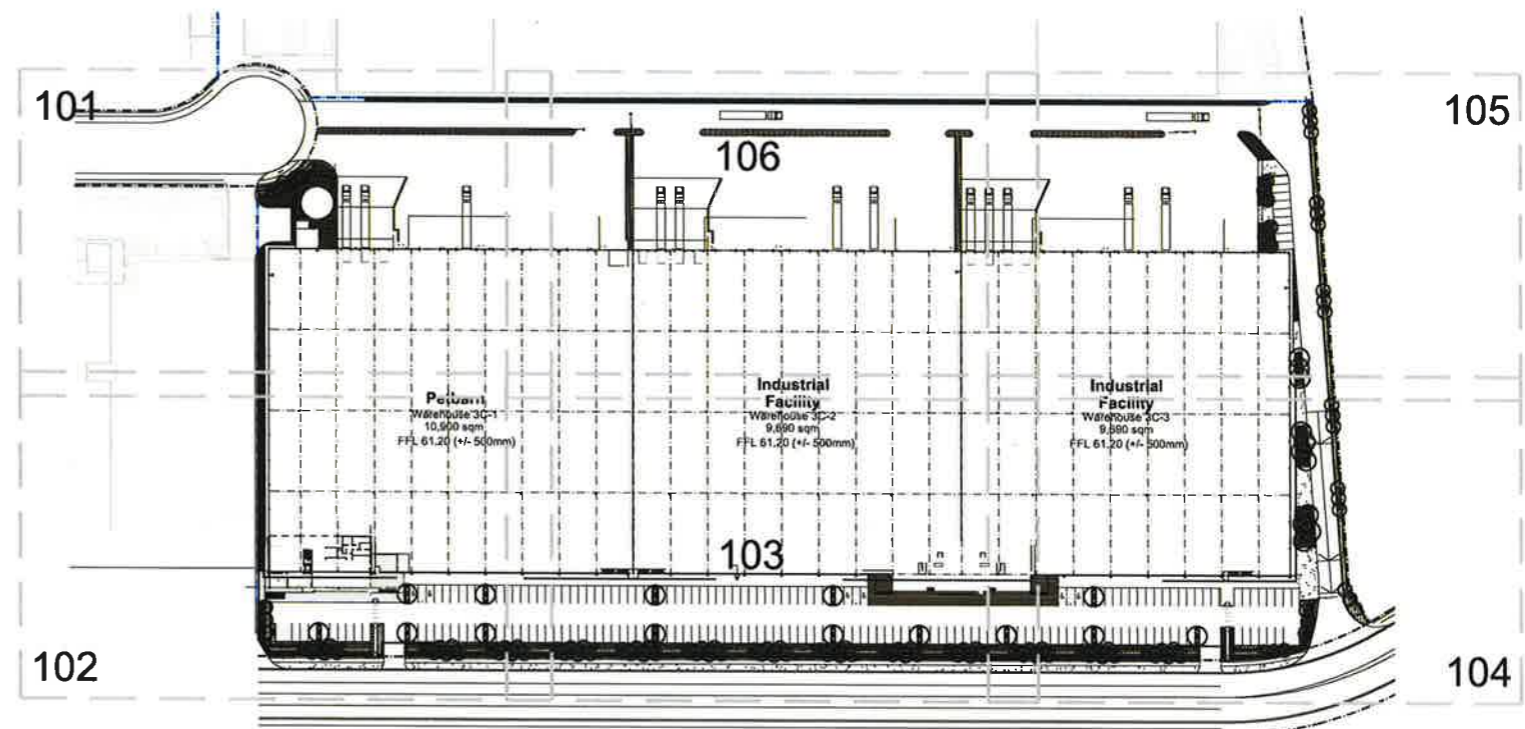
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Issue	Revision Description	Drawn	Check	Date
D	Architectural Coordination	JW	NM	24.05.2017
C	Plant Species Adjusted	JW	NM	01.08.2016
B	Pump Relocation	JW	NM	31.05.2016
A	For Comment	JW	NM	25.05.2016

### LEGEND

Key Plan:



### SITE IMAGE



Client:  
**Goodman**

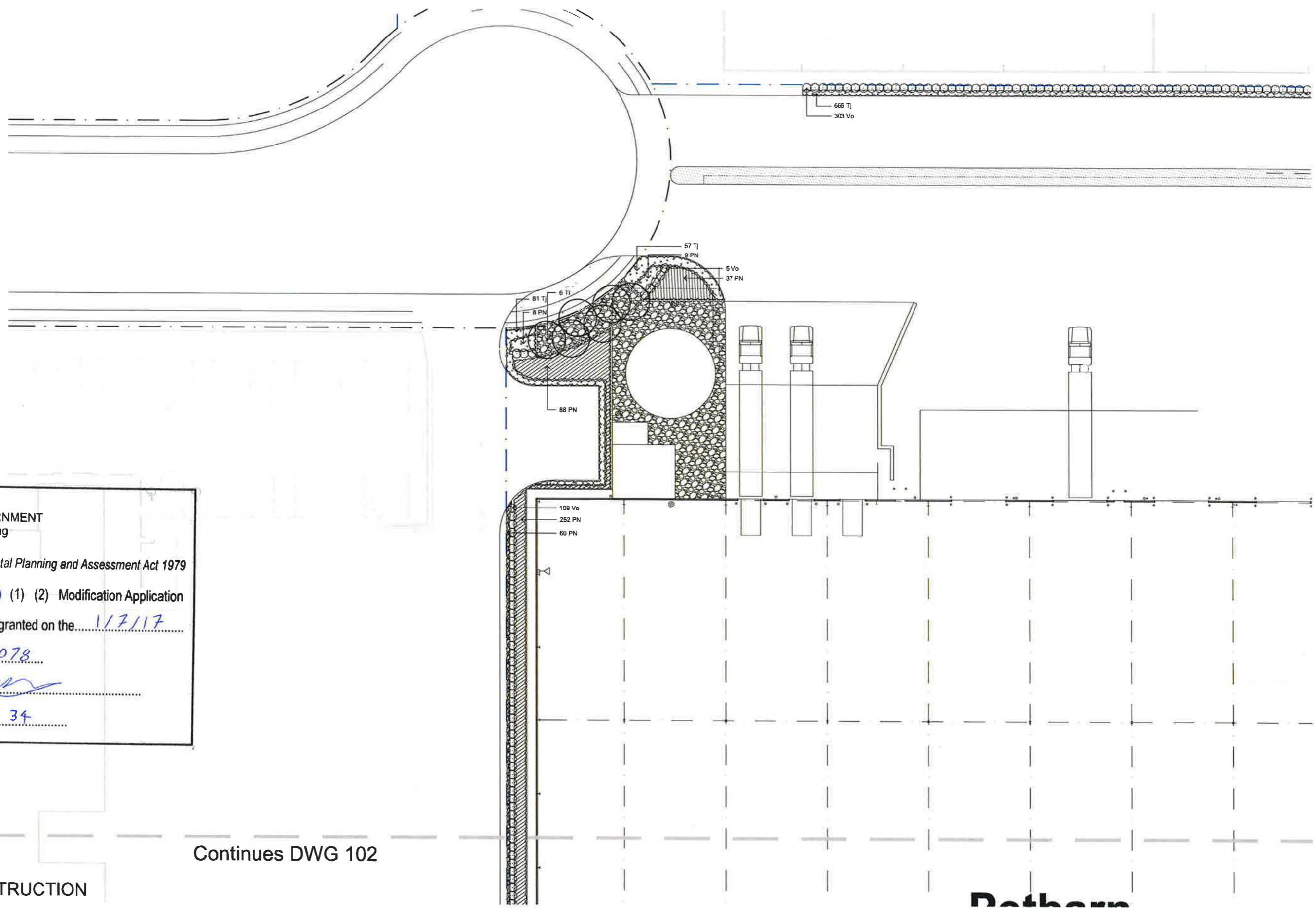
Project:  
**Proposed Industrial Facility  
Oakdale Central Lot 3C  
Horsley Park, NSW**


Drawing Name:  
**Coversheet**

Job Number:  
**SS16-3331**

**TENDER**

Drawing Number:  
**000 D**




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Continues DWG 102

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Issue	Revision Description	Drawn	Check	Date
C	Architectural Coordination	JW	NM	24.05.2017
B	Pump Relocation	JW	NM	31.05.2016
A	For Comment	JW	NM	25.05.2016

LEGEND		Key Plan:	
	Property Boundary		Proposed Shrubs and Accents
	Proposed Trees		Turf
	Proposed Grasses and Groundcovers		Feature Rock Ballast
	'Kwik Kerb' Concrete Edge refer specification (Not Part of these works)		Sandstone Boulders in Decomposed Granite
	Mulch		



**SITE IMAGE**  
 Landscape Architects  
 Level 1, 3-5 Hazlett Street  
 Redfern NSW 2016  
 Australia  
 Tel: (01 2) 8332 5800  
 Fax: (01 2) 9596 2877  
 www.siteimage.com.au

Client: **Goodman**  
 Project: **Proposed Industrial Facility  
 Oakdale Central Lot 3C  
 Horsely Park, NSW**

Drawing Name: **Landscape Plan**

**TENDER**

Scale: 1:200 @ A1  
 Job Number: **SS16-3331**



# Petbarn

## Warehouse 3C-1

10,900 sqm  
FFL 61.20 (+/- 500mm)

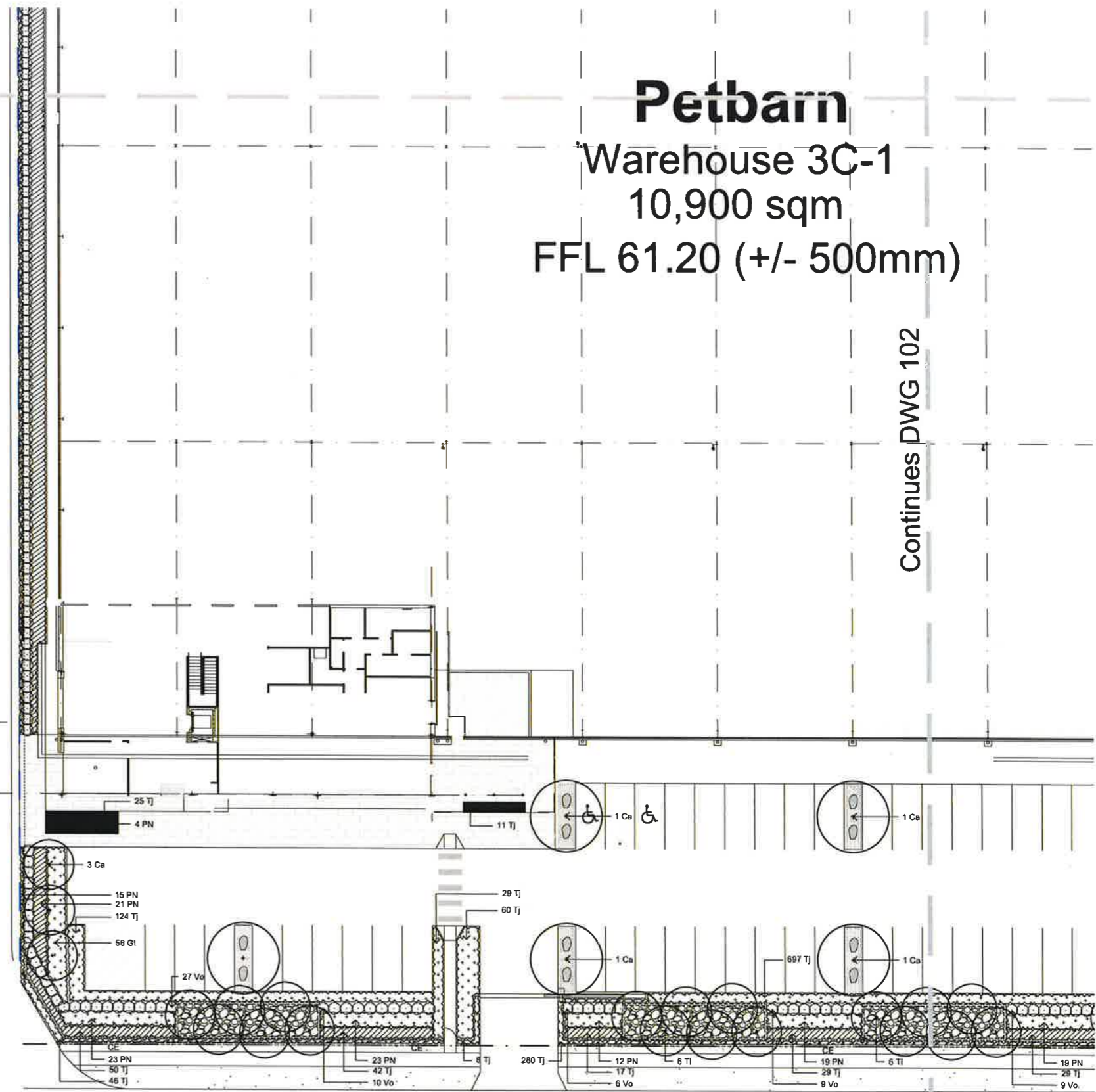
Continues DWG 102



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Issue	Revision Description	Drawn	Check	Date
C	Architectural Coordination	JW	NM	24.05.2017
B	Plant Species Adjusted	JW	NM	01.06.2016
A	For Comment	JW	NM	25.05.2016

**LEGEND**

	Property Boundary		Proposed Shrubs and Accents		'Kwik Kerb' Concrete Edge refer specification (Not Part of these works)
	Proposed Trees		Turf		Sandstone Boulders in Decomposed Granite
	Proposed Grasses and Groundcovers		Feature Rock Ballast		Mulch

Key Plan:



**SITE IMAGE**



Landscape Architects  
Level 1, 3-5 Bapfield Street  
Redfern NSW 2016  
Australia  
Tel: (01 2) 8332 5600  
Fax: (01 2) 8688 2877  
www.siteimage.com.au

Client:  
**Goodman**

Project:  
**Proposed Industrial Facility  
Oakdale Central Lot 3C  
Horsely Park, NSW**

Drawing Name:  
**Landscape Plan**

Scale: 1:200 @ A1  
Job Number:  
**SS16-3331**

**TENDER**



Drawing Number: 102 C

# Industrial Facility

## Warehouse 3C-2

9,690 sqm  
FFL 61.20 (+/- 500mm)

Continues DWG 102

Continues DWG 104

 **NSW GOVERNMENT Planning**

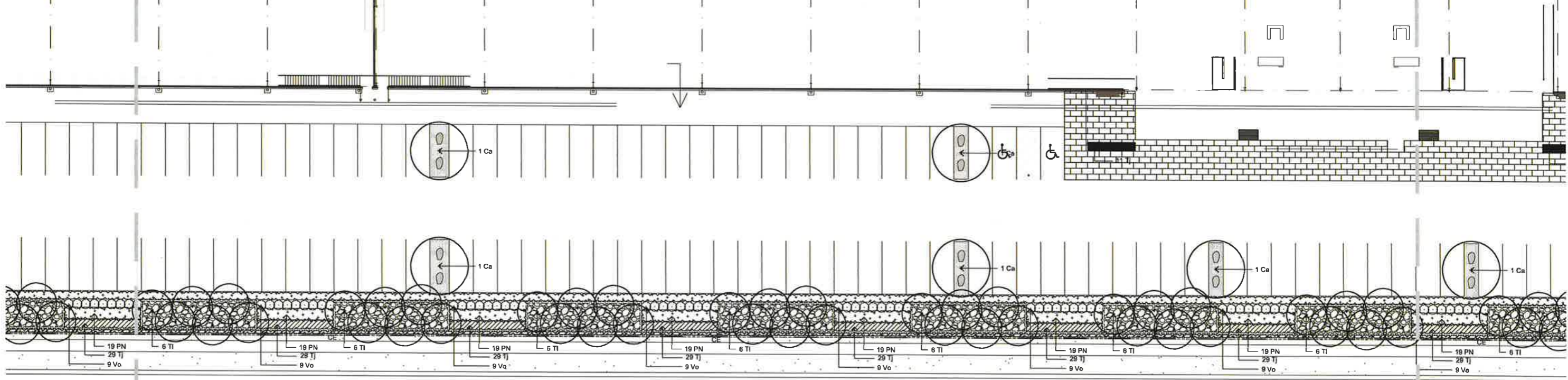
Issued under the *Environmental Planning and Assessment Act 1979*

Approved Section 96 (1A) (1) (2) Modification Application  
No. 8 granted on the 1/7/17

in respect to MP 550 6078

Signed [Signature]

Sheet No. 25 of 34












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**LEGEND**

-  Property Boundary
-  Proposed Trees
-  Proposed Grasses and Groundcovers
-  Proposed Shrubs and Accents
-  Turf
-  Feature Rock Ballast
-  'Kwik Kerb' Concrete Edge refer specification (Not Part of these works)
-  Sandstone Boulders in Decomposed Granite
-  Mulch

Key Plan:



**SITE IMAGE**

  
Landscape Architects  
Level 1, 3-5 Regent Street  
Redfern NSW 2016  
Australia  
Tel: (61 2) 8332 5600  
Fax: (61 2) 0686 2877  
www.siteimage.com.au

Client:

Goodman

Project:

Proposed Industrial Facility  
Oakdale Central Lot 3C  
Horsely Park, NSW

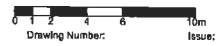
Drawing Name:

Landscape Plan

**TENDER**

Scale: 1:200 @ A1

Job Number: SS16-3331



Issue	Revision Description	Drawn	Check	Date
B	Architectural Coordination	JW	NM	24.05.2017
A	For Comment	JW	NM	25.05.2016

# Industrial Facility

Warehouse 3C-3

9,690 sqm

FFL 61.20 (+/- 500mm)

Continues DWG 103

Continues DWG 105



NSW GOVERNMENT  
Planning

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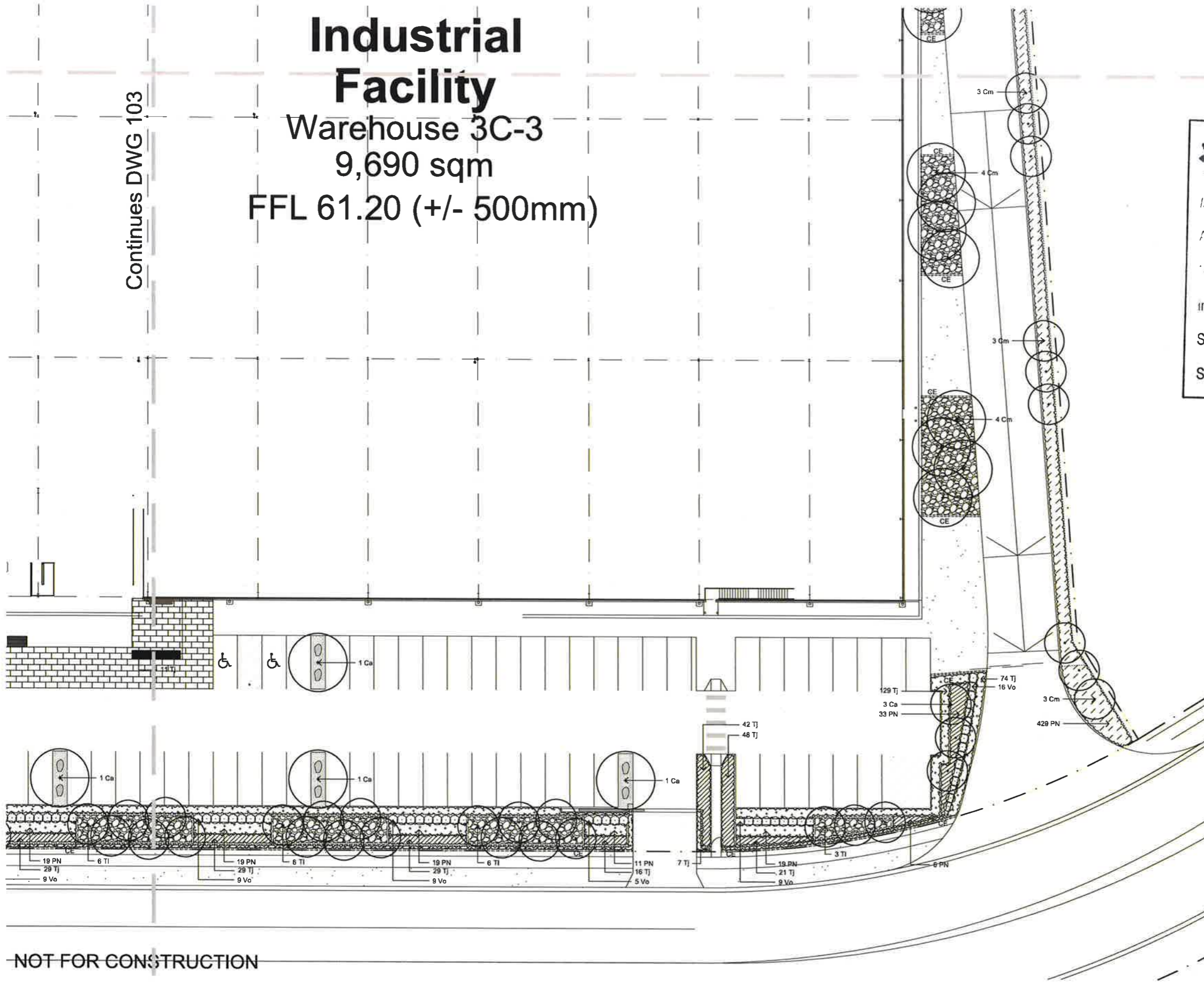
Approved Section 96 (1A) (1) (2) Modification Application

No. 8 granted on the 1/7/17

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Issue	Revision Description	Drawn	Check	Date
C	Architectural Coordination	JW	NM	24.05.2017
B	Plant Species Adjusted	JW	NM	01.06.2016
A	For Comment	JW	NM	25.05.2016

LEGEND		Key Plan:	
	Property Boundary		Proposed Shrubs and Accents
	Proposed Trees		Turf
	Proposed Grasses and Groundcovers		Feature Rock Ballast
	'Kwik Kerb' Concrete Edge refer specification (Not Part of these works)		Sandstone Boulders in Decomposed Granite
	Mulch		

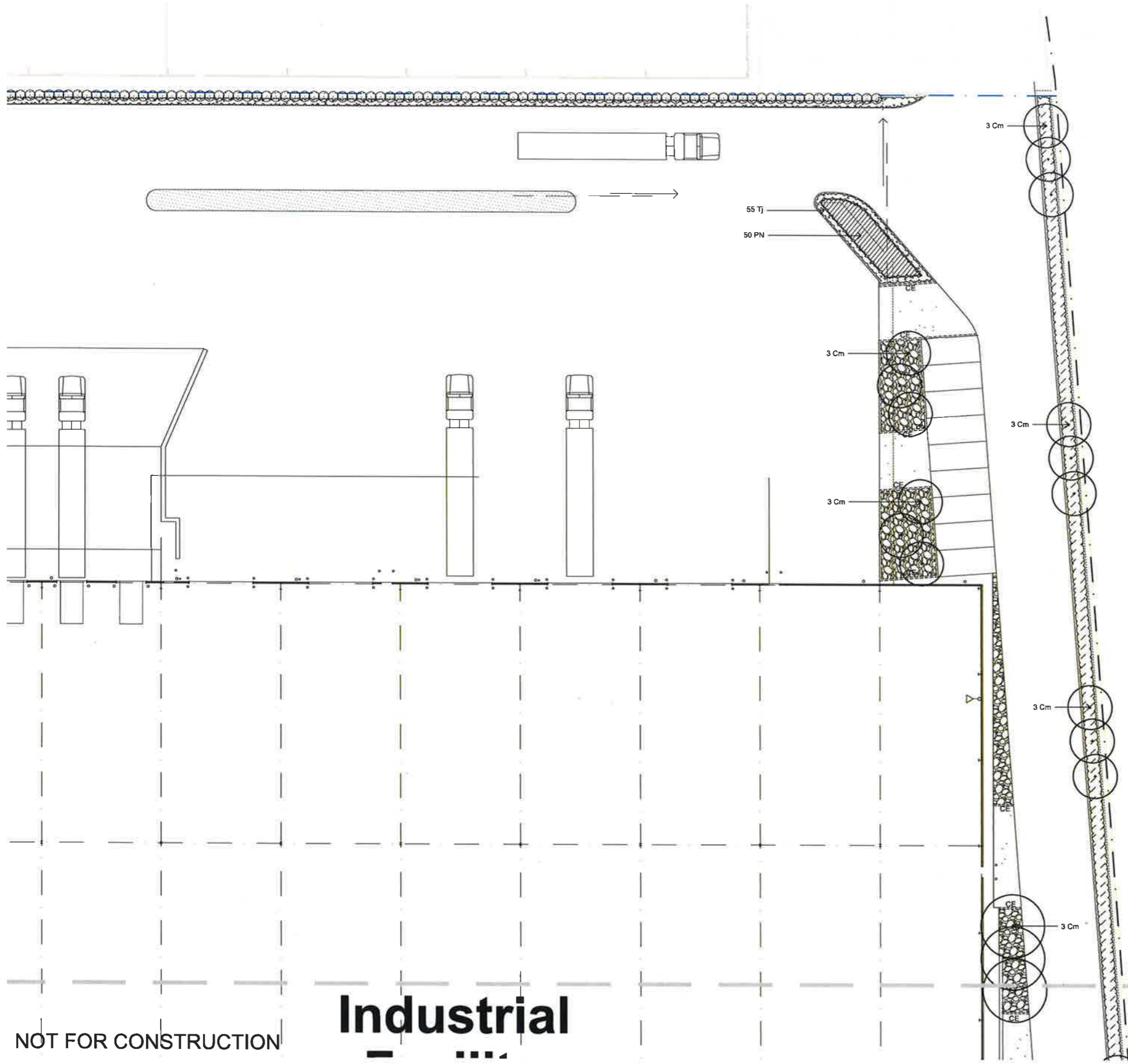



**SITE IMAGE**  
Landscape Architects  
Level 1, 3-5 Bagin Street  
Rooftop NSW 2016  
Australia  
Tel: (61 2) 8332 5600  
Fax: (61 2) 9696 2877  
www.siteimage.com.au

Client: Goodman  
Project: Proposed Industrial Facility  
Oakdale Central Lot 3C  
Horsely Park, NSW

Drawing Name: Landscape Plan  
Scale: 1:200 @ A1  
Job Number: SS16-3331

**TENDER**  
Drawing Number: 104 C




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**Industrial**

Continues DWG 104

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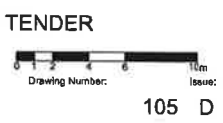
Issue	Revision Description	Drawn	Check	Date
D	Architectural Coordination	JW	NM	24.05.2017
C	Plant Species Adjusted	JW	NM	01.06.2016
B	Pump Relocation	JW	NM	31.05.2016
A	For Comment	JW	NM	25.05.2016

LEGEND		Key Plan:	
	Property Boundary		Proposed Shrubs and Accents
	Proposed Trees		Turf
	Proposed Grasses and Groundcovers		Feature Rock Ballast
	'Kwik Kerb' Concrete Edge refer specification (Not Part of these works)		Sandstone Boulders in Decomposed Granite
	Mulch		

**SITE IMAGE**  
 Landscape Architects  
 Level 1, 3-5 Bapfist Street  
 Redfern NSW 2016  
 Australia  
 Tel: (01 2) 8332 5600  
 Fax: (01 2) 8696 2877  
 www.siteimage.com.au

Client: Goodman  
 Drawing Name: Landscape Plan  
 Project: Proposed Industrial Facility  
 Oakdale Central Lot 3C  
 Horsely Park, NSW

Scale: 1:200 @ A1  
 Job Number: SS16-3331  
 Drawing Number: 105 D



Continues DWG 101

Continues DWG 105

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 No. 8 granted on the 1/7/17  
 in respect to MP 5506078

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Sheet No. 28 of 34

# Industrial

Continues DWG 103

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


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B Architectural Coordination  
 A Pump Relocation  
 Issue Revision Description

JW NM 24.06.2017  
 JW NM 31.05.2016  
 Drawn Check Date

LEGEND

-  Property Boundary
-  Proposed Trees
-  Proposed Grasses and Groundcovers
-  Proposed Shrubs and Accents
-  Turf
-  Feature Rock Ballast
-  'Kwik Kerb' Concrete Edge refer specification (Not Part of these works)
-  Sandstone Boulders in Decomposed Granite
-  Mulch

Key Plan:



SITE IMAGE

  
 Landscape Architects  
 Level 1, 2-6 Bayley Street  
 Redfern NSW 2016  
 Australia  
 Tel: (01 2) 8332 0600  
 Fax: (01 2) 9696 2877  
 www.siteimage.com.au

Client: Goodman

Project:  
 Proposed Industrial Facility  
 Oakdale Central Lot 3C  
 Horsely Park, NSW

Drawing Name: Landscape Plan

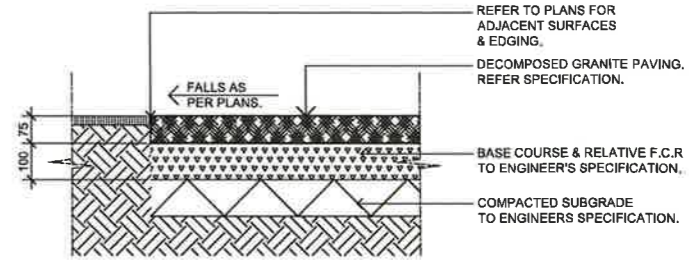
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 Job Number:  
 SS16-3331

TENDER

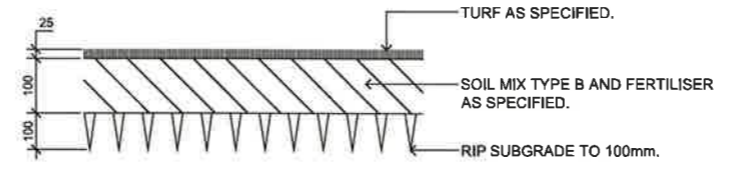


106 B

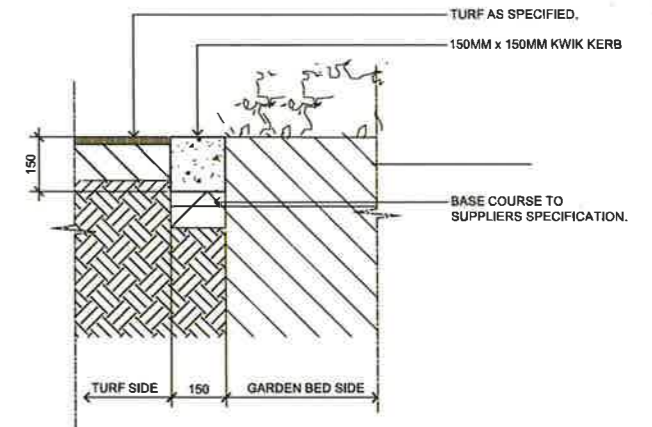
PLANT SCHEDULE							
Symbol	Botanical Name	Common Name	Mature Height (m.)	Mature Spread (m.)	Spacings	Pot Size	Quantity
<b>Trees</b>							
Ca	<i>Cupaniopsis anacardioides</i>	Tuckeroo	10	5	As Shown	75L	19
Cm	<i>Corymbia maculata</i>	Spotted Gum	20	8	As Shown	45L	35
Tl	<i>Tristaniopsis laurina 'Luscious'</i>	Water Gum	9	8	As Shown	75L	81
<b>Shrubs</b>							
Vo	<i>Viburnum odoratissimum</i>	Sweet Viburnum	5	3.5	As Shown	300mm	589
<b>Groundcovers / Grasses</b>							
Gt	<i>Gazania tomentosa</i>	Silver Leaf Gazania	0.15	1	3/m <sup>2</sup>	150mm	56
PN	<i>Pennisetum 'Nafray'</i>	Nafray Pennisetum	0.6	0.6	2/m <sup>2</sup>	Tube	1309
Tj	<i>Trachelospermum jasminoides</i>	Star Jasmine	0.2	0.5	4/m <sup>2</sup>	150mm	2925



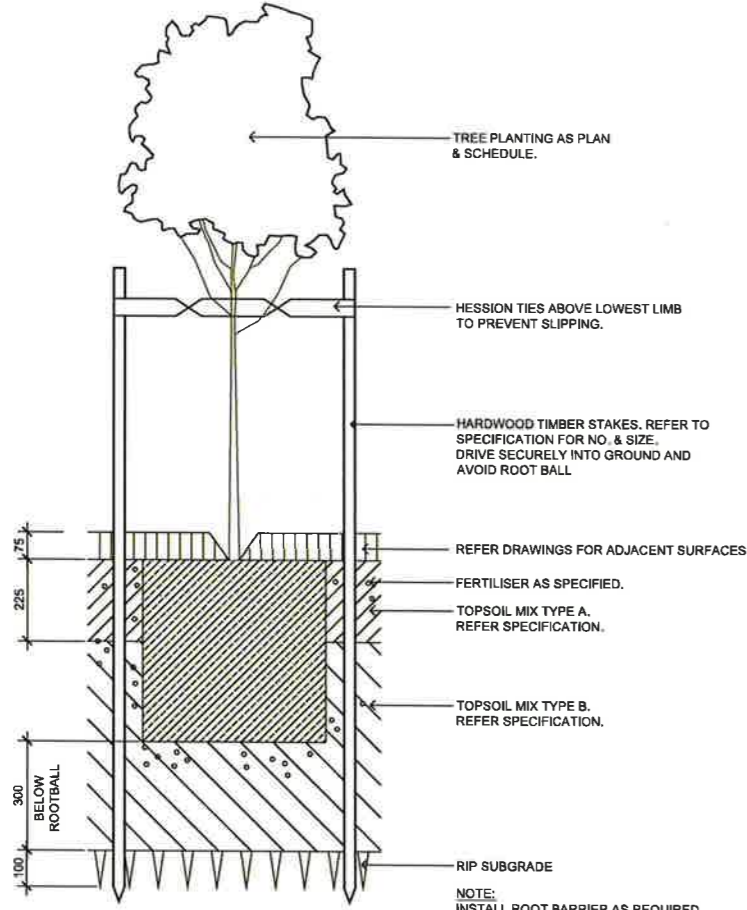
DECOMPOSED GRANITE PAVING ON GRADE  
SCALE 1:10



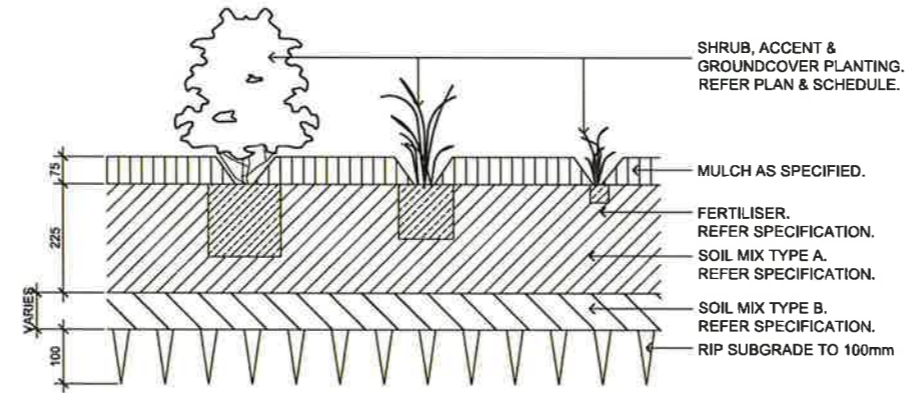
TURF ON EVEN GRADE  
SCALE 1:10



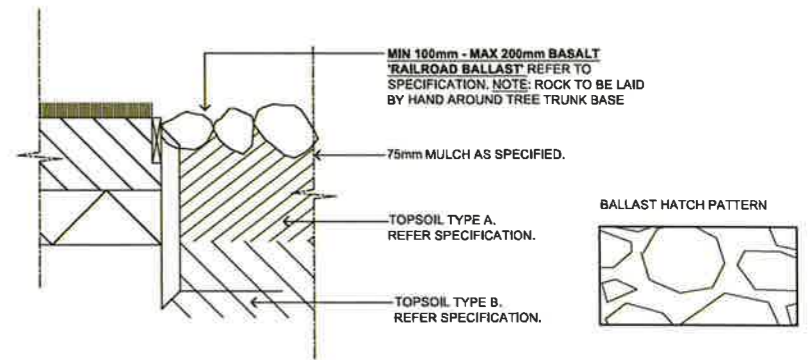
KWIK KERB CONCRETE EDGE  
SCALE 1:10



75-200L TREE PLANTING ON GRADE  
SCALE 1:10



SHRUB, ACCENT & GROUND COVER PLANTING ON GRADE  
SCALE 1:10



TIMBER EDGE & ROCK BALLAST - SECTION  
SCALE 1:10

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Planning

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Approved Section 96 (1A) (1) (2) Modification Application

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in respect to MP SSD 6078

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Issue	Revision Description	Drawn	Check	Date
C	Architectural Coordination	JW	NM	24.06.2017
B	Plant Species Adjusted	JW	NM	01.06.2016
A	For Comment	JW	NM	25.05.2016

LEGEND



**SITE IMAGE**  
Landscape Architects  
Level 1, 345 Beckett Street  
Redfern NSW 2016  
Australia  
Tel: (01 2) 8332 5890  
Fax: (01 2) 8698 2877  
www.siteimage.com.au

Client: **Goodman**  
Project: **Proposed Industrial Facility  
Oakdale Central Lot 3C  
Horsely Park, NSW**

Drawing Name: **Landscape Details**  
Job Number: **SS16-3331**  
Drawing Number: **501 C**

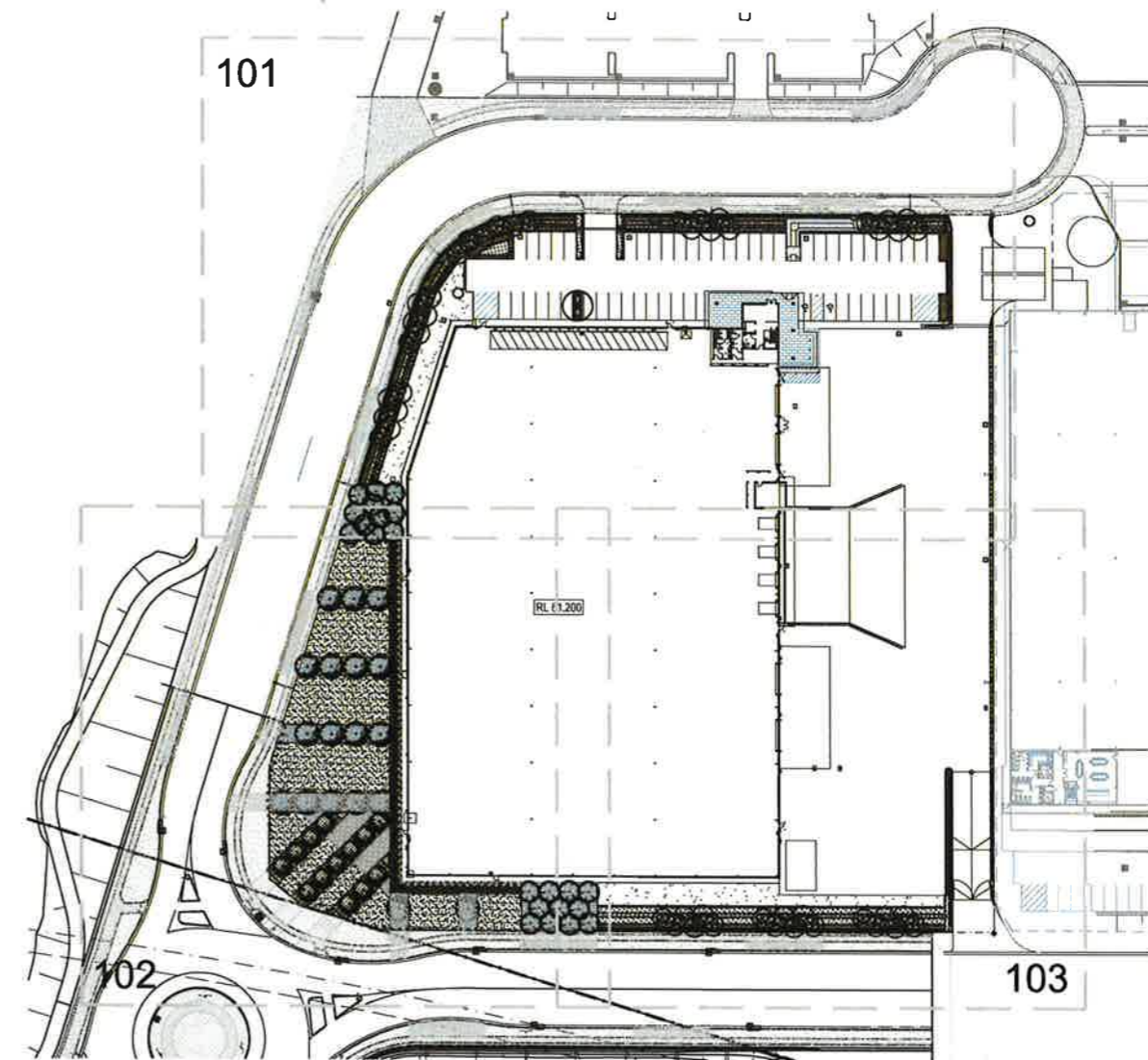
**TENDER**


# PROPOSED INDUSTRIAL FACILITY

Oakdale Central Lot 3D,  
HORSLEY PARK, NSW  
LANDSCAPE TENDER

## DRAWINGS

DWG NO.	DRAWING TITLE	SCALE
000	COVERSHEET	N/A
101	LANDSCAPE PLAN	1:200
102	LANDSCAPE PLAN	1:200
103	LANDSCAPE PLAN	1:200
501	LANDSCAPE DETAILS	AS SHOWN





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No. 8 granted on the 1/7/17

in respect to MP 5506078

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Issue	Revision Description	Drawn	Check	Date
D	Revised Landscaping	JW	NM	05.05.2017
C	Plant Species Adjusted	JW	NM	01.06.2016
B	Pump Relocation	JW	NM	31.05.2016
A	For Comment	JW	NM	27.05.2016

### LEGEND

Key Plan:



**SITE IMAGE**  
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Level 1, 3-5 Macquarie Street  
Sydney NSW 2016  
Australia  
Tel: (61 2) 8332 5600  
Fax: (61 2) 9596 2877  
www.siteimage.com.au

Client:  
**Goodman**

Project:  
**Proposed Industrial Facility  
Oakdale Central Lot 3D  
Horsley Park, NSW**

Drawing Name:  
**Coversheet**

Job Number:  
**SS13-2656**

**TENDER**

Drawing Number:  
**000 D**



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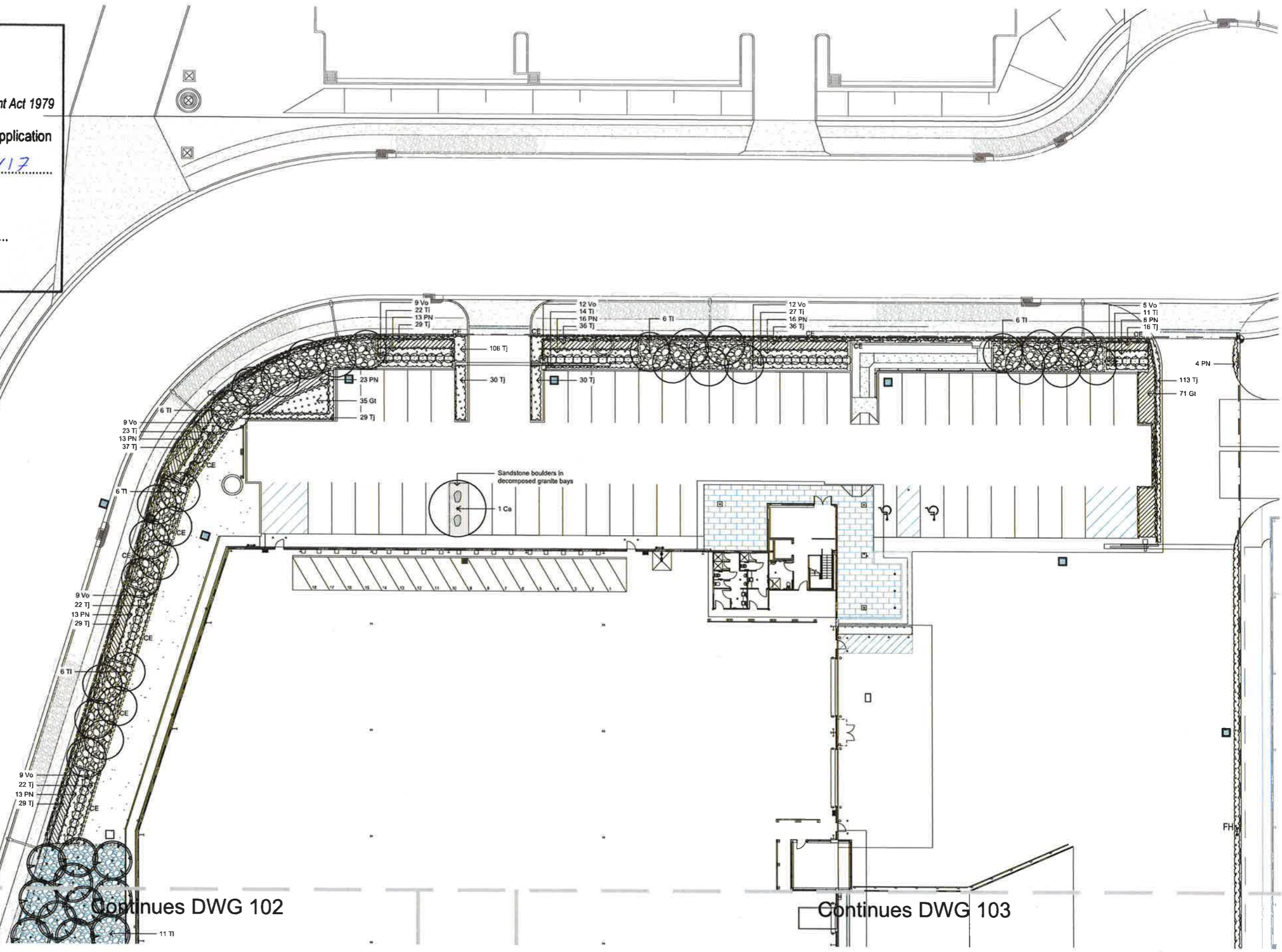
Approved Section 96 (1A) (1) (2) Modification Application

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Sheet No. 31 of 34



Continues DWG 102

Continues DWG 103

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**LEGEND**

	Property Boundary		Proposed Shrubs and Accents		'Kwik Kerb' Concrete Edge refer specification (Not Part of these works)
	Proposed Trees		Turf		Sandstone Boulders in Decomposed Granite
	Proposed Grasses and Groundcovers		Feature Rock Ballast		

Key Plan:

**SITE IMAGE**  
Landscape Architects  
Level 1, 3-5 Bagin Street  
Rosedale NSW 2016  
Australia  
Tel: (61 2) 8332 5600  
Fax: (61 2) 9598 2877  
www.siteimage.com.au

Client: Goodman  
Project: Proposed Industrial Facility  
Oakdale Central Lot 3D  
Horsely Park, NSW

Drawing Name: Landscape Plan  
Scale: 1:200 @ A1  
Job Number: SS13-2656

**TENDER**  
Drawing Number: 101 C



NSW GOVERNMENT  
Planning

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Approved Section 96 (1A) (1) (2) Modification Application

No. 8 granted on the 1/7/17

in respect to MP 5506078

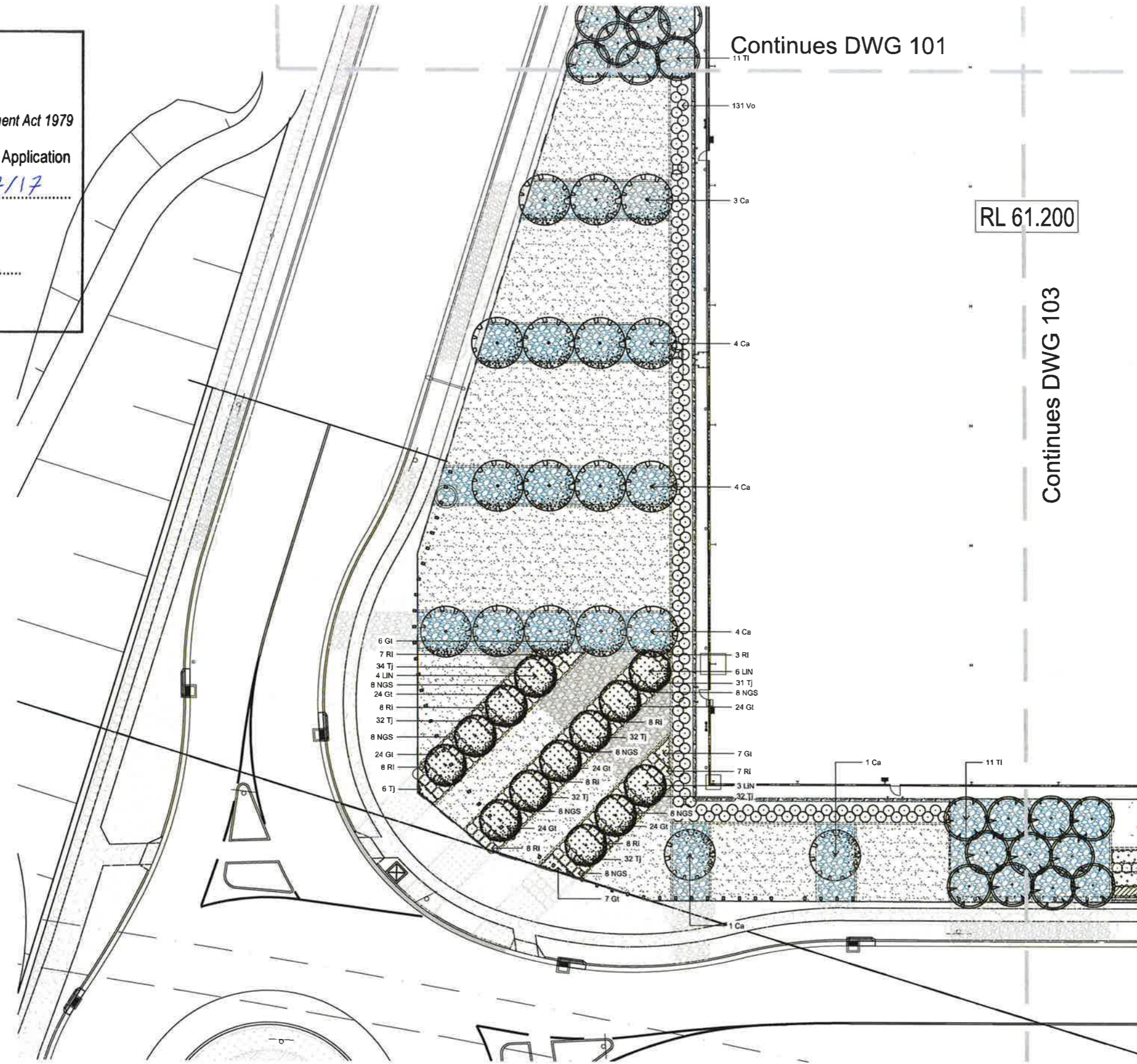
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Sheet No. 32 of 34

Continues DWG 101

RL 61.200

Continues DWG 103



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Issue	Revision Description	Drawn	Check	Date
C	Revised Landscaping	JW	NM	05.05.2017
B	Pump Relocation	JW	NM	31.05.2016
A	For Comment	JW	NM	27.05.2016

LEGEND	
	Property Boundary
	Proposed Trees
	Proposed Grasses and Groundcovers
	Proposed Shrubs and Accents
	Turf
	Feature Rock Ballast
	'Kwik Kerb' Concrete Edge refer specification (Not Part of these works)
	Sandstone Boulders in Decomposed Granite

Key Plan:



**SITE IMAGE**  
Landscape Architects  
Level 1, 3-5 Bazzi Street  
Rydalm NSW 2016  
Australia  
Tel: (61 2) 8332 5600  
Fax: (61 2) 9696 2877  
www.siteimage.com.au

Client: **Goodman**  
Project: **Proposed Industrial Facility  
Oakdale Central Lot 3D  
Horsely Park, NSW**

Drawing Name: **Landscape Plan**  
Scale: **1:200 @ A1**  
Job Number: **SS13-2656**

**TENDER**  
Drawing Number: **102 C**



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Planning

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No. 8 granted on the 11/7/17 1.200

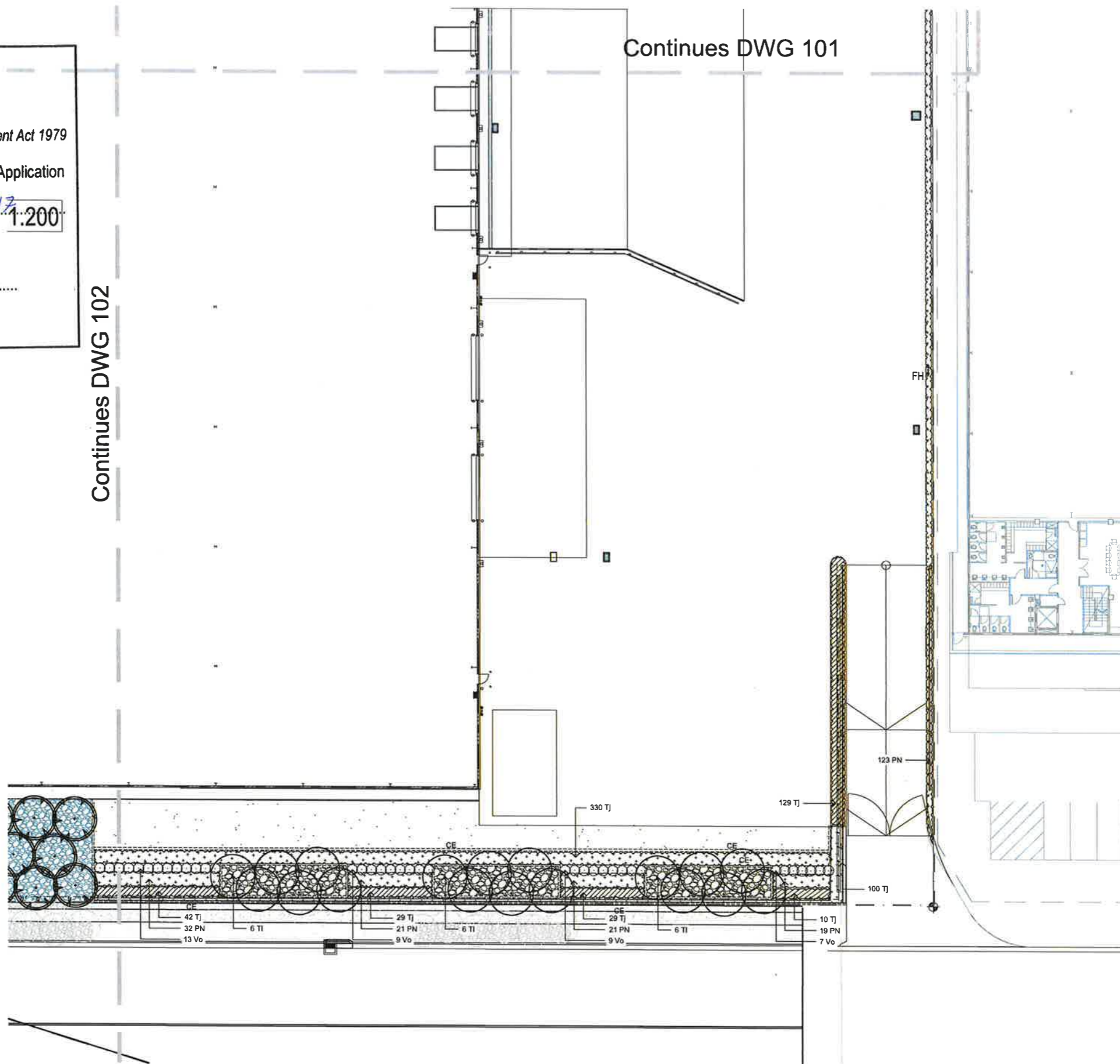
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Continues DWG 101

Continues DWG 102



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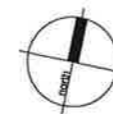
Issue	Revision Description
B	Revised Landscaping
A	For Comment

Drawn	Check	Date
JW	NM	05.05.2017
JW	NM	27.05.2016

LEGEND

- Property Boundary
- Proposed Shrubs and Accents
- Proposed Trees
- Turf
- Proposed Grasses and Groundcovers
- Feature Rock Ballast
- 'Kwik Kerb' Concrete Edge refer specification (Not Part of these works) Sandstone Boulders in Decomposed Granite

Key Plan:



SITE IMAGE

Landscape Architects  
Level 1, 3-5 Bagin Street  
Redfern NSW 2016  
Australia  
Tel: (01 2) 8332 5600  
Fax: (01 2) 8696 2877  
www.siteimage.com.au

Client:  
Goodman

Project:  
Proposed Industrial Facility  
Oakdale Central Lot 3D  
Horsely Park, NSW

Drawing Name:  
Landscape Plan

Scale: 1:200 @ A1  
Job Number:  
SS13-2656

TENDER  
Drawing Number:  
103 B

PLANT SCHEDULE							
Symbol	Botanical Name	Common Name	Mature Height (m.)	Mature Spread (m.)	Spacings	Pot Size	Quantity
<b>Trees</b>							
Ca	<i>Cupaniopsis anacardioides</i>	Tuckeroo	10	5	As Shown	75L	18
Ti	<i>Tristaniopsis laurina</i> 'Luscious'	Water Gum	9	8	As Shown	75L	70
LiN	<i>Lagerstroemia indica</i> x <i>L. fauriei</i> 'Natchez'	Crepe Myrtle	8	5	As Shown	75L	13
<b>Shrubs</b>							
NGS	<i>Nandina</i> 'Gulf Stream'	Dwarf nandina	0.5	0.5	As Shown	200mm	56
Ri	<i>Rhaphiolepis indica</i>	Indian Hawthorn	2.5	2.5	As Shown	200mm	65
Vo	<i>Viburnum odoratissimum</i>	Sweet Viburnum	5	3.5	As Shown	300mm	234
<b>Groundcovers / Grasses</b>							
Gt	<i>Gazania tomentosa</i>	Silver Leaf Gazania	0.15	1	3/m2	150mm	270
PN	<i>Pennistum 'Nafray'</i>	Nafray Pennisetum	0.6	0.6	2/m2	Tube	335
Tj	<i>Trachelospermum jasminoides</i>	Star Jasmine	0.2	0.5	4/m2	150mm	1561

NSW GOVERNMENT  
Planning

Issued under the Environmental Planning and Assessment Act 1979

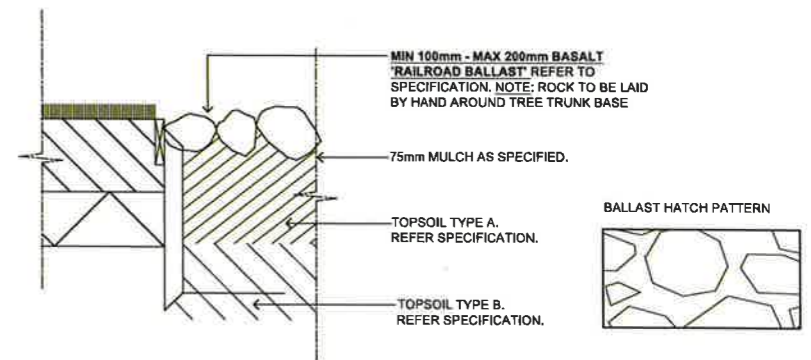
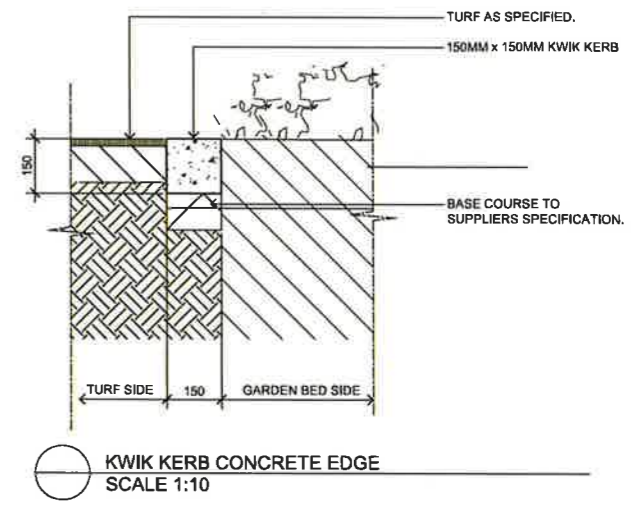
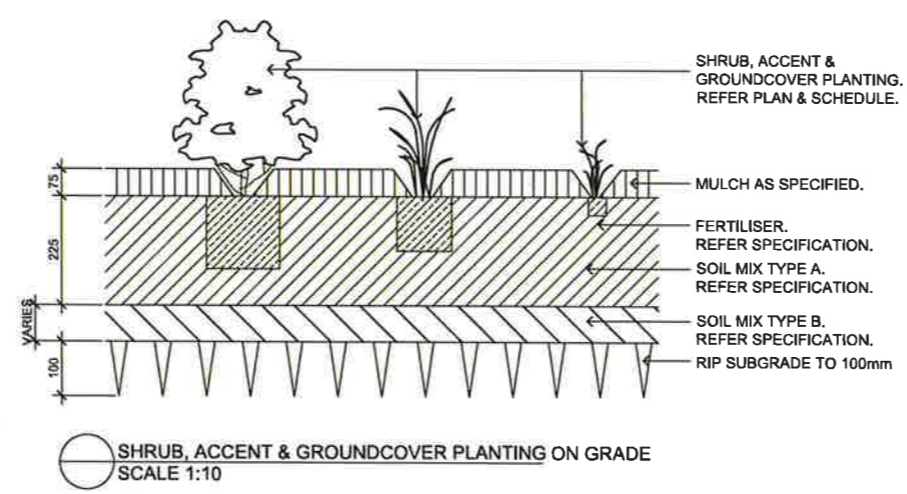
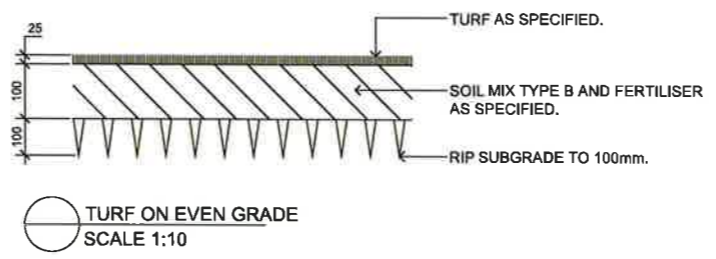
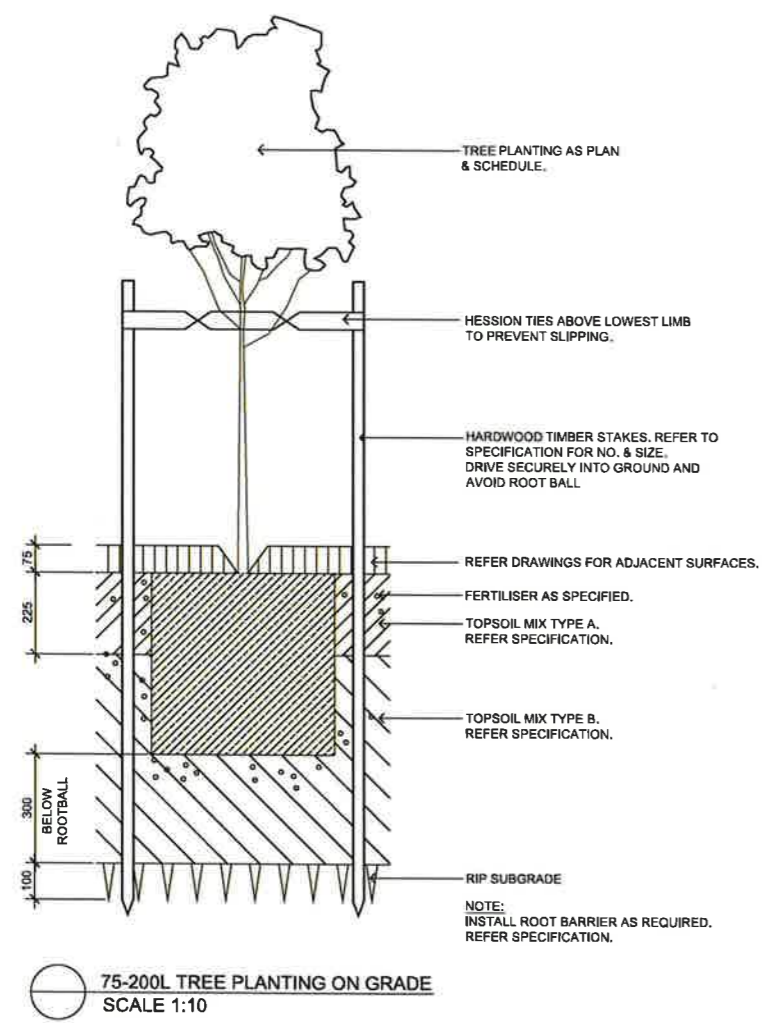
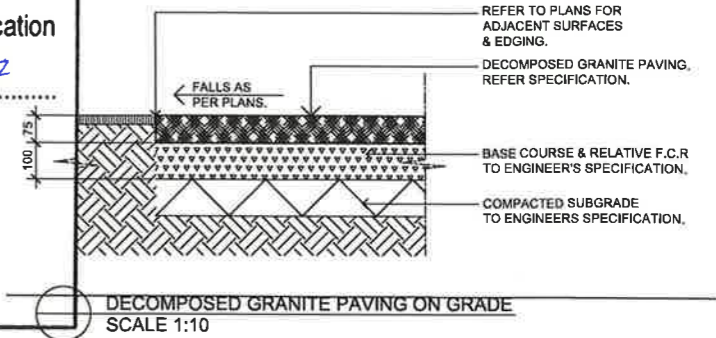
Approved Section 96 (1A) (1) (2) Modification Application

No. 8 granted on the 11/7/17

in respect to MP SSD6078

Signed [Signature]

Sheet No. 34 of 34



NOT FOR CONSTRUCTION

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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Issue	Revision Description	Drawn	Check	Date
C	Revised Landscaping	JW	NM	05.05.2017
B	Plant Species Adjusted	JW	NM	01.06.2016
A	For Comment	JW	NM	27.05.2016

LEGEND

Key Plan:



SITE IMAGE



Client:  
Goodman

Project:  
Proposed Industrial Facility  
Oakdale Central Lot 3D  
Horsely Park, NSW

Drawing Name:  
Landscape Details

Job Number:  
SS13-2656

TENDER

Drawing Number:

Issue:  
501 C