

NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 5204

granted on the 11 DECEMBER 2012

Signed.....

Sheet No.....2.....of.....17.....

LEGEND

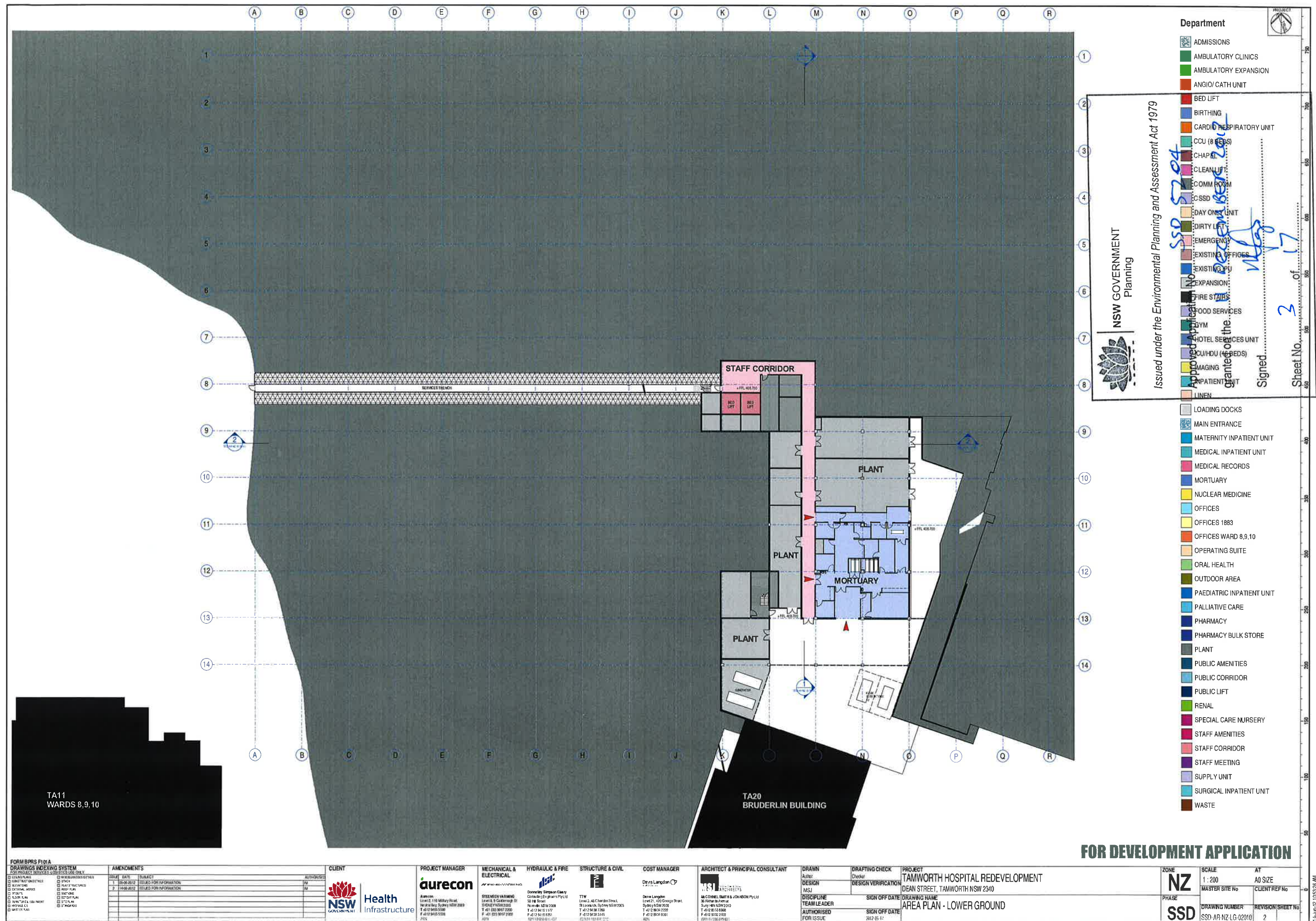
-  EXISTING BUILDINGS TO BE RETAINED
 EXISTING BUILDINGS TO BE DEMOLISH

BUILDING LEGEND

- | | |
|------|---------------------------------------|
| TA01 | CADE UNIT |
| TA02 | BANKSIA MENTAL HEALTH UNIT |
| TA03 | DIABETIC CENTRE |
| TA04 | DIABETIC SELLING CENTRE |
| TA05 | DIABETES ACCOMMODATION / DIETITIAN |
| TA06 | KOOKUNA BUILDING |
| TA07 | PHYSIOTHERAPY |
| TA08 | ROTARY HOSTEL |
| TA09 | ROTARY LODGE |
| TA10 | AMBULANCE WORKSHOP |
| TA11 | WARD 11 |
| TA12 | PALLIATIVE CARE |
| TA13 | RENAL UNIT |
| TA14 | CLINICS BUILDING |
| TA15 | KITCHEN / DINING ROOM |
| TA16 | AREA STORES BUILDING |
| TA17 | DOMESTIC SERVICES |
| TA18 | WARDS 8 9 10 |
| TA19 | 1883 BUILDING |
| TA20 | BRUDELIN WING |
| TA21 | WORKSHOP / LINEN SERVICES |
| TA22 | MORTUARY |
| TA23 | CAR POOL |
| TA24 | DEAN HOUSE |
| TA25 | BLOOD BANK |
| TA26 | JOHNSTON HOUSE |
| TA27 | DENTAL CLINIC |
| TA28 | PATHOLOGY NEW ENGLAND |
| TA29 | PATHOLOGY PLANT ROOM |
| TA30 | FLAMMABLE LIQUID STORE |
| TA31 | GENERATOR SHED |
| TA32 | STORAGE SHED |
| TA33 | STAFF ACCOMMODATION |
| TA34 | ORIGINAL SHADE SHELTER |
| TA35 | UNIVERSITY DEPARTMENT OF RURAL HEALTH |
| TA36 | CONSTRUCTION SHED |
| TA37 | RONALD MCDONALD HOUSE |
| TA38 | PADP SHED |
| TA39 | PORTER'S PALACE |
| TA40 | CANCER CLINIC |

FOR DEVELOPMENT APPLICATION

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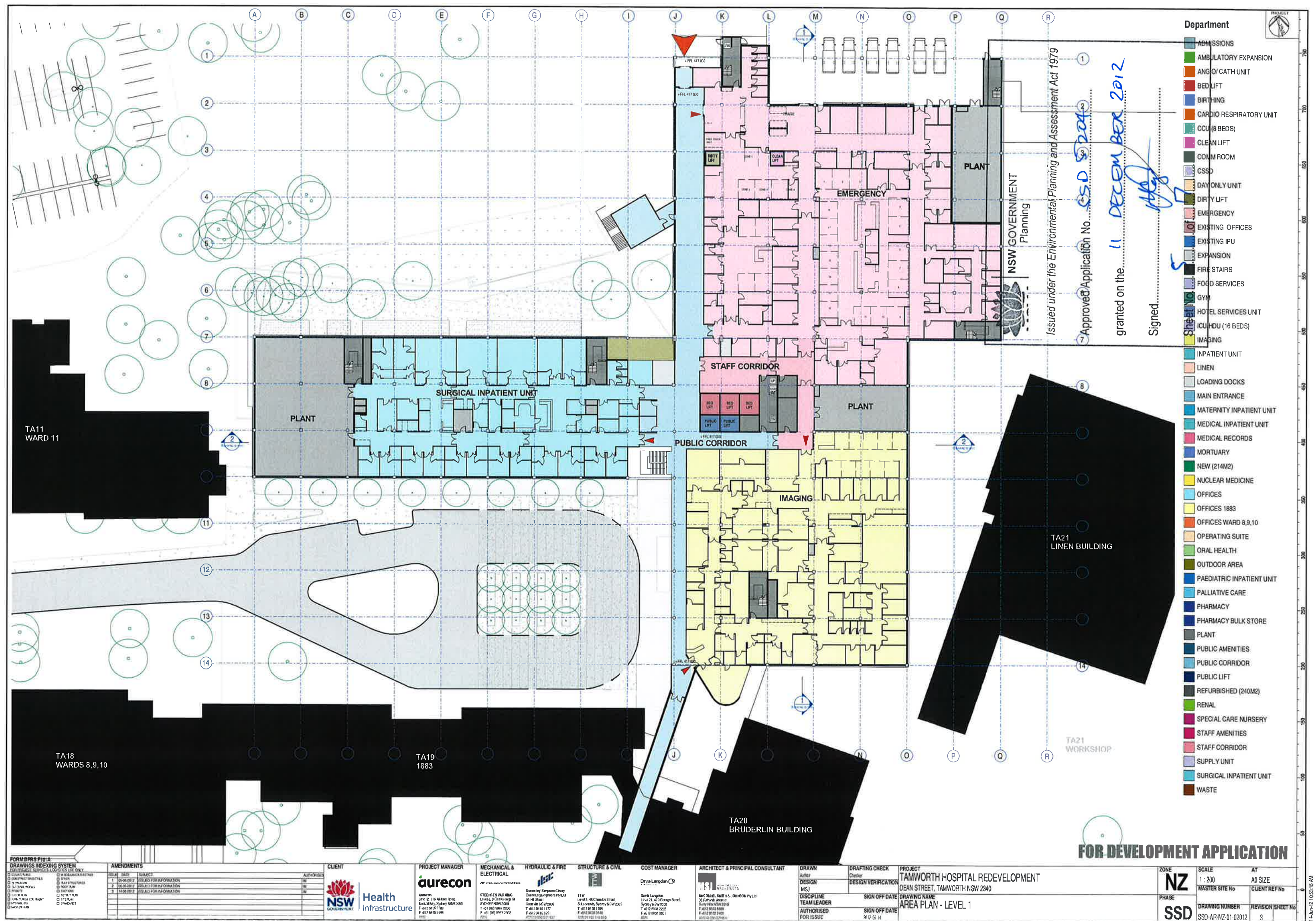




- Department**
- ADMISSIONS
 - AMBULATORY EXPANSION
 - ANGIO/ CATH UNIT
 - BED LIFT
 - BIRTHING
 - CARDIO RESPIRATORY UNIT
 - CCU (8 BEDS)
 - CLEAN LIFT
 - COMM ROOM
 - CSSD
 - DAY ONLY UNIT
 - DIRTY LIFT
 - EMERGENCY
 - EXISTING OFFICES
 - EXISTING IPU
 - EXPANSION
 - FIRE STAIRS
 - FOOD SERVICES
 - GYM
 - HOTEL SERVICES UNIT
 - ICU/HD (16 BEDS)
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 - INPATIENT UNIT
 - LINEN
 - LOADING DOCKS
 - MAIN ENTRANCE
 - MATERNITY INPATIENT UNIT
 - MEDICAL INPATIENT UNIT
 - MEDICAL RECORDS
 - MORTUARY
 - NEW (214M2)
 - NUCLEAR MEDICINE
 - OFFICES
 - OFFICES 1883
 - OFFICES WARD 8,9,10
 - OPERATING SUITE
 - ORAL HEALTH
 - OUTDOOR AREA
 - PAEDIATRIC INPATIENT UNIT
 - PALLIATIVE CARE
 - PHARMACY
 - PHARMACY BULK STORE
 - PLANT
 - PUBLIC AMENITIES
 - PUBLIC CORRIDOR
 - PUBLIC LIFT
 - REFURBISHED (240M2)
 - RENAL
 - SPECIAL CARE NURSERY
 - STAFF AMENITIES
 - STAFF CORRIDOR
 - SUPPLY UNIT
 - SURGICAL INPATIENT UNIT
 - WASTE

FOR DEVELOPMENT APPLICATION

FORM BPRS P101A DRAWINGS INDEXING SYSTEM FOR PROJECT SERVICES - ACCESS ONLY		AMENDMENTS		CLIENT NSW Health Infrastructure		PROJECT MANAGER aurecon		MECHANICAL & ELECTRICAL STEEBEN VAN RANST Level 15, 115 Military Road, Sydney NSW 2000 T +61 2 9455 5500 F +61 2 9455 5500		HYDRAULIC & FIRE Dorothy Simpson Cleary Consulting Engineers Pty Ltd 50 The Street, Sydney NSW 2000 T +61 2 9455 1177 F +61 2 9455 1177		STRUCTURE & CIVIL TTC Level 3, 48 Clarence Street, Sydney NSW 2000 T +61 2 9455 1177 F +61 2 9455 1177		COST MANAGER David Langdon Level 21, 420 George Street, Sydney NSW 2000 T +61 2 8654 2200 F +61 2 8654 0001		ARCHITECT & PRINCIPAL CONSULTANT McCOMB, SMITH & JOHNSON Pty Ltd 30 Ridge Street, Sydney NSW 2010 T +61 2 9232 2400 F +61 2 9232 2400		DRAWN Author MSJ DISCIPLINE TEAM LEADER AUTHORISED FOR ISSUE		DRAFTING CHECK Design Verification SIGN OFF DATE 2012-09-14		PROJECT TAMWORTH HOSPITAL REDEVELOPMENT DEAN STREET, TAMWORTH NSW 2340 DRAWING NAME AREA PLAN - GROUND FLOOR		ZONE NZ SSD		SCALE 1:200 MASTER SITE No DRAWING NUMBER SSD-AR-NZ-GF-02011		AT A0 SIZE CLIENT REF No REVISION SHEET No 2	
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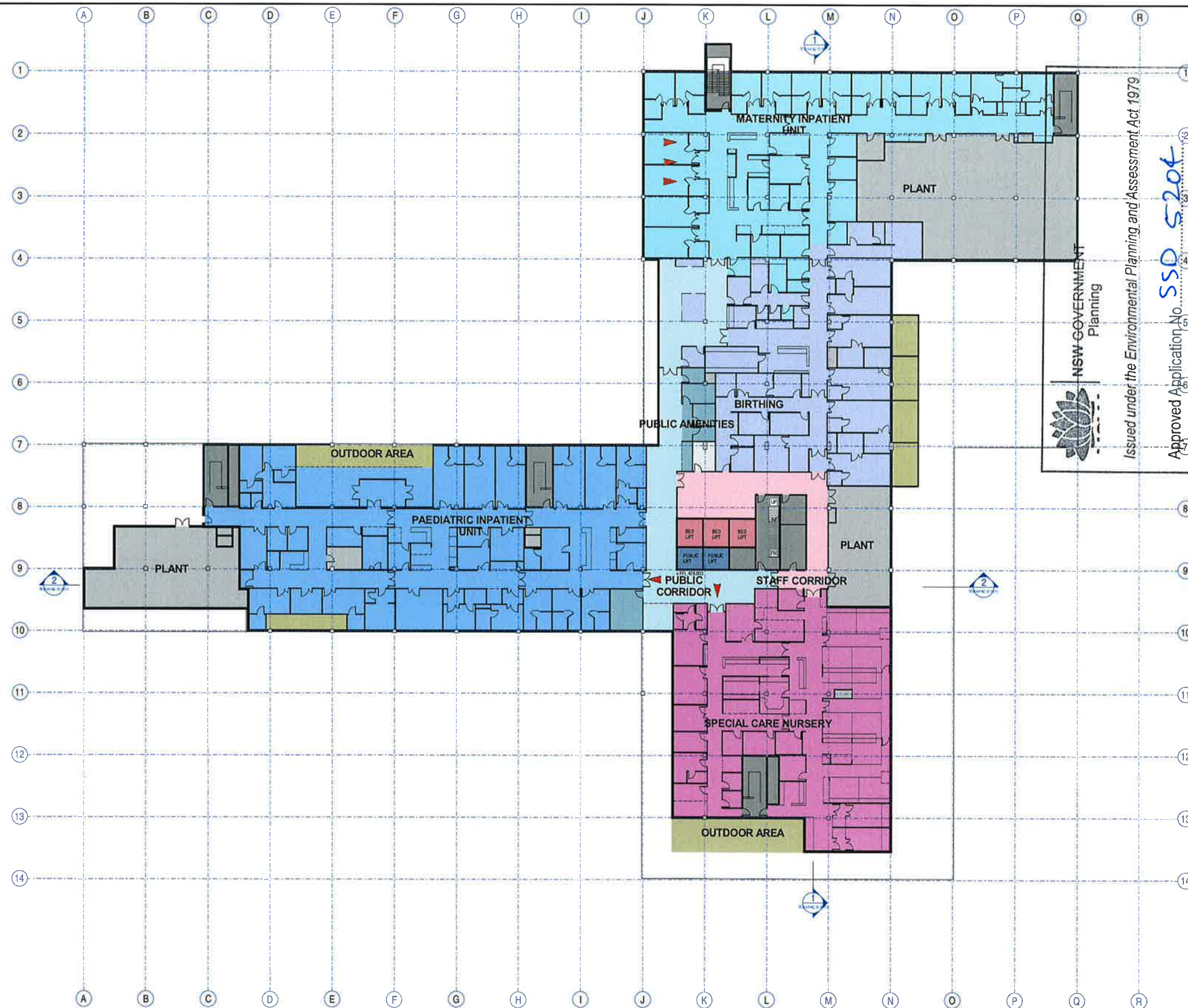


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 - WASTE

NSW GOVERNMENT
Planning
Issued under the Environmental Planning and Assessment Act 1979
Approved Application No. 550 5724
granted on the 11 DECEMBER 2012
Signed: [Signature]

FORM BPRIS F101A DRAWINGS INDEXING SYSTEM FOR PROJECT SERVICES - OFFICE USE ONLY		AMENDMENTS		CLIENT NSW Health Infrastructure	PROJECT MANAGER aurecon	MECHANICAL & ELECTRICAL STEVENSON WARMING	HYDRAULIC & FIRE M&E	STRUCTURE & CIVIL TTW	COST MANAGER Davis Langdon	ARCHITECT & PRINCIPAL CONSULTANT McCOMBS SMITH & JOHNSON Pty Ltd	DRAWN Author MSU DISCIPLINE TEAM LEADER AUTHORISED FOR ISSUE	DRAFTING CHECK Checker DESIGN VERIFICATION SIGN OFF DATE SIGN OFF DATE	PROJECT TAMWORTH HOSPITAL REDEVELOPMENT DEAN STREET, TAMWORTH NSW 2340 DRAWING NAME AREA PLAN - LEVEL 2	ZONE NZ SSD	SCALE 1:200 MASTER SITE No DRAWING NUMBER SSD-AR-NZ-02-02013	AT SIZE A0 SIZE CLIENT REF No REVISION/SHEET No 2
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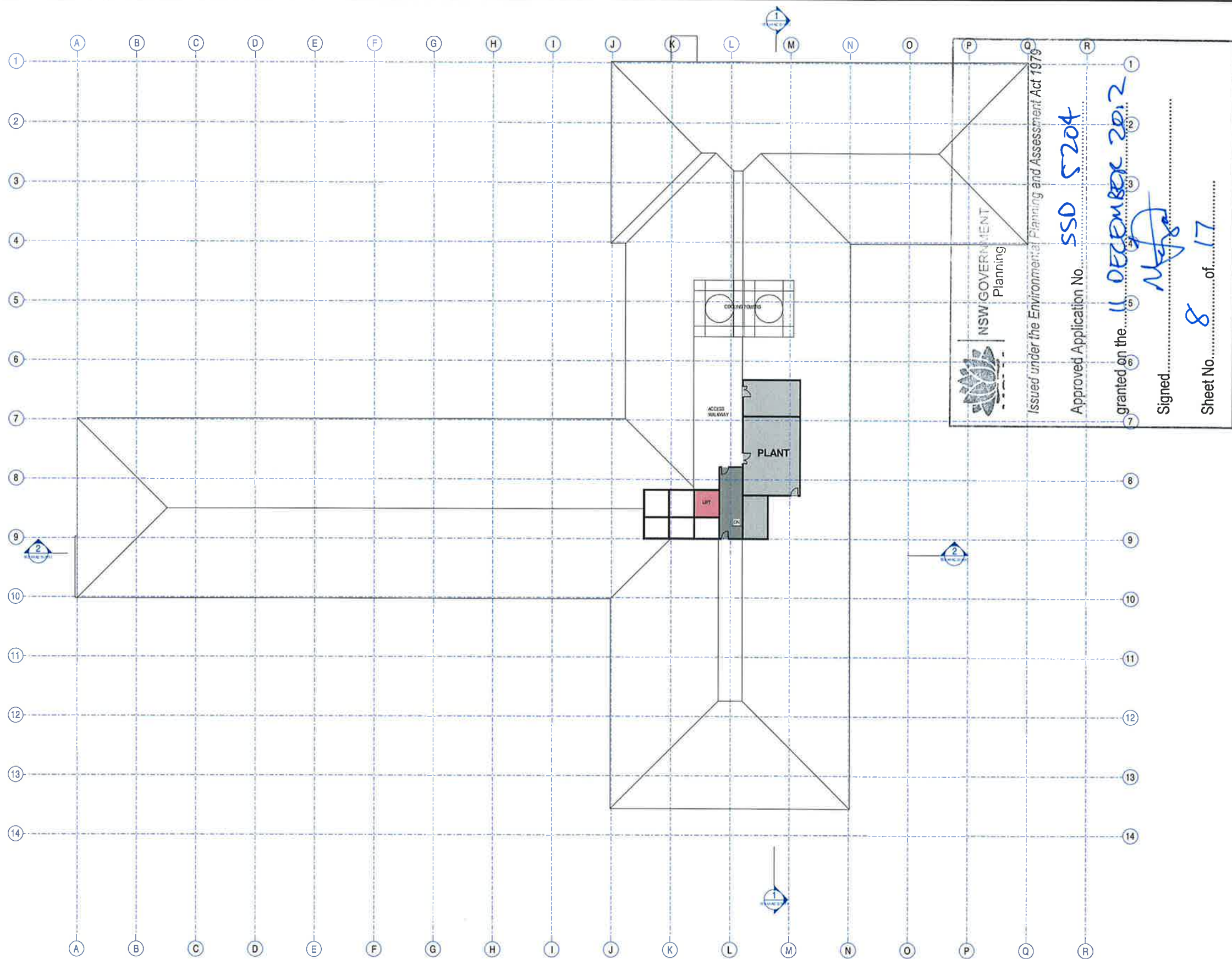
Approved Application No. **SSD 5204**

granted on the **11 DECEMBER 2012**

Signed.....

Sheet No. **7** of **17**

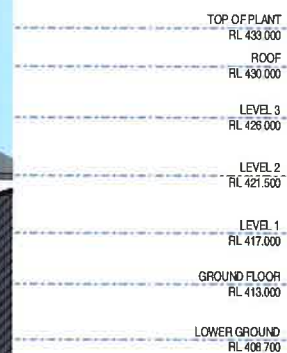
FORM BPRIS F101A DRAWINGS INDEXING SYSTEM FOR PROJECT PROVIDER & CONSULTANT USE ONLY		AMENDMENTS <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REASON</th> <th>AUTHORISED</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>18-05-2012</td> <td>SUBMITTED FOR INFORMATION</td> <td>MS</td> </tr> <tr> <td>2</td> <td>11-08-2012</td> <td>SUBMITTED FOR INFORMATION</td> <td>MS</td> </tr> </tbody> </table>		NO.	DATE	REASON	AUTHORISED	1	18-05-2012	SUBMITTED FOR INFORMATION	MS	2	11-08-2012	SUBMITTED FOR INFORMATION	MS	CLIENT 		PROJECT MANAGER 		MECHANICAL & ELECTRICAL 		HYDRAULIC & FIRE 		STRUCTURE & CIVIL 		COST MANAGER 		ARCHITECT & PRINCIPAL CONSULTANT 		DRAWN MSJ DISCIPLINE TEAM LEADER AUTHORIZED FOR ISSUE		DRAFTING CHECK Design Verification SIGN OFF DATE 2012-06-14		PROJECT TAMWORTH HOSPITAL REDEVELOPMENT DEAN STREET, TAMWORTH NSW 2340 DRAWING NAME AREA PLAN - LEVEL 3		ZONE NZ PHASE SSD		SCALE 1:200 MASTER SITE No CLIENT REF No		AT SIZE REVISION/SHEET No 2	
NO.	DATE	REASON	AUTHORISED																																						
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2	11-08-2012	SUBMITTED FOR INFORMATION	MS																																						



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FOR DEVELOPMENT APPLICATION

FORM BPRS F01A DRAWINGS INDEXING SYSTEM FOR PRODUCT SERVICES & CUSTOMERS USE ONLY		AMENDMENTS		CLIENT NSW Health Infrastructure	PROJECT MANAGER aurecon	MECHANICAL & ELECTRICAL STEVENSON WARRING Level 6, 5 Cadell Street Sydney NSW 2000 T: 411 821 8877 2200 F: 411 821 8877 2202 A/N: 411 821 8877 2202	HYDRAULIC & FIRE Dewberry Simpson Cleary Consulting Engineers Pty Ltd 56 Hill Street North Sydney NSW 1585 T: 411 3416 1177 F: 411 3416 1177 A/N: 411 3416 1177	STRUCTURE & CIVIL TTW Level 3, 48 Charles Street Sydney NSW 2000 T: 411 3416 1177 F: 411 3416 1177 A/N: 411 3416 1177	COST MANAGER David Langdon Level 21, 420 George Street Sydney NSW 2000 T: 411 3416 1177 F: 411 3416 1177 A/N: 411 3416 1177	ARCHITECT & PRINCIPAL CONSULTANT McCOMB SMITH & JOHNSON Pty Ltd 38 Pitt Street Sydney NSW 2000 T: 411 3416 1177 F: 411 3416 1177 A/N: 411 3416 1177	DRAWN Author MSJ DISCIPLINE TEAM LEADER AUTHORISED FOR ISSUE	DRAFTING CHECK Checker DESIGN VERIFICATION SIGN OFF DATE 22/12/14	PROJECT TAMWORTH HOSPITAL REDEVELOPMENT DEAN STREET, TAMWORTH NSW 2340 DRAWING NAME AREA PLAN - ROOF	ZONE NZ SCALE 1:200 AT A0 SIZE MASTER SITE No CLIENT REF No DRAWING NUMBER SSD-AR-NZ-RF-02015 REVISION/SHEET No 2
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FOR DEVELOPMENT APPLICATION

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NSW GOVERNMENT
Planning

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Approved Application No. **SSO 5204**

granted on the **11 DECEMBER 2012**

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Sheet No. **10** of **17**



14-Jun-12 05:15:41 AM

LEGEND

- FINDERMAX
- ALPOLIC COLOURED
- ALPOLIC WHITE
- ALPOLIC ZINC
- TIMBER
- ALUMINIUM
- GLASS

FOR DEVELOPMENT APPLICATION

FORM BPS-P101A

DRAWINGS INDEXING SYSTEM (FOR PROJECT SERVICES & LOGISTICS USE ONLY)			
NO.	DATE	REVISION	AUTHORISED
1	10-06-2012	ISSUED FOR INFORMATION	IM
2	14-08-2012	ISSUED FOR INFORMATION	IM

CLIENT



PROJECT MANAGER



MECHANICAL & ELECTRICAL



HYDRAULIC & FIRE



STRUCTURE & CIVIL



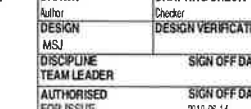
COST MANAGER



ARCHITECT & PRINCIPAL CONSULTANT



DRAWN



DRAFTING CHECK



PROJECT

TAMWORTH HOSPITAL REDEVELOPMENT
DEAN STREET, TAMWORTH NSW 2340

ZONE

NZ

SCALE

1:200

AT

A0 SIZE

MASTER SITE No

CLIENT REF No

DRAWING NUMBER

SSD-AR-NZ-00-04112

REVISION

2

SHEET No

10 of 17



Sheet No. 11 of 17



- FOR DEVELOPMENT APPLICATION**

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Approved Application No. SSD 5204-

Signed.....

Sheet No. 12 of 17



-  FUNDERMAX
-  ALPOLLIC COLOURED
-  ALPOLLIC WHITE
-  ALPOLLIC ZINC
-  TIMBER
-  ALUMINIUM
-  GLASS

FOR DEVELOPMENT APPLICATION

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750
700
650
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350
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NSW GOVERNMENT
Planning

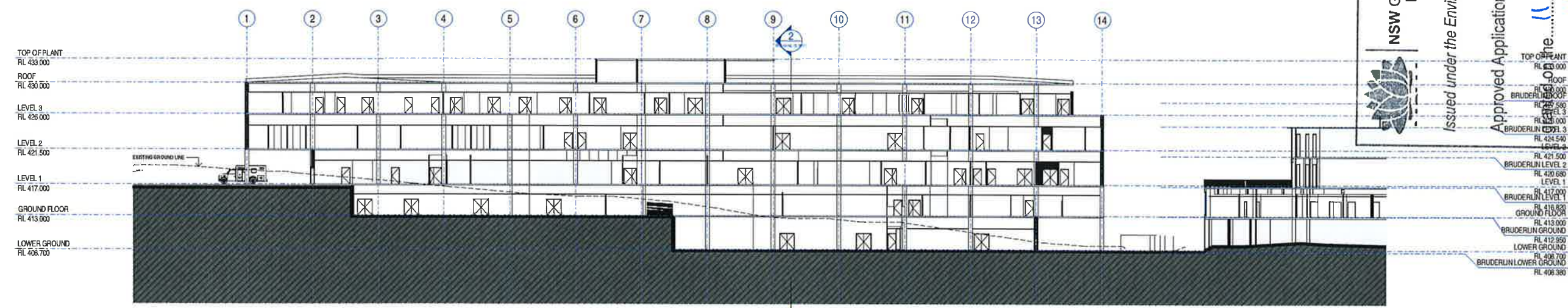
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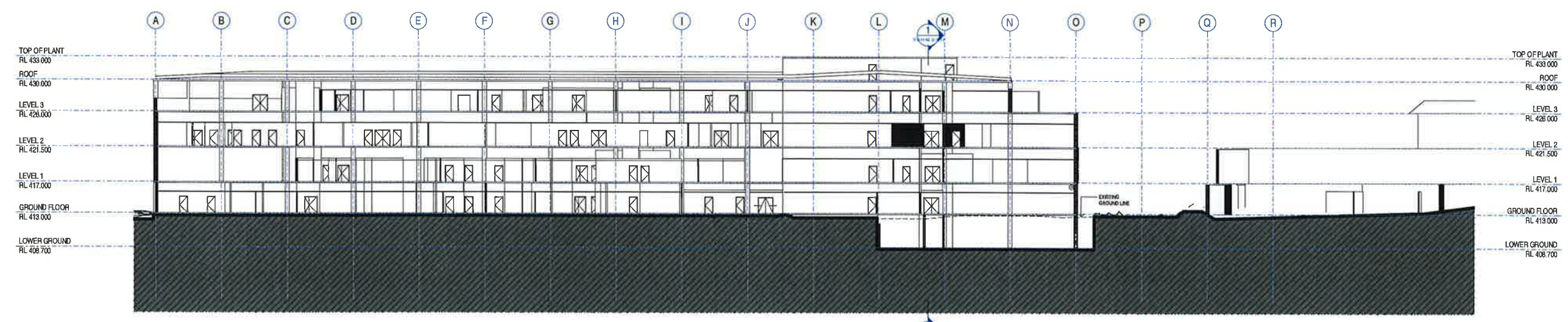
11 DECEMBER 2012

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Sheet No. **13** of **17**



SECTION 02
Scale 1:200



SECTION 03
Scale 1:200

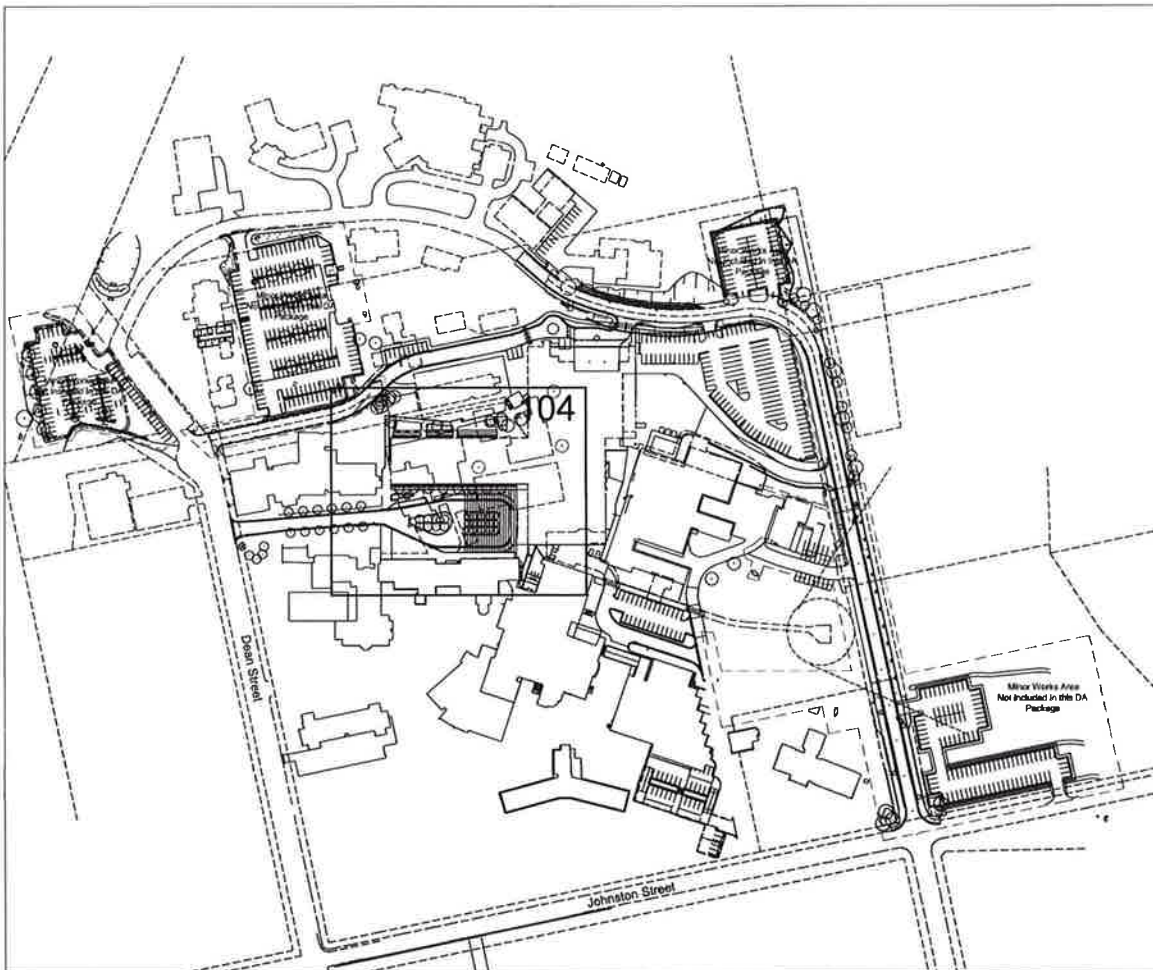
FOR DEVELOPMENT APPLICATION

FORM BPRS F101A		CLIENT		PROJECT MANAGER		MECHANICAL & ELECTRICAL		HYDRAULIC & FIRE		STRUCTURE & CIVIL		COST MANAGER		ARCHITECT & PRINCIPAL CONSULTANT		DRAWN		DRAFTING CHECK		PROJECT		ZONE		SCALE		AT	
DRAWINGS INDEXING SYSTEM		AMENDMENTS		aurecon		McConnell Smith & Johnson		Dunlop Simpson Cleary		TWM		David Langdon		McConnell Smith & Johnson		MSJ		MSJ		TAMWORTH HOSPITAL REDEVELOPMENT		NZ		1:200		A0 SIZE	
FOR PROJECT REVIEW & APPROVAL ONLY		DATE		18/08/2012		18/08/2012		18/08/2012		18/08/2012		18/08/2012		18/08/2012		18/08/2012		18/08/2012		DEAN STREET, TAMWORTH NSW 2340		SSD		MASTER SITE No		CLIENT REF No	
DRAWING NAME		SECTION 02		SECTION 03		SECTION 04		SECTION 05		SECTION 06		SECTION 07		SECTION 08		SECTION 09		SECTION 10		DRAWING NUMBER		SSD-AR-NZ-00-05110		REVISION SHEET No		2	
DISCIPLINE		TEAM LEADER		AUTHORISED		FOR ISSUE		SIGN OFF DATE		SIGN OFF DATE		SIGN OFF DATE		SIGN OFF DATE		SIGN OFF DATE		SIGN OFF DATE		2012-08-14							

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Drawing Schedule		
000	Landscape Cover Sheet	
101	Landscape Masterplan	1:1000
104	Landscape Plan	1:200
501	Landscape Details	

000	Landscape Cover Sheet	
101	Landscape Masterplan	1:1000
104	Landscape Plan	1:200
501	Landscape Details	



Botanic Name	Common Name	Mature Size (h x w) (m)	Pot Size
Tree Planting			
<i>Eucalyptus albens</i>	White Box	25 x 10	45L
<i>Eucalyptus blaekelyi</i>	Blackely's Red Gum	15-20 x 7	45L
<i>Eucalyptus leucocoryn</i> 'Megalocarpus'	Large-fruited Yellow Gum	5 x 10	75L
<i>Eucalyptus sideroxylon</i> 'Roses'	Red Ironbark	7 x 15-20	75L
<i>Lagerstroemia indica</i> 'Natchez'	White-Flow ering Crepe Myrtle	4 x 2	200L
<i>Yrus caryocarpus</i> 'Chandleri'	Cashew Pear	12 x 3	100L
<i>Ulmus fastuosa</i>	Chinese Elm	13 x 4	100L

Botanic Name	Common Name	Mature Size (h x w) (m)	Pot Size
Tree Planting			
<i>Eucalyptus albens</i>	White Box	25 x 10	45L
<i>Eucalyptus blaekelyi</i>	Blackely's Red Gum	15-20 x 7	45L
<i>Eucalyptus leucocoryn</i> 'Megalocarpus'	Large-fruited Yellow Gum	5 x 10	75L
<i>Eucalyptus sideroxylon</i> 'Roses'	Red Ironbark	7 x 15-20	75L
<i>Lagerstroemia indica</i> 'Natchez'	White-Flow ering Crepe Myrtle	4 x 2	200L
<i>Yrus caryocarpus</i> 'Chandleri'	Cashew Pear	12 x 3	100L
<i>Ulmus fastuosa</i>	Chinese Elm	13 x 4	100L

Entry and Feature Note Planting			
<i>Eucalyptus sideroxylon</i> 'Rosea'	Red Ironbark	7 x 15.20	75L
<i>Lagerstroemia indica</i> 'Natchez'	White Flowering Crape Myrtle	4 x 2	200L
<i>Pyrus calleryana</i> 'Chancellor'	Callery Pear	12 x 13	100L
<i>Ulmus parvifolia</i>	Chinese Elm	13 x 14	100L
<i>Banksia</i> 'Little Eric'	Dw arf Banksia	2 x 1.5	300mm
<i>Callistemon</i> 'Little John'	Dw arf Bottle Brush	1 x 1	300mm
<i>Hebe</i> 'Inspiration'	Hebe	1 x 1	300mm
<i>Poa labillardieri</i> 'Eskdale'	Blue Tussock Grass	5.0 x 0.5	150mm
<i>Trachelospermum jasminoides</i>	Star Jasmine	3.0 x 0.3	150mm

New Build Drop Off and Courtyard			
<i>Lagerströmia indica</i> 'Natchez'	White-Flowering Crepe Myrtle	4 x 2	200L
<i>Pyrus calleryana</i> 'Chancellor'	Galleary Pear	12 x 3	100L
<i>Ulmus parvifolia</i>	Chinese Elm	13 x 4	100L
<i>Acacia cognata</i> 'Limelight'	Narrow-leafed Bow or Wattle	1 x 1	300mm
<i>Wisteria Wymenbaei</i> 'Gem'	Native Rosemary	1.5 x 1	300mm
<i>Brachycome multifida</i>	Swan River Daisy	0.3 x 4.5	150mm
<i>Dianella caerulea</i> 'Breeze'	Blue Flax Lily	0.8 x 0.6	150mm
<i>Hibbertia scandens</i>	Clarifying Quince Flower	0.3 x 0.5	150mm
<i>Trachelospermum jasminoides</i>	Satin Jasmine	0.3 x 0.3	150mm

Carpark Bio Swale Planting			
<i>Tristianiopsis laurina</i>	Water Gum	10x8	45L
<i>Carex appressa</i>	Tall Sedge	0.7 x 0.7	tube
<i>Lomandra longifolia</i>	Mall Rush	1 x 1.5	tube
<i>Isolapsis nodosa</i>	Nobby Club Rush	0.7 x 0.7	tube

Tree Number	Botanical Name	Common Name	Heritage Listing	Arboretist Recommendation	Retain / Remove
A01		Gum Tree	-	Remove - Dead	Remove
A02		Carlet Ash	-	Remove - Dying	Remove
A03		Gum Tree	-	Remove - Not suitable for carpark, dead wood & maleole	Remove
A04	<i>Jacaranda mimosaefolia</i>	Jacaranda	-	Retain - 5m TPZ	Retain
A05		Athel Tree	-	Remove - Scrappy Not suitable for carpark	Remove
A06		Pencil Pine	-	Remove - Declining	Remove
A07		Jacaranda	-	Retain - 5m TPZ	Retain
A08		Twisted Sugar Gum	-	Remove - Poor specimen	Remove
A09		White Cedar	-	Remove	Remove
A10		Sugar gum	-	Remove - Dead balzers in trunk and bore damage	Remove
A11		Sugar gum	-	Remove - Scrappy	Remove
A12		White Cedar	-	Remove	Remove
A13		Sugar gum	-	Remove - Scrappy	Remove
A14	<i>Phoenix dactylifera</i>	Date Palm	-	Retain - Transplant	Transplant
A15	<i>Eucalyptus sideroxylon</i>	Mugga Ironbark	-	Remove - Mature	Remove
A16	<i>Casuarina</i>	She Oak	-	Retain - remove if necessary	Remove - Footprint
A17		White Oakland (clump)	-	Retain - remove if necessary	Remove - Footprint
A18	<i>Phoenix dactylifera</i>	Date Palm	-	Retain - Transplant	Transplant
A19		Eucalypt	-	Retain - remove if necessary	Remove - Footprint
A20		Eucalypt	-	Retain - remove if necessary	Remove - Close to footprint
A21		Eucalypt	-	Retain - remove if necessary	Remove - Close to footprint
A22	<i>Callistemon sp</i>	Bottlebrush	-	Retain - remove if necessary	Remove - Close to footprint
A23	<i>Prunus sp</i>		-	Remove - Over mature in decline	Remove - Footprint
A24	<i>Hymenocarpum flavum</i>	Native Frangipani	-	Retain	Remove - Footprint
A25	<i>Sapum sabiliferum</i>	Chinese Willow (x2)	-	Retain - remove if necessary	Remove - Footprint
A26		Sugar gum	-	Remove - Severely topped	Remove - Footprint
A27		Palm Trunk	-	Remove - Dead	Remove - Footprint
A28		Jacaranda	-	Remove	Remove - Footprint
A29	<i>Phoenix canariensis</i>	Date Palm	Yes	Retain - permit required to transplant	Transplant
A30	<i>Washingtonia filifera</i>	California Fan Palm	Yes	Retain - permit required to transplant	Transplant
A31		Silly Oak	-	Remove - topped	Remove
A32		Navel Orange	-	Remove	Remove
A33	<i>Celtis</i>	Hackberry	-	Remove	Remove
A34		Silly Oak	-	Remove - topped	Remove
A35		Silly Oak	-	Remove	Remove
A36		Melaleuca (groop)	-	Retain - remove if necessary	Retain
A37		Acacia Tree	-	Remove - close to building	Remove
B01	<i>Eucalyptus cinerea</i>	Angie Apple	-	Remove - Lean low ards building, dead wood	Remove
B02		Sugar Gum	-	Remove - Not suitable for carpark	Remove
B03		Athel Tree	-	Remove - Scrappy	Remove
B04		Athel Tree	-	Remove - Scrappy	Remove
B05		Athel Tree	-	Remove - Scrappy	Remove
B06		Athel Tree	-	Remove - Scrappy	Remove
B07	<i>Brechythoron populneus</i>	Kurung Tree	-	Retain - remove if necessary not a particularly specimen	Remove
B08		Cottonweaver Scrub	-	Retain - remove if necessary	Remove
B09			-	Remove - Scrub scrappy, untidy	Remove
B10	<i>Grevillea robusta</i>	Silly Oak	-	Retain - remove if necessary	Remove - Carpark
B11	<i>Casuarina trifida</i>	Carob Tree	-	Retain - 5m TPZ	Retain
B12		Carlet Ash	-	Retain - 5m TPZ Close to building remove eucers below graft	Retain
B13	<i>Grevillea robusta</i>	Silly Oak	-	Remove	Remove
B14	<i>Grevillea robusta</i>	Silly Oak	-	Remove	Remove
B15	<i>Grevillea robusta</i>	Silly Oak	-	Remove	Remove
B16		Shrub	-	Remove	Remove
B17		Mulberry	-	Retain - remove if necessary, non significant	Remove - Carpark
B18	<i>Melia azedarach</i>	White Cedar	-	Remove - small tree close to building	Remove
B19	<i>Eucalyptus scoparia</i>	Willow Gum	-	Remove	Remove
B20	<i>Eucalyptus camaldulensis</i>	River Red Gum	-	Remove - Coccid insect infestation	Remove
B21	<i>Eucalyptus meliodora</i>	Yellow Box	-	Remove - Not suitable for carpark	Remove
B22	<i>Eucalyptus meliodora</i>	Yellow Box	-	Remove - Not suitable for carpark	Remove
B23	<i>Eucalyptus meliodora</i>	Yellow Box	-	Remove - Not suitable for carpark	Remove
B24	<i>Eucalyptus meliodora</i>	Yellow Box	-	Remove - Not suitable for carpark	Remove
B25	<i>Eucalyptus meliodora</i>	Yellow Box	-	Remove - Not suitable for carpark	Remove
B26	<i>Eucalyptus meliodora</i>	Yellow Box	-	Remove - Not suitable for carpark	Remove
B27		Pistacia	-	Remove - Multi trunked	Remove
B28		Conifer	-	Retain - 4m TPZ	Remove - Carpark
B29	<i>Melia azedarach</i>	White Cedar (cluster)	-	Remove	Remove
B30	<i>Melia azedarach</i>	White Cedar (cluster)	-	Remove	Remove
B31	<i>Acacia melanocoryn</i>		-	Remove	Remove
B32	<i>Eucalyptus camaldulensis</i>	Red River Gum	-	Remove - Not suitable for carpark	Remove
B33	<i>Eucalyptus sideroxylon</i>	Mugga Ironbark	-	Remove - Mature, not suitable for carpark	Remove
B34	<i>Eucalyptus sideroxylon</i>	Mugga Ironbark	-	Remove - Mature, not suitable for carpark	Remove
B35	<i>Eucalyptus sideroxylon</i>	Mugga Ironbark	-	Remove - Mature, not suitable for carpark	Remove
B36	<i>Eucalyptus sideroxylon</i>	Mugga Ironbark	-	Remove - Mature, not suitable for carpark	Remove
B37	<i>Eucalyptus camaldulensis</i>	Red River Gum	-	Remove - Significant hole	Remove
B38		Gum Tree	-	Remove - Significant split down centre - Dangerous	Remove
B39	<i>Acacia</i>		-	Remove - Double trunked, mature	Remove
B40	<i>Melia semilata</i>		-	Remove - Multi trunked leaning	Remove
B41	<i>Acacia</i>		-	Remove - Leaning scrappy	Remove
B42	<i>Schinus molle</i>	Pepper Tree	-		

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Issue	Revision	Description	Drawn	Check	Date
A		DEVELOPMENT APPLICATION	JD	NM	04.05.2012

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Approved Application No. SSD 5204

granted on the 11 DECEMBER 2012

Signed N.A.F.

Sheet No. 14 of 17

Project:
Tamworth Rural Referral Hospital
Development Application

S I T E I M A G E

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Landscape Architects

Drawing Name:
Landscape Cover Sheet

SS12-2452 DA-000 A



Project:
Tamworth Rural Referral Hospital

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Drawing Name:

Landscape Masterplan

SS12-2452 DA-101



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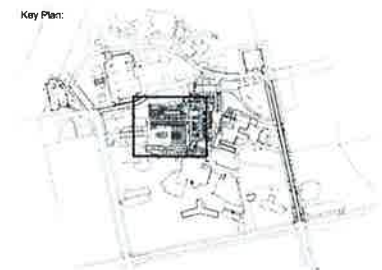
Approved Application No. **SSD 5204**
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Issue	Revision Description	JD	NM	Date
1	Issue			04/06/2012

- LEGEND**
- Existing Tree to be Retained
 - Tree survey number refer schedule of existing trees DA-000
 - Tree to be Removed
 - Existing Tree to be Transplanted
 - Turf
 - Proposed Tree
 - Grasses and Groundcovers
 - Carpark Swale Planting
 - Dryland Grasses
 - Paving Type 1 - Concrete
 - Paving Type 2 - Coloured Concrete
 - Paving Type 3 - Unit Paver
 - Wall
 - Steps
 - Timber Edge
 - Bench Seating



Client:
Health Infrastructure NSW

Project:
Tamworth Rural Referral Hospital
Development Application

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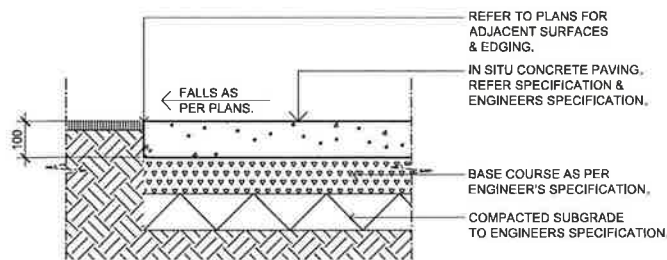
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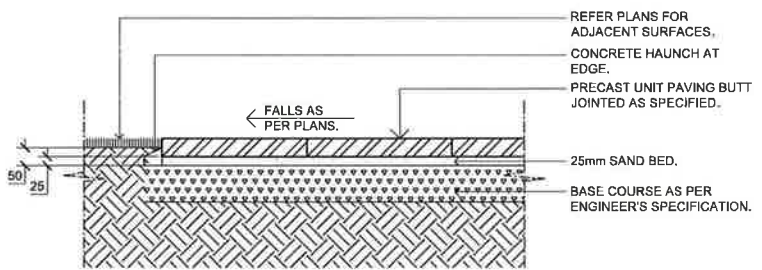
DEVELOPMENT APPLICATION

Drawing Name:
Landscape Plan
Central Public Carpark

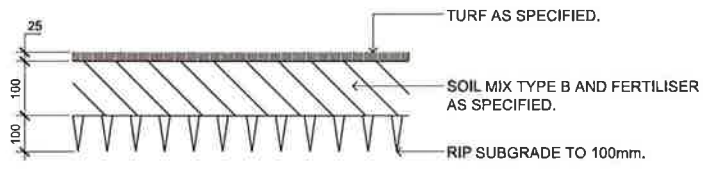
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Job Number: SS12-2452
Drawing Number: DA-104 A



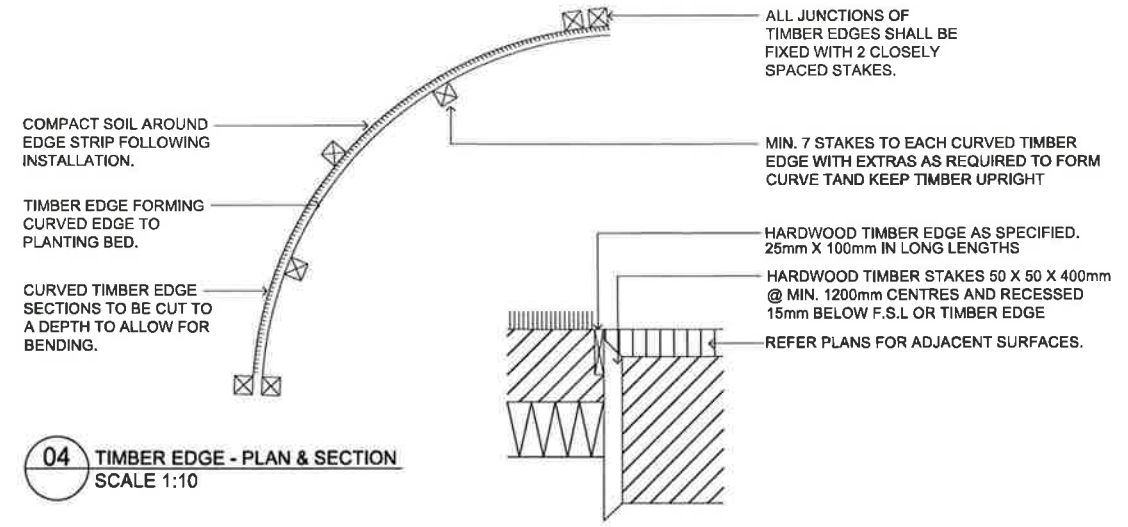
01 INSITU CONCRETE PAVING
SCALE 1:10



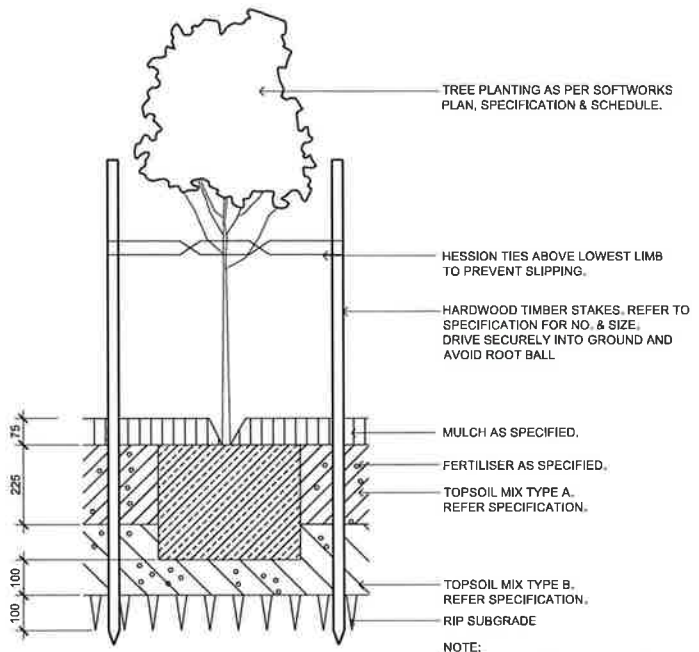
02 PRECAST UNIT PAVERS ON GRADE
SCALE 1:10



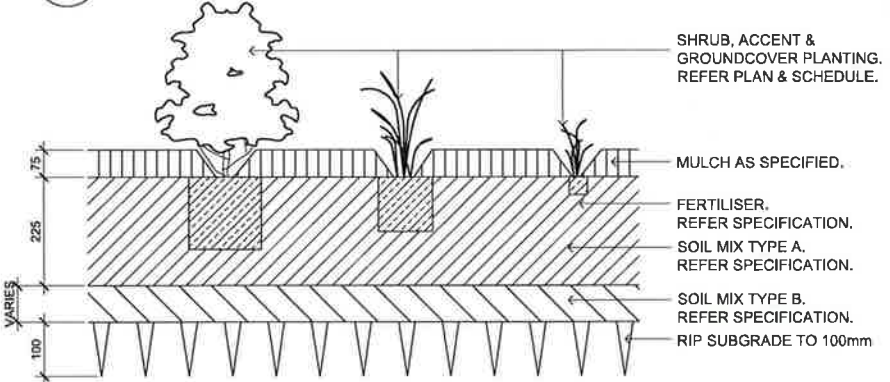
03 TURF ON EVEN GRADE
SCALE 1:10



04 TIMBER EDGE - PLAN & SECTION
SCALE 1:10



05 25L-75L TREE PLANTING ON GRADE
SCALE 1:10



06 SHRUB, ACCENT & GROUNDCOVER PLANTING ON GRADE
SCALE 1:10

INDICATIVE LANDSCAPE SPECIFICATION

1.0 GENERAL NOTES

1.1 Workmanship and Materials

The whole of the landscape works shall be carried out by a competent Landscape Contractor who is experienced in horticultural practice, landscape construction and planting techniques. The Landscape Contractor shall hold a current Building Contractors License and / or be a financial member of the Landscape Contractors Association.

2.0 EXISTING TREES

2.1 Trees to be Retained and Protected

Identify and mark trees and shrubs to be retained using a suitable non-injurious, easily visible and removable means of identification. Protect from damage the trees and shrubs to be retained, including those beyond the site area, both above and below the ground. If a tree becomes damaged during the works or it is proposed to perform work on a tree, give written notice immediately and obtain instructions.

2.2 Work near Trees

Keep the area of the drip-line free from construction material and debris. Do not place bulk materials and harmful materials under or near trees. Do not place spoil from excavations against tree trunks. Prevent wind-blown materials such as cement from harming trees and plants. Do not remove topsoil from, or add topsoil to, the area within the drip-line of trees.

3.0 SOFTSCAPE ELEMENTS

3.1 Soil Testing

Undertake at least two (2) soil tests, in locations as advised by Project Manager, and provide results and recommendations for the improvement of plant growth and to adjust the soil to achieve appropriate planting medium (including pit levels) for successful plant growth.

3.2 Subsoil

Excavate all garden beds to bring the subsoil to at least 300mm below finished design levels. Shape the subsoil to fall to subsoil drains where applicable. Do not excavate within the drip line of trees to be retained. Excavate all turf areas to bring the subsoil to at least 100mm below finished design levels. Shape the subsoil to fall to subsoil drains where applicable. Do not excavate within the drip line of trees to be retained. Cultivate the subsoil to a further depth of 100mm. Remove stones exceeding 25mm, clods of earth exceeding 50mm, and weeds, rubbish or other deleterious material brought to the surface during cultivation. Do not disturb services or tree roots. If necessary cultivate these areas by hand. During cultivation, thoroughly mix in materials required to be incorporated into the subsoil, as recommended in the soil testing results and to manufacturer's recommendations. Trim the surface to design levels after cultivation.

3.3 Topsoil

Import topsoil for the garden and turf areas, unless the topsoil can be provided from material recovered from the site, as recommended in the soil testing results. Spread the topsoil on the prepared subsoil and grade evenly, compact lightly and uniformly in 150mm layers. Avoid differential subsidence and excess compaction and produce a finished topsoil surface which has the following characteristics:

- Finished to design levels, allowing for mulch or turf, which is to finish flush with adjoining hard surfaces such as paths and edge,
- Smooth and free from stones or lumps of soil,
- Graded to drain freely, without ponding, to catchment points,
- Graded evenly to adjoining surfaces, and
- Ready for planting.

3.4 Compost

Provide, in accordance with AS 4454, well rotted vegetative material or animal manure, free from harmful chemicals, grass and weed growth.

3.5 Fertiliser

Provide proprietary fertilisers, delivered to the site in sealed bags marked to show manufacturer or vendor, weight, fertiliser type, N:P:K ratio, recommended uses and application rates.

3.6 Plants

Supply plants in accordance with the landscape drawings and schedules, which have the following characteristics:

- Large healthy root systems, with no evidence of root curl, restriction or damage,
- Vigorous, well established, free from disease and pests, of good form consistent with the species or variety,
- Hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site, and in particular shade conditions,
- Grown in their final containers for not less than twelve weeks,
- Trees, unless required to be multi-stemmed, shall have a single leading shoot, and
- Containers shall be free from weeds and of appropriate size in relation to their container.

3.7 Installation of Plants

Following excavation of the planting hole place and spread 15gms of wetting agent equal to 'terra-sorb', pre-mixed with one (1) part water, at the bottom of each planting hole. Backfill the planting holes with topsoil mixture. Lightly tamp and water to eliminate air pockets. Ensure the topsoil is not placed over the top of the rootball, so that the plant stem remains the same height above the ground as it was in the container. Apply fertiliser pellets, as recommended in the soil testing results and in accordance with the manufacturer's recommendations around the plants at the time of planting.

3.8 Embankment Stabilisation

Where necessary to prevent soil erosion or soil movement, stabilise embankments. As a minimum this should be on slopes 2:1 in 3. Stabilise embankments using biodegradable fibre reinforced with heavy weight polymer mesh. Install in accordance with manufacturer's specification, including 300 x 300 mm anchor trenches at top and bottom, backfilled with soil and compacted, and U-shaped galvanneal steel pegs at 1000 x 1000 mm intervals generally and 250mm at overlaps. Plant after matting is installed.

3.9 Root Barrier

Supply and install root control barriers to all new tree and shrub plantings adjoin the wall or the high voltage cable, where their proximity poses a threat to the stability of the infrastructure. Root barriers shall be equal to Root Wall, as supplied by Treemax, and installed alongside the landscape element to be protected in accordance with manufacturer's recommendations.

3.10 Mulching

Mulch shall be approved recycled mulch recovered from site clearing, if available, otherwise pine bark equal "Horticultural Graded Pine Bark 15mm" as supplied by Australian Native Landscapes. Place mulch in all garden beds to a depth of 75mm, when all specified plants are installed, clear of all plant stems, and rake to an even surface flush with the surrounding finished levels and evenly graded between design surface levels. The specified depth shall be achieved after the mulch has settled.

3.11 Stakes and Ties

Stakes shall be durable hardwood, straight, free from knots or twists, pointed at one end, in the following quantities and sizes for each of the various plant pot sizes:

- Plants (>25L): One (1) of 38 x 38 x 1200mm,
- Semi-advanced plants (>75L): Two (2) of 50 x 50 x 1800mm, or
- Advanced (>100L): Three (3) of 50 x 50 x 2400mm.

3.12 Turf

Turf shall be approved by landscape architect, delivered to site as 25mm minimum thick cut rolls. Obtain turf from a specialist grower of cultivated turf. Provide turf of even thickness, free from weeds and other foreign matter. Deliver turf to the site within 24 hours of being cut, and lay it within 24 hours of delivery. Prevent it from drying out between cutting and laying. Lay the turf in the following manner:

- In stretcher pattern with the joints staggered and close butted,
- Parallel with the long sides of level areas, and with contours on slopes, and
- To finish flush, after tamping, with adjacent finished surfaces of ground.

4.0 IRRIGATION

4.1 System

The irrigation system shall be an automatic fixed drip system, with an irrigation controller self operated via a soil moisture sensor. The system shall be compatible to the type of plant material and rates of water required. Where appropriate adjustable and fully serviceable. The layout of the entire irrigation is to ensure that each individual plant receives the required amount of water to maintain healthy and vigorous growth. The irrigation system shall be such that, component theft, vandalism, over-spray and wetting of paths shall be reduced to a minimum or completely eliminated by the use of drip, pop-up sprinklers and judiciously placed fixed spray emitters. Do not use fine mist type emitters that provide a drifting mist that may wet paths and the buildings.

5.0 PLANT ESTABLISHMENT

5.1 Generally

The Landscape Contractor shall rectify defects during installation and that become apparent in the works under normal use for the duration of the contract Defects Liability Period. The Landscape Contractor shall maintain the contract areas by the implementation of industry accepted horticultural practices for 52 weeks. The landscape maintenance works shall include, but not be limited to, the following:

- Replacing failed plants,
- Pruning,
- Insect and pest control,
- Fertilising,
- Maintaining mulch,
- Mowing,
- Watering,
- Rubbish removal, and
- Cleaning of the surrounding areas.

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Issue	Revision	Description	Drawn	Check	Date
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LEGEND

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granted on the **11 DECEMBER 2012**

Signed **NM**

Sheet No. **17** of **17**

Client:
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Development Application

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