

Preliminary Environmental Assessment Report

Proposed Netball NSW Headquarters Site 107, Sydney Olympic Park

Prepared for

Netball NSW



Supported by the



March 2012

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1.0 Introduction

In early 2011, Netball NSW and the State Government announced funding for a Netball Centre of Excellence at Sydney Olympic Park.

Netball Central will replace current facilities at the Anne Clark Centre, Lidcombe, providing Netball with the high profile, elite sports facility that they deserve. Netball Central will be an icon for the sport of Netball in Sydney and across NSW generally. The complex is proposed for Sydney Olympic Park (SOP) on the site immediately to the east of the SOP Sports Centre. It will include six (6) indoor netball courts of International Standard, one of which will be a 'Show Court' providing seating for approximately 800 spectators. The complex will include amenities for players, officials and the public, a café, medical rooms and storage and equipment areas as well as new administration offices for Netball NSW.

This report represents a Preliminary Assessment of the proposed development and is submitted to the Department of Planning and Infrastructure to enable the Director General to issue a set of requirements / issues to be addressed as part of any future Development Application prepared in respect of the proposal.

2.0 Location

Sydney Olympic Park is situated approximately 14km to the west of the Sydney CBD and roughly 8km from the Parramatta City Centre, within the local government area of Auburn.

The site is located at the southern end of Olympic Boulevard, between Sarah Durack Avenue and Shirley Strickland Avenue and is known as Site 107 under SOPA's Master Plan 2030.

Development in the immediate vicinity of the subject site is as follows:

- the Sydney International Aquatic Centre is located to the north of Sarah Durack Avenue and the Sydney Olympic Park rail loop;
- the Tennis Centre to the south on the opposite side of Shirley Strickland Avenue;
- Olympic Boulevard to the east, with the Golf Driving Range beyond; and
- the Sports Centre to the west.

The plan at **Figure 1** illustrates the location of the site.

2.1 Land the Subject of this Application

The Development Application will seek approval for redevelopment of the site at Sydney Olympic Park, legally described as Part Lot 204 in DP 1041756.

Site 107 is described in Master Plan 2030 and has an area of approximately 9,700m². It should be noted that the Development Application will seek approval to increase the area of Site 107 by approx. 2,800m², resulting in a total site area in the order of 12,500m². This is the result of an encroachment into the P7 Car Park, to the south. The extent of the land to which this application applies is delineated on the plan prepared by Scott Carver Architects included at **Attachment 1**.

The registered proprietor of the land is the Sydney Olympic Park Authority.



Figure 1 Location of Site 107 within the Southern Sports Precinct (Source: Master Plan 2030)

3.0 Project Description

The application seeks approval for the construction of a purpose-built headquarters for Netball NSW. The works comprise:

- bulk earthworks and excavation;
- construction of five (5) indoor netball courts of international standard, plus one (1) show court with seating for some 800 spectators;
- amenities for players, officials and the public;
- café;
- medical facilities – first aid, physiotherapy, massage etc;
- ancillary storage facilities and equipment areas;
- office / administration areas; and
- utility services connections.

Attachment 2 to this submission includes preliminary information prepared by Scott Carver Architects which illustrates the general form and configuration of the proposed development.

The capital investment value of the development to which this application applies is in the order of \$25 million. The documentation which accompanies the Development Application will include a detailed Quantity Surveyor's report.

4.0 Relevant Planning Provisions

The Environmental Planning Instruments, policies and other documents that are relevant to the proposed development are listed in the table below, together with a brief statement about the manner in which the Project responds to the relevant provisions of each.

Table 4.1 Relevant Environmental Planning Instruments

Instrument/Policy/DCP	Response
SEPP 55	An Environmental Site Assessment Report has been prepared by Coffey Environmental Pty Ltd which includes a preliminary investigation of the site. The report found that: - the concentrations of contaminants in the soil samples analysed were reported either below the laboratory limits of reporting or below the adopted assessment criteria; - the landfill site (under the Golf Driving Range to the east) encroaches into the south eastern corner of the site; and - asbestos fibres were detected in the soil in the south eastern corner and the northern portion of the site. Based on these findings, the report concludes that the site is suitable for the proposed development subject to certain recommendations being implemented. The Proponent will include an undertaking in the Statement of Commitments which adopts the recommendations of the Environmental Site Assessment. A copy of the Environmental Assessment will be included in the DA documentation.
SEPP 32	The proposed development is consistent with the provisions of SEPP 32 as it makes economic use of existing infrastructure and facilities and increases employment opportunities in close proximity to residential areas and leisure opportunities.
SEPP (Major Development) 2005	Part 23 of State Environmental Planning Policy (Major Development) 2005 sets out the zoning and development controls within Sydney Olympic Park. The subject site is zoned B4 Mixed Use and the proposed development is permissible with consent. The preliminary cost estimate of the proposed development is in the order of \$25 million.
Master Plan 2030	The site is located in the Southern Sports Precinct which is defined by Sarah Durack Avenue (north), Shirley Strickland Avenue (south), Olympic Boulevard (east) and the M4 to the west. The location of the site within the Precinct is illustrated at <i>Figure 1</i>. The Master Plan: - confirms that the Precinct will continue to be a sporting destination within Sydney Olympic Park; - Olympic Boulevard is identified as the main street within this precinct, which will be the focus of development. Retail and cafe uses along the street edge will activate the public domain and enhance its daily use. - envisioned an addition to the existing Sports Centre, together with a new entry

Instrument/Policy/DCP	Response
	forecourt to improve the address to the Sports Centre. • building heights are designed to respect the structural expression of the existing Sports Centre roofline. • existing on-grade car parks are to remain and continue to support the sports venues and greater Sydney Olympic Park. • the riparian corridor, vegetation and open spaces along Boundary Creek will also be retained and enhanced. New development in this precinct should not impact on the biological diversity of the Boundary Creek corridor. The Precinct Guidelines identify the subject property (Site 107) as a development site with a designated purpose as a “Venues Expansion Zone”, designed to “extend and support the Sports centre and provide retail and café uses on a mezzanine floor, level with and addressing both Olympic Boulevard and the Sports Centre entry forecourt”. The Master Plan also provides a range of specific controls for built form on the site, including: • FSR 2.0:1 • Height – northern part RL 24.0 AHD; southern part RL 19.0 AHD • Build-to Line along the entire length of the Boulevard frontage (min 90%) The proposal seeks to extend the site some 30 metres to the south over part of the P7 car park, which effectively increases the area of Site 107 to approximately 12,500m². The reconfiguration of the site has been the subject of detailed discussion and has in principle support from SOPA. Whilst the proposal is broadly consistent with the intent of the Master Plan, the design response results in the following minor departures from the detailed controls embodied in the Precinct Guidelines: • the proposed expansion of Site 107 to the south creates the opportunity to create a forecourt to the north of the proposed building which creates an appropriate entry statement / approach to both the Sports Centre and the new Netball Central development; • the proposed building form will exceed the Master Plan height controls in order to achieve the clear height and because of the large structural spans required to accommodate the netball courts These departures will be fully documented and justification will be provided in the Development Application in accordance with Clause 21 of Part 23 of the Major Projects SEPP. It should also be noted that the design of the proposed Netball NSW facility is being developed in consultation with SOPA and a series of presentations have been / will be made to its Design Review Panel.

5.0 Consultation

Agencies and other key stakeholders that may have an interest in the proposal include RailCorp, Auburn Council and other land owners at Sydney Olympic Park.

The development concept has been presented to the Sydney Olympic Park Design Review Panel on two (2) occasions (21 July 2011 and 16 February 2012) and the feedback obtained from the Panel has been used to inform and refine the design. It is anticipated that the final design for which consent will be sought, will be presented to the Panel prior to lodgement of the development application.

It is also anticipated that the proposal will be presented to SOPA's Access Committee and copies of the Minutes of that meeting will be included in the DA documentation.

It is not anticipated that any other agency approvals will be required.

6.0 Key Issues

6.1 Extent of Site 107

Netball NSW has obtained agreement in principle from SOPA to extend the boundaries of Site 107 (as depicted in Master Plan 2030) to the south, which results in an increase in site area from 9,700m² to approximately 12,500m².

6.2 Building Design

The concept design has been the subject of detailed discussions with SOPA personnel and has been reviewed by the Sydney Olympic Park Design Review Panel on two occasions to date. It is anticipated that the proposal will be presented to the Panel again prior to lodgement.

The DA will document the manner in which the proposed development achieves the design objectives for this site as set out in SOPA's Master Plan 2030.

6.3 Traffic, Access and Parking

As discussed previously in this report, it is proposed to alter the extent of Site 107 by encroaching some 30 metres to the south into the P7 Car Park. This will necessitate some modifications to the existing vehicular access to / from Olympic Boulevard and will result in the loss of approximately 92 parking spaces from P7.

The existing loading facility located in the south eastern corner of the Sports Centre will not be impeded by the construction of the Netball facility.

A traffic impact assessment will be prepared to accompany the DA which will address the implications of the proposed changes to the existing access and parking arrangements and any traffic impacts associated with the proposal during both the construction and operational phases.

6.4 Sustainability

All new development at Sydney Olympic Park is required to demonstrate a commitment to ESD principles in terms of design, construction management, process, materials selection, pollution control and resource conservation. To this end, development must endeavour to maximise renewable energy sources, employ responsible solar design and be connected to the Water Reclamation and Management Scheme (WRAMS).

A Sustainable Building Report will be prepared to accompany the DA.

6.5 Contributions

SOPA has prepared the Sydney Olympic Park Master Plan 2030 to control the future development of Sydney Olympic Park. It is supported by an Infrastructure Contribution Framework which describes the:

- administrative arrangements for infrastructure contributions;
- expected future development in Sydney Olympic Park;
- infrastructure that will be required to meet that development and its capital cost;
- method used to equitably share the cost of infrastructure among developers of land in Sydney Olympic Park; and

- contributions that SOPA will seek to include in planning agreements to be negotiated with developers of land in Sydney Olympic Park and which will be applied towards the provision of that infrastructure.

Preliminary advice from SOPA indicates that infrastructure contributions will not be levied on the proposed Netball facility.

6.6 Geotechnical

Coffey Geotechnics has undertaken a preliminary geotechnical investigation. The findings of the report indicate that there should be no significant geotechnical constraints to the required excavations for the basement and foundations for the proposed development. A copy of the Geotechnical Report will accompany the Environmental Assessment.

Subsequent structural engineering advice indicates that the quantum of uncontrolled fill on the site will require compaction of roughly 2 metres of the fill under the proposed floor slabs, either via in-situ dynamic compaction or by removing and replacing the material. This will be fully addressed in the documentation which accompanies the Development Application.

6.7 Contamination

An Environmental Site Assessment Report has been prepared by Coffey Environmental Pty Ltd which includes a preliminary investigation of the site.

The report found that:

- the concentrations of contaminants in the soil samples analysed were reported either below the laboratory limits of reporting or below the adopted assessment criteria;
- the landfill site (under the Golf Driving Range to the east) encroaches into the south eastern corner of the site; and
- asbestos fibres were detected in the soil in the south eastern corner and the northern portion of the site.

Based on these findings, the report concludes that the site is suitable for the proposed development subject to certain recommendations being implemented.

A copy of the Site Assessment Report will accompany the DA.

6.8 Impact on Events

The Southern Sports Precinct is affected by major events at the Stadium at Sydney Olympic Park due to changed access arrangements on Olympic Boulevard and Shirley Strickland Avenue.

In addition, the Sports Centre, Golf Driving Range and the Tennis Centre have an almost year round usage associated with the various events held at SOP. The largest events in this part of Sydney Olympic Park include the Sydney International, held at the Tennis Centre in January.

The timing and extent of the construction phase may need to be managed to ensure minimal disruption to the smooth running and amenity of major events. The issues of timing and extent of the construction phase will need to be addressed in a detailed Construction Environment Management Plan.

Master Plan 2030 requires the preparation of an Events Impact Assessment, which will be included as part of the DA documentation and will specifically address the requirements for development in the Southern Sports Precinct embodied in SOPA's *Event Access Plan*.

6.9 Construction Management

A draft Construction Environment Management Plan will be prepared to manage the environmental impacts associated with noise, traffic, waste management, erosion and sedimentation control. It will also address the need to avoid conflicts with events occurring at Sydney Olympic Park.

It is noted that upon appointment of a contractor to undertake the construction phase, the CEMP will be finalised and submitted to SOPA for approval prior to commencement of works.

6.10 Acid Sulphate Soils

In 1997, the Olympic Co-Ordination Authority prepared an Acid Sulphate Soil Risk Map to identify the extent of risk from acid sulphate soil across the Sydney Olympic Park site and surrounding area. The map indicates that the site is located in an area where further soil investigations are required to assess the potential for Acid Sulphate Soils.

Specialist information will be prepared to accompany the development application. A copy of the Map is included at **Attachment 3**.

6.11 Tree Removal / Protection of Existing Trees

The Development application will seek approval for the removal of a number of trees located between the existing Sports Centre and Olympic Boulevard (see *Figure 2* below). These were planted as part of the landscape treatment of the Sports Centre.



Figure 2 Location of vegetation on and in the vicinity of Site 107 (Source: SOPA's Significant Tree Register)

SS4 group	<i>Platanus hybria</i>
SS5 group	<i>Livistona australis</i>
BC1 group	<i>Auaucarua cunninghamiana</i>

The design of the landscape treatment for the proposed development will be developed in accordance with the principles and requirements set out in SOPA's *Urban Elements Design Manual* (UEDM) and documented as part of the Development Application.

6.12 Public Domain

As indicated above, the landscape treatment for the proposed development is being developed with regard to the UDEM and will be designed to seamlessly interface with the established public domain in the vicinity.

6.13 Vibration – Impacts on Rail Infrastructure

The location of the rail corridor in relation to the site is currently being investigated. However, preliminary information suggests that the corridor is located sufficiently distant from the site such that it is unlikely that the proposed development will have any impact on its integrity.

7.0 Summary

This submission has been prepared to enable the Director General to issue his requirements for the matters to be addressed in the Development Application for the proposed Netball Central development at Sydney Olympic Park.

A Statement of Environmental Effects will be prepared to accompany the Development Application and will address all the relevant requirements of Section 79C of the Environmental Planning and Assessment Act, including all statutory controls – State Environmental Planning Policies, the *Sydney Olympic Park Act 2001*, Master Plan 2030, any relevant SOPA policies and the specific requirements of the Director General of the Department of Planning and Infrastructure.

ATTACHMENT 1

Location Plan

Scott Carver Architects



Status		Preliminary
Nom. Architect		Bob Perry 3935
Print Date		1 March 2012
Rev	Description	Date
A	For Discussion	23.01.2012
B	For Discussion	25.01.2012
C	For Discussion	27.01.2012
D	For Approval	01.03.2012

- Legend :
- Site 107, Sydney Olympic Park Master Plan 2030
 - Additional land to which application applies
 - Proposed Building Footprint
 - Zone of Influence / Interface



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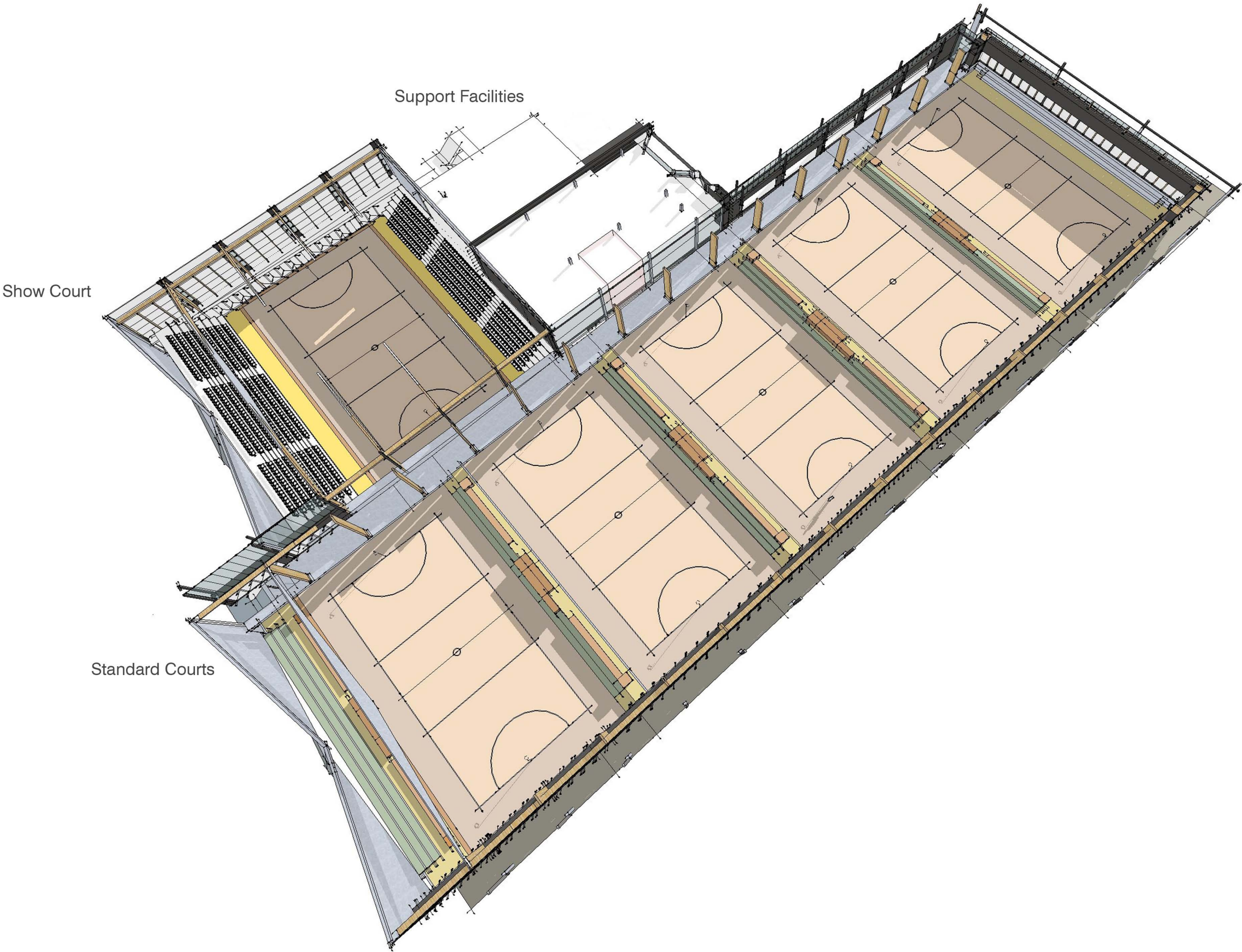
OUTLINE PROPOSAL : Location Plan

Reference No.	Discipline	Drawing No.	Title
20100036	A	SK 50	Rev. D

ATTACHMENT 2

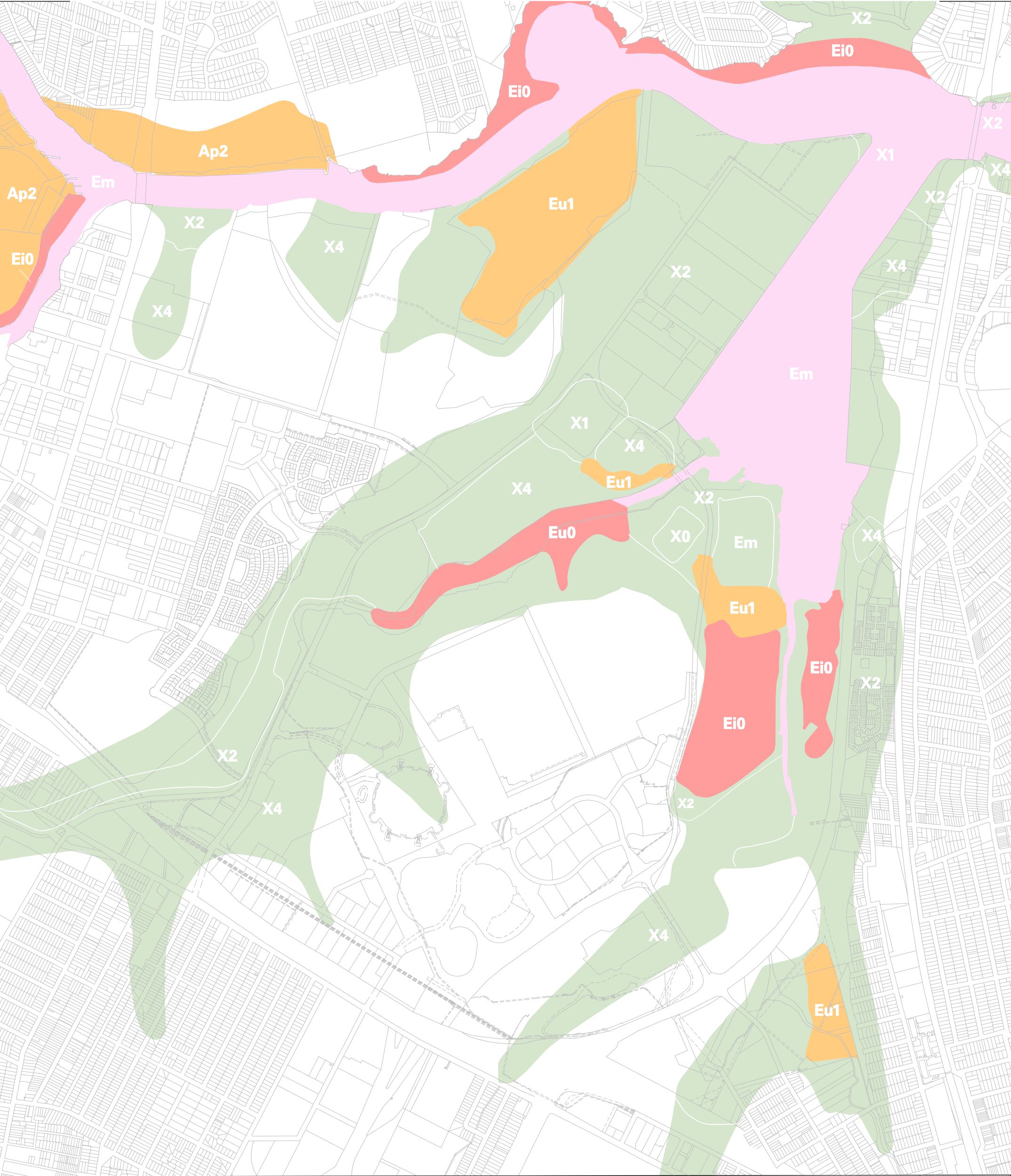
Preliminary Plans
Scott Carver Architects

Status	Preliminary	
Nom. Architect	Bob Perry 3935	
Print Date	1 March 2012	
Rev	Description	Date
A	For Discussion	23.01.2012
B	For Approval	01.03.2012



ATTACHMENT 3

Acid Sulphate Soils Map
SOPA



Map Class Description	Depth to Acid Sulphate Soil Materials		Environmental Risk	Typical Landform Types
HIGH PROBABILITY High probability of occurrence of acid sulphate soil materials within soil profile. The environment of deposition has been suitable for the formation of acid sulphate soil materials. Acid sulphate soil materials are widespread or sporadic and may be buried by alluvium or windblown sediments.	Below water level	Bottom sediments.	Severe environmental risk if bottom sediments are disturbed by activities such as dredging.	Bottom sediments of lakes, lagoons, tidal creeks, rivers and estuaries.
		At or near the ground surface.	Severe environmental risk if acid sulphate soil materials are disturbed by activities such as shallow drainage, excavation or clearing.	Estuarine swamps, intertidal flats and supratidal flats.
		Within 1 metre of the ground surface.	Severe environmental risk if acid sulphate soil materials are disturbed by activities such as shallow drainage, excavation or clearing.	Low alluvial plains, estuarine sandplains, estuarine swamps, backswamps and supratidal flats.
DISTURBED TERRAIN		Disturbed terrain may include filled areas, which often occur during reclamation of low lying swamps for urban development. Other disturbed terrain includes areas which have been mined or dredged, or have undergone heavy ground disturbance through general urban development or construction of dams or levees. Soil investigations are required to assess these areas for acid sulphate potential.		