

29 March 2019

Ms Carolyn McNally, Secretary
Department of Planning and Environment

c/o Max Newtown, Multiplex Constructions

Our Ref: 16-0011Kcmc1_v2

**Re: One Carrington Street Project Section 4.55 Application (s4.55)—
Beneficial House Roof Slab Demolition—Heritage Impact Assessment**

Dear Ms McNally,

We refer to the current Section 4.55 application (s4.55, formerly s96) to modify the current development application (DA) for the proposed One Carrington Street development. The scope of the modifications includes changes to the approved scope of works to Beneficial House at 285 George Street. Beneficial House is listed as a heritage item on Schedule 5 of the *Sydney Local Environmental Plan 2012* (Sydney LEP 2012).

This letter provides an assessment of the potential impacts of the proposed modifications on the heritage significance of the building and any other heritage items in the vicinity. As the proposed works are at the roof level, we do not address whether the revised scope of works could adversely affect the historical and Aboriginal archaeological potential of the development site. The letter also makes recommendations where appropriate for mitigation measures to address any additional heritage impacts arising out of the proposed works comprising the Section 96 application.

The content of this letter is limited to consideration of the potential heritage impacts of the proposed modifications to the April 2014 DA, as amended by the previous Section 96 application, approved in 2016.

The assessments and recommendations in regard to these modifications should be read in conjunction with the heritage reports prepared for the previous development approvals. These reports are:

- Beneficial House—Conservation Management Plan, Graham Brooks and Associates, 2004 (2004 CMP);
- One Carrington Street—Heritage Impact Statement, GML Heritage, May 2014 (2014 HIS);
- Beneficial House—Schedule of Conservation Works, GML Heritage, October 2015 (2015 SOCW); and
- One Carrington Street Project Section 96 Application—Heritage Impact Assessment (GML Heritage, 15 September 2016).

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GML has also reviewed the relevant section of the structural engineer's report for the building:

- Wynyard Place – 285 George Street (Rev-0), prepared by Taylor Thomson Whitting, September 2018 (2018 TTW report)

Background

In March 2014 GML Heritage Pty Ltd (GML) was commissioned by Sovereign Wynyard Centre Pty Limited and its nominee 'Brookfield' to prepare a Heritage Impact Statement (2014 HIS) for the proposed development known as One Carrington Street, Sydney. The development includes the demolition of the Menzies Hotel, 14 Carrington Street, and 301 George Street (formerly referred to as Thakral House); construction of a new commercial office tower; and works to two heritage buildings—the former Shell House, 2–12 Carrington Street, and Beneficial House, 285 George Street.

The project had received Concept Plan approval (No. MP09_0076) in April 2012, but excluded 285 George Street. The applicant was Thakral Holdings Group. The Concept Plan approval was subsequently modified by the addition of 285 George Street. A HIS (One Carrington Street—Heritage Impact Statement, GML Heritage, May 2014) was prepared to satisfy the DGRs. An archaeological assessment (One Carrington Street—Archaeological Assessment and Impact Statement, GML Heritage, March 2014), including Aboriginal and non-Aboriginal archaeology, was also prepared as a separate report. Conservation Management Plans (CMPs) for Shell House (HBO + EMTB, September 2005) and 285–287 George Street (Graham Brooks and Associates, April 2004) had been prepared previously, and provided the conservation policy basis for assessing the heritage impacts of the redevelopment.

A Section 96 application was approved in August 2016, which varied the scope of work to both Shell House and 285 George Street (Beneficial House).

A subsequent S96 application (lodged in September 2016) proposes further modifications to the approved scope of work.

The Existing Roof

Figure 1, taken from the 2004 CMP, shows the original layout of the rooftop. Attachment A includes photos of the rooftop and associated elements in their current condition in 2018.

Previous Heritage Advice

Conservation Management Plan 2004

The 2004 CMP assesses 'the overall form and scale and height of the building including the tiled roof section at the George Street Frontage and parapet wall at the rear frontage' and 'the original building structure, comprising load bearing external walls and steel stanchion and beams encased with concrete' as being of **high** heritage significance. We advise that this would generally be understood to include the roof slab, as part of the building envelope, and its associated elements, rather than the actual reinforced concrete fabric.

The conservation policies of the 2004 CMP indicate that items of high significance should be retained and conserved in situ. The following policy addressed the roof specifically:

- *The highly visible tiled roof section, which largely contributes to the distinctive character of the building, should be retained and conserved.*

- Addition to the roof is acceptable, provided that it does not affect significant original fabric, does not diminish the integrity and general appearance of the building and is invisible from public place.

Heritage Impact Statement 2014

The 2014 HIS did not anticipate demolition of the roof slab.

Original Roof Layout

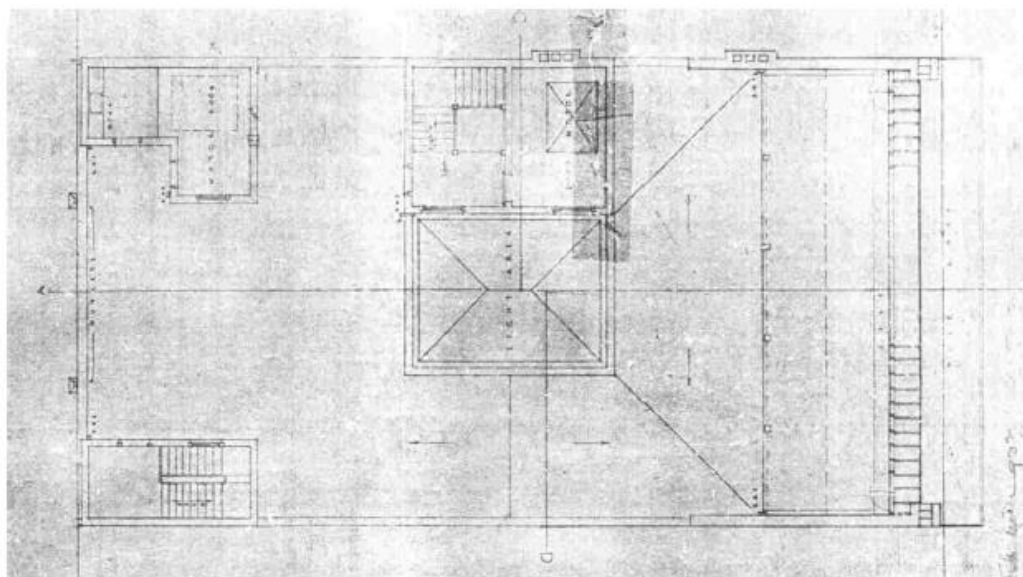


Figure 2-13 Plan of the roof floor by Wilson, Neave and Berry, 1922 (Source: City of Sydney Archives, BA 74/22)

Figure 1 Original roof plan showing the location of the retained services structures to the north edge (centre), the adjacent former light well, the eastern tiled roof and rooftop structures in the southwest and northwest corners. Some of these features were modified c1970s. On this plan (and all others in this memo), north is at the top of the page. (Source: 2004 CMP, Figure 2-13)

2015 Approved Works

The proposed structural works, as approved in 2015, anticipated retention of the roof slab to Beneficial House and the related scope of works to the building's roof included the following:

- Retain existing slab and structures located over the northern fire stair and the lift tower.
- Retain and conserve existing pitched roof structure including tiles and refurbish water tower.
- Demolish early twentieth-century roof structures.

Attachment B includes select images from the approved scope of works for Beneficial House.

Reason for the Design Change

Robert Bird Group (RBG), which initially advised on the structural design for the building, indicated that detailed fabric investigation had not been undertaken at that time. The 2018 Building Condition report was prepared by Taylor Thomson Whitting (TTW), which has since been engaged to undertake detailed investigations during the design development and construction phases of the project. TTW advises that the existing concrete roof slab should be demolished as:

- Following its investigations, the existing reinforced concrete roof slab has been assessed to be structurally inadequate and below current standards, is unable to be re-certified as a structural element.
- A number of the existing columns will be loaded beyond their safe design capacity with the proposed (approved SSD) roof level structures in combination with the roof slab.

Therefore, TTW recommends demolition of the existing RC roof slab and its replacement with a new roof design of lightweight steel framed structural design.

Documents Reviewed in 2019

GML has reviewed the following documents and a selection of these are included at Attachment B.

RBG PPR3 Design for the Roof (2016)

- S-285-12-06-00 – Level 6 & Plant General Arrangement Plans, October 2016.
- S-285-92-07-00 – Existing Roof Level Demolition Plan, September 2016.
- S-285-12-08-00 – Roof Terrace & Roof General Arrangements, October 2016.

TTW Design Scheme (2018 and 2019)

- ST-285-60-00-50 – Roof Outline Plan, November 2018.
- ST-285-60-00-55 – Plant Level Outline, November 2018.
- ST-285-60-00-60 – Roof Terrace Outline Plan, November 2018.
- ST-285-60-00-65 – Green Roof Outline Plan, November 2018.
- ST-285-10-00-50 – Demolition Plan, March 2019.
- Report – Building Condition, Wynyard Place – 285 George Street, Rev-0, September 2018.

Make + Architectus Drawings (2018)

- A-285-51-02-1 – 285 George Street Roof Terrace Section and Details 01, December 2018.

Scope of Section 96 Modifications

The scope of modifications proposed for Beneficial House under the current S96 application involves demolition of the roof slab and replacement with a new weather-proof clad structural steel framed roof, as now recommended by TTW. It is understood that the proposed new roof will match the approved roof deck levels involving plant level, trafficable roof deck and green roof level. The overall design outcome is understood to be similar to the approved rooftop design.

The scope of modifications proposed for Beneficial House under the current S96 application comprises:

- demolition of the entire existing concrete slab forming the roof of the building;
- construction of a new multi-layered steel framed roof structure to be constructed at approximately the same level as the existing concrete slab, with a pitched roof over, which is anticipated to involve:

- a roof level steel diaphragm grillage, plant level steel frame above roof level in part, roof terrace steel frame above roof level to south side;
- steel structure to the perimeter wall of Level 6 located approximately 400mm below the existing ceiling line, as part of the support system to the underside of the steel roof diaphragm and cross bracing;
- raised deck levels over the roof which are similar to the approved deck levels (note the additional raised viewing platform, stepped planter bed and tree to the water tank were the subject of a separate application);
- a new timber framed structure to match the removed tiled timber framed roof structure above the George Street façade, supported on the new steel roof; and
- new tiled roof over the new timber structure involving a combination of reinstated original roof tiles and new replica roof tiles.
- retention/conservation of associated elements—for the decorative projecting cornice the work will involve:
 - demolition of the projecting slab (part of the main roof slab), but retaining in the first instance a section of the slab over the George Street façade wall and extending to the full width and depth of the cornice itself;
 - temporary structural steel beams will be installed vertically on the internal face of the George Street façade wall (upper level space) and will ultimately be removed;
 - removal of the projecting slab after propping and installation of catch decks in combination with construction controls and physical protection of the cornice, ;
 - treatment of exposed slab reinforcement and make good of slab edges;
 - installation of the new steel slab projection to match the removed element (integrated with the new roof system detailed below) which incorporates new steel support for the retained slab section and cornice, followed by removal of the temporary vertical steel beams noted above; and
 - temporary removal of the existing copper gutter and rainwater heads to the eastern façade for remediation and reinstatement to new roof structure.
- retention/conservation of associated elements, the gable parapet walls and perimeter parapet walls, will involve:
 - temporary support of these elements during demolition of the main slab; and
 - permanent support in the new roof design.

Attachment C includes images provided by Multiplex from the current Section 96 application to modify the current development application (DA) for the proposed One Carrington Street development.

Alternatives Considered

A new concrete slab was considered but rejected by MPX given structural engineering advice provided in the condition report (TTW, section 5.4) that the internal structural system of columns is not adequate to take the additional load anticipated of a new slab which would meet current structural standards.

Repair of the existing projecting concrete slab in situ, or reconstruction to match, was investigated and rejected following structural investigation and analysis. Instead it is proposed to be replaced with a new steel framed projection, clad to match the original soffit.

Heritage Considerations

GML acknowledges the 2018 structural advice of the Building Condition Report prepared by TTW, September 2018 (Section 5.5.7 Concrete Roof Slab), that the slab does not meet current standards, and TTW's recommendation that the roof should be demolished. We do not anticipate that there will be any concern in the approval process in regard to heritage significance due to the loss of the roof fabric itself. However, its demolition raises the following potential heritage considerations:

- Structure throughout the building—We understand that the existing columns structure is adequate to take the load of the proposed new steel roof frame system. Care should be taken to ensure that the interiors of the building and its existing structure will not be adversely impacted by the proposed new roof design works.
- Demolition process—The demolition process and fixing of the replacement roof structure could involve additional impact on original significant building fabric that will, cumulatively, result in loss of further heritage fabric, integrity of the remaining roof features, and therefore compromise the significance of the building overall. Construction measures will need to be implemented to address the potential impact of demolition on the interiors, brick parapet walls, gable end parapets and decorative cornice to avoid damage to this fabric.
- Demolition of the projecting slab soffit, support for the existing brick and render cornice to the George Street façade and replacement with a new soffit (steel structure) to visually match—Retention and protection of the cornice is considered essential as it is an architectural feature of high significance. Impacts which compromise or result in damage to, or the complete loss of, the decorative cornice detail should be avoided. Temporary support measures should not otherwise damage the buildings integrity.
- New structural elements below ceiling level at Level 6—The proposed new steel roof structure is understood to be at the level of the removed concrete slab; however, supporting steel at the perimeter wall is proposed at approximately 400mm below the current ceiling level. This is not anticipated to otherwise adversely impact the original character of this level or original joinery as is planned to be located approximately 250mm above the top of the window architrave. Measures to minimise this intervention should be implemented.
- Demolition and replacement of the 1920s timber (tiled) roof structure above the George Street façade—The timber roof structure necessarily needs to be dismantled to allow for the roof slab demolition and replacement. Given the condition of the roof timbers, it is not viable to reconstruct this structure using the same fabric. The proposed new roof structure should be an exact replica of the demolished roof structure including timber structure and roof design. The existing original

tiles have been removed and are currently being assessed by others for viability. Viable tiles should be reinstated and supplemented by new replica tiles.

- Stability of the parapet end walls—The 2015 SOCW included repair of the brick chimneys and parapet gable brick and stone, etc. We understand that structural detail is being designed to support these walls during removal of the timber (tiled) roof structure and roof slab, and in the new design.
- Stability and integrity of the perimeter parapet walls—We understand that the general relationship between the roof deck and other new structures has not changed from the approved design, but that fixings of the new steel structure to the walls will be required.

The structural detail and construction methodology for the above work is currently under design development by Multiplex and TTW. GML make the above comments based on review of in progress structural engineering documentation and construction methodology. Ongoing heritage advice is anticipated to be required (in progress documentation is not included at Attachment C).

Visual impact of the additional scope of works:

- The proposed steel roof does not represent an increase in height from the approved main deck area. Visual impacts of the new multi-layered roof structure and main deck, tiered planter, new planter in the water tank and additional viewing deck on the remaining stair and lift tower will not change from the approved scope of works. Refer to Figures 8, 9 and 24. These changes will not be visible from the street.

TTW advises that the rooftop water tank and associated planting as proposed would exceed the load allowance of the existing structure but is capable of being supported on the proposed roof steel frame. The rooftop water tank is currently undergoing conservation off site. Refer to Figures 13–15.

Summary of Heritage Impacts

The following table is an extract of the relevant sections of the 2014 HIS, with comments in red where there is a change in the heritage impact due to the new proposed works.

Table 1 Compliance of the Proposal with the Conservation Policies in the 2004 CMP.

Policy No.	Conservation Policy	Compliance of the Proposal
7.2.2	Items identified as being of exceptional and considerable [High] significance should be retained and conserved in situ. Any work, which affects the fabric or external appearance of these items, should be confined to Preservation, Restoration, Reconstruction, or Adaptation as defined by The Burra Charter. They should also be subject to continuing care and Maintenance. Where the fabric is of some [Moderate] significance some intervention is permissible. Adaptation, relocation or alteration to components of these items and spaces is acceptable provided that it protects the overall cultural significance, and is carefully considered and executed. Such work should take place within defined work programmes and should not be the product of general maintenance or sporadic alterations. Elements assessed as of low significance provide evidence of long-term use and support the character and overall quality of the place.	Partially complies. Most fabric of high significance (as identified in the 2004 CMP) on the eastern and western façades is proposed to be retained, including the tiled parapet to George Street. The tiled roof and timber structure is proposed to be removed and replaced with a matching timber structure, and reinstated/salvaged terracotta tiles (where assessed to be viable) and new terracotta tiles will be used to match where additional tiles are required. The projecting concrete soffit (high significance) is proposed to be

Policy No.	Conservation Policy	Compliance of the Proposal
	They have particular qualities that can expand overall interpretive themes, but are generally not regarded as essential to the major aspects of significance of a building or place, often fulfilling a functional role and/or are in poor condition. Both retention and removal are acceptable options, depending on the element. Major interventions should be confined to areas where the fabric is of little significance. Elements identified as intrusive can reduce or obscure the overall significance of the place, despite their role as illustrators of the site's progressive development. The preferred option is for their removal, conversion to a more compatible form or replacement in a way, which help to retain the overall significance of the item. These items need not be addressed immediately.	demolished and rebuilt as it is part of the roof slab. There structural concerns with its retention as an element over George Street. The corbelled cornice detail is proposed to be retained and conserved in situ, in association with a new steel framed soffit detail. There is some risk of damage to elements of high significance associated with the slab. While this represents a loss of significant heritage fabric, the reconstructed roof and soffit will retain the visual integrity of the building from the street (February 2019). However, demolition of part of the southern wall will require removal of some original fabric of high significance. No change (February 2019). Removal of the original rooftop fabric of moderate significance (as assessed in this HIS) would not comply with the policy for fabric of some/moderate significance. Other than removal of the roof slab, no change. The stair and lift towers will remain (February 2019).
7.4	The external envelope of the building should retain its architectural character, including materials, scale and style. Works to areas and elements of high significance should generally be restricted to preservation, restoration and maintenance with some reconstruction as required. Guidelines: - The overall form, scale and character of the building should be maintained essentially in its current form. - The architectural composition of George Street façade, including the sandstone work of the upper part of the base with semi-circular openings, face brick work, multi-paned timber framed windows and doors and the tiled roof section should be retained and preserved. - The architectural composition of the Wynyard Lane façade, including face brickwork, multi-paned timber framed windows and parapet wall should be retained. Roof: - The highly visible tiled roof section, which largely contributes to the distinctive character of the building, should be retained and conserved. - Addition to the roof is acceptable, provided that it does not affect significant original fabric, does not diminish the integrity and general appearance of the building and is invisible from public place. Exterior masonry:	Partially complies. The most significant elements of the building's external envelope (east and west façades, including parapets) are proposed to be retained and conserved with no intervention other than conservation. However, original rooftop elements are proposed to be removed. The roof slab is proposed to be demolished and replaced with a new steel framed roof structure. The tiled roof and projecting soffit are proposed to be rebuilt in new materials. No change otherwise to the extent of demolition of rooftop elements (February 2019). Complies. The composition of the George Street façade would be conserved. The composition of the George Street façade will generally not change. Refer above in regard to the tiled roof and projecting cornice (February 2019). Complies. The composition of the Wynyard Lane façade would be conserved.

Policy No.	Conservation Policy	Compliance of the Proposal
	- The exterior stone masonry should be retained intact and maintained in accordance with the cyclical maintenance regime. - All exterior surfaces originally intended to be unpainted such as the sandstone and face brick, should remain unpainted.	No change (February 2019). The landscaped terrace and new store proposed for the roof would not diminish the integrity of Beneficial House and would not be beyond the George Street parapet. No change (February 2019)? No painting of external brick walls is proposed. No change (February 2019).
7.5	Alterations to the internal layout and fabric is acceptable, provided there is no negative impact on elements identified as of high significance, in particular the original building structure and the external fabric and character. <i>Guidelines:</i> - Extant building fabric, which survives from the time of construction, should be retained and conserved, within future programs of re-use, alteration and addition. - The original building structure, comprising load bearing external walls and steel stanchions and beams encased with concrete, should be retained and conserved. - Future false ceilings should be as close as possible to the underside of the structural floor, and not interrupt or abut the window openings. - The lifts and fire stair should remain in their present location together with the amenities and services block, along the northern boundary wall. Intervention into original fabric for non-conservation purpose should generally be restricted to approved programs of re-use or upgrading of service areas and facilities.	Partially complies. Some original rooftop structures are proposed to be removed, as well as part of the original southern wall. No change (February 2019). The services core is proposed to be retained in its current position against the northern wall. No change (February 2019). No internal partitioning or office fitouts are proposed. These will be subject to separate DAs as required. Note the ceiling is anticipated to remain at the same level as existing on level 6 with the new roof structure. The perimeter structure to support the new roof is not expected to impact any original window joinery. No change (February 2019).
7.7	The service block should remain in its present location, along the northern boundary wall. Where any alterations and additions require similar or expanded levels of services, re-use of existing service spaces should be considered. <i>Guidelines:</i> Where any alterations and additions require similar or expanded levels of services, re-use of existing service spaces is the preferred conservation option. Where possible any plant at roof level should be as compact and discrete as possible, and not be seen from the street.	Complies. The services core is proposed to be retained in its current position against the northern wall. The service block is retained in situ, but requires additional structural support in association with the proposed steel roof framing and reinstated water tank/planter. Roof changes will not be visible from the street. No change otherwise to the plant at roof level (February 2019).

Impacts on Other Heritage Items in the Vicinity

Heritage items in the vicinity include:

- Wynyard Park;
- Lisgar House; and

- Shell House.

Overall the proposed change to the rooftop of Beneficial House will result in no visual impact on heritage items in the vicinity. The proposed changes to the approved scheme will not be visually discernible as heritage items in the vicinity are generally too distant from Beneficial House.

Summary Conclusion

The proposed changes involve the removal of the roof slab, including the projection over George Street, but retaining in the first instance a long section of slab over the George Street façade and the existing decorative brick and render cornice. The cornice will then be supported by temporary vertical steel beams and the projecting roof slab is subsequently removed and replaced by a new multi-layered steel framed roof structure, including a steel projection over George Street.

The loss and replacement of the roof slab is understood to be necessary, given the structural assessment of TTW in 2018, which recommends that the roof slab be demolished as it does not meet current structural standards, and there is a risk to the structural integrity of the building. TTW has also advised that it is not considered viable to replace the current concrete slab with a new slab meeting current structural standards, given structural assessment that the existing steel column structure was not adequate to support a new slab. The existing structure has been assessed to be capable of supporting the proposed new light-weight steel roof frame assembly.

This slab was assessed in the 2004 CMP to be of high heritage significance—as part of the building envelope and its associated elements, rather than the actual reinforced concrete fabric. While loss of the concrete slab itself is not of great concern, demolition of the existing roof slab and construction of a new roof structure necessitates the variations from the 2015 SOCW and the current approved scope of works, which may have some adverse heritage impacts on other aspects of Beneficial House. Of particular concern are the decorative cornice over George Street, the tiled rooftop structure, retained rooftop structures, end gable parapet walls and typical parapet walls, and the interiors of the building.

While the 2015 SOCW did not anticipate demolition of the roof slab, it did include the repair and replacement of terracotta roof tiles, checking and repair of the timber pitched roof structures and repair of the roof parapets and flashings. This work is in progress; however, the tiled timber rooftop structure to George Street, necessarily will be removed if slab demolition is approved. This structure could be reconstructed using a new timber structure and recycled roof tiles supplemented with new replica tiles. It is understood the proposal will otherwise not result in further demolition of rooftop elements than as in the 2015 approved scope.

Overall, when compared with the 2015 approved works, no additional visual impacts to Beneficial House are anticipated as a result of the proposed changes when viewed from the public domain, including views to the building from George Street, Wynyard Lane, and looking down on the building from above. There will be no additional impacts on other heritage items in the vicinity beyond those previously approved.

In summary, of greatest concern is that the proposed slab demolition and associated construction works risk damage to other elements of high heritage significance including the parapet walls, gable end parapets and the decorative cornice and construction methodologies should be developed which avoid or minimise additional adverse heritage impacts.

Recommendations

The approval authority should consider the following in regard to the current proposal:

- Demolition should only be undertaken if there is no feasible alternative.
- Detailed design of the roof slab demolition, interim support for associated elements of heritage significance and introduction of new elements should ensure that relevant heritage conditions of the Concept Plan Approval Schedule 3, as well as any heritage requirements of subsequent approvals, are met.
- Developing structural detail and construction methodology regarding the extent of demolition should avoid or minimise risk to significant fabric so there are no additional adverse heritage impacts, in particular the projecting cornice, parapet walls and spaces below. Heritage considerations include:
 - Support for and protection of the decorative brick and render cornice to enable removal of the adjoining slab and overall insitu conservation of this architectural feature;
 - additional structural support will be required for the parapet walls, end gable walls (to the tiled roof) and retained rooftop structures; and
 - the proposed roof slab demolition and the condition of the tiled roof structure requires that this timber framed (tiled) roof structure, dating from the 1920s, is removed, but cannot be reinstated using original fabric.
- Developing structural detail and construction methodology regarding the proposed new steel roof structure should avoid or minimise further heritage impact. The new roof is proposed to be constructed at the same level as the existing concrete slab, with a low pitched roof over. Heritage considerations include:
 - Fixing of the new steel roof, new steel framed projection over George Street and associated new structure to the existing perimeter walls/ structure should not have additional adverse impact on the building;
 - Installation of the steel roof support at the perimeter walls of the building which is proposed to be approximately 400mm lower than the existing ceiling should not otherwise be adversely impact on the original character of this level or original joinery such as the window architrave;
 - The existing interiors and column structure of the building should not be adversely impacted such as through the introduction of new structures throughout the building; and
 - The tiled roof replacement structure should be designed to match the original demolished roof structure exactly in regard to size, form, materials and construction detail. Measured drawings should be prepared prior to demolition.
- Specialist heritage advice should be incorporated into the detailed design, construction methodologies and construction phases to guide works to the Beneficial House roof slab changes and associated works. Builders experienced in the repair and replacement of brick, stone and plasterwork should carry out the work.

Should you require any further information please do not hesitate to contact me.

Yours sincerely,
GML Heritage



Catherine Macarthur
Associate

Attachments:

- A—Images of Beneficial House Roof
- B—Drawings—Extracts of Documentation (approved scope of works)
- C—Drawings—Extracts of Documentation (proposed scope of works)

Attachment A—Images of Beneficial House Roof



Figure 1 View east towards the main stair structure. (Source: GML 2018)



Figure 2 Rooftop looking west to Wynyard Lane. (Source: GML 2018)



Figure 3 View east to the tiled roof. Tile removal in progress. (Source: GML 2018)



Figure 4 Timber structure of tiled roof (interior view). (Source: GML 2018)



Figure 5 Corbelled cornice which projects over George Street. (Source: GML 2018)

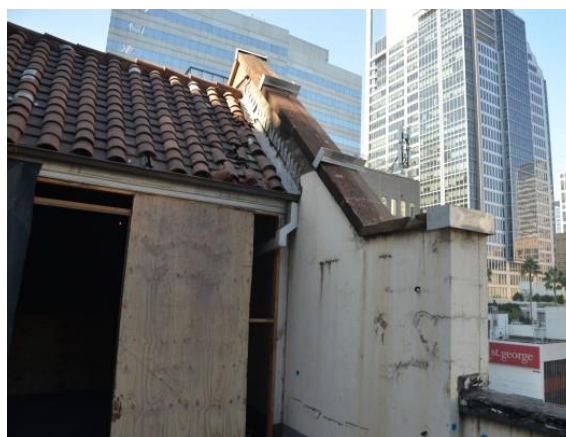


Figure 6 Detail of the southern parapet gable end wall to the tiled roof. (Source: GML 2018)

Attachment B—Extracts of Documentation (Approved Scope of Works)

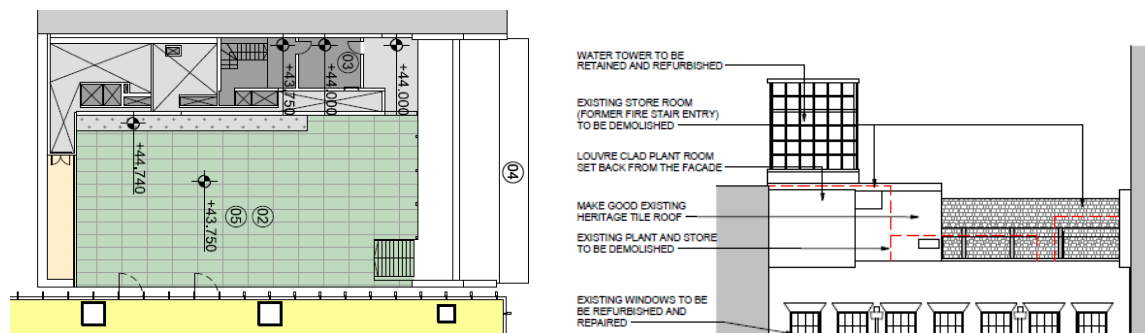


Figure 7 Left: The existing approval for this building at this level is for a roof terrace green shaded area, accessible from the new office space directly to the south. Right: West elevation showing overall approved works. (Source: Make Architectus, DA2014, Rev 3 September 2016, and DA2301, Rev 2 September 2016)

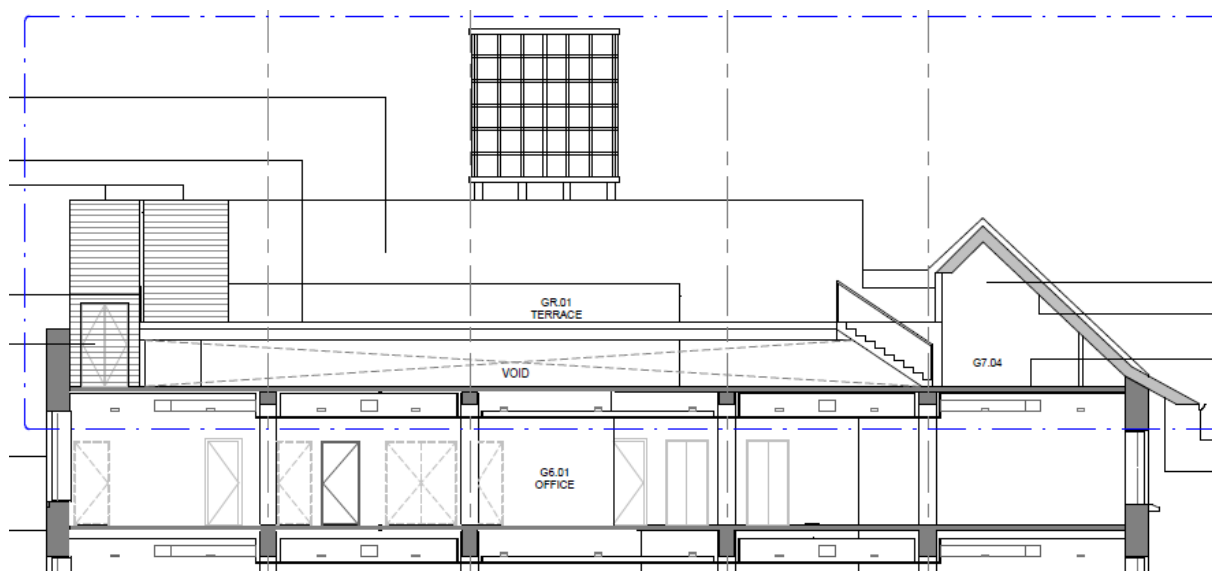


Figure 8 Section showing approved roof works at the rooftop level. (Source: Make, drawing number -A-285-21-32-1, October 2016)

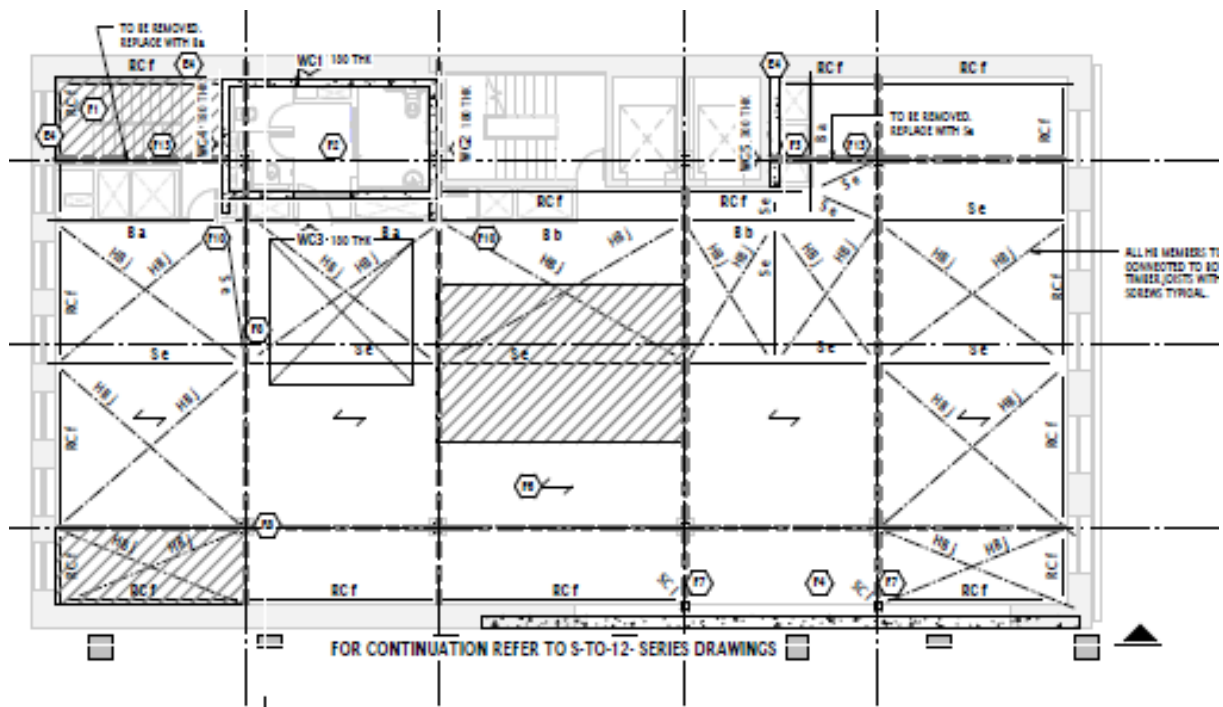


Figure 9 Existing roof level plan—general arrangement. Hatched areas show previous infill structure, and the tower crane location is also shown in the second bay from the left. (Source: RBG, drawing number 285-12-06-00, 2016)

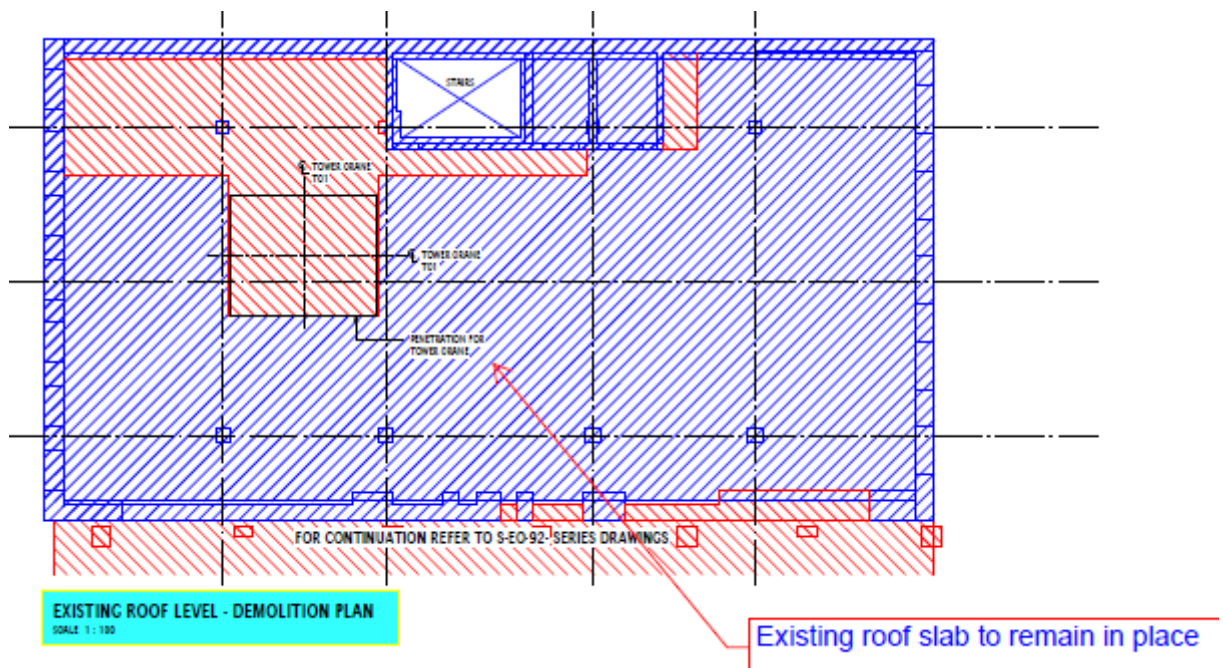


Figure 10 Existing roof level—demolition plan. (Source: RBG, drawing number S-285-92-07-00)

Attachment C—Extracts of Documentation (Proposed Scope of Works)

Proposed Demolition (Plan)

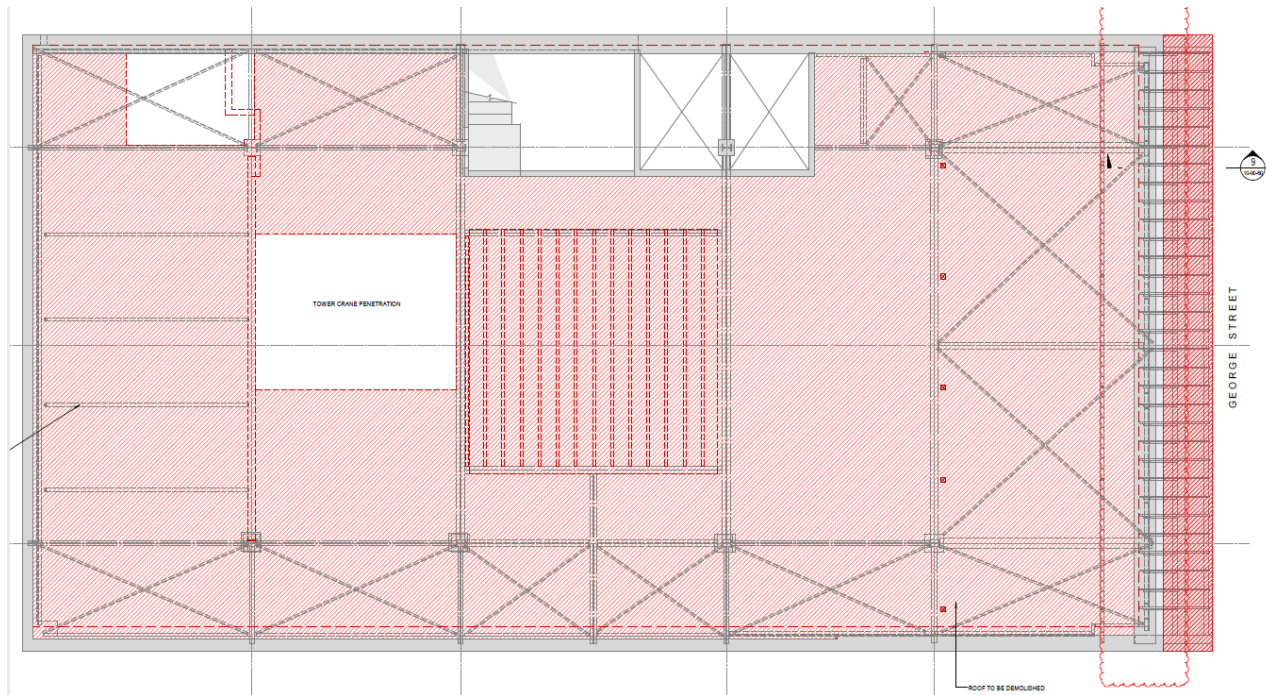


Figure 11 Proposed extent of roof slab demolition, shown in hatched red. (Source: TTW, drawing number ST-285-10-00-50, Rev C 27.03.2019)

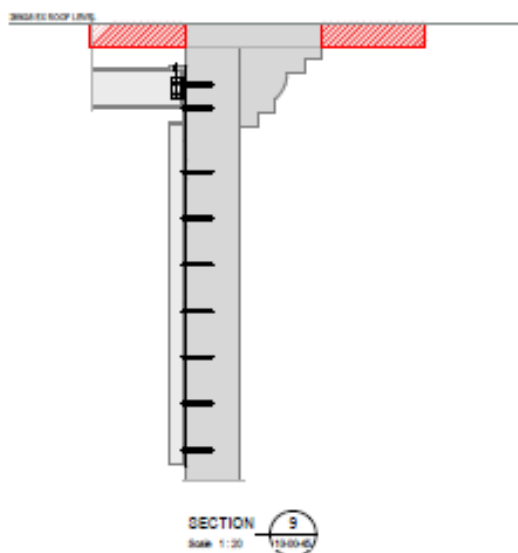


Figure 11a Section detail showing in red hatching, the proposed extent of demolition and the remaining section of existing slab over the George Street wall and over the decorative cornice. (Source: TTW drawing number -ST-285-10-00-60, issue C 27.03.2019)

Proposed Sections

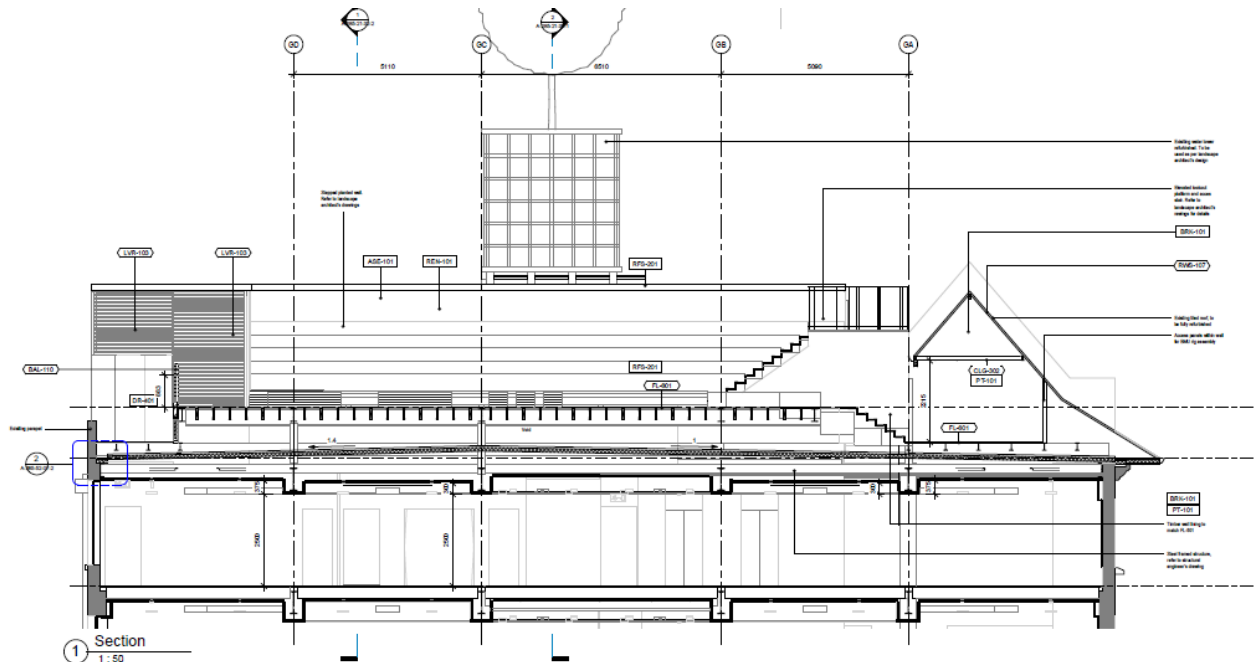


Figure 12 Proposed new roof section. (Source: Make, drawing number -285-51-02-1, issue 4 [for information], 6 March 2019)

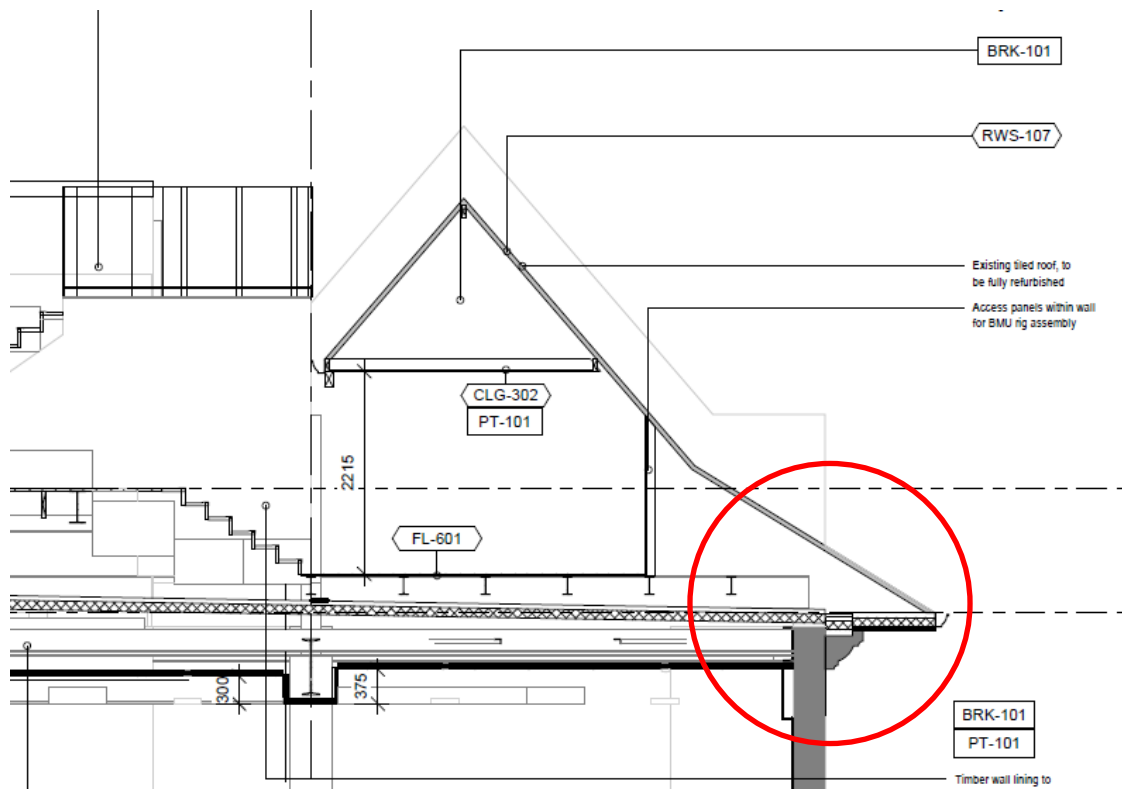


Figure 13 Proposed new roof section, detail at eastern boundary at tiled roof and cornice. Note: the detail of the projecting soffit is currently under design review. (Source: Make, drawing number -285-51-02-1, issue 4 [for information], 6 March 2019)

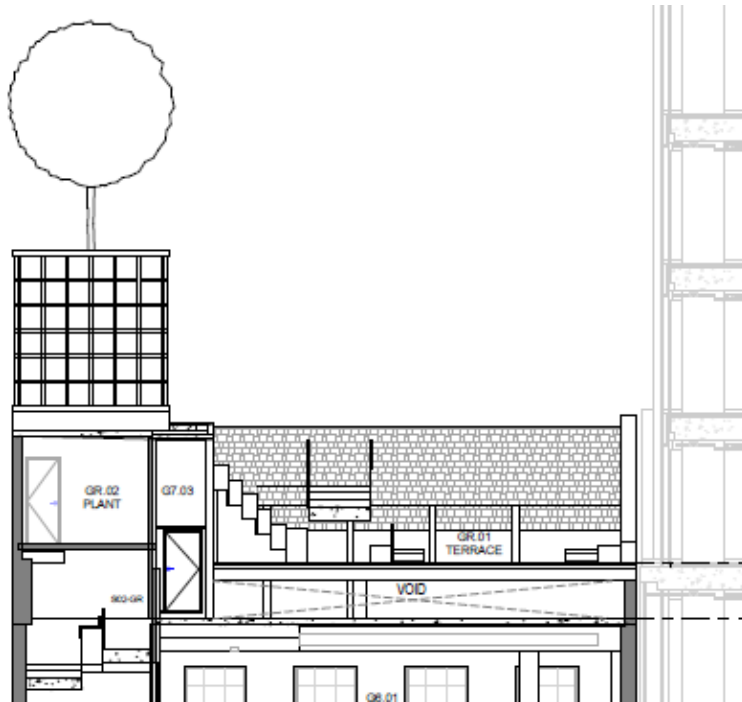


Figure 14 Proposed new roof section, north-south section showing connection to the new office building floor level adjacent, the proposed new stepped planter bed, the new plant to the water tower and the new viewing platform. (Source: Make, drawing number -285-51-02-1, December 2018)

Proposed Roof Plan Components

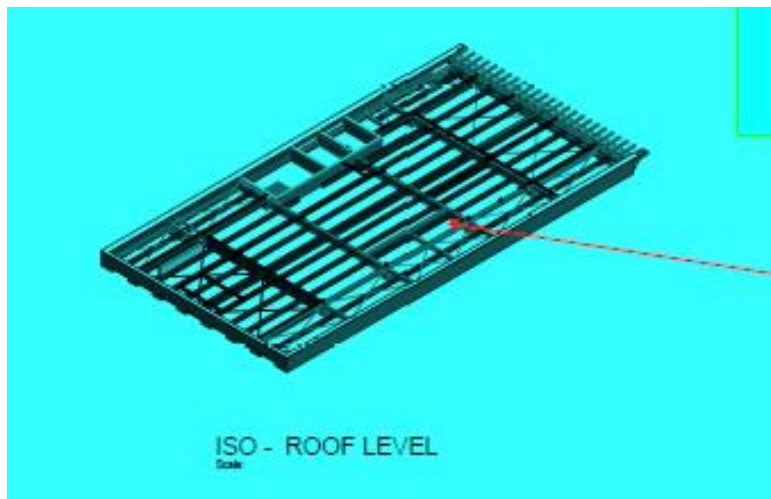


Figure 15 Proposed roof level outline plan, steel frame grillage. (Source: TTW, drawing number ST-285- 60-00-50, November 2018)

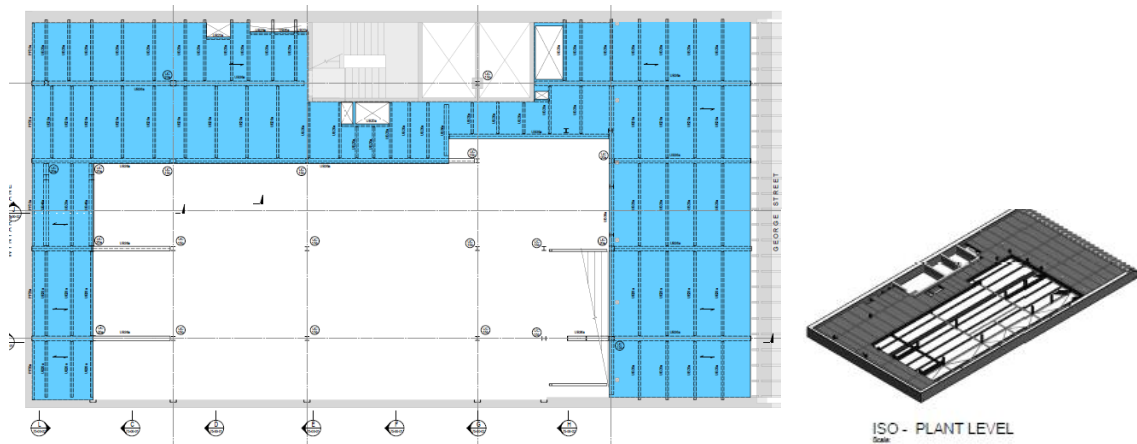


Figure 16 Proposed plant level outline plan, steel frame location. (Source: TTW, drawing number ST-285- 60-00-55, November 2018)

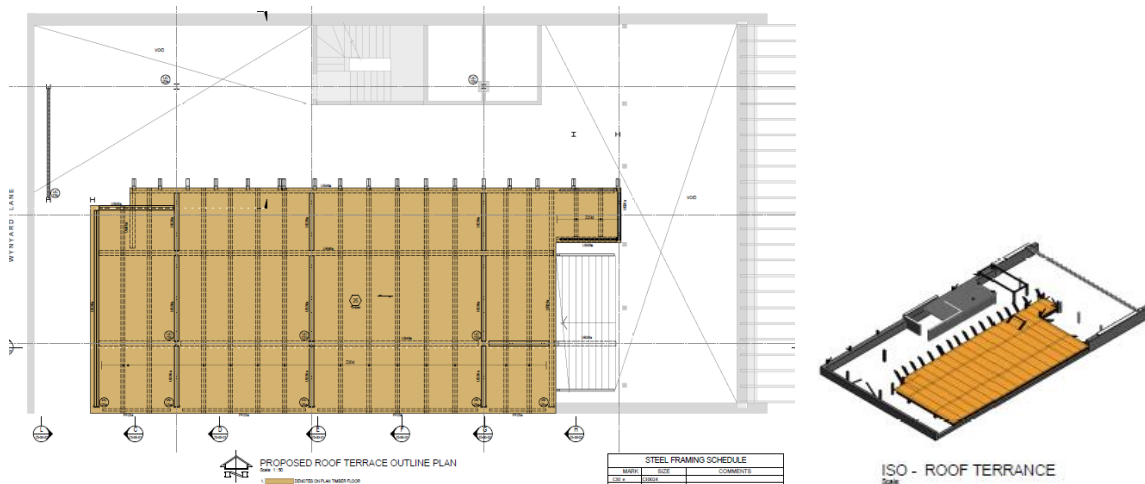


Figure 17 Proposed roof terrace outline plan, steel frame location. (Source: TTW, drawing number ST-285- 60-00-60, November 2018)

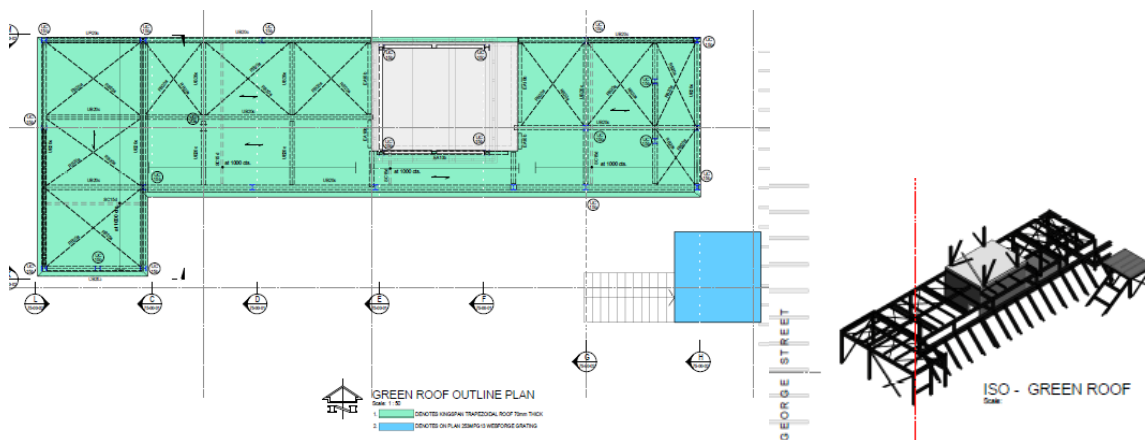


Figure 18 Proposed green roof outline plan, steel frame location. The blue shaded area is the proposed new viewing platform. (Source: TTW, drawing number ST-285- 60-00-65, November 2018)