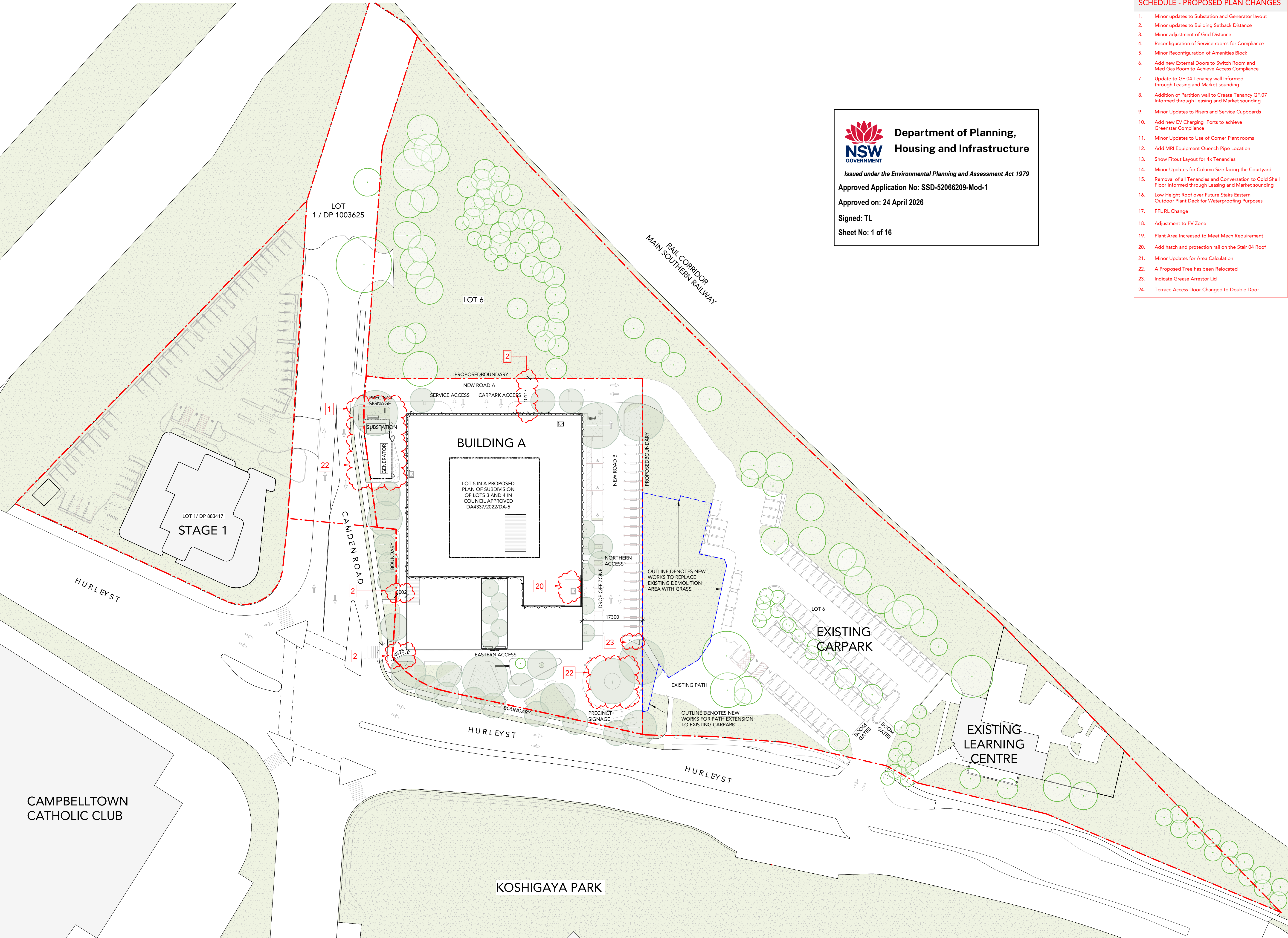






**Department of Planning,
Housing and Infrastructure**

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-52066209-Mod-1

Approved on: 24 April 2026

Signed: TL

Sheet No: 1 of 16

- SCHEDULE - PROPOSED PLAN CHANGES
1.

Minor updates to Substation and Generator layout
2.

Minor updates to Building Setback Distance
3.

Minor adjustment of Grid Distance
4.

Reconfiguration of Service rooms for Compliance
5.

Minor Reconfiguration of Amenities Block
6.

Add new External Doors to Switch Room and Med Gas Room to Achieve Access Compliance
7.

Update to GF.04 Tenancy wall Informed through Leasing and Market sounding
8.

Addition of Partition wall to Create Tenancy GF.07 Informed through Leasing and Market sounding
9.

Minor Updates to Risers and Service Cupboards
10.

Add new EV Charging Ports to achieve Greenstar Compliance
11.

Minor Updates to Use of Corner Plant rooms
12.

Add MRI Equipment Quench Pipe Location
13.

Show Fitout Layout for 4x Tenancies
14.

Minor Updates for Column Size facing the Courtyard
15.

Removal of all Tenancies and Conversation to Cold Shell Floor Informed through Leasing and Market sounding
16.

Low Height Roof over Future Stairs Eastern Outdoor Plant Deck for Waterproofing Purposes
17.

FFL RL Change
18.

Adjustment to PV Zone
19.

Plant Area Increased to Meet Mech Requirement
20.

Add hatch and protection rail on the Stair 04 Roof
21.

Minor Updates for Area Calculation
22.

A Proposed Tree has been Relocated
23.

Indicate Grease Arrestor Lid
24.

Terrace Access Door Changed to Double Door

DEVELOPMENT APPLICATION		
Rev	Revision Description	Date
25	ISSUE FOR SSDA MOD	02/03/2026

DRAWING NOTES

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Date:

Site Areas	
Site A	7028m ²
Site 2 Total	7027m ²
Site 3	15848m ²
Site 2 & 3 Total	22875m ²

Client or Builder
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**TEAM2
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Reg. No. 19340

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Reg. No. 5793

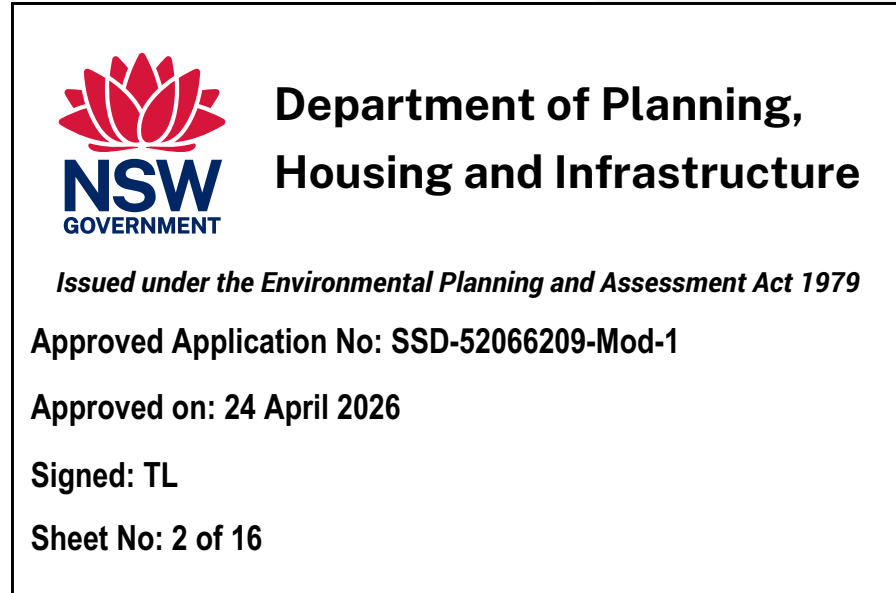
ABN 72 104 833 507
info@team2.com.au



Project:
Macarthur Health Precinct Stage 2
1 Hurley St, Campbelltown NSW 2560

Title:
PROPOSED SITE PLAN

Project #:	Scale:	Drawn:	Checked:
1254	As indicated @A1	BF	RP
Drawing #:	Revision:		
DA-0101	25		



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Drawing #:	DA-1002	Rev:	26
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Housing and Infrastructure

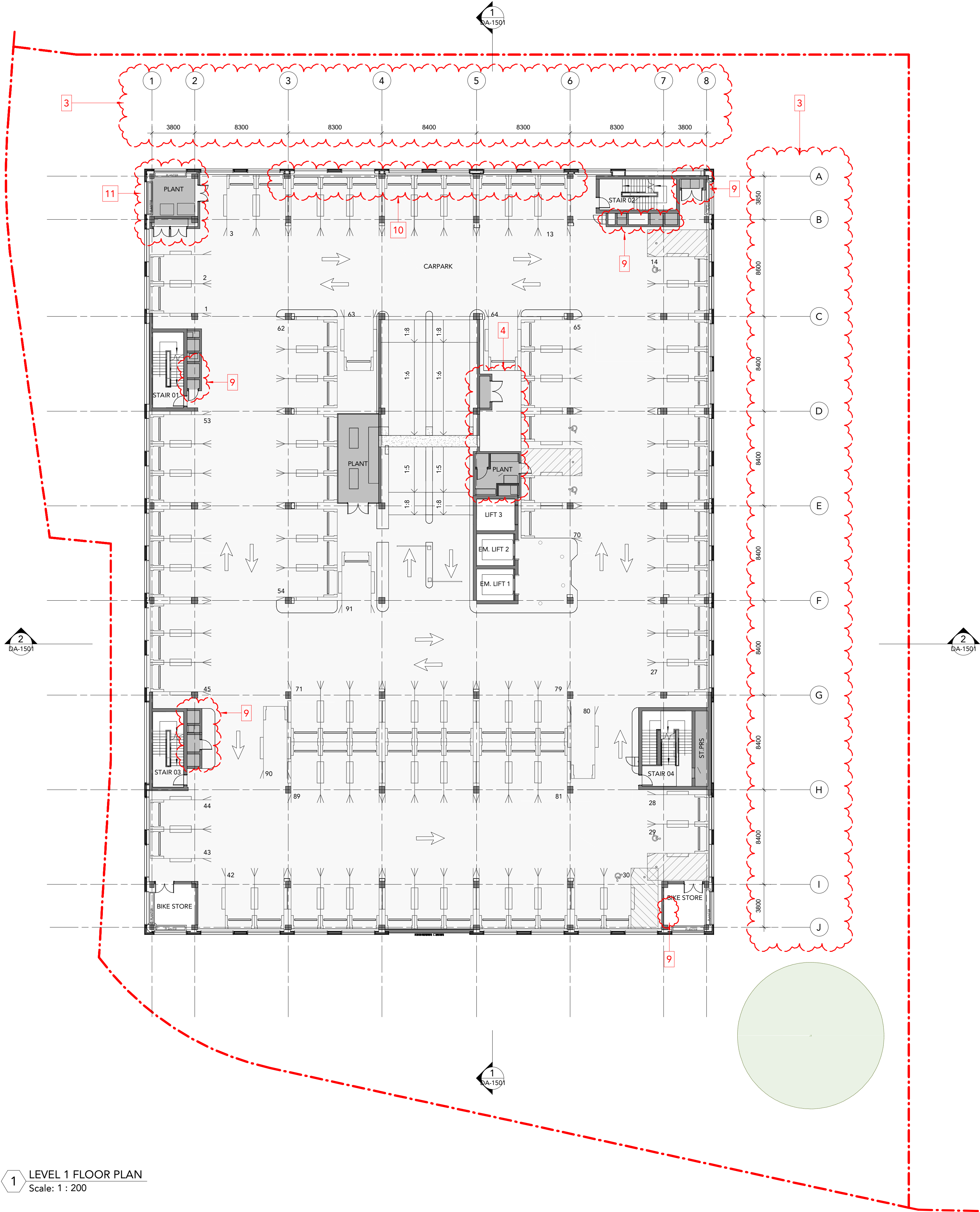
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Approved Application No: SSD-52066209-Mod-1

Approved on: 24 April 2026

Signed: TL

Sheet No: 3 of 16



1 LEVEL 1 FLOOR PLAN
Scale: 1 : 200

SCHEDULE - PROPOSED PLAN CHANGES

- Minor updates to Substation and Generator layout
- Minor updates to Building Setback Distance
- Minor adjustment of Grid Distance
- Reconfiguration of Service rooms for Compliance
- Minor Reconfiguration of Amenities Block
- Add new External Doors to Switch Room and Med Gas Room to Achieve Access Compliance
- Update to GF.04 Tenancy wall Informed through Leasing and Market sounding
- Addition of Partition wall to Create Tenancy GF.07 Informed through Leasing and Market sounding
- Minor Updates to Risers and Service Cupboards
- Add new EV Charging Ports to achieve Greenstar Compliance
- Minor Updates to Use of Corner Plant rooms
- Add MRI Equipment Quench Pipe Location
- Show Fitout Layout for 4x Tenancies
- Minor Updates for Column Size facing the Courtyard
- Removal of all Tenancies and Conversion to Cold Shell Floor Informed through Leasing and Market sounding
- Low Height Roof over Future Stairs Eastern Outdoor Plant Deck for Waterproofing Purposes
- FFL RL Change
- Adjustment to PV Zone
- Plant Area Increased to Meet Mech Requirement
- Add hatch and protection rail on the Stair 04 Roof
- Minor Updates for Area Calculation
- A Proposed Tree has been Relocated
- Indicate Grease Arrestor Lid
- Terrace Access Door Changed to Double Door

DEVELOPMENT APPLICATION

Rev	Revision Description	Date
6	ISSUE FOR SSDA MOD	02/03/2026

DRAWING NOTES

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Project:
Macarthur Health Precinct Stage 2
1 Hurley St, Campbelltown NSW 2560

Title:
LEVEL 1 FLOOR PLAN

Project #:	Scale:	Drw:	Cld:
1254	As indicated @A1	BF	RP

Drawing #:	Rev:
A-1001	6



Department of Planning,
Housing and Infrastructure

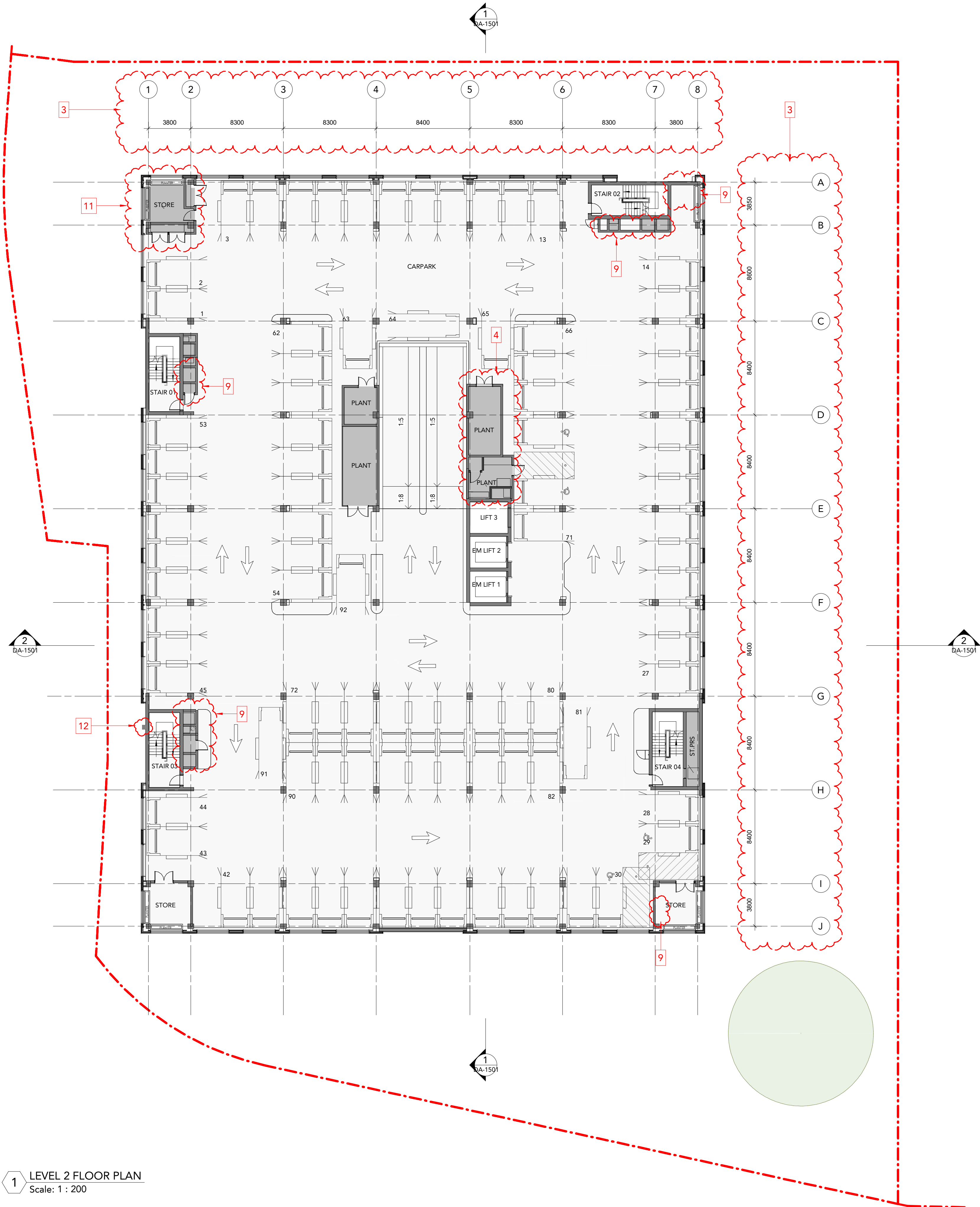
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Approved Application No: SSD-52066209-Mod-1

Approved on: 24 April 2026

Signed: TL

Sheet No: 4 of 16



1 LEVEL 2 FLOOR PLAN
Scale: 1 : 200

SCHEDULE - PROPOSED PLAN CHANGES

- Minor updates to Substation and Generator layout
- Minor updates to Building Setback Distance
- Minor adjustment of Grid Distance
- Reconfiguration of Service rooms for Compliance
- Minor Reconfiguration of Amenities Block
- Add new External Doors to Switch Room and Med Gas Room to Achieve Access Compliance
- Update to GF.04 Tenancy wall Informed through Leasing and Market sounding
- Addition of Partition wall to Create Tenancy GF.07 Informed through Leasing and Market sounding
- Minor Updates to Risers and Service Cupboards
- Add new EV Charging Ports to achieve Greenstar Compliance
- Minor Updates to Use of Corner Plant rooms
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- Minor Updates for Column Size facing the Courtyard
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- Low Height Roof over Future Stairs Eastern Outdoor Plant Deck for Waterproofing Purposes
- FFL RL Change
- Adjustment to PV Zone
- Plant Area Increased to Meet Mech Requirement
- Add hatch and protection rail on the Stair 04 Roof
- Minor Updates for Area Calculation
- A Proposed Tree has been Relocated
- Indicate Grease Arrestor Lid
- Terrace Access Door Changed to Double Door

DEVELOPMENT APPLICATION

Rev	Revision Description	Date
6	ISSUE FOR SSDA MOD	02/03/2026

DRAWING NOTES

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Brisbane Level 3, 240 Queen St, Brisbane, QLD 4000 +61 2 9437 3166 Reg. No. 5793	ABN 72 104 833 507 info@team2.com.au



Project:
Macarthur Health Precinct Stage 2
1 Hurley St, Campbelltown NSW 2560

Title:
LEVEL 2 FLOOR PLAN

Project #:	Scale:	Dwn:	Cld:
1254	As indicated @A1	BF	RP
Drawing #:		Rev:	
A-1002		6	



**Department of Planning,
Housing and Infrastructure**

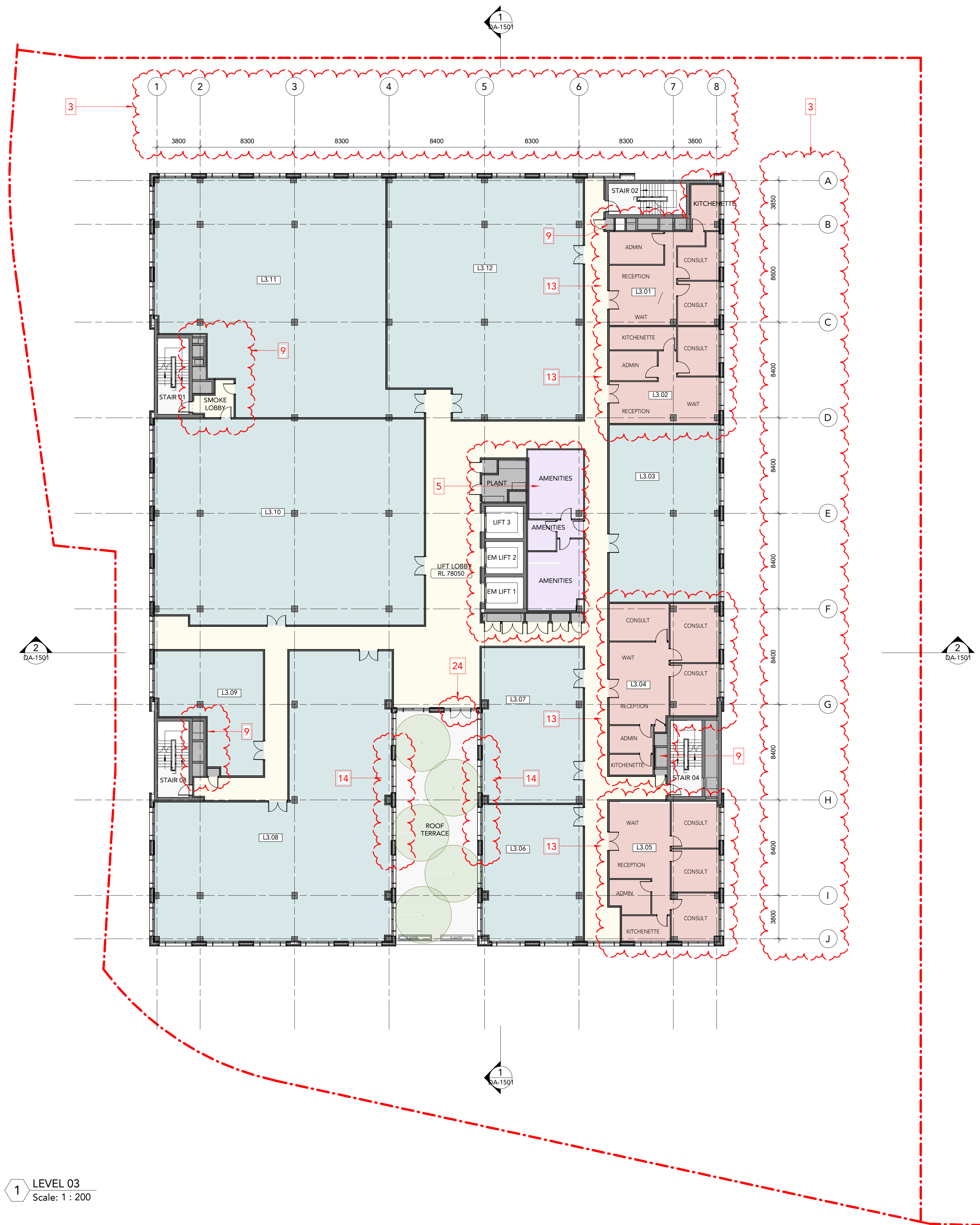
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Approved Application No: SSD-52066209-Mod-1

Approved on: 24 April 2026

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Sheet No: 5 of 16



1 LEVEL 03
Scale: 1 : 200

DEVELOPMENT APPLICATION

[illegible]

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Project: **Macarthur Health Precinct Stage 2**
1 Hurley St, Campbelltown NSW 2560

LEVEL 03

Project #: 1254	Scale: As indicated @A1	Drw: BF	Ckd: RP
Drawing #: DA-1005		Rev: 20	



Sheet No: 6 of 16

Project #:	Scale:	Drw:	Ckd:
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Drawing #:	Rev:		
DA-1006			20



Department of Planning,
Housing and Infrastructure

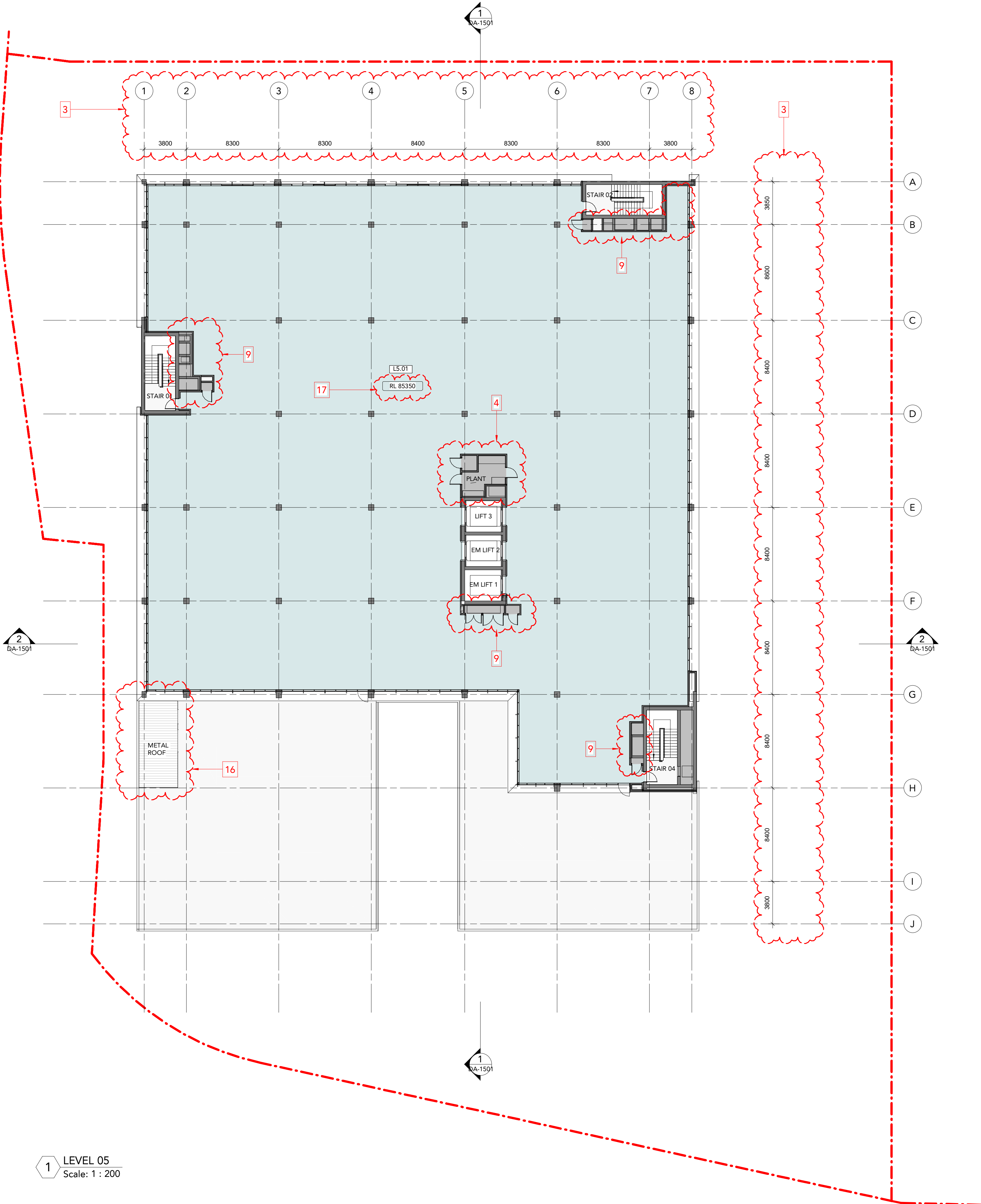
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Approved Application No: SSD-52066209-Mod-1

Approved on: 24 April 2026

Signed: TL

Sheet No: 7 of 16



1 LEVEL 05
Scale: 1 : 200

SCHEDULE - PROPOSED PLAN CHANGES

- Minor updates to Substation and Generator layout
- Minor updates to Building Setback Distance
- Minor adjustment of Grid Distance
- Reconfiguration of Service rooms for Compliance
- Minor Reconfiguration of Amenities Block
- Add new External Doors to Switch Room and Med Gas Room to Achieve Access Compliance
- Update to GF.04 Tenancy wall Informed through Leasing and Market sounding
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- Minor Updates to Use of Corner Plant rooms
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- Minor Updates for Column Size facing the Courtyard
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- FFL RL Change
- Adjustment to PV Zone
- Plant Area Increased to Meet Mech Requirement
- Add hatch and protection rail on the Stair 04 Roof
- Minor Updates for Area Calculation
- A Proposed Tree has been Relocated
- Indicate Grease Arrestor Lid
- Terrace Access Door Changed to Double Door

DEVELOPMENT APPLICATION

Rev	Revision Description	Date
21	ISSUE FOR SSDA MOD	02/03/2026

DRAWING NOTES

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Project:
Macarthur Health Precinct Stage 2
1 Hurley St, Campbelltown NSW 2560

Title:

LEVEL 05

Project #:	Scale:	Dwn:	Cld:
1254	As indicated @A1	BF	RP

Drawing #	Rev:
DA-1007	21



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Sheet No: 8 of 16



1 ROOF PLAN
Scale: 1 : 200



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Housing and Infrastructure

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Approved Application No: SSD-52066209-Mod-1

Approved on: 24 April 2026

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Sheet No: 8 of 16

SCHEDULE - PROPOSED PLAN CHANGES

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- Minor updates to Building Setback Distance
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- Reconfiguration of Service rooms for Compliance
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- Add hatch and protection rail on the Stair 04 Roof
- Minor Updates for Area Calculation
- A Proposed Tree has been Relocated
- Indicate Grease Arrestor Lid
- Terrace Access Door Changed to Double Door

DEVELOPMENT APPLICATION

Rev	Revision Description	Date
10	ISSUE FOR SSDA MOD	02/03/2026

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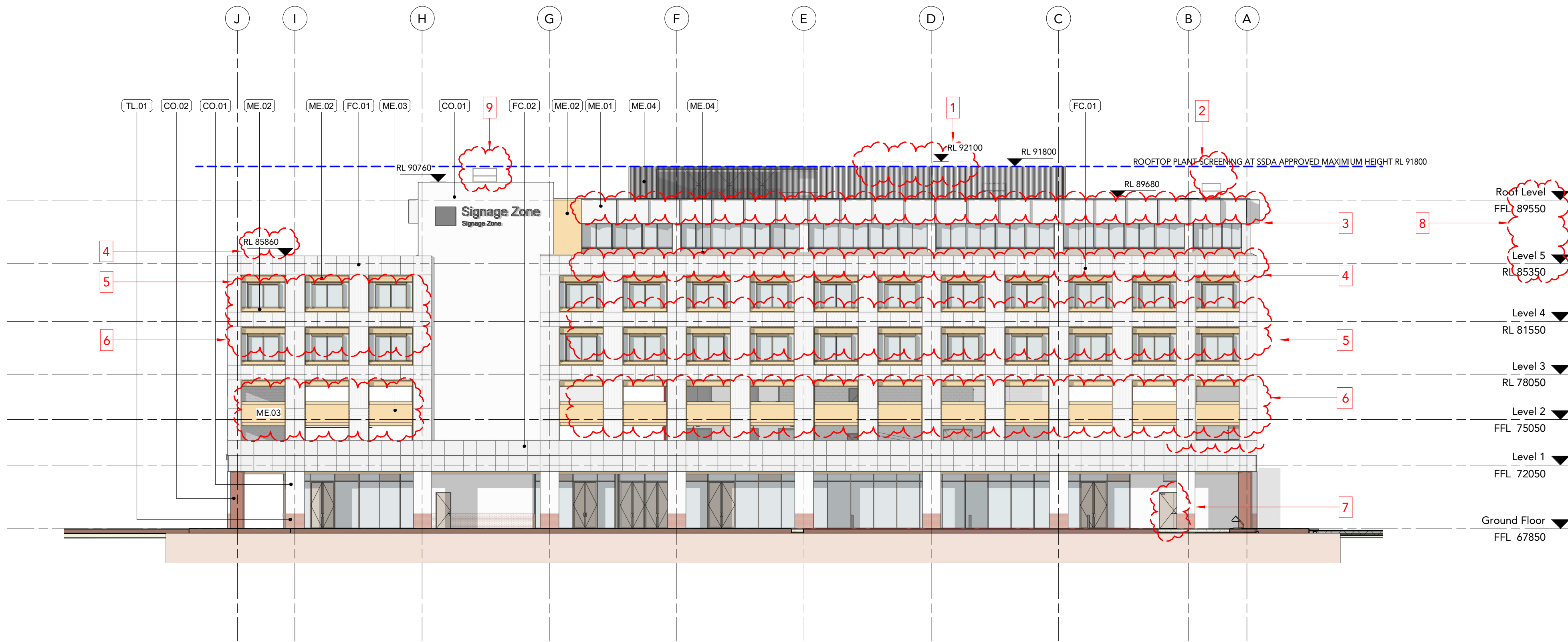
Project:
Macarthur Health Precinct Stage 2
1 Hurley St, Campbelltown NSW 2560

Title:

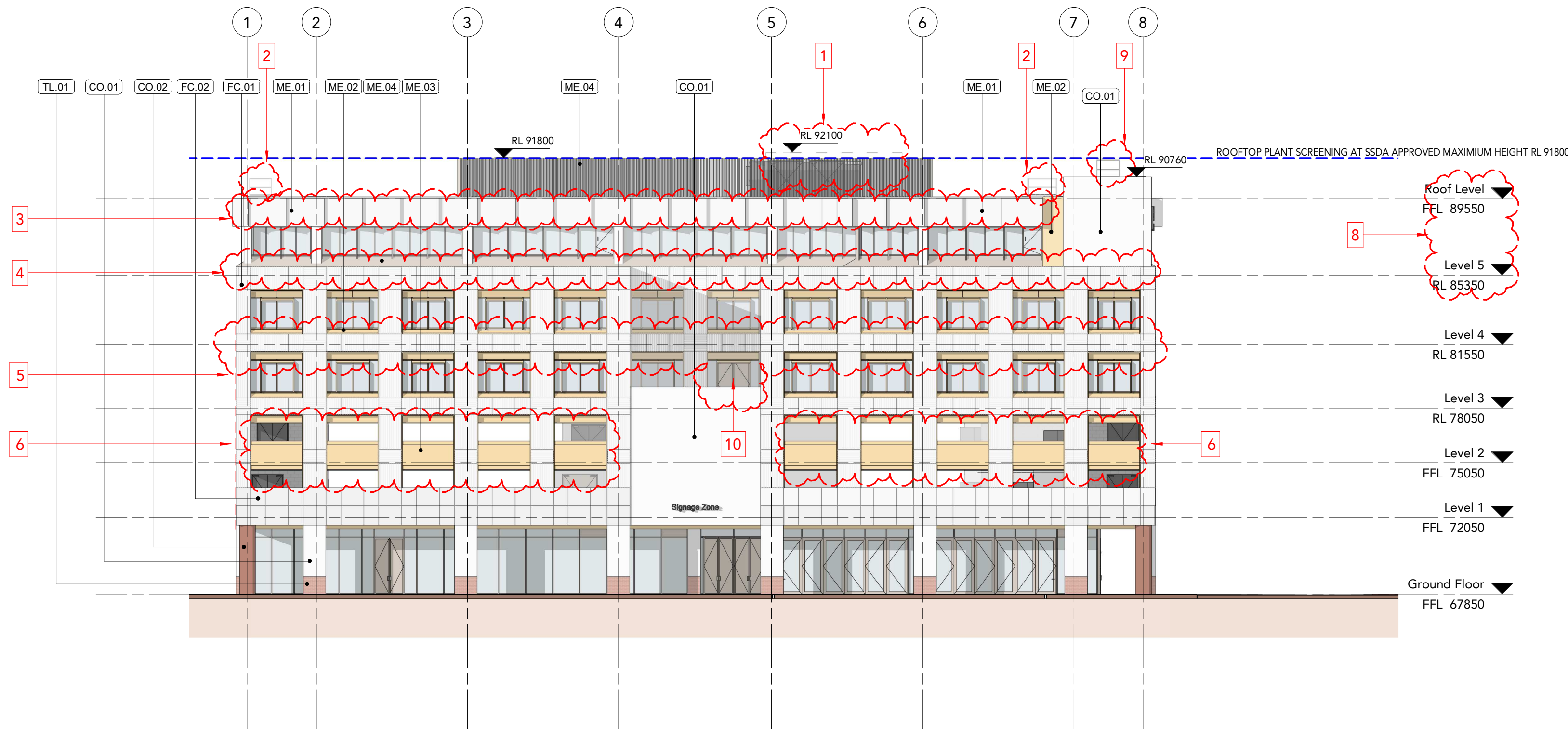
ROOF PLAN

Project #:	Scale:	Dwn:	Cld:
1254	As indicated @A1	BF	RP

Drawing #:	Rev:
DA-1008	10



1 NORTH ELEVATION
Scale: 1 : 200



2 EAST ELEVATION
Scale: 1 : 200

SCHEDULE - PROPOSED FACADE & SECTION CHANGES

- Top of Proposed Chillers at RL 92.100
- Safety Compliance for Roof Services Access Hatch
- Height of Proposed Parapet Scallop Reduced to Align with Internal Ceiling height. It would Improve Interior Room Natural Light Access
- RL of Parapet Cladding Amended
- Windows amended to increase natural daylight access as required by Greenstar
- Carpark openings increased to align with the above window amendments to maintain design intent and proportion in the facade.
- Access Doors added following further design development
- Floor Levels Changed
- Showing the details of hatch and protection rail on the Stair 04 Roof. Noting no Proposed Building Increase at this point.
- Terrace Access Door Changed to Double Door

DEVELOPMENT APPLICATION

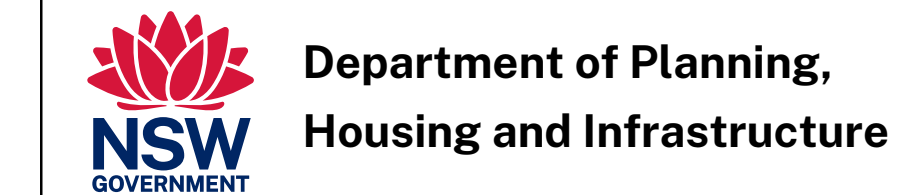
Rev	Revision Description	Date
14	ISSUE FOR SSDA MOD	02/03/2026

DRAWING NOTES

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Sheet No: 9 of 16

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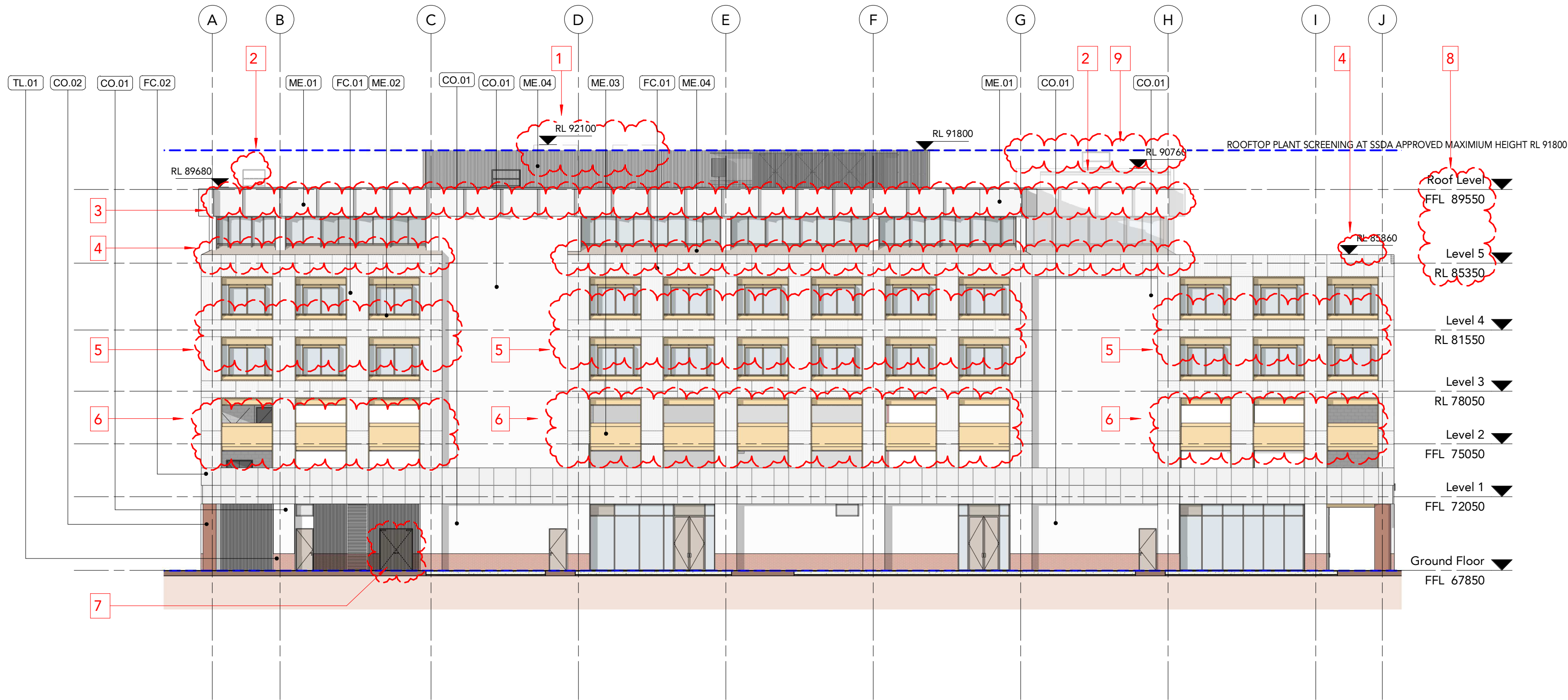
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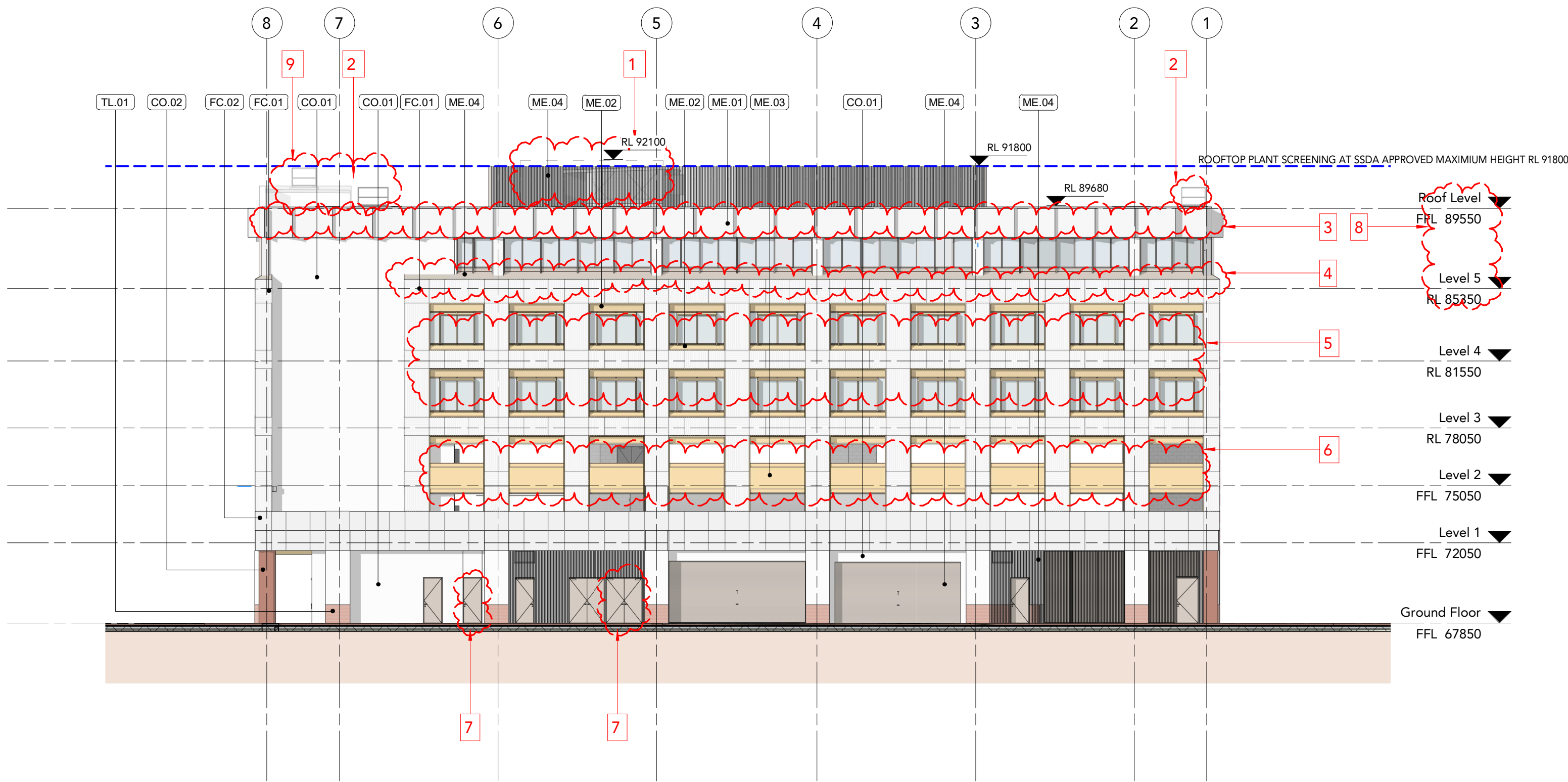
Project:
Macarthur Health Precinct Stage 2
1 Hurley St, Campbelltown NSW 2560

Title:
ELEVATION NORTH & EAST

Project #:	Scale:	Draw:	Client:
1254	As indicated @A1	BF	RP
Drawing #		Rev:	
DA-1401			14



1 SOUTH ELEVATION
Scale: 1 : 200



2 WEST ELEVATION
Scale: 1 : 200

SCHEDULE - PROPOSED FACADE & SECTION CHANGES

- Top of Proposed Chillers at RL 92.100
- Safety Compliance for Roof Services Access Hatch
- Height of Proposed Parapet Scoops Reduced to Align with Internal Ceiling height. It would Improve Interior Room Natural Light Access
- RL of Parapet Cladding Amended
- Windows amended to increase natural daylight access as required by Greentstar
- Carpark openings increased to align with the above window amendments to maintain design intent and proportion in the facade.
- Access Doors added following further design development
- Floor Levels Changed
- Showing the details of hatch and protection rail on the Stair 04 Roof. Noting no Proposed Building Increase at this point.
- Terrace Access Door Changed to Double Door

DEVELOPMENT APPLICATION

Rev	Revision Description	Date
14	ISSUE FOR SSDA MOD	02/03/2026

DRAWING NOTES

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Brisbane
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Brisbane, QLD 4000
+61 2 9437 3166
Reg. No. 5793

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info@team2.com.au

0 1 2 5 10
Scale 1:200 @A1 printed 100%

Project:
Macarthur Health Precinct Stage 2
1 Hurley St, Campbelltown NSW 2560

Title:
ELEVATION SOUTH & WEST

Project #:	Scale:	Draw:	Client:
1254	As indicated @A1	BF	RP
Drawing #	Rev:		
DA-1402			14



Department of Planning,
Housing and Infrastructure

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-52066209-Mod-1

Approved on: 24 April 2026

Signed: TL

Sheet No: 11 of 16

SCHEDULE - PROPOSED FACADE & SECTION CHANGES

- Top of Proposed Chillers at RL 92.100
- Safety Compliance for Roof Services Access Hatch
- Height of Proposed Parapet Scallops Reduced to Align with Internal Ceiling height. It would Improve Interior Room Natural Light Access
- RL of Parapet Cladding Amended
- Windows amended to increase natural daylight access as required by Greenstar
- Carpark openings increased to align with the above window amendments to maintain design intent and proportion in the facade.
- Access Doors added following further design development
- Floor Levels Changed
- Showing the details of hatch and protection rail on the Stair 04 Roof. Noting no Proposed Building Increase at this point.
- Terrace Access Door Changed to Double Door

DEVELOPMENT APPLICATION

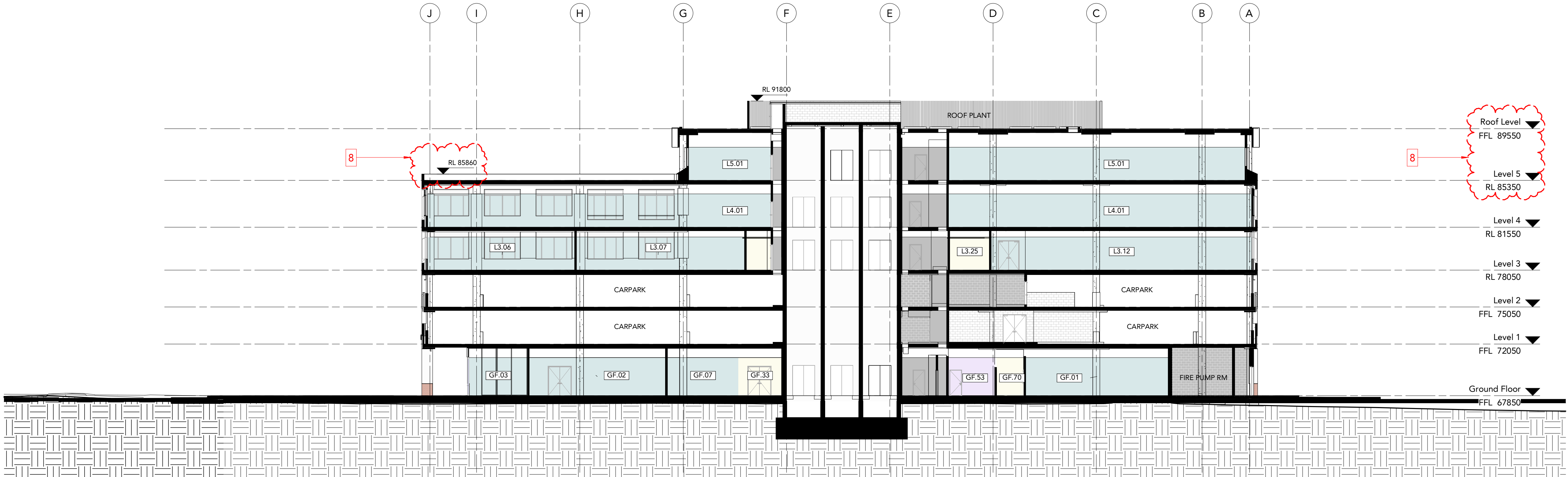
Rev	Revision Description	Date
15	ISSUE FOR SSDA MOD	02/03/2026

DRAWING NOTES

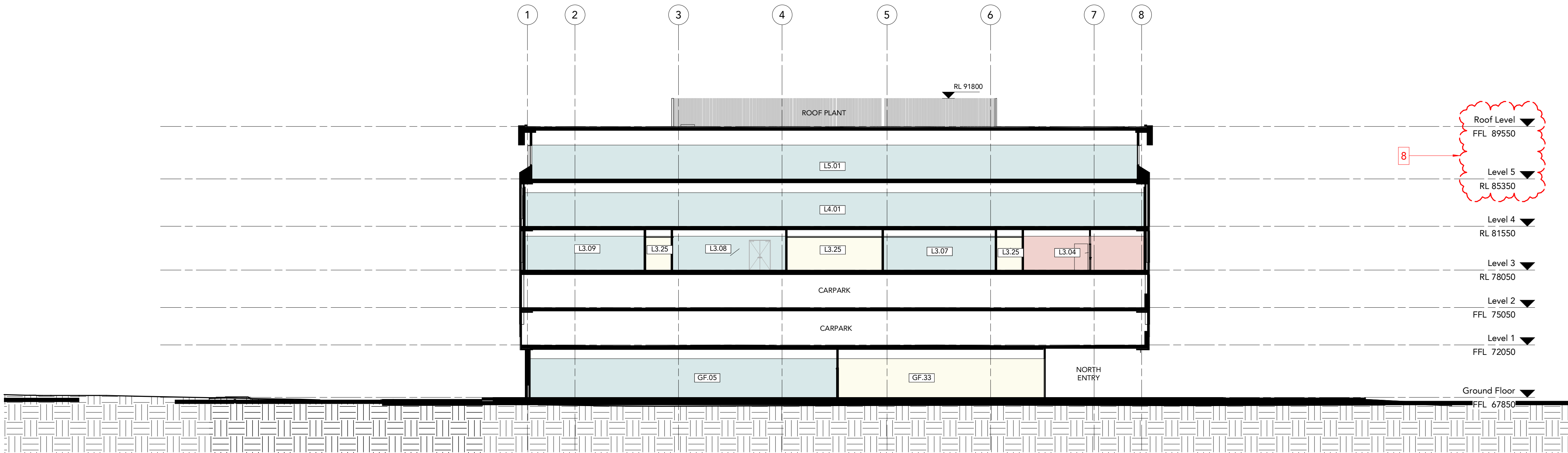
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1 DA - SECTION B
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2 DA - SECTION A
Scale: 1 : 200

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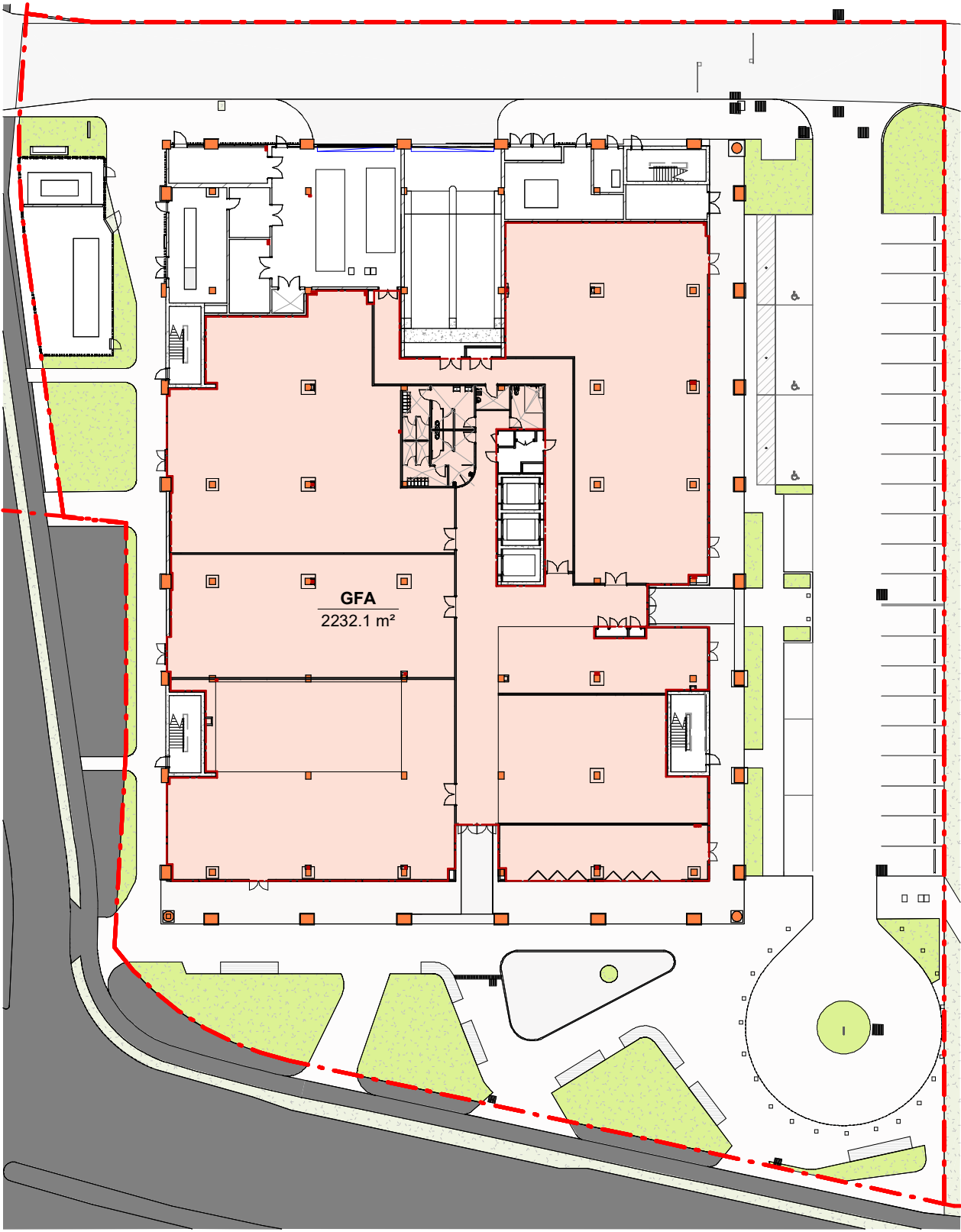
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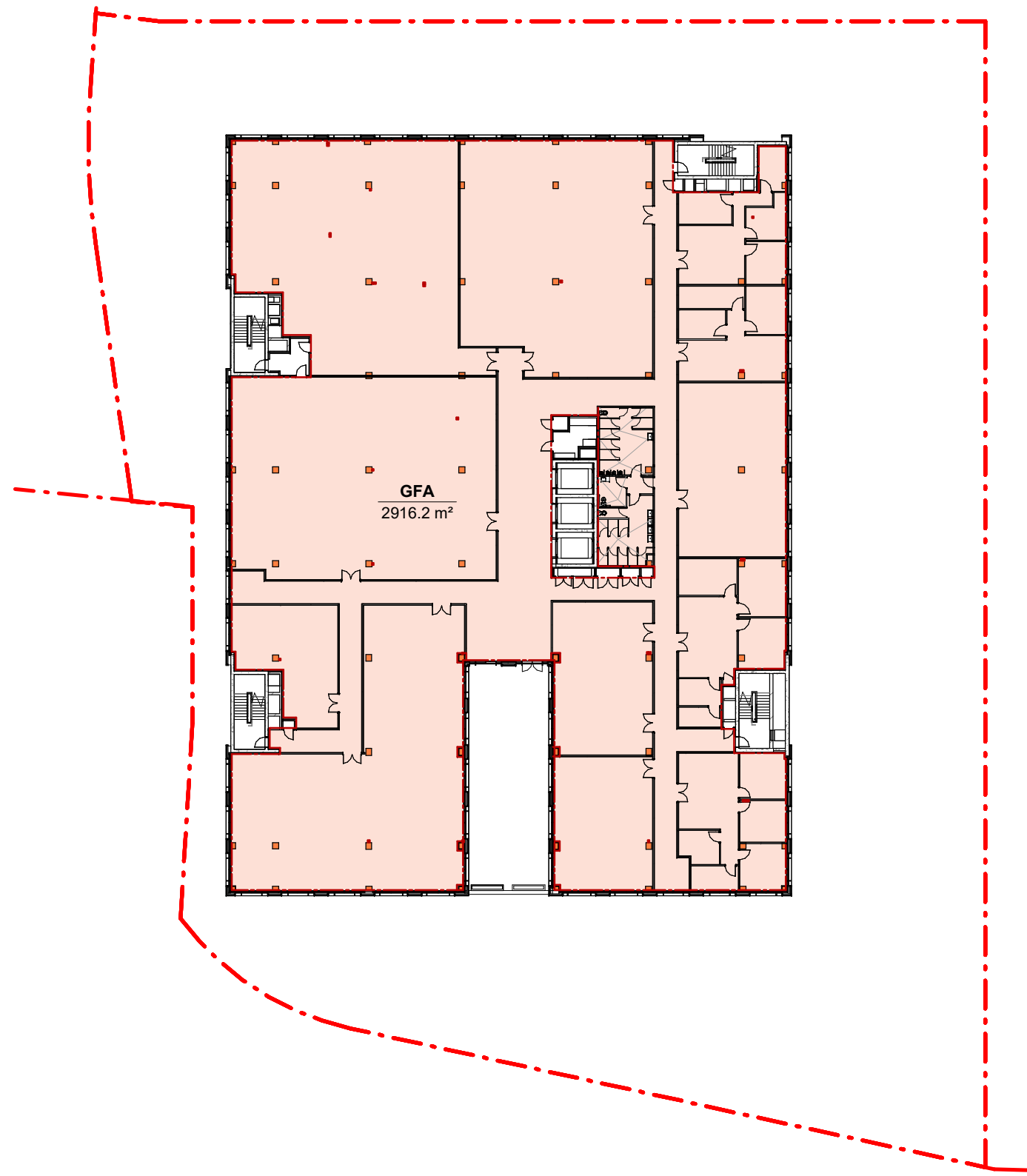
Project:
Macarthur Health Precinct Stage 2
1 Hurley St, Campbelltown NSW 2560

Title:
SECTION A & B

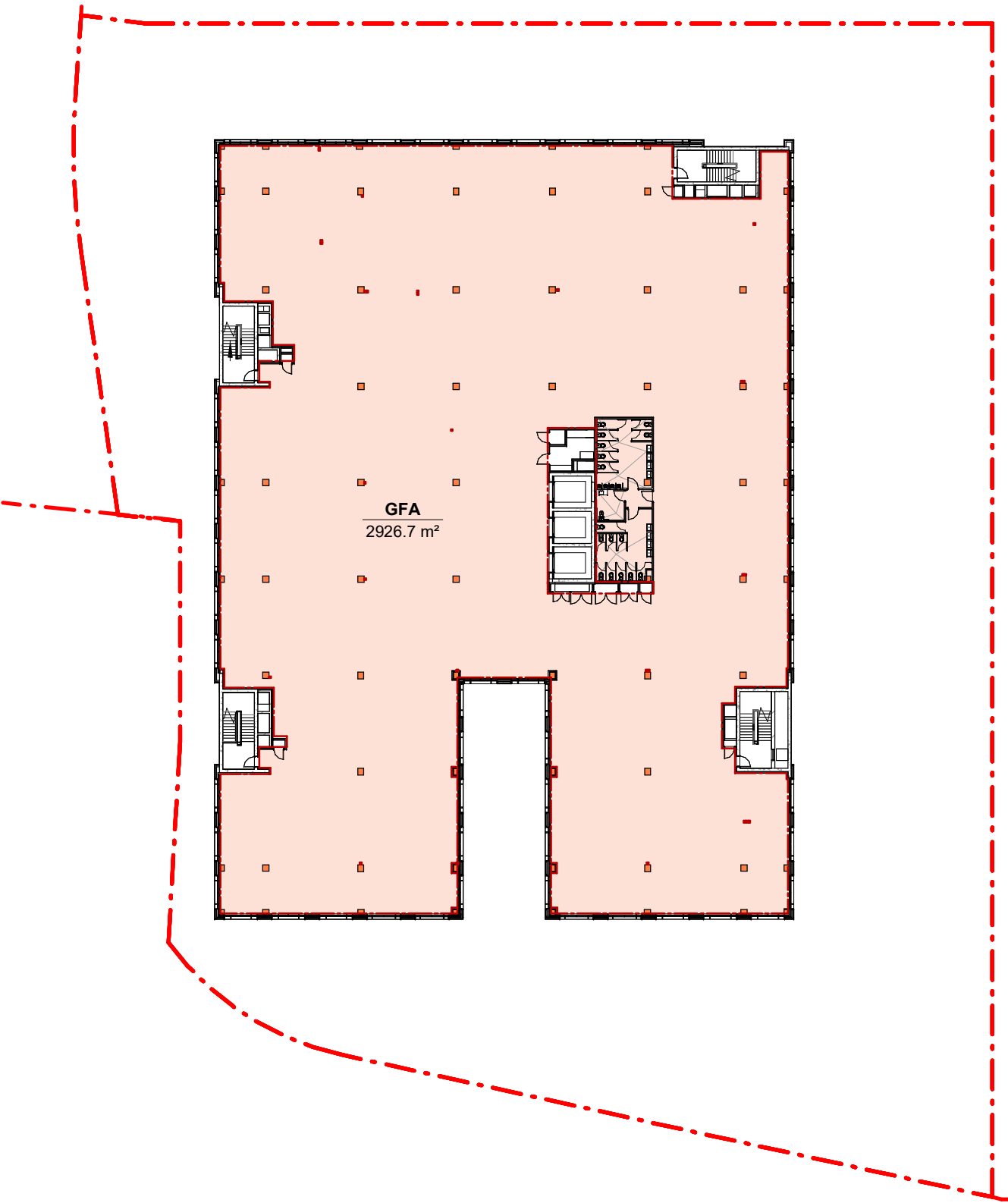
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Drawing #	Rev:		
DA-1501	15		



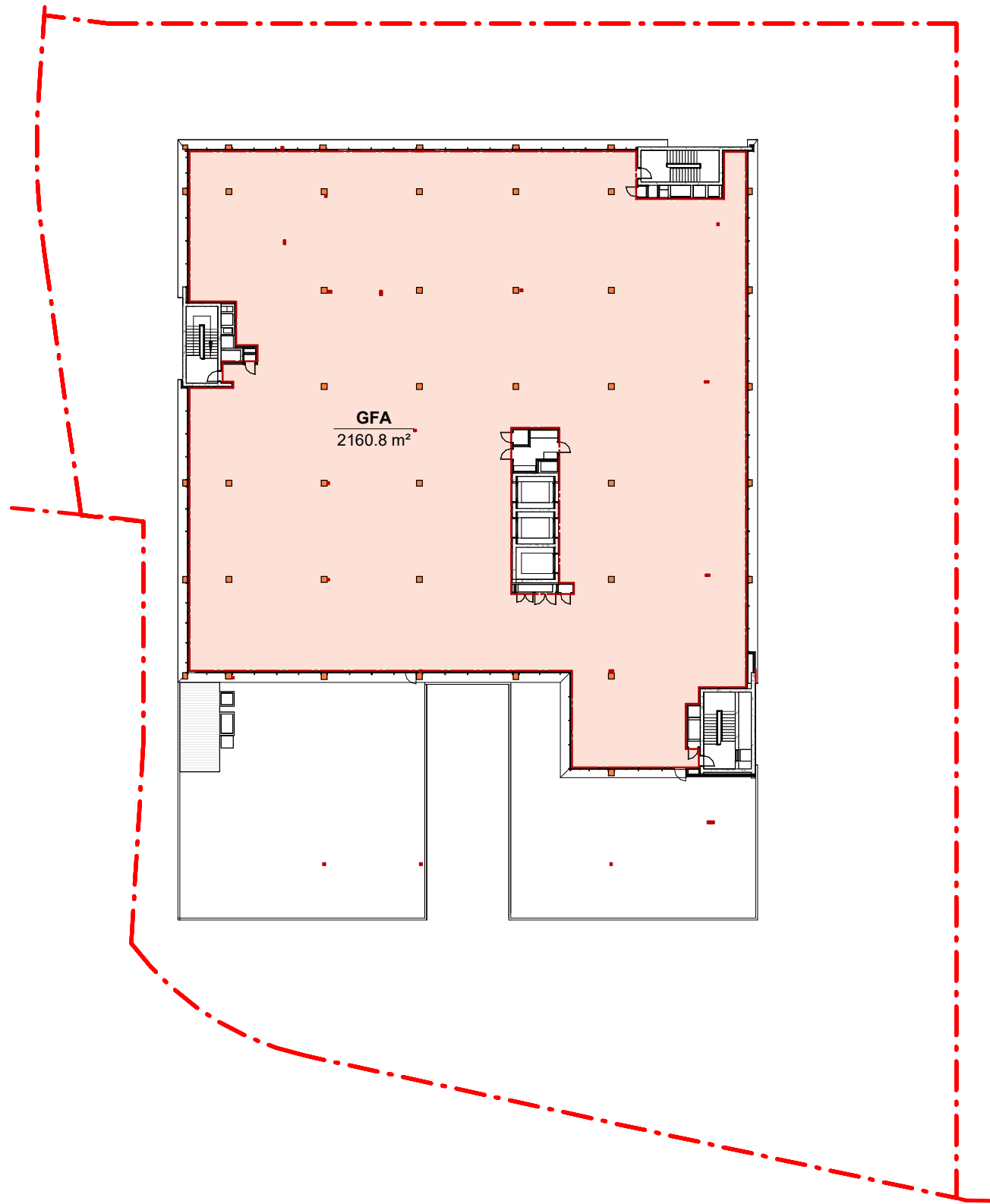
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Scale: 1 : 500



2 GFA - LEVEL3
Scale: 1 : 500



3 GFA - LEVEL4
Scale: 1 : 500



4 GFA - LEVEL5
Scale: 1 : 500



Department of Planning,
Housing and Infrastructure

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-52066209-Mod-1

Approved on: 24 April 2026

Signed: TL

Sheet No: 12 of 16

SCHEDULE - PROPOSED PLAN CHANGES

- Minor updates to Substation and Generator layout
- Minor updates to Building Setback Distance
- Minor adjustment of Grid Distance
- Reconfiguration of Service rooms for Compliance
- Minor Reconfiguration of Amenities Block
- Add new External Doors to Switch Room and Med Gas Room to Achieve Access Compliance
- Update to GF.04 Tenancy wall Informed through Leasing and Market sounding
- Addition of Partition wall to Create Tenancy GF.07 Informed through Leasing and Market sounding
- Minor Updates to Risers and Service Cupboards
- Add new EV Charging Ports to achieve Greenstar Compliance
- Minor Updates to Use of Corner Plant rooms
- Add MRI Equipment Quench Pipe Location
- Show Fitout Layout for 4x Tenancies
- Minor Updates for Column Size facing the Courtyard
- Removal of all Tenancies and Conversation to Cold Shell Floor Informed through Leasing and Market sounding
- Low Height Roof over Future Stairs Eastern Outdoor Plant Deck for Waterproofing Purposes
- FFL RL Change
- Adjustment to PV Zone
- Plant Area Increased to Meet Mech Requirement
- Add hatch and protection rail on the Stair 04 Roof
- Minor Updates for Area Calculation
- A Proposed Tree has been Relocated
- Indicate Grease Arrestor Lid
- Terrace Access Door Changed to Double Door

DEVELOPMENT APPLICATION

Rev	Revision Description	Date
7	ISSUE FOR SSDA MOD	02/03/2026

DRAWING NOTES

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0 1 2 5 10 20
Scale 1:500 @A1 printed 100%

Project:
Macarthur Health Precinct Stage 2
1 Hurley St, Campbelltown NSW 2560

Title:
AREA PLANS - GFA & DEEP SOIL

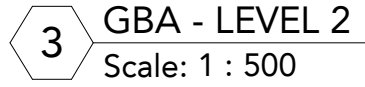
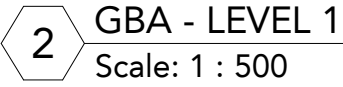
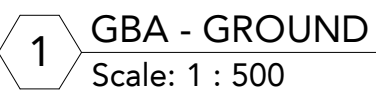
Project #:	Scale:	Dwn:	Cld:
1254	As indicated @A1	BF	RP

Drawing #:	Rev:
DA-6101	7

Area Schedule (GFA)		
Level	Name	Area
Ground Floor	GFA	2232.1 m²
Level 3	GFA	2916.2 m²
Level 4	GFA	2926.7 m²
Level 5	GFA	2160.8 m²
Grand total		10235.8 m²

Deep Soil	
Mark	Area
Deep Soil	586m²

Site Areas	
Site A	7028m²
Site 2 Total	7027m²
Site 3	15848m²
Site 2 &3 Total	22875m²



1. Minor updates to Substation and Generator layout
2. Minor updates to Building Setback Distance
3. Minor adjustment of Grid Distance
4. Reconfiguration of Service rooms for Compliance
5. Minor Reconfiguration of Amenities Block
6. Add new External Doors to Switch Room and Med Gas Room to Achieve Access Compliance
7. Update to GF.04 Tenancy will Informed through Leasing and Market sounding
8. Addition of Partition wall to Create Tenancy GF.07 Informed through Leasing and Market sounding
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11. Minor Updates to Use of Corner Plant rooms
12. Add MRI Equipment Quench Pipe Location
13. Show Fitout Layout for 4x Tenancies
14. Minor Updates for Column Size facing the Courtyard
15. Removal of all Tenancies and Conversation to Cold Shell Floor Informed through Leasing and Market sounding
16. Low Height Roof over Future Stairs Eastern Outdoor Plant Deck for Waterproofing Purposes
17. FFLRL Change
18. Adjustment to PV Zone
19. Plant Area Increased to Meet Mech Requirement
20. Add hatch and protection rail on the Stair 04 Roof
21. Minor Updates for Area Calculation
22. A Proposed Tree has been Relocated
23. Indicate Grease Arrestor Lid
24. Terrace Access Door Changed to Double Door

[illegible]

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5. The drawings reflect the current design and construction, reversed colour reflect area or item on hold/pending input or confirmation.

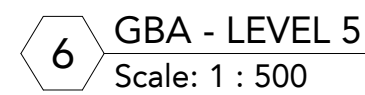
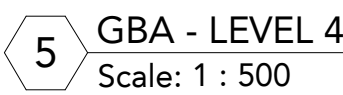
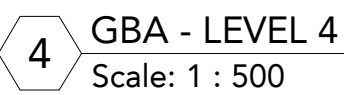
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Date:

21

Site Areas	
Site A	7028m ²
Site 2 Total	7027m ²
Site 3	15848m ²
Site 2 & 3 Total	22875m ²



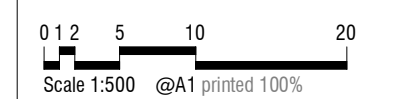
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info@team2.com.au



Project:
Macarthur Health Precinct Stage 2
1 Hurley St, Campbelltown NSW 2560

Title:

AREA PLANS GBA

Project #:	Scale:	Drw:	Ckd:
1254	As indicated @A1	BF	RP
Drawing #:		Rev:	
DA-6104		8	



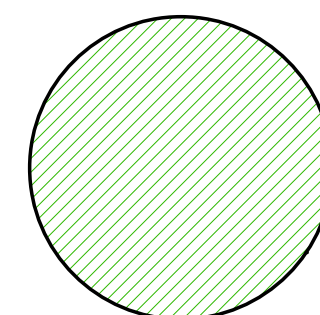
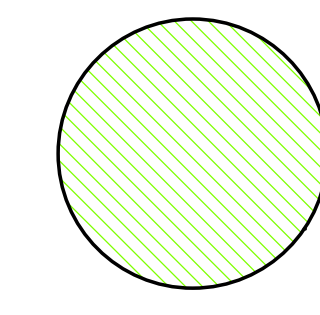
SITE AREA -STAGE 2A:.....7,028 m2

TREE CANOPY AREA - STAGE 2A:.....1880 m2

TREE CANOPY AS % OF SITE AREA:.....26.75%

CANOPY COVERAGE TARGETS:

GA GREENER PLACES - MEDIUM DENSITY>25%

-  PROPOSED TREES
- Ground floor
-  PROPOSED TREES
- Level 3



Department of Planning,
Housing and Infrastructure

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-52066209-Mod-1

Approved on: 24 April 2026

Signed: TL

Sheet No: 14 of 16

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J	For Approval	NH	RS	12.02.2026
I	For SSDA	NH	RS	16.10.2023
H	For Approval	NH	RS	28.09.2023
G	For Approval	NH	RS	13.09.2023
F	For Approval	NH	RS	12.09.2023
E	For Approval	PH	RS	05.07.2023
D	For Approval	NH	RS	17.02.2023
C	For Information	NH	RS	08.02.2023
B	For Information	NH	RS	08.02.2023
A	For Approval	NH	RS	30.01.2023
Issue	Revision Description	Drawn	Check	Date

Legend

Key Plan

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Landscape Architects

Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia

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Client
**NorthWest Healthcare
Properties**

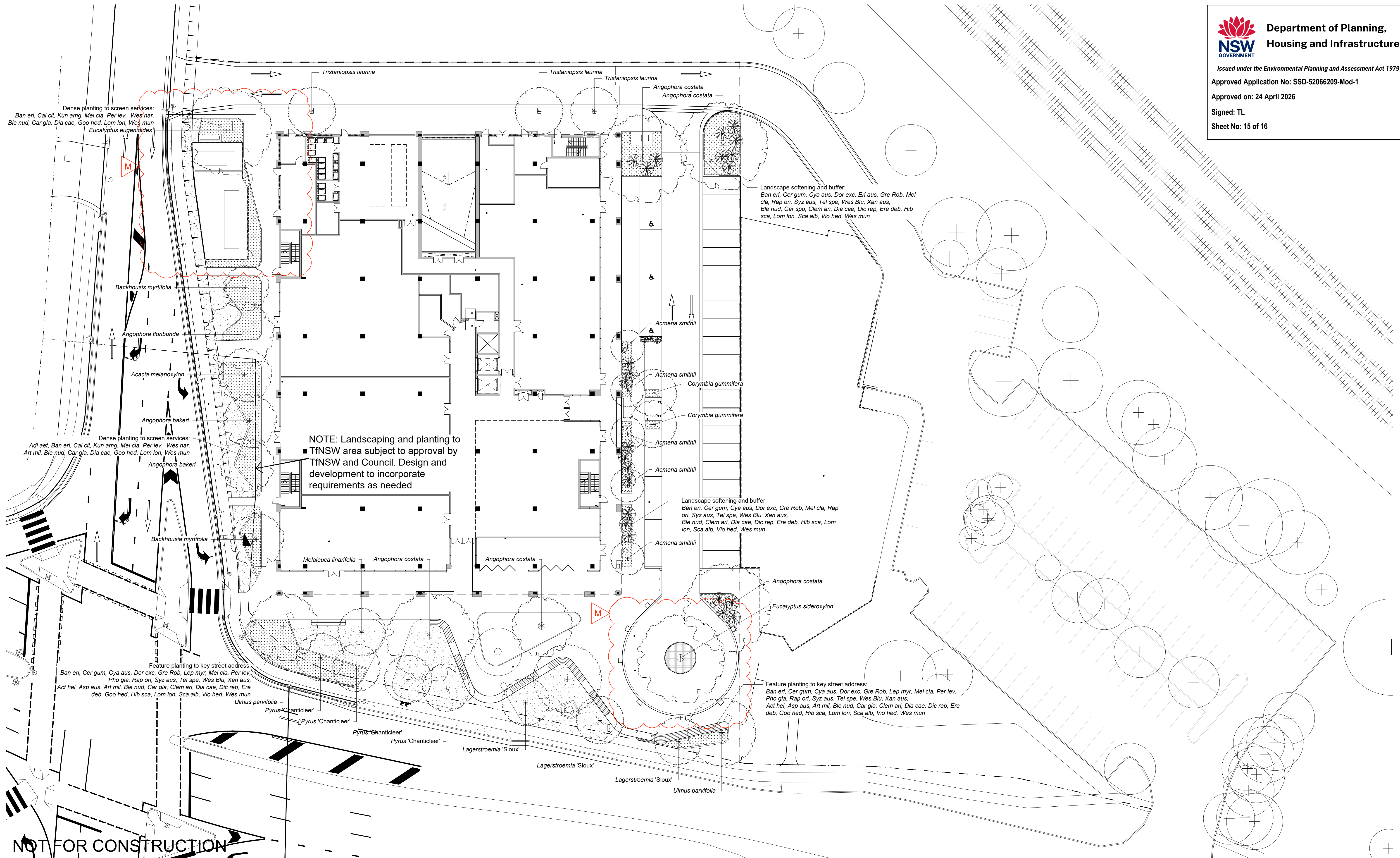
Project
**Medical Precinct (Building A)
Hurley Street, Campbelltown
NSW 2560**

Drawing Name
**Tree Canopy Coverage
Stage 2A**

SSDA

Scale
Job Number
SS22-4950

Drawing Number
Issue
001 J

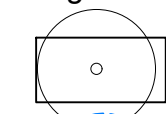
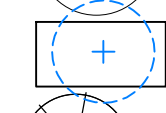
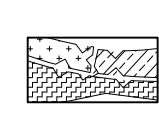
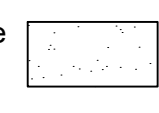
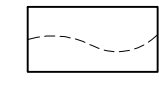


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Issue	Revision Description
M	For Approval
L	For SSDA
K	For SSDA
J	For Approval
I	For Coordination
H	For Coordination
G	For Coordination
F	For Coordination
E	For Approval
D	For Approval
C	For Information
B	For Information
A	For Approval

Drawn	Check	Date
NH	RS	12.02.2026
NH	RS	31.10.2023
NH	RS	16.10.2023
NH	RS	28.09.2023
NH	RS	20.09.2023
NH	RS	13.09.2023
NH	RS	12.09.2023
MJW	RS	12.09.2023
PH	RS	05.07.2023
NH	RS	17.02.2023
NH	RS	08.02.2023
NH	RS	08.02.2023
NH	RS	30.01.2023

Legend	
	Existing tree to be retained
	Existing tree to be removed
	Proposed tree
	Proposed planting
	Lawn
	Garden edging

NOTE: Further planting design development to be completed as part of Construction Certificate, along with further collaboration with Yerrabingin

Key Plan



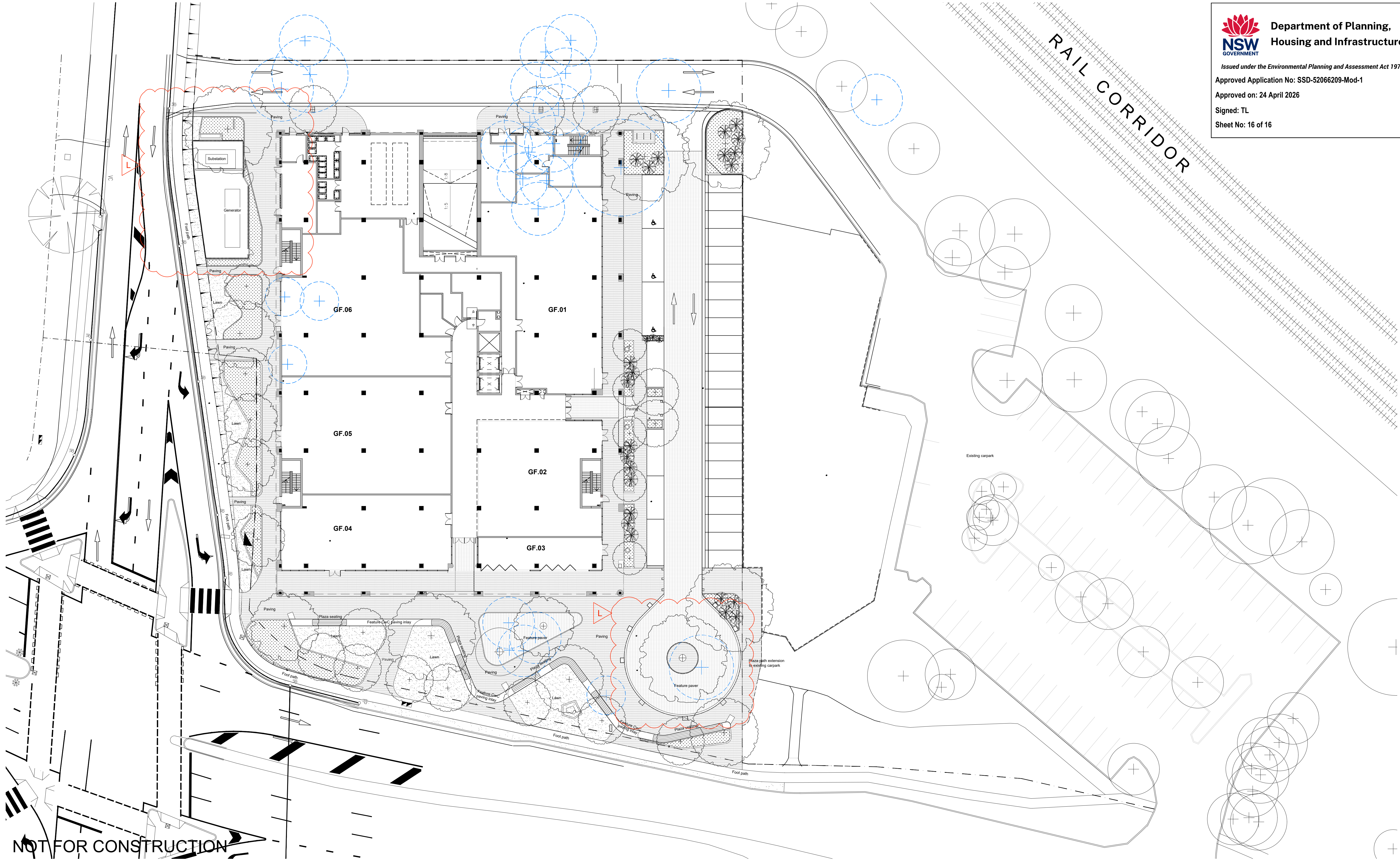
Client
**NorthWest Healthcare
Properties REIT**

Project
**Macarthur Health Precinct - Stage 2
Hurley Street, Campbelltown
NSW 2560**

Drawing Name
**Planting plan
- Ground Floor**

Scale 1:250 @ A1
Job Number
SS22-4950

SSDA
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Drawing Number
L-201 M

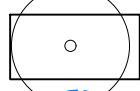


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A	For Approval	NH	RS	30.01.2023
Issue	Revision Description	Drawn	Check	Date

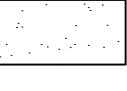
Legend

 Existing tree to be retained

 Existing tree to be removed

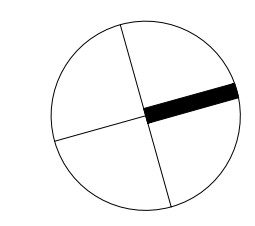
 Proposed tree

 Proposed planting

 Lawn

 Ggarden edging

Key Plan



SITE IMAGE



Landscape Architects
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Redfern NSW 2016
Australia
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Fax: (61 2) 9698 2877
www.siteimage.com.au

Client

NorthWest Healthcare
Properties REIT

Project

Macarthur Health Precinct - Stage 2
Hurley Street, Campbelltown
NSW 2560

Drawing Name

Landscape plan
- Ground Floor

SSDA

Scale 1:250 @ A1
Job Number
SS22-4950

Drawing Number
L-101

Issue
L