

FRASERS PROPERTY

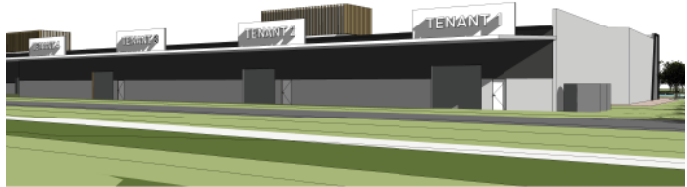
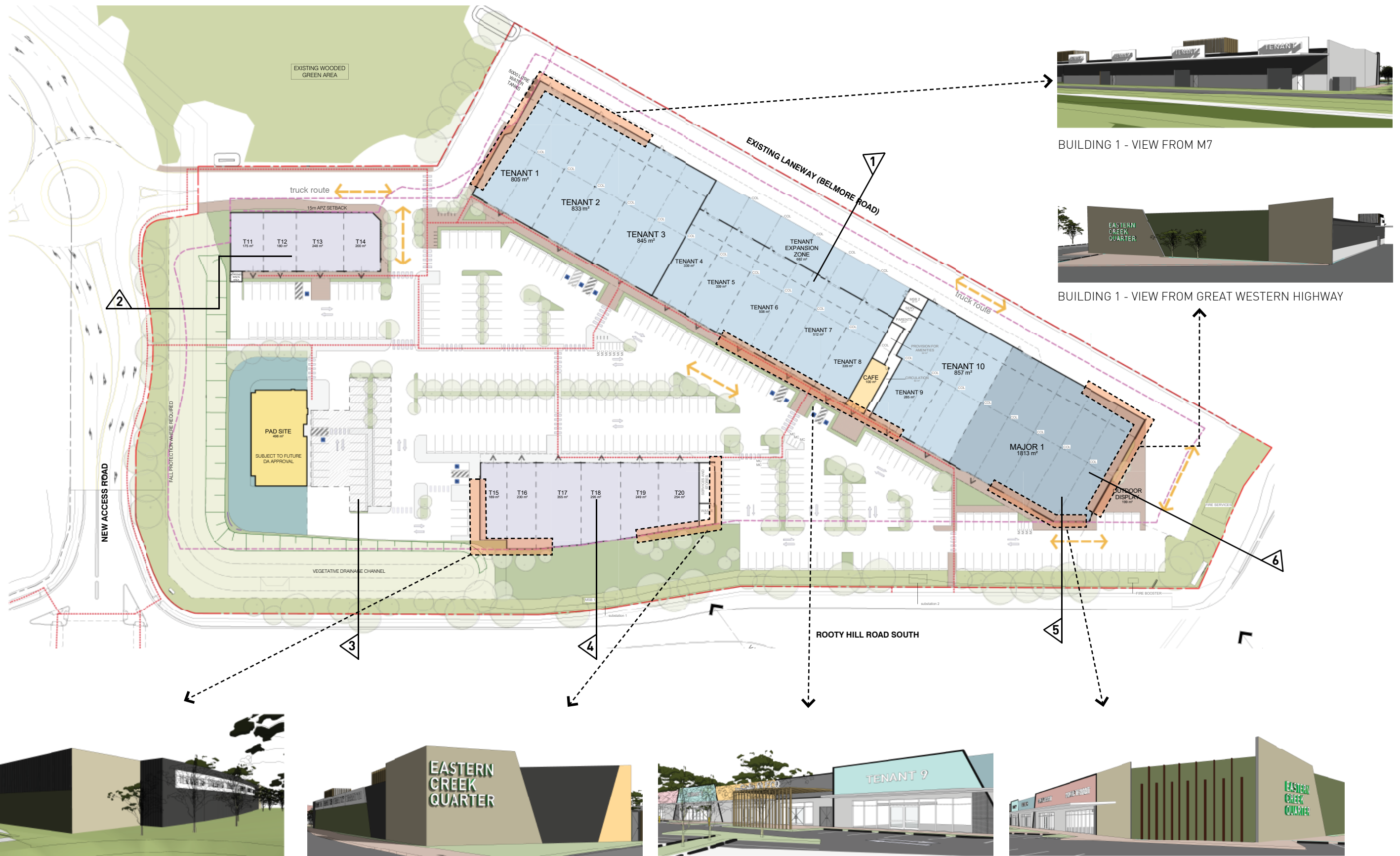
EASTERN CREEK STAGE 2 LOT 1

ROOTY HILL ROAD SOUTH, ROOTY HILL . NSW 2766

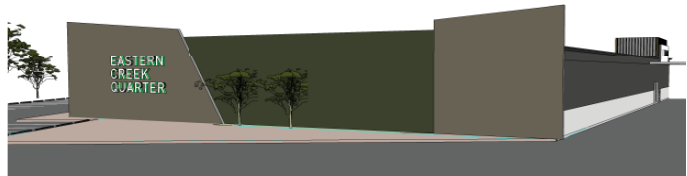
URBAN DESIGN RATIONALE DA SUBMISSION

27 SEPTEMBER 2019
DEVELOPMENT APPLICATION

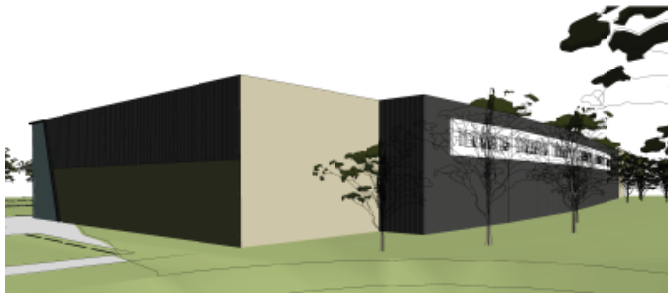




BUILDING 1 - VIEW FROM M7



BUILDING 1 - VIEW FROM GREAT WESTERN HIGHWAY



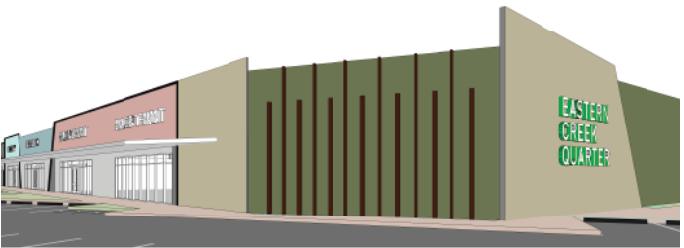
BUILDING 3 - VIEW FROM ROOTY HILL ROAD SOUTH



BUILDING 3 - CORNER VIEW FROM ROOTY HILL ROAD SOUTH

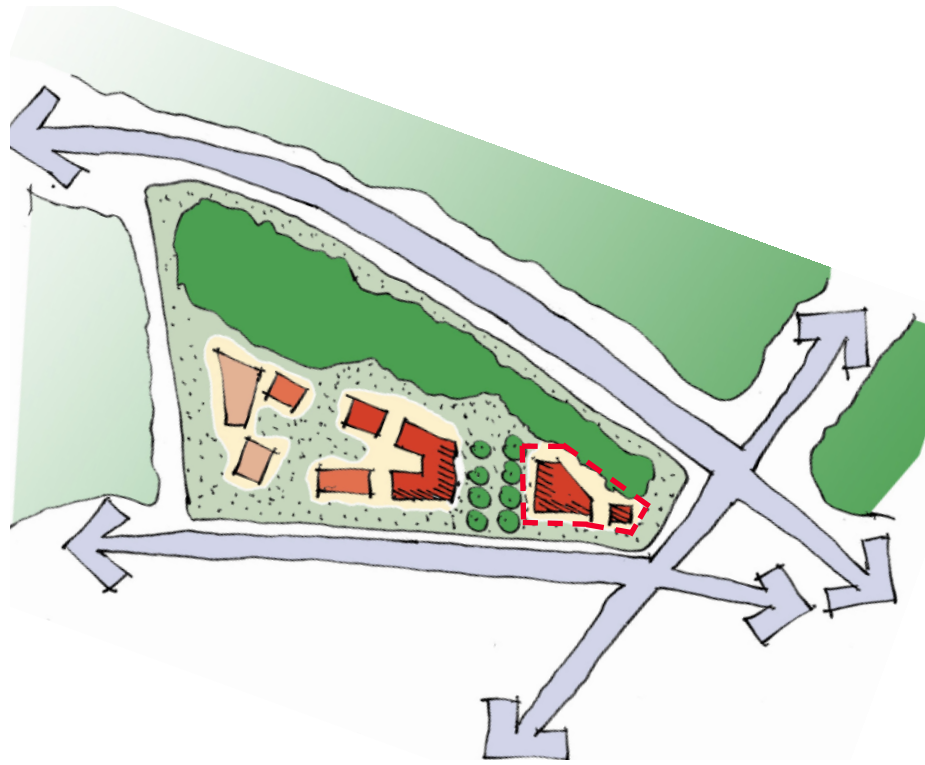


BUILDING 1 - TENANT FACADES VISIBLE FROM CAR PARK AND ROOTY HILL ROAD SOUTH



BUILDING 1 - CORNER VIEW FROM ROOTY HILL ROAD SOUTH

INTRODUCTION TO THE DEVELOPMENT, SHOWING GENERAL VIEWS OF THE STAGE 2 PROPOSAL FROM VARIOUS KEY VIEWPOINTS TO ESTABLISH MASSING AND FORM



PREVIOUS DESIGN GUIDELINES SKETCH - REFERENCED FIG 6



SITE PLAN DA OPTION - 30.11.2017



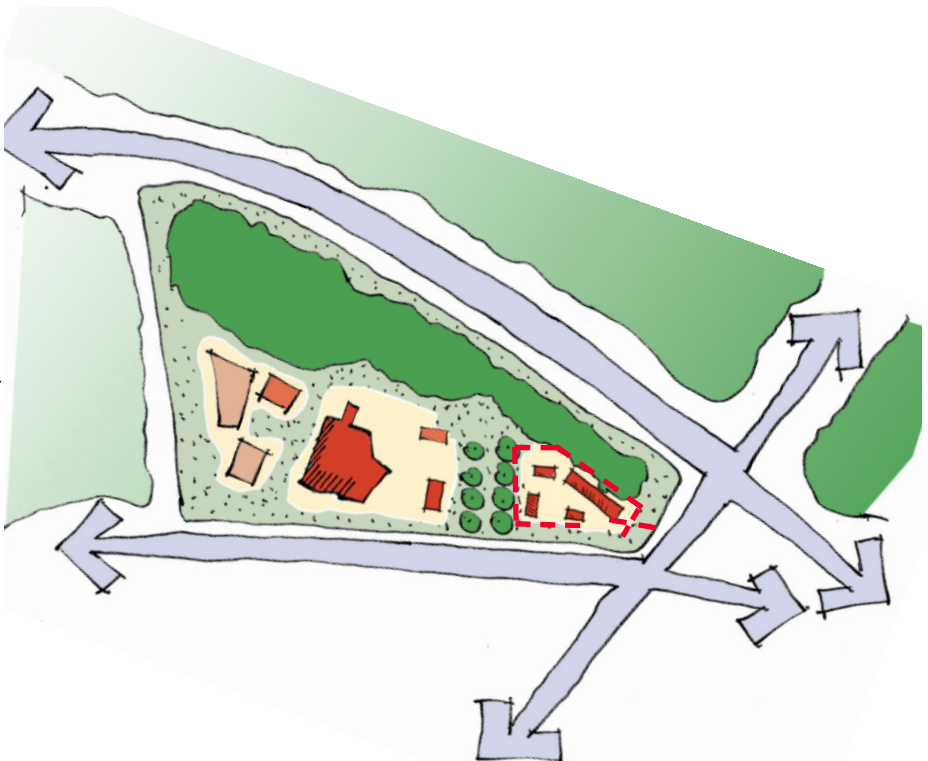
SITE PLAN DA OPTION - 27.04.2018



SITE PLAN DA OPTION - 26.10.2018



SITE PLAN DA OPTION - CURRENT



CURRENT PROPOSED DESIGN GUIDELINES SKETCH- REFERENCED FIG 6

DEVELOPMENT OF THE BUILDING FORMS IN SITE PLAN VIEW ACROSS VARIOUS CONCEPTS AND DA OPTIONS WITH DESIGN GUIDELINES MASTER PLAN FIGURES FOR REFERENCE



PREVIOUS DESIGN GUIDELINES SKETCH - REFERENCED FIG 6

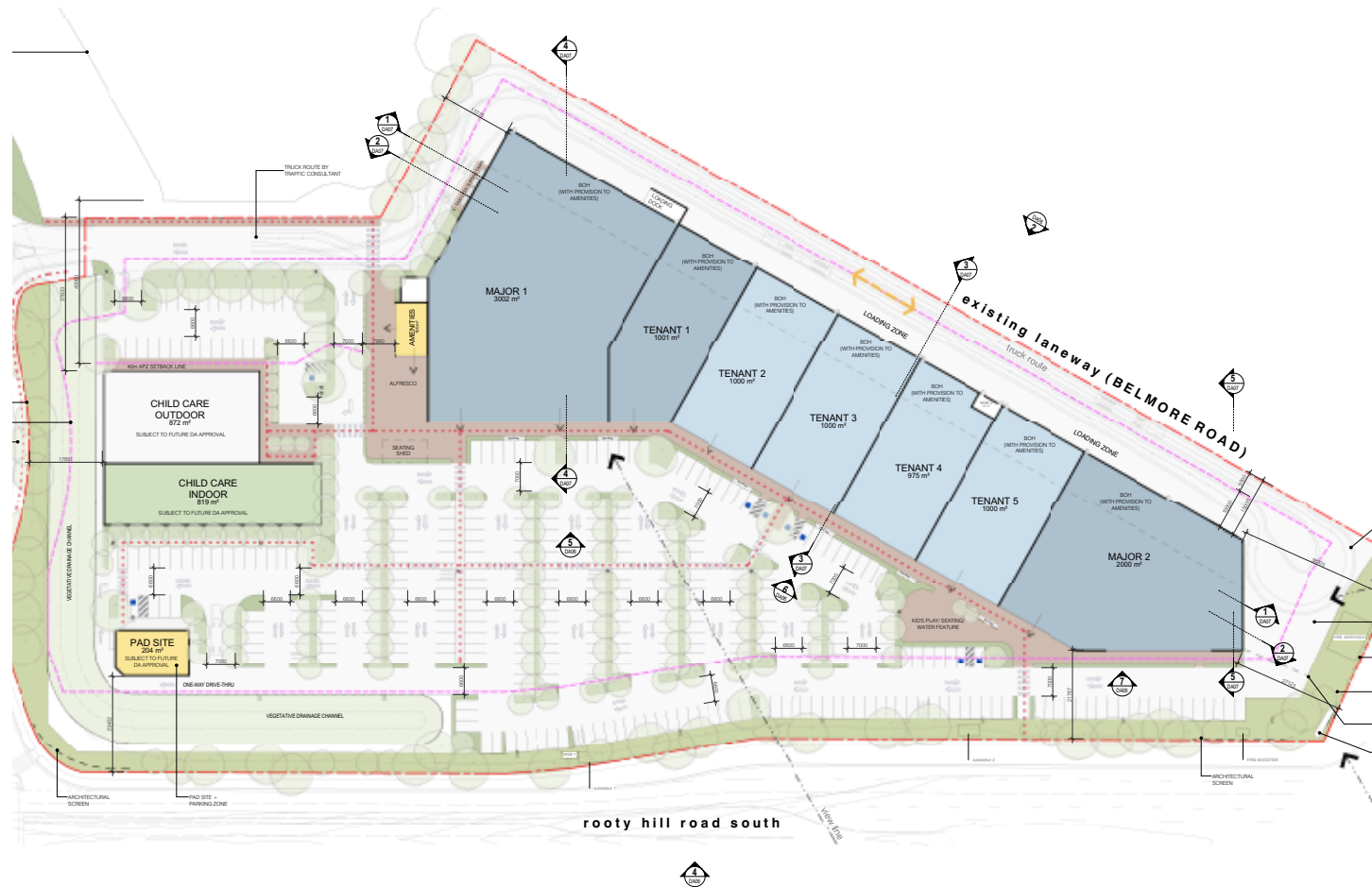
THIS IMAGE SHOWS THE PREVIOUS APPROVED DESIGN GUIDELINES MASTER PLAN ACROSS THE 3 STAGES OF THE EASTERN CREEK DEVELOPMENT



SITE PLAN DA OPTION - 30.11.2017

- THIS SCHEME WAS UNSUCCESSFUL BECAUSE:
- IT WAS DESIGNED FOR A SINGLE MAJOR RETAILER
 - GENERALLY, TENANCIES WERE EXCESSIVELY DEEP
 - BACK OF HOUSE SPATIALS WERE TOO NARROW
 - SOME TENANCY CONFIGURATIONS WERE AWKWARDLY SHAPED
 - IT DOES NOT PROVIDE VISIBILITY THROUGH THE SITE FOR WAY FINDING
 - LARGE BUILDING MASS WITH MINIMAL BREAKS IN THE BUILT FORM
 - REDUCED OPPORTUNITY FOR LANDSCAPE CHARACTER

CRITICAL ANALYSIS OF THE SCHEMES COMPLETED TO DATE



SITE PLAN DA OPTION - 27.04.2018

- THIS SCHEME WAS UNSUCCESSFUL BECAUSE:
- LARGE BUILDING MASS WAS MAINTAINED
 - MINIMAL LANDSCAPING OPPORTUNITIES ALONG RHRS
 - DOUBLE MAJOR RETAILERS WITH REDUCED NUMBER OF TENANCY OPPORTUNITY OVERALL
 - LARGE BUILDING FORM WITH LONG, SINGLE ELEVATION VIEWED FROM RHRS



SITE PLAN DA OPTION - 26.10.2018

- THIS SCHEME WAS UNSUCCESSFUL BECAUSE:
- EXCESSIVELY LARGE RETAILER TENANCIES
 - DEEP TENANCY CONFIGURATIONS OVERALL
 - LARGE PARKING AREA WITH DISTANCES TO MAIN BUILDING
 - REDUCED TENANCY OPPORTUNITIES OVERALL
 - INCREASED BUILT FORM AND MASS, INCREASING BUILDING HEIGHTS IN EXCESS OF HEIGHT RESTRICTIONS

CRITICAL ANALYSIS OF THE SCHEMES COMPLETED TO DATE



SITE PLAN DA SUBMISSION - CURRENT

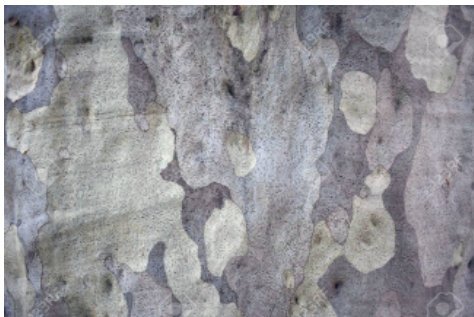
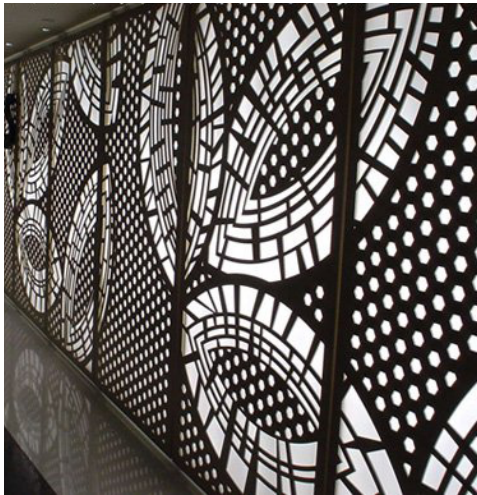
- THIS SCHEME WAS SUCCESSFUL BECAUSE:
- BROKEN UP BUILT FORM ALLOWS FOR EASE OF PARKING ACCESS TO EACH TENANCY
 - ACTIVATION OF BUILT FORM ALONG RHRS WITH INCREASED LANDSCAPE OPPORTUNITIES
 - REDUCED TENANCY DEPTHS AND INCREASED TENANCY OPPORTUNITY OVERALL
 - VIEWS OF LONG ELEVATIONS ARE REDUCED AND BROKEN UP BY LANDSCAPING AND ARTICULATION OF FORM
 - DECREASED MASSING AND HEIGHTS WELL WITHIN BUILDING HEIGHT RESTRICTIONS

CRITICAL ANALYSIS OF THE SCHEMES COMPLETED TO DATE



CURRENT DESIGN GUIDELINES SKETCH - REFERENCED FIG 6

THIS IMAGE SHOWS THE CURRENT PROPOSED DESIGN GUIDELINES MASTER PLAN ACROSS THE 3 STAGES OF THE EASTERN CREEK DEVELOPMENT, NOTING THE DECREASED BUILT FORM AND MASSING ON STAGE 2



PROPOSED FINISHES AND INSPIRATION BOARD, REFERENCING SURROUNDING WOODLANDS AND STAGE 1 DEVELOPMENT

TIMBER FEATURES WITH VERTICAL PLANTING AT PROMINENT CORNERS TO HIGHLIGHT EXISTING WOODLAND CONDITION

PYLON SIGNAGE WITHIN MAXIMUM SITE HEIGHT RESTRICTION OF 10M, CONTINUING FORM FROM STAGE 1 DEVELOPMENT

BUILDINGS ARE SET BACK A MINIMUM OF 20M OFF THE MAIN ROAD FACES, DECREASING MONUMENTALITY AND PROVIDING FOR LANDSCAPED ZONES

GREENERY ON CONCRETE WALL SET BACK FROM FEATURE PANEL CREATING LAYERS OF TEXTURES AND CONTINUING THE FEEL OF THE EXISTING WOODLAND CONTEXT THROUGH THE BUILDING FORM

FEATURE WALL PATTERN CONTINUED ON FROM STAGE 1, TYING THE SCHEMES TOGETHER INTO A SINGLE PRECINCT



EXTENSIVE PLANTING ALONG ROOTY HILL ROAD SOUTH WITH 5M LANDSCAPE ZONE BEFORE PARKING AND INTERNAL CIRCULATION

EXISTING BLACKTOWN CITY SIGN

SHRUBBERY SETBACK 10M FOR LANDSCAPED ZONE FROM GREAT WESTERN HIGHWAY AND EXISTING BLACKTOWN CITY COUNCIL SIGNAGE

ARTIST IMPRESSION OF INITIAL DEVELOPMENT PERSPECTIVE, VIEWED FROM THE INTERSECTION OF ROOTY HILL ROAD SOUTH AND THE GREAT WESTERN HIGHWAY, LOOKING NORTH

FRASERS PROPERTY
EASTERN CREEK

STAGE 2 DEVELOPMENT VIEWS FROM RHRS - LOOKING NORTH

PROPOSED FINISHES AND ARTICULATION

PROJECT
2017-164

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PLANTING AMONGST PARKING ALLOWS SEGMENTS OF BUILDING TO BE SEEN BUT NOT STAND OUT

VERTICAL PLANTING ALONG BUILDING FACADES CONTINUES THE LANDSCAPING ELEMENTS INTO THE BUILDING FORM

DARK BUILDING BLENDS IN WITH SURROUNDINGS AND CONTINUES MATERIAL PALETTE FROM THE STAGE 1 DEVELOPMENT, CREATING HOLISTIC PRECINCT FEEL



BUILDING SET BACK FROM ROAD DECREASING MONUMENTALITY, LIMITING EXTENSIVE VIEWS OF LONG ELEVATIONS

LARGE LANDSCAPED AREA SEPARATING PARKING FROM PEDESTRIAN WALKWAY AND ROAD INCLUDING VEGETATIVE DRAINAGE CHANNEL AS PER LANDSCAPE CONSULTANT DESIGNS

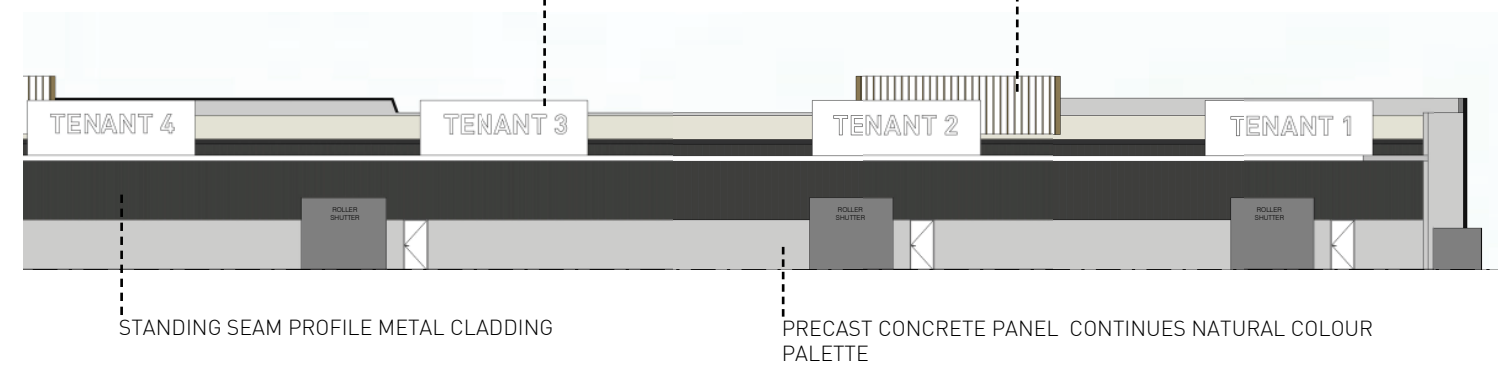
EXTENSIVE PLANTING ALONG ROOTY HILL ROAD SOUTH WITH 5M LANDSCAPE ZONE BEFORE PARKING AND INTERNAL CIRCULATION

ARTIST IMPRESSION OF INITIAL DEVELOPMENT PERSPECTIVE, VIEWED FROM ROOTY HILL ROAD SOUTH LOOKING SOUTH

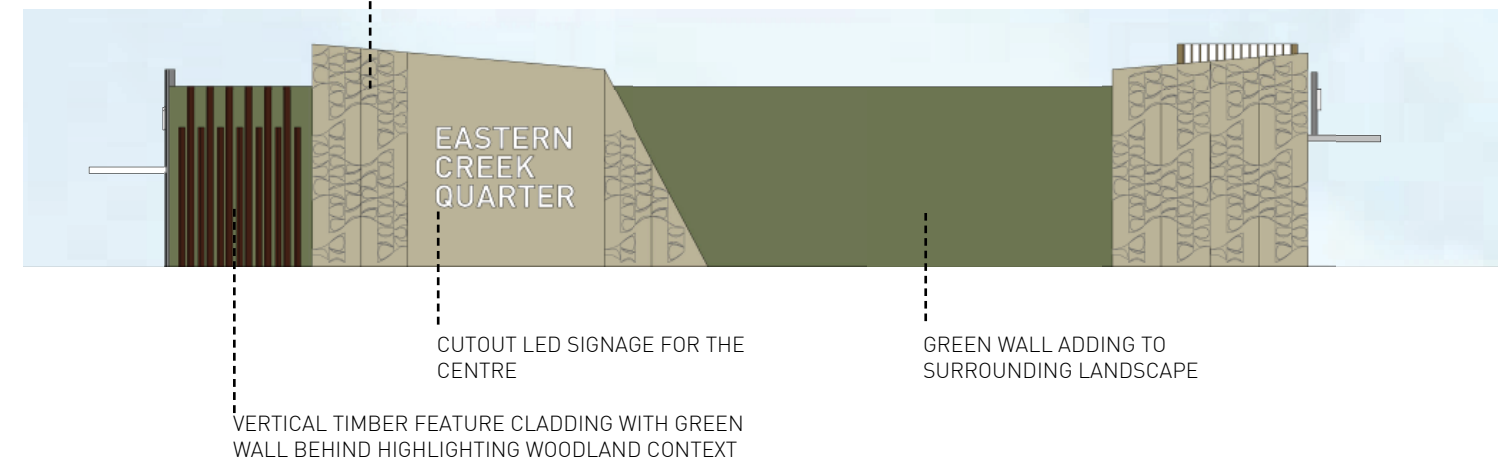


TENANT SIGNAGE ADDING TO ARTICULATION OF THE FACADE AS VIEWED THROUGH THE WOODED PARKLANDS FROM THE M7

ROOF PLANT SCREENING WITH VERTICAL TIMBER LOOK AND FEEL

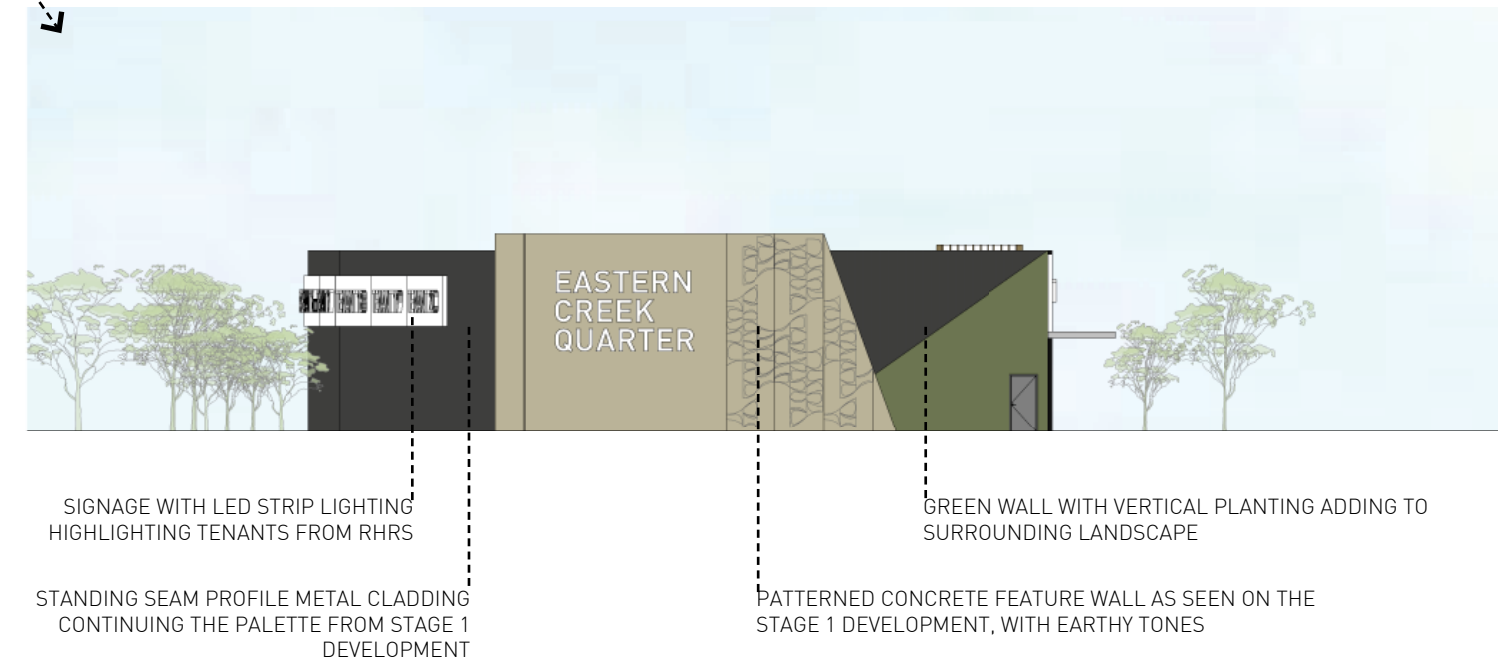
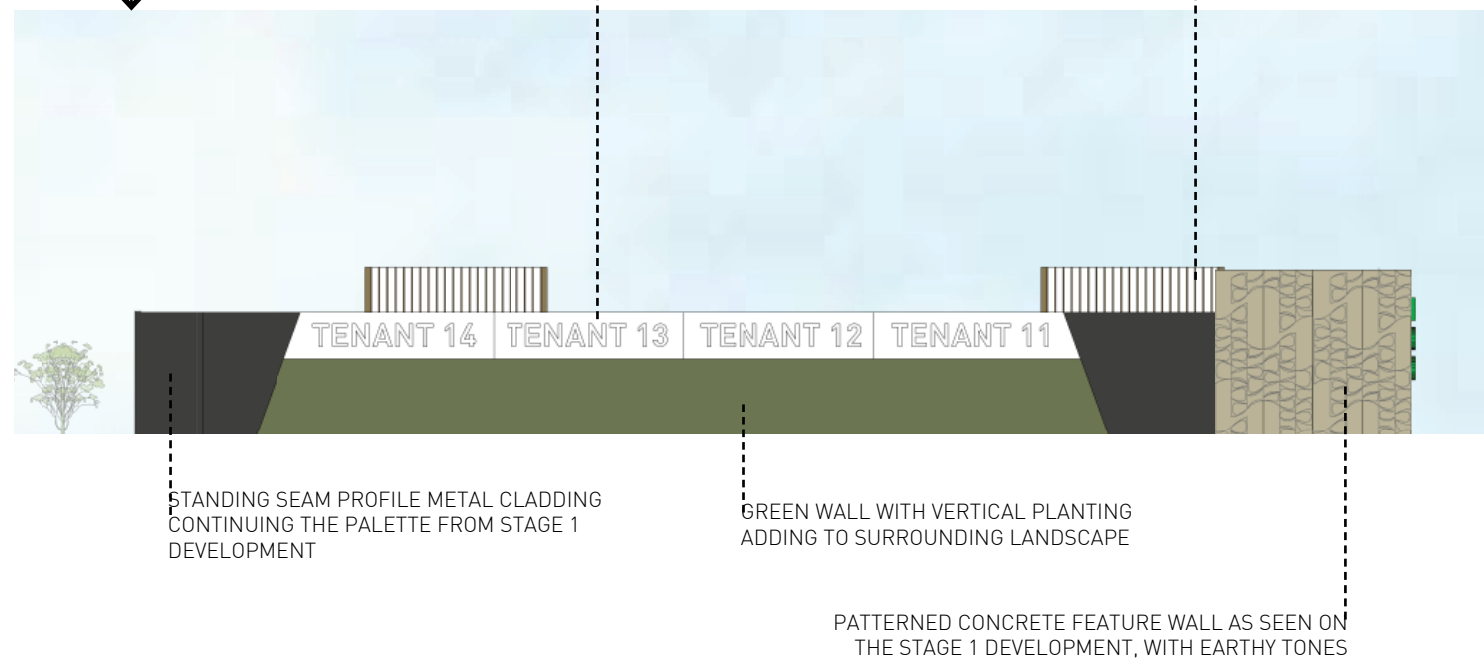


PATTERNED CONCRETE FEATURE WALL AS SEEN ON THE STAGE 1 DEVELOPMENT, WITH EARTHY TONES



METAL SIGNAGE ZONES INTEGRATED INTO VERTICAL PLANTING AREAS

ROOF PLANT SCREENING AS PER STAGE 1 DESIGN, WITH VERTICAL TIMBER LOOK AND FEEL



VARIOUS BUILDING FACADES SHOWING ARTICULATION OF FORM, SIGNAGE AND MATERIALITY

FRASERS PROPERTY
EASTERN CREEK

**BUILDING MATERIALITY FACING
ROADS**

BUILDING ARTICULATION AND FINISHES

PROJECT
2017-164

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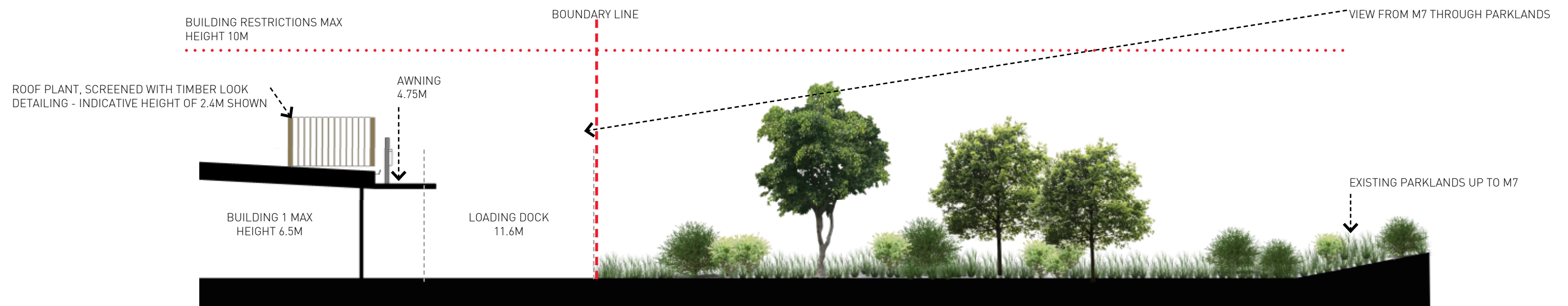
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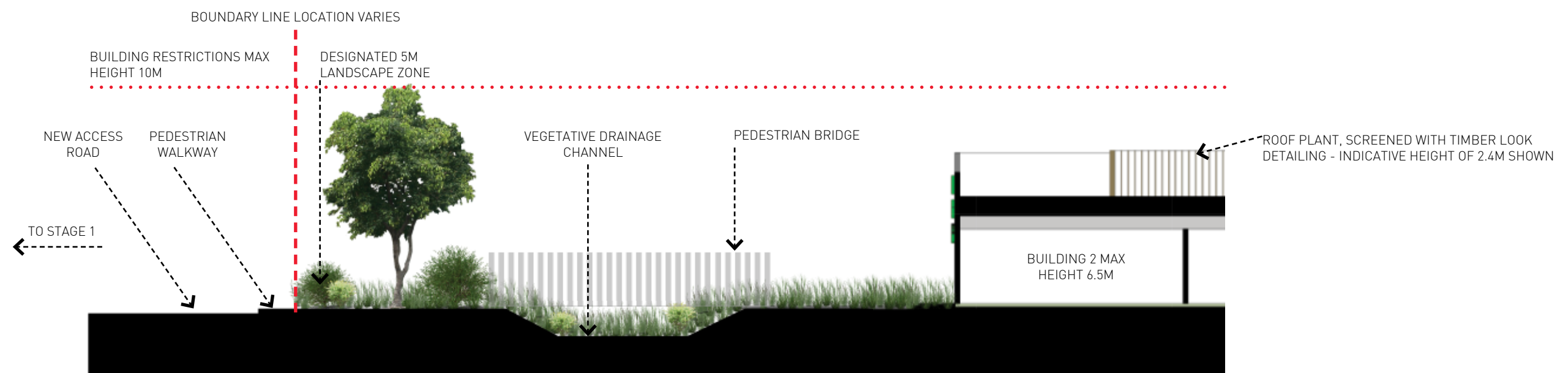
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SECTION 1 - THROUGH BUILDING 1, LOADING DOCK TO PARKLANDS



SECTION 2 - THROUGH BUILDING 2 AND VEGETATIVE DRAINAGE CHANNEL

SECTIONS THROUGH THE STAGE 2 DEVELOPMENT TO SURROUNDING
CONTEXT, SHOWING BUILDING FORM AND MASSING

FRASERS PROPERTY
EASTERN CREEK

BUILDING RELATIVE TO ROADS AND LANDSCAPING

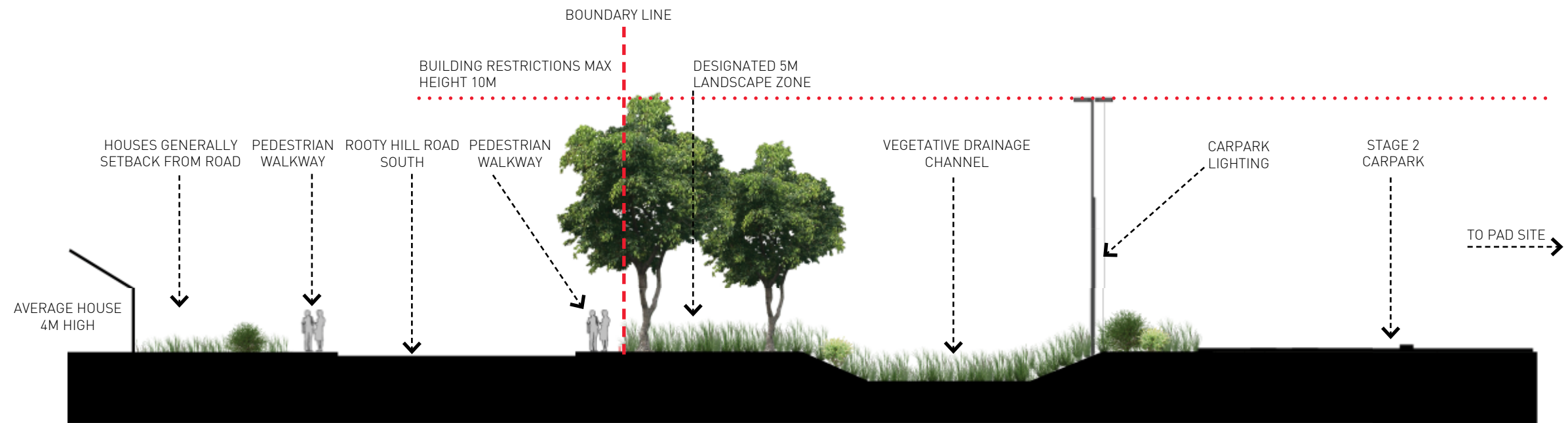
SECTIONS TO SURROUNDING CONTEXT

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DATE
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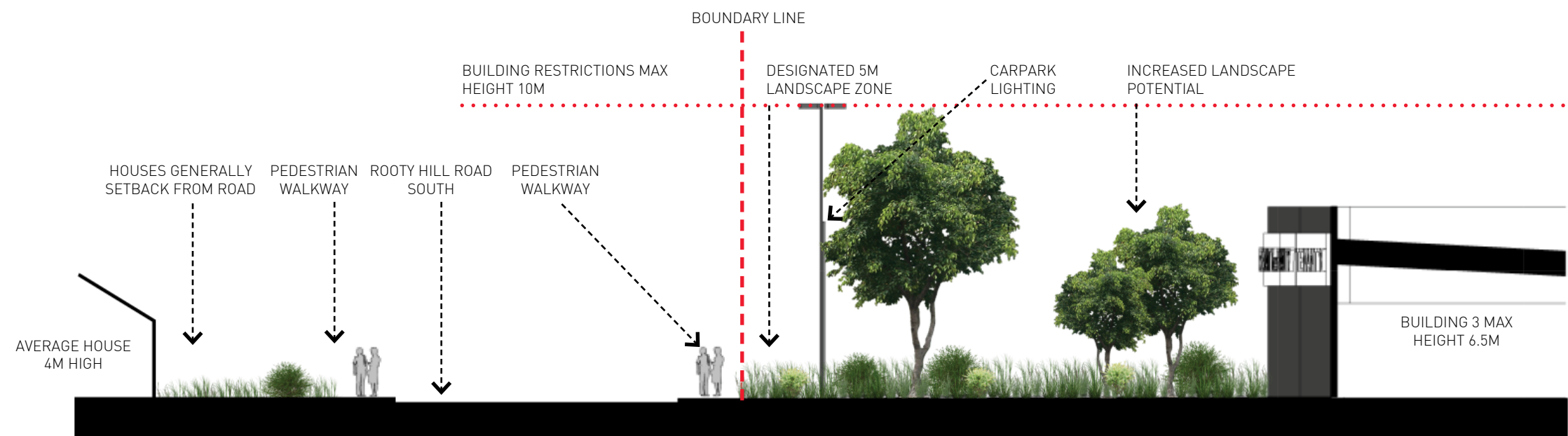
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SECTION 3 - THROUGH CARPARK AND VEGETATIVE DRAINAGE CHANNEL



SECTION 4 - THROUGH BUILDING 3 TO ROOTY HILL ROAD SOUTH

SECTIONS THROUGH THE STAGE 2 DEVELOPMENT TO SURROUNDING
CONTEXT, SHOWING BUILDING FORM AND MASSING

FRASERS PROPERTY
EASTERN CREEK

BUILDING RELATIVE TO ROADS AND LANDSCAPING

SECTIONS TO SURROUNDING CONTEXT

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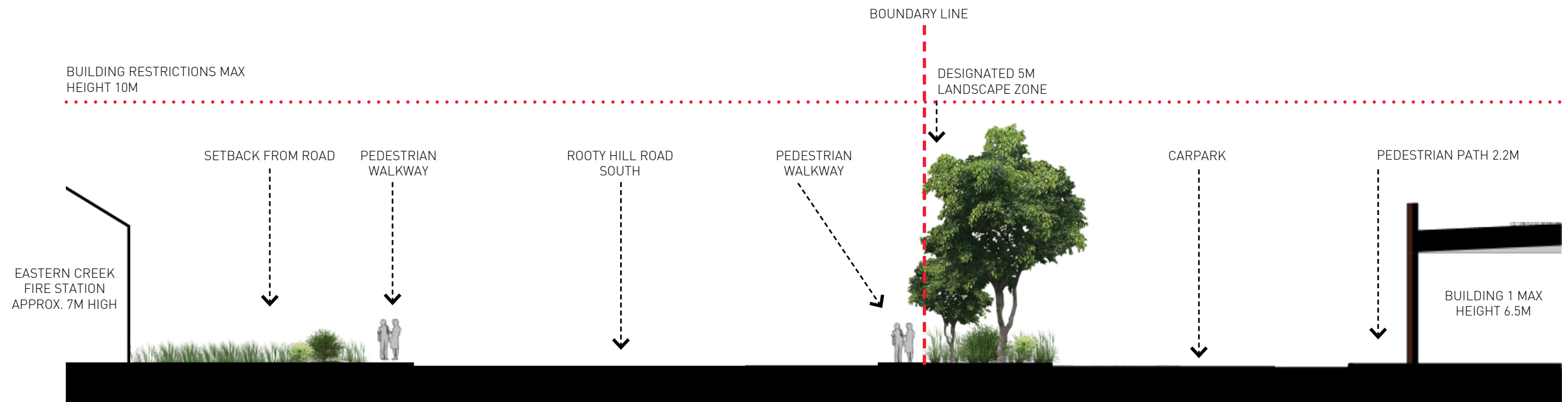
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SECTION 5 - THROUGH BUILDING 1 AND ROOTY HILL ROAD SOUTH



SECTION 6 - THROUGH BUILDING 1 TO GREAT WESTERN HIGHWAY

SECTIONS THROUGH THE STAGE 2 DEVELOPMENT TO SURROUNDING
CONTEXT, SHOWING BUILDING FORM AND MASSING