

EXTENT



600-660 ELIZABETH STREET, REDFERN

STATEMENT OF HERITAGE IMPACT

Prepared for Hickory Construction Redfern Pty Ltd

June 2024 — Final 2



SYDNEY

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**PEOPLE
CENTRED
HERITAGE**

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EXECUTIVE SUMMARY

This report accompanies a detailed State Significant Development Application (SSDA) that seeks approval for a mixed-use development at 600-660 Elizabeth Street, Redfern (Redfern Place). The development proposes four buildings comprising community facilities, commercial/office, affordable/social/specialist disability housing apartments and new public links and landscaping.

The project site comprises Lot 1 in DP 1249145. It has an area of approximately 10,834m². Part of the site currently accommodates the existing Police Citizens Youth Club (PCYC) (to be demolished and replaced). The remaining portion of the site is vacant with remnant vegetation.

The SSDA seeks approval for redevelopment of the site, including:

- Demolition of existing buildings.
- Tree removal.
- Bulk earthworks including excavation.
- Construction of a community facility building known as Building S1.
- Construction of two residential flat buildings (known as Buildings S2 and S3) up to 14 and 10 storeys respectively, for social and affordable housing.
- Construction of a five-storey mixed use building (known as Building S4) comprising commercial uses on the ground level and social and specialist disability housing above.
- Construction of one basement level below Buildings S2, S3 and part of S4 with vehicle access from Kettle Street.
- Site-wide landscaping and public domain works including north-south and east-west pedestrian through-site link.

For a detailed project description refer to the Environmental Impact Statement prepared by Ethos Urban.

The site is not identified as a heritage item; however, it is located adjacent to an item of State Heritage significance being Redfern Park and Oval (Item 02016). The site is also in the vicinity of three Heritage Conservation Areas (HCAs) listed under Schedule 5 of the City of Sydney, *Local Environmental Plan 2012* (SLEP 2012).



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1. THE HERITAGE ITEM

1.1. Project background

Extent Heritage Pty Ltd (Extent Heritage) have been engaged by Hickory Construction Redfern Pty Ltd on behalf of Bridge Housing Ltd to prepare the following Statement of Heritage Impact (SOHI).

This report accompanies a detailed State Significant Development Application (SSDA) that seeks approval for a mixed-use development at 600-660 Elizabeth Street, Redfern (Redfern Place). The development proposes four buildings comprising community facilities, commercial/office, affordable/social/specialist disability housing apartments and new public links and landscaping.

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This report specifically addresses Item 20 of the SEARS as outlined in the table below.

Item	SEARS Requirement	Section
20.	<i>Where there is potential for direct or indirect impacts on the heritage significance of environmental heritage, provide a Statement of Heritage Impact and Archaeological Assessment (if potential impacts to archaeological resources are identified), prepared in accordance with the relevant guidelines, which assesses any impacts and outlines measures to ensure they are minimised and mitigated.</i>	Section 3.



This report does not address historical archaeology or Aboriginal cultural heritage. These have been addressed separately by the following cover letters which refer to existing reports:

- Elizabeth Street Redfern –Historical Archaeological Assessment Report Cover Letter, 8 December 2023.
- Elizabeth Street Redfern –Aboriginal Archaeological Report Cover Letter, 8 December 2023.

1.2. Site description

1.2.1. Location

Redfern Place is located at 600-660 Elizabeth Street, Redfern within the City of Sydney Local Government Area (LGA). It is approximately 4km southwest of the Sydney CBD and 1km west of Redfern Railway Station. The site is legally described as Lot 1 of DP 1249145 and encompasses an area of approximately 1.1ha.

The site comprises a street block bound by Elizabeth Street to the west, Phillip Street to the south, Walker Street to the east and Kettle Street to the north. It also forms the southernmost block of the broader Redfern Social Housing Estate and is surrounded by residential development to the north, east and south. Redfern Park and Oval are located immediately west of the site.

The site is largely vacant except for a series of three single-storied connected brick buildings and an outdoor basketball court to the southern end of the site, which is currently leased by the Police Citizens Youth Club (PCYC). In 2013, 18 dwellings were demolished on the northern portion of the site and has remained vacant since that time.



Figure 1. Aerial view of Redfern Place and surrounding area. Source: Nearmap, 2024.

1.3. Site summary history

The subject site was previously assessed by Extent Heritage as part of a Historic Heritage Assessment in 2019. The following site history relies largely on this existing research. Additional research included a review of readily available historical information including historical newspaper articles, plans and aerial photos. This history overview does not provide an exhaustive account of the former occupants of the site. For site history related to the Aboriginal and historical archaeology of the site, please refer to those separate reports.

1.3.1. Documented history

Historical plans from the State Library of NSW suggest that, during the initial settlement of the Colony, the subject site formed part of a large tract of land between Port Jackson and Port Botany that comprised “barren sands”. This description most likely refers to the poor fertility of the land for cultivation purposes, rather than for its landscape appearance – in fact, the area beyond the initial settlement was characterised by tracts of uncleared blackbutt, tea-tree and scrub, and swampy marshes, lagoons and creeks¹. Obed West, who documented much of early Sydney, describes extensive Aboriginal activity in the area including campsites, meetings and battles. The subject site likely fell within Boxley’s Lagoon, that encompassed Redfern Park and “the vacant paddocks opposite Elizabeth Street”.² The surrounding farmland contained wheat, native fruit trees and native shrubs in the early days of the colony. The lagoon contained red-bills, wild duck, snipe, landrail, eels and other game.³ The area that became the Albert Ground was a large swamp with a horse race conducted around the periphery in about 1822. The horses started at Mount Carmel, south of the subject site, and ran around to the later site of the Redfern Courthouse on Redfern Street, to the north of the subject site.⁴

The subject site lies within a 185-acre grant made to Edward Smith Hall in 1822.⁵ Hall arrived in Australia in 1811 and received his grant in the Redfern/Moore Park area intending to become a ‘gentleman farmer’. He was unsuccessful as a farmer and unpopular with Governor Macquarie, so became a cashier with the Bank of New South Wales. He left the role soon afterwards and after four years of re-attempted farm management he established his own newspaper, the *Monitor*. Hall published inaccurate information on several occasions that resulted in his rights to graze stock on certain areas of land revoked in 1827, and in 1829 he was convicted of libel.⁶ In that same year, his grant at Redfern was obtained by Daniel Cooper and Solomon Levey.⁷ Cooper and Levey were successful businessmen who worked in trading, imports and shipping.⁸ Daniel Cooper, who arrived

¹Marriott, E.W. (1988), *The Memoirs of Obed West: A portrait of early Sydney*, Barcom Press, Bowral. 44.

²Marriott, E.W. (1988), *The Memoirs of Obed West: A portrait of early Sydney*, Barcom Press, Bowral. 46.

³ *Ibid.*

⁴ *Ibid.*

⁵ Jervis, J. and V. Kelly (ed.). 1960. *The History of Woollahra: A record of events from 1788 to 1960 and a centenary of local government*. The Municipal Council of Woollahra. Halstead Press: Sydney. 105.

⁶ Kenny, M. 1966. *Hall, Edward Smith (1786-1860)*. Australian Dictionary of Biography.

⁷ Extent/AHMS. 2014. *Redfern, Waterloo and South Eveleigh Urban Renewal Sites: Desktop Historic Heritage Assessment*. For Urban Growth Development Corporation.

⁸ Jervis, J. and V. Kelly (ed.). 1960. *Op. cit.* 105.

in Australia as a convict in 1816, was the main director of the Cooper and Levey firm from 1826 onwards.⁹

Early settlers like Samuel Terry, William Hutchinson and Daniel Cooper made good use of the swampy areas in neighbouring Waterloo, Randwick and Moore Park, by establishing mills for grinding flour and wool washing on the Lachlan and Waterloo Swamps.¹⁰ However, Boxley's Lagoon appears not to have been used for similar industrial pursuits. In 1843 the area was described as "lying waste and unproductive" and "a pestiferous bog of an actually dangerous nature" in 1843¹¹. Boxley's Lagoon was eventually "drawn off by means of a large drain" to reclaim the swampland and draw away surface water.¹²

Between 1854 and 1857, the current street grid of the surrounding area was laid out in preparation for subdivision. This subdivision had taken place by the early 1860s, with primarily residential development undertaken in most of the allotments. The subject site falls within a former swamp on the corner of Phillip and Elizabeth Streets, which became Albert Ground in 1864, a privately-owned cricket ground¹³ (Figure 2).

The Albert Ground had a pavilion and grandstand, as well as a drainage system for the playing fields. In 1864 at the opening of the ground, it was a level area of sandy soil that was subject to flooding due to drainage from the surrounding hills. A seven-foot high, two hundred-yard long fence was erected around the ground and the water outlet for drainage led to the "neighbouring wool-washing establishment". Sand was imported to level the ground after the drainage system had been put in place then turfed for cricket. The area specifically dedicated to cricket was surrounded by a post and wire fence with a circumference of five hundred and ten yards with the posts standing fifteen feet apart (Figure 3). A pavilion was also erected on the northeast corner of the ground. It was a substantial wooden structure with a club room, verandah, dressing and bathrooms to the left and the parlour, bar and kitchen to the right. The building measured forty-six by thirty-six feet and the verandah on three sides was eight feet wide with four rows of seats beneath it and a garden plot directly in front of it. Inside the ground's fence, trees were planted for spectators' shelter and gates were placed on the eastern, southern and western fences. There were also plans for a grandstand to be built at a later date at the time of the ground's opening.¹⁴ Two years later, in 1866, improvements made at the ground included re-dressing the playing field with loam, replacing the wire fence with another that was "neat and substantial", constructing a ladies' room under the grand stand and constructing a new dressing room. A gymnasium was built opposite the original pavilion.¹⁵

⁹ Davidson, J. 1966. *Cooper, Daniel (1785-1853)*. Australian Dictionary of Biography.

¹⁰ Marriott 1988: *Op. cit.* 45

¹¹ Thorp, W. (1994). *Historical Analysis Redfern Park Redfern*. Prepared for Clouston and Associates

¹² Marriott 1988: *Op. cit.* 46

¹³ Extent/AHMS. 2014. *Op. cit.*

¹⁴ Sydney Mail, 5 November, 1864, p.5.

¹⁵ Bell's Life in Victoria and Sporting Chronicle, 29 September, 1866. P. 2.

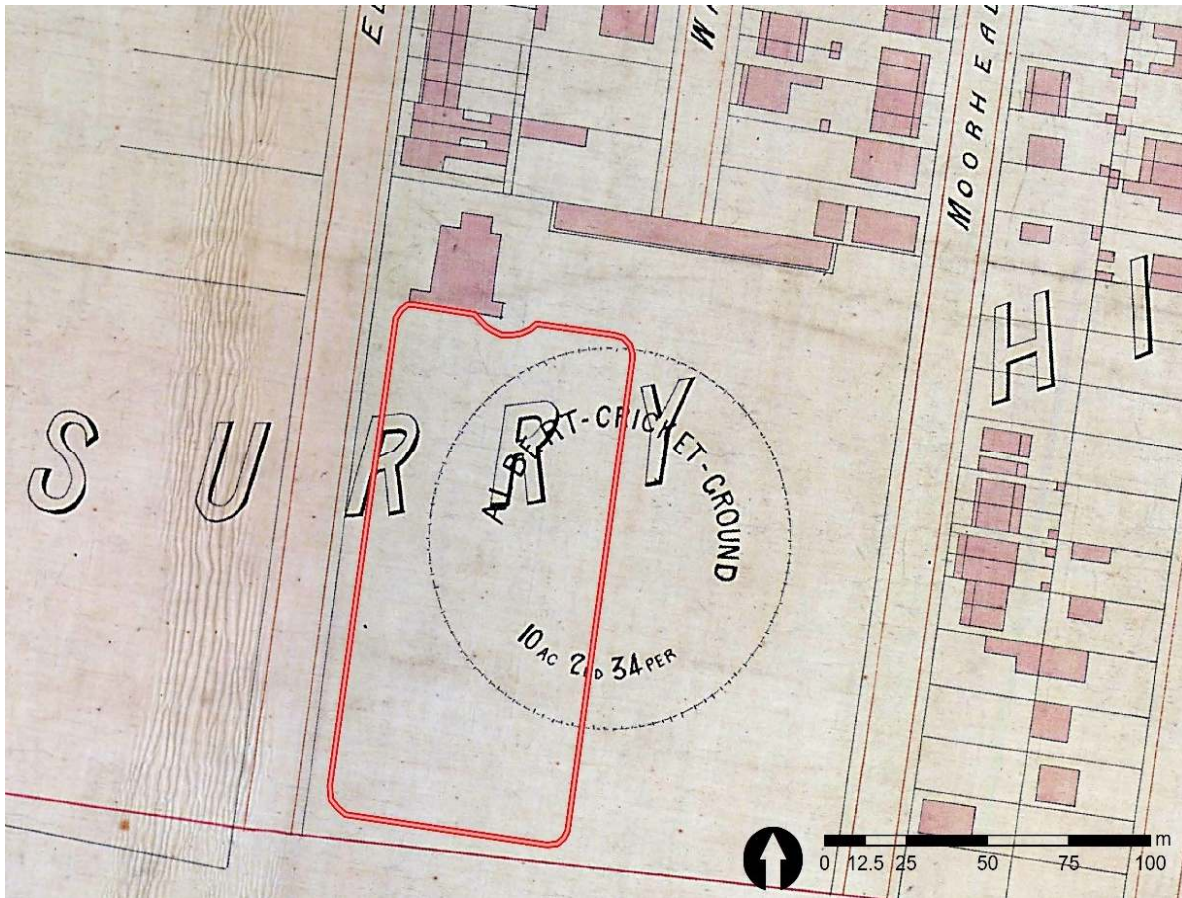


Figure 2. 'Block 152, Map 50 – The Redfern Municipality' of the Trigonometric survey of Sydney, c. 1864, overlain by modern cadastral boundaries in red. The Albert Cricket Ground encompassed a large part of the subject site. Source: City of Sydney, Historical Atlas of Sydney.

This private cricket ground was host to a number of inter-colonial teams, including W. G. Grace's All-England XI in 1874. In 1867 the Australian Native XI played on the ground. The team was an Aboriginal side from Victoria under the captaincy of Tom Wills, one of the most important figures in Australian sporting history. In the following year the team toured England under the former Surrey professional cricketer Charles Lawrence. Lawrence, a member of the Albert Club, became coach and manager of the Australian Native XI.

In addition to cricket, the Albert Ground was used for a variety of other activities. At the time of its opening, it was suitable for "athletic games of every kind, and for horticultural exhibitions, school picnics, and other public occasions."¹⁶ Circuses performed at the ground several times, conducting a chariot, Roman horse races and aerial bicycle performances as part of their shows.¹⁷ Other sports included walking, hurdles, high jump, sack races, hammer throwing, pony races, velocipede (bicycle) races, bicycle hunts, wheelbarrow races, three legged races and various running races for

¹⁶ Sydney Mail, 5 November, 1864, p.5.

¹⁷ The Sydney Morning Herald, 27 December, 1867. P. 4; Australian Town and Country Journal, 27 May, 1871, p. 6; Australian Town and Country Journal, 6 August, 1870, p. 26.

both men and women.¹⁸ One of its popular events was the Highland Gathering, undertaken on New Year's Day. Another was the grand bicycle steeplechase, for which a water jump was formed as one of the obstacles.¹⁹ Steeplechases were also conducted on foot, as well as a mix of sports and activities for events such as royal birthdays.²⁰



Figure 3. Albert Cricket Ground, 1874. Source: SLNSW SPF/1570.

In 1879, the year after the Carnival Sports had taken place for the Queen's Birthday, the cricket ground was closed, and the property was subdivided. By 1887 the Albert Ground had become terrace housing (Figure 4).

The terrace housing during this late nineteenth century period was associated with the 'Baby farming case' of John and Sarah Makin. The Makin's were notorious in Sydney between 1892 and 1893, when police discovered the bodies of infants across the various properties they occupied from Macdonaldtown to Redfern.²¹ One of these properties is situated within the subject site: 11 Alderson Street. Another property at 2 Kettle Street was located a short distance away in the northeast direction from the site. At their property on 11 Alderson Street, the lane running parallel to Elizabeth Street that was formed during the subdivision following the closure of Albert Ground,

¹⁸ Bell's Life in Victoria and Sporting Chronicle, 29 September, 1866. P. 2; Sydney Mail, 29 May, 1869. P. 2; The Sydney Morning Herald, 10 November, 1869, p. 5.

¹⁹ Illustrated Sydney News, February 17, 1870, p344.

²⁰ Illustrated Sydney News, November 25, 1869, p.1; Illustrated Sydney News, January 16, 1867, p.5.

²¹ Radi, H. 2005. *Makin, Sarah Jane (1845-1918)*. Australian Dictionary of Biography.

three decomposed bodies were uncovered by police after digging in the yard in 1892. Investigations were carried out after a neighbour claimed to have seen John Makin digging a hole.²² At 2 Kettle Street police also conducted digging operations however no bodies were found. The yard of that property was asphalted and bricked.²³ The Makin's and two of their daughters were taken into custody,²⁴ however only the couple was convicted in 1893.²⁵ John Makin was hanged on 15 August and Sarah Makin was sentenced for life in prison. She was released on 29 April 1911 at her children's request and died in 1918.²⁶

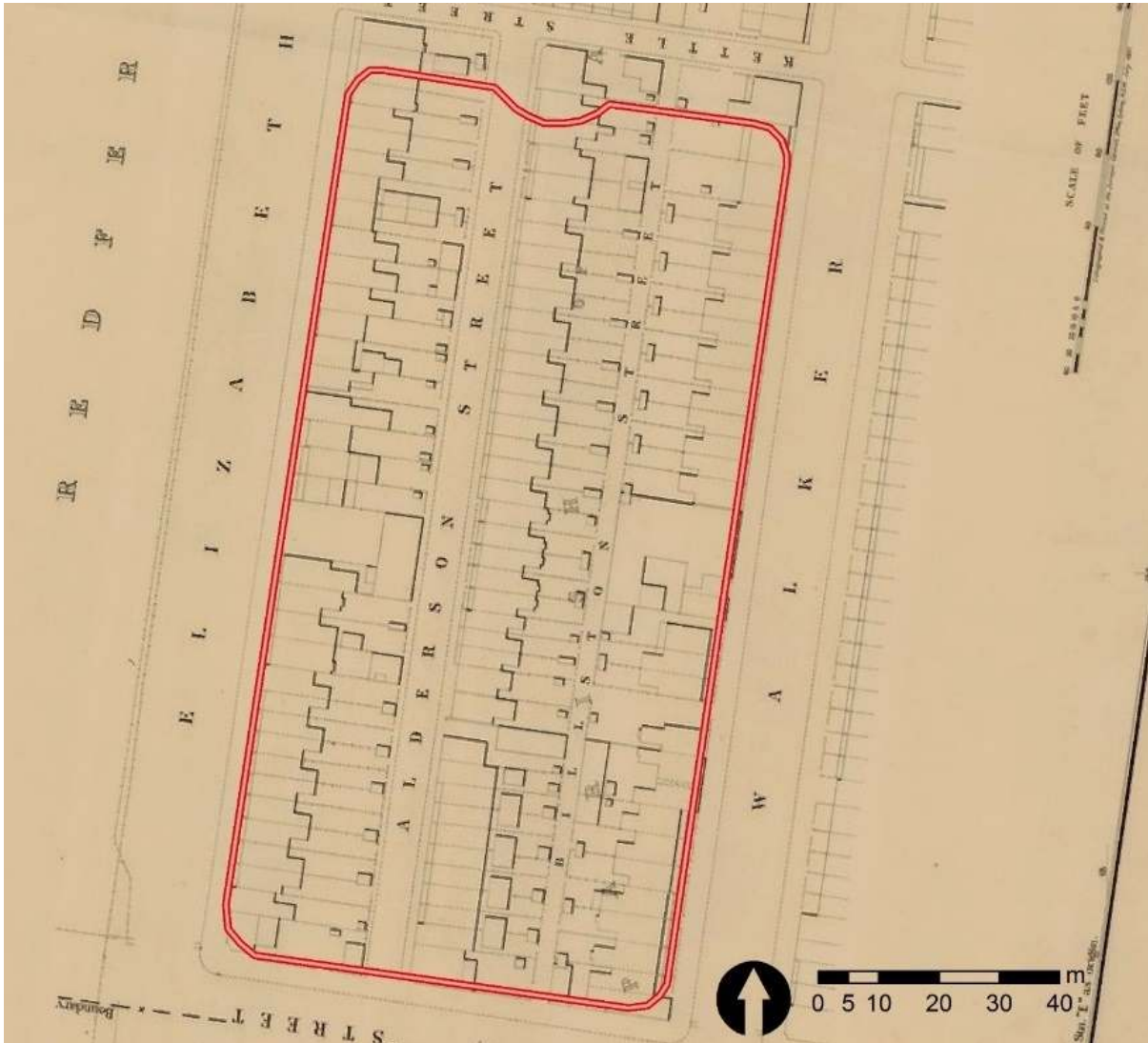


Figure 4. 1887 map showing the site in red. Source: SLNSW Metropolitan Detail Series, Sheet 13.

²² 'The Macdonaldtown Mystery. Further Discoveries. In Alderson-street, Redfern. Fourth Inquest'. 1892. *The Australian Star*. 12 November. P. 6; 'Further Revelations. Two more bodies found.' 1892. *Evening News*. 12 November. P. 6.

²³ *Ibid.*

²⁴ 'Sydney, Wednesday, 6.15 p.m. The Macdonaldtown Mystery. 1892. *Goulburn Herald*. 16 November. P. 3.

²⁵ Radi, H. 2005. *Op cit.*

²⁶ Radi, H. 2005. *Op cit.*

Other than the 'Baby farming case' of the 1890s, Alderson Street in Redfern was notable for a high rate of crime, poverty and immigrant activity.²⁷ Drunkenness was a common occurrence in the area²⁸ and several fires occurred along Alderson Street during this period.²⁹ Many properties were in poor condition, with one man fined for the unsanitary state of his residence³⁰ (Figure 5). The area was occupied by a large number of 'Syrian' Lebanese and Indian immigrants,³¹ who were subject to racism from news publications that also attributed the poor state of the area to the 'alien colony'.³² The Syrian community had shops and boarding houses along Alderson Street.³³ In 1900, the subject site was placed under quarantine to be cleaned, associated with health issues related to the bubonic plague.³⁴ There was also a possible opium den in the area.³⁵ In 1913 a Syrian bootmaker, who had occupied the Makin's old property at 11 Alderson Street³⁶ and later moved to number 27, refuted claims that his residence was an opium den though admitted that he had been convicted in the past.³⁷ Alderson Street was known as "one of the most notorious of back streets in the coloured quarter of Redfern".³⁸



²⁷ E.g. 'Redfern'. 1892. *Evening News*. 7 December. P. 3; 'Sudden Death at Redfern'. 1889. *The Australian Star*. 26 January. P. 9; 'Lips Severed'. 1929. *The Maitland Weekly Mercury*. 28 December. P. 16.

²⁸ 'A Fatal Fall. The Redfern Accident.' 1903. *The Australian Star*. 14 October. P. 6.

²⁹ 'Redfern Fire.' 1925. *The Daily Telegraph*. 15 April. P. 12; 'Inquests and Inquiries. 1904. *The Sydney Morning Herald*. 8 September. P. 4.

³⁰ 'Dirty Premises at Redfern. 1909. *Evening News*. 19 May. P. 2.

³¹ 'Redfern Council and the Syrians'. 1900. *Evening News*. 5 February. P. 5; 'Syrians in the South.' 1892. *Illustrated Sydney News*, 19 November. P. 4.

³² 'Darkest Redfern.' 1895. *Sunday Times*. 27 January. P. 3.

³³ 'Sly Grog-selling'. 1893. *Evening News*. 17 March. P. 6.

³⁴ 'Redfern Quarantined Area. 1900. *The Daily Telegraph*. 9 May. P. 8.

³⁵ 'Maud's Mistake'. 1913. *Truth*. 15 June. P. 8.

³⁶ 'The Macdonaldtown Mystery. Further Discoveries. In Alderson-street, Redfern. Fourth Inquest'. 1892. *Op. cit*.

³⁷ 'That Alderson-street case'. 1913. *Truth*. 22 June. P. 2.

³⁸ *Ibid*.

Figure 5. Alderson Street showing backyards, date unknown, however Alderson Street was formed only during the late nineteenth century period of subdivision. Source: SLNSW Government Printing Office 1 – 31164.

During the early twentieth century, some nineteenth century housing was removed and replaced by small factories and warehouses. At the time, the government was becoming concerned with the poor living and sanitary conditions of the 'slums' in the inner city, Surry Hills and Redfern areas. Existing dwellings were often overcrowded and located in or near industrial areas, creating public health issues and overcrowding (Figure 6 and Figure 7). Many residences in the area of the subject site were deemed unfit for human habitation.³⁹ A movement began in the 1920s and 1930s that saw housing as a social service that should receive governmental financial support.⁴⁰ In the 1940s, the NSW Housing Commission was established to demolish the slums and redevelop the sites with public housing that were to modern standards of living for the former. On Kettle Street, on the northern boundary of the subject site, families lived in fear of an extreme rat infestation.⁴¹ On Alderson Street, some of the terrace houses were valued at five pounds in 1947, though tenants had been asked to pay rents in extreme excess of this valuation.⁴²



Figure 6. Redfern Slum Dwellings like those in the subject site, slated for demolition. Source: SLNSW Government Printing Office 2 – 03527, in Extent/AHMS 2014: 52.

³⁹ 'Redfern'. 1900. *The Daily Telegraph*. 11 May. P. 7.

⁴⁰ NSW Government, Redfern-Waterloo Authority, January 2011. Characteristics Analysis, Draft Redfern –Waterloo Built Environment Plan Stage 2.

⁴¹ 'Redfern Family Fear Rat Colony. 1946. *The Sun*. 11 October. P. 2.

⁴² 'Homes in Redfern'. 1947. *Tribune*. 27 June. P. 3.



Figure 7. Rear of Alderson Street, Sydney (Redfern), about 1900. Source: State Records of NSW, NRS 12487, Digital ID: 12478_a021_a021000048.

The clearance and development that began in the 1940s and continued (with more funding and momentum from the government) after the Second World War. As part of a post-War scheme to clear Sydney's inner-city slums, the Commonwealth Department of Post-War Reconstruction was formed in 1942. It established an Advisory Town Planning Committee that identified a better post-war Australia could be achieved through comprehensive urban planning. The family was considered to be fundamental to planning and 'home' as the "nucleus of social organisation." Major planning initiatives were based on the Commonwealth Housing Commission's work and this broad vision ultimately gave way to an ambitious welfare housing program.⁴³ The states also developed Housing Commissions, however only the states of NSW and Victoria had to face the issue of inner-city slums.⁴⁴ Sub-standard housing removal recommenced in 1948 and continued into 1949.⁴⁵ During this redevelopment, the subject site was cleared and its southern section became the site of the NSW Police-Citizens Boys Club⁴⁶ (Figure 10). The central and northern portions of the subject site were redeveloped into nine low density dwellings (Figure 12 and Figure 12).

⁴³ Lumby, 'The NSW Modern Movement' in HeriCon Consulting, August 2013. The modern movement in New South Wales: A thematic Study and Survey of Places. For Heritage Council of NSW.

⁴⁴ Sperritt, 'Historical and Social Context' in HeriCon Consulting, August 2013. The modern movement in New South Wales: A thematic Study and Survey of Places. For Heritage Council of NSW.

⁴⁵ Extent/AHMS. 2014. *Op. cit.*

⁴⁶ Extent/AHMS. 2014. *Op. cit.*



Figure 8. A 1943 aerial photograph of the subject site (outlined in red). Source: Six Maps.



Figure 9. 1949 Aerial photograph showing subject site cleared of slums and levelled with introduced fills. Source: City of Sydney Archives Aerial Photographic Survey 1949.

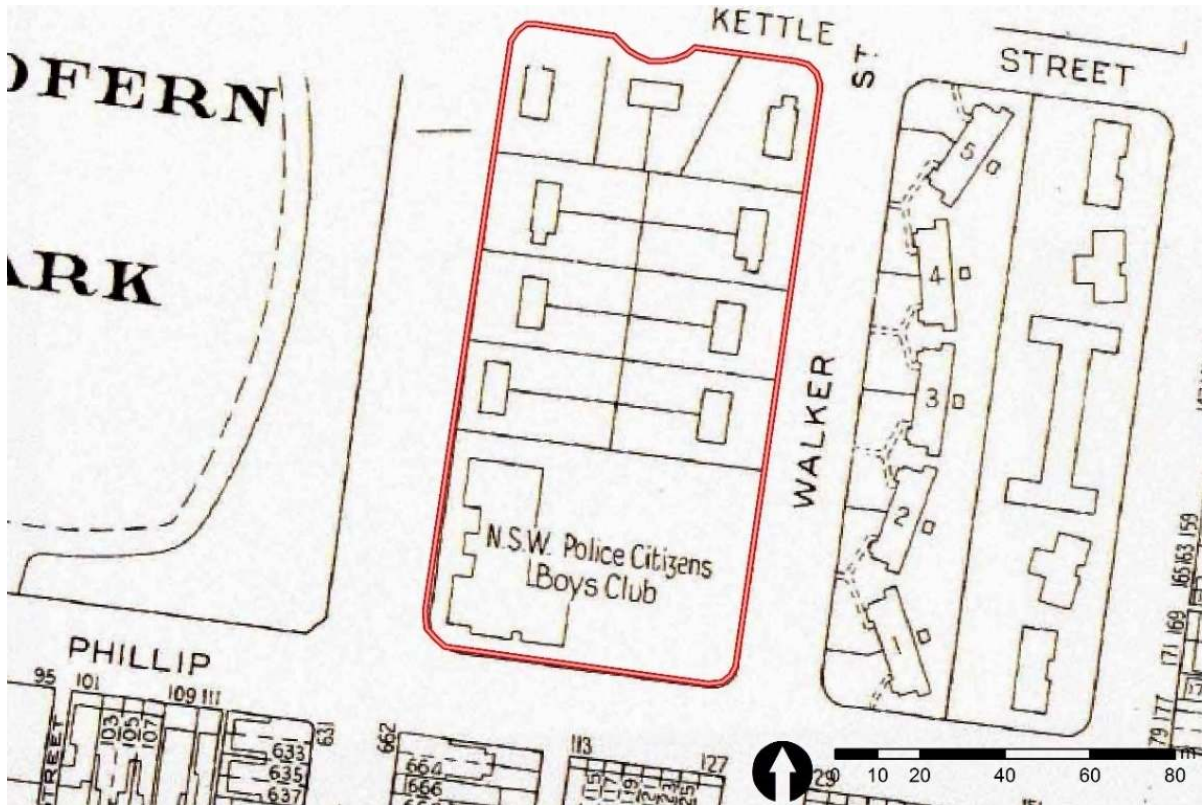


Figure 10. 1956 map showing the Redfern Urban Renewal Site in red. Source: City of Sydney Archives City Building Surveyor's Detail Sheets, ca 1956.

By the early 1960s, it was thought that high rise buildings set in open parkland would be healthier, providing more light and air to residents.⁴⁷ The Housing Commission began to design for higher density living in the 'slum clearance' areas of Redfern and neighbouring Waterloo and several buildings were constructed in the vicinity of the subject site⁴⁸ (Figure 11). Construction commenced in 1963 with the 10 storey McKell Building. This was followed by the 16-storey Poets Corner development in 1966. From 1970 to 1974, the 16- storey Cook, Banks, Solander and Marton buildings were built in the immediate vicinity, and in 1976, the 30-storey Matavai and Turanga buildings were completed.⁴⁹

⁴⁷ Extent/AHMS, 2014. Op. cit.

⁴⁸ AIA Register of Significant Architecture in NSW.

⁴⁹ NSW Government, Redfern-Waterloo Authority, January 2011. Op. cit.



Figure 11. 1964 Photograph of view from Morehead Street to Young and Philips Street facing southeast, showing the construction site located to the east of the subject site. Source: SLNSW Government Printing Office 2 – 24676, in Extent/AHMS 2014: 60.



Figure 12. 1970 aerial photograph of the subject site. Source: Land and Property Information, Cumberland Survey Run 18, 07.07.1970, Map 1909_5102.



Figure 13. 2009 aerial photograph of the subject site. Source: Nearmap, 2009.



Figure 14. Historical aerial from May 2013 showing structures being demolished, the site is now vacant except for the large mature trees and the remaining PCYC building. Source: Nearmap, 2013.

The most recent development on the site relates to the demolition of the 18 duplexes to ground level in May 2013 (Figure 14). Whilst the NSW Police-Citizens Boys Club is still extant, the northern portion of the site, where the dwellings used to be, has been devoid of any structures. However, evidence of remains of the buildings is still clear on the surface with concrete footings and landscaping consisting of mature trees and decorative plantings, as described in Section 3. The northern portion of the site remains vacant, and the southern portion still used as a PCYC.

Table 1. Phases of site development.

Phase	Year	Description
Aboriginal Occupation	Pre-1788	<ul style="list-style-type: none"> The study area is within a series of significant swamps and lagoons present around the Redfern, Alexandria and Waterloo suburbs. Elsewhere in Sydney, swampy lagoons have frequently been identified as places of Aboriginal cultural significance and intangible cultural value to both the past and contemporary local Aboriginal community. The Cadigal People, speaking a variant of the Darug language, visited, occupied and collected resources from the area.
	Post-1788	<ul style="list-style-type: none"> Boxley's Clear (near modern day Redfern) was described in the 1820s as an Aboriginal feasting and camping ground, a meeting place, a battle ground, and a place where tribal law was enacted.
Land Grants and Albert Cricket Ground (1822 - 1879)	1822	<ul style="list-style-type: none"> 185-acre land grant to Edward Smith Hall with small scale development limited to land clearing and property fences or markers.
	1829	<ul style="list-style-type: none"> Land sold to Cooper and Levey with subdivision and streets laid out in the area by the mid-1850s.
	1864	<ul style="list-style-type: none"> The swampy nature of the site inhibited development, requiring a subsurface drainage system for the development of the Albert Cricket Ground in 1864.
Subdivision 'Slums' (1879 - 1949)	1879	<ul style="list-style-type: none"> Albert Cricket Ground sold and subdivided in 1879, with dense basic dwellings quickly developing.
	1 st half 20 th century	<ul style="list-style-type: none"> The government attempted to redevelop the area due to the notoriety of the area however WWII impeded efforts.
	1949	<ul style="list-style-type: none"> By 1949 the entire site had been levelled.
Housing Commission Development (1949-present)	1953	<ul style="list-style-type: none"> Site divided and the PCYC community building built in the south and nine low density dwellings constructed in the northern portion.
	2013	<ul style="list-style-type: none"> The low-density dwellings were demolished, and the site levelled with demolition restricted to above ground elements.

1.4. Physical analysis

Extent Heritage carried out a physical assessment 600-660 Elizabeth Street, Redfern on the 28 March 2024. The analysis involved an inspection of the surrounding built form and setting in order to determine the potential impact of the proposed development.

1.4.1. Views and setting

The subject site is located in Redfern along the eastern side of Elizabeth Street, with the Redfern Oval directly opposite it, and Redfern Park to its north-west.

The site is set within a largely residential context which includes a mix of private and social housing development. To the north of the site are a series of 1960s three storied housing blocks between Elizabeth and Walker Streets. To the east of the site, between Walker and Morehead Streets is a large contemporary housing development of two and four stories. Victorian and early Federation period terrace housing and shops are located along Phillip Street – opposite the southern edge of the site – and these correspond with the Waterloo HCA. Redfern Park and Oval is located directly opposite the subject site along Elizabeth Street and provides a landscaped setting along the western edge of the site.

While the immediate setting of the site ranges from one to four stories, the visual context comprises higher 1960s constructions including three sixteen-storied high-rise residential towers at 43-127 Morehead Street, and a large housing complex at 42 Morehead Street comprising of 8-10 storied buildings.

Heritage context

The Waterloo HCA and Redfern Park form the most immediate heritage context for the subject site. The Waterloo HCA is a largely residential area and includes sections of Phillip Street which forms the southern edge of the subject site. Similarly, the western edge of the site borders the Redfern Estate HCA which contains residential fabric and Redfern Park. However, as Redfern Park is directly opposite to the subject site, it is recognised as the most immediate heritage item in the vicinity of the site.



Figure 15. View from southern end of Redfern Oval looking east towards subject site. The three sixteen-storied high-rise residential towers at 43-127 Morehead Street can be seen in the background.



Figure 16. View from northern end of Redfern Oval looking east towards subject site.



Figure 17. View from Redfern Oval facing Waterloo Social housing development in the background.



Figure 18. View from Redfern Park facing southeast towards corner of Elizabeth and Kettle Streets.



Figure 19. View from Redfern Park facing southeast towards subject site.



Figure 20. View from Elizabeth Street, opposite Kettle Street facing southeast towards subject site.



Figure 21. View to the housing complex at 42 Morehead Street comprising of 8-10 storied buildings.



Figure 22. View of three storey housing development to the north of the subject site facing Elizabeth Street.



Figure 23. View of contemporary 2-4 storey development at the corner of Kettle and Walker Streets.



Figure 24. View from intersection of Kettle and Walker Streets facing southwest towards subject site.



Figure 25. View of terrace housing on Phillip Street which forms part of the Waterloo HCA.

1.4.2. PCYC Building

The PCYC building on the site is comprised of three single storied structures. A 1950s brick building with a complex hipped, Colorbond roof which sits at the corner of Elizabeth Street and Phillip Street, a 1970s brick addition with Colorbond hipped roof, to the east of the 1950s building, and a brick addition with skillion roof, along Phillip Street. The site has a basketball court and a children's playground located to the southeast corner of the site.

The front façade of the building facing Elizabeth Street has been painted. There are also various murals painted on the south and eastern elevations including a large mural facing Phillip Street which is attributed to a Michael Byrt in 1992.

The interior of the building comprises of a series of rooms and a large gym space.



Figure 26. View to Redfern PCYC from Elizabeth Street facing east. Source: Google Maps, 2023.



Figure 27. View to southern facade of Redfern PCYC facing north from Phillip Street.



Figure 28. View to Redfern PCYC building from within the subject site facing south.



Figure 29. View from basketball court facing west to the rear of the PCYC buildings.



Figure 30. Detail of 1992 mural by Michael Byrt, located on the southern elevation facing Phillip Street.

1.5. Heritage listings

The subject site is not listed as an item of heritage significance however it is located adjacent to Redfern Park and Oval which is listed on the NSW State Heritage Register (SHR). The site is also in the vicinity of three Heritage Conservation Areas (HCAs) listed under Schedule 5 of the City of Sydney, *Local Environmental Plan 2012* (SLEP 2012).

Table 2. Heritage items located in the vicinity.

Register/listing	Significance	Item name	Item number
Statutory listings			
NSW SHR	State	Redfern Park and Oval	02016
SLEP 2012 Schedule 5	Local	Redfern Estate Conservation Area	C56
SLEP 2012 Schedule 5	Local	Waterloo Conservation Area	C70
SLEP 2012, Schedule 5	Local	Baptist Street Conservation Area	C53



Figure 31. Map showing heritage items in the vicinity of the subject site. SHR listed items are identified with blue hatching, tan coloured items refer to locally listed items and red hatching refers to locally listed HCA's. Source: NSW Planning Portal Spatial Viewer.

1.5.1. Statements of Significance

The following statements of heritage significance have been sourced from the NSW State heritage Inventory listings.

Redfern Park and Oval

The area which contains Redfern Park and Oval has always been a significant place for Aboriginal people. This part of Sydney was originally a biodiverse wetland that connected to the Tank Stream and a meeting place which included a corroboree ground. This connection to place has continued through major changes over time and is now represented by Redfern Park and Oval. The park and oval is a physical symbol of Aboriginal cultural, political, social and sporting movements which remain as cultural touchstones to teach future generations of Australians. Redfern, and by association, Redfern Park and Oval, is also a multicultural hub, with links to cultures worldwide from the late 19th century onwards. This was the location of Keating's 1992 Redfern speech which is of importance to all Australians. Redfern Park and Oval is a place of healing, a tangible link from the past to the future and a site of exceptional significance to the people of NSW.

Redfern Park and Oval is a site of national and state historic significance for Aboriginal rights, recognition, and reconciliation through its connection with the Australia/Invasion Day 1988 Long March of Freedom, Justice, and Hope and the 1992 Redfern Speech of Prime Minister Paul Keating. Redfern Park is a place of very high contemporary social value for Aboriginal people as a landmark site in gaining Aboriginal rights and the assembly for protests and activism. It is still the site of Survival/Invasion Day events which are an annual commemoration of the Indigenous perspective on colonisation.

Redfern Oval is of historic and social significance for NSW due to its long association with NSW Rugby League. The Redfern All Blacks principally staged training and matches at Alexandria and Redfern Ovals. Both the Redfern All Blacks and La Perouse United Aboriginal teams also potentially trained at Alexandria and Redfern Ovals during the early years of the Koori Knockout. Many Aboriginal Rugby League players and supporters (past and present) consider playing at Redfern Oval as special, because Redfern was 'their place', whether they were visiting or it was their home ground. It was the original home ground of the South Sydney Rabbitohs, the oldest, and one of the original teams in the NSW Rugby Football League. This link continues today, with the Rabbitohs continuing connection with Redfern.

Redfern Park has aesthetic significance at the state level due to its late nineteenth century park design by Charles O'Neill that has been accentuated by botanical plantings advocated by two successive directors of the Royal Botanical Gardens: Charles Moore (director 1848-1896) and Joseph H. Maiden (director 1896-1924). The park was tastefully and sympathetically refurbished in 2007-2009 and has been turned into an open green space in the heart of urban Redfern. Modern art installations added at this time contribute to the potential aesthetic significance. It retains a wide range of botanical species that as a group is potentially rare or uncommon in a state context.⁵⁰

⁵⁰ Redfern Park and Oval, NSW State Heritage Inventory, <https://www.hms.heritage.nsw.gov.au/App/Item/View/Item?itemId=5063600>, accessed on April 19 2024.

Redfern Estate HCA

The Redfern Estate Heritage Conservation Area is historically significant as an early Victorian structured subdivision covering the entire grant to William Redfern. The development of the estate from the 1840s - 1890s reflects the establishment of the Railway at Redfern. The importance of the suburb of Redfern in the mid/late nineteenth century is evidenced in the development of the Commercial Centre, the fine Civic buildings, the Park and the prestige housing on primary streets. The area is able to represent a great diversity of housing types dating from the period 1840 - 1890. Although there are only a few remaining Federation and Interwar buildings in the conservation area, those remaining represent key periods of development in the area. Large scale factories and warehouses reflect the importance of manufacturing in Redfern in the early twentieth century.⁵¹

Waterloo HCA

The area has significance as early residential subdivisions of the Mount Lachlan Estate, which developed incrementally from the 1850s through to the early twentieth century. The area provided housing for workers at the industrial establishments to the east and southeast. The area has provided a community focus since the 1850s and incorporates the civic and commercial heart of Waterloo with former Town Hall, Mount Carmel and Elizabeth Street shops.⁵²

Baptist Street HCA

The Baptist Street Conservation Area has historic significance as an 1890 residential subdivision of an early industrial precinct (Baptists Nursery c.1830) and for its extensive and significant Federation era development. The area has aesthetic significance for its highly consistent rows of terrace houses and shops from the late Victorian and early Federation period, and its Federation and Interwar industrial and commercial developments, enhanced by mature avenue plantings and its fine religious and institutional buildings. The area is predominantly intact.⁵³

⁵¹ Redfern Estate Heritage Conservation Area, NSW State Heritage Inventory, <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2421496>, accessed on April 19 2024.

⁵² Waterloo Heritage Conservation Area, <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2421505>, accessed on April 19 2024.

⁵³ Baptist Street Heritage Conservation Area, <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2421457>, accessed on April 19 2024.

2. PROPOSAL

The development proposes four buildings comprising community facilities, commercial/office, affordable/social/specialist disability housing apartments and new public links and landscaping.

The SSDA seeks approval for redevelopment of the site, including:

- Demolition of existing buildings.
- Tree removal.
- Bulk earthworks including excavation.
- Construction of a community facility building known as Building S1.
- Construction of two residential flat buildings (known as Buildings S2 and S3) up to 14 and 10 storeys respectively, for social and affordable housing.
- Construction of a five-storey mixed use building (known as Building S4) comprising commercial uses on the ground level and social and specialist disability housing above.
- Construction of one basement level below Buildings S2, S3 and part of S4 with vehicle access from Kettle Street.
- Site-wide landscaping and public domain works including north-south and east-west pedestrian through-site link.

2.1. Proposed buildings

Each of the buildings will occupy a corner position to allow access though the site on a north-south and east-west axis. The general composition of the site is shown in Figure 32, and individual descriptions of the buildings are provided below.

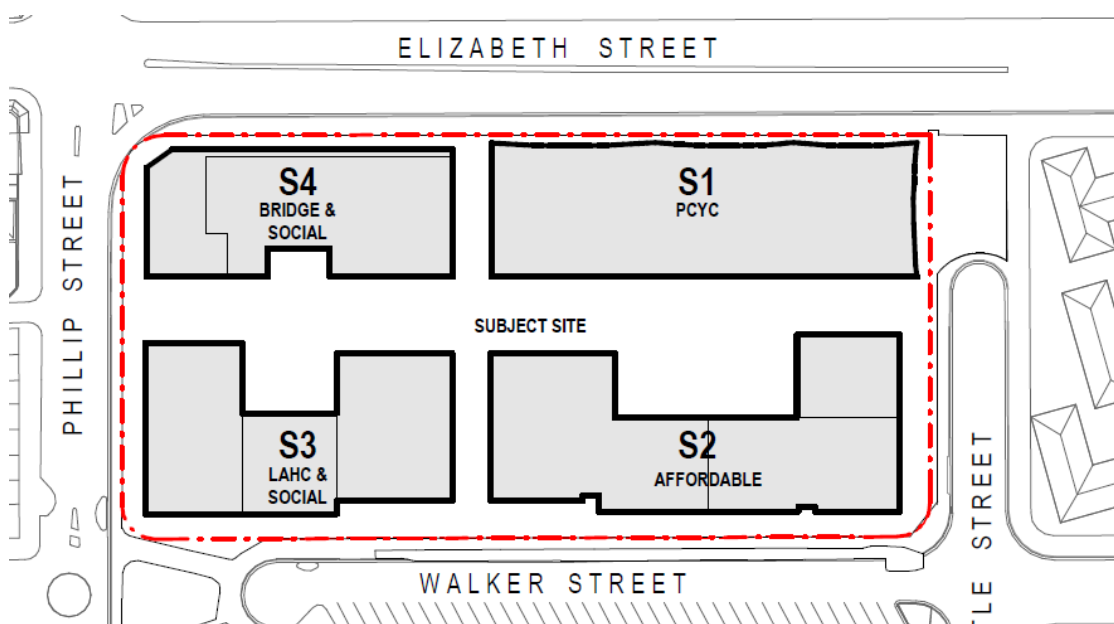


Figure 32. Masterplan of the site showing location of four buildings. Source: Hayball.

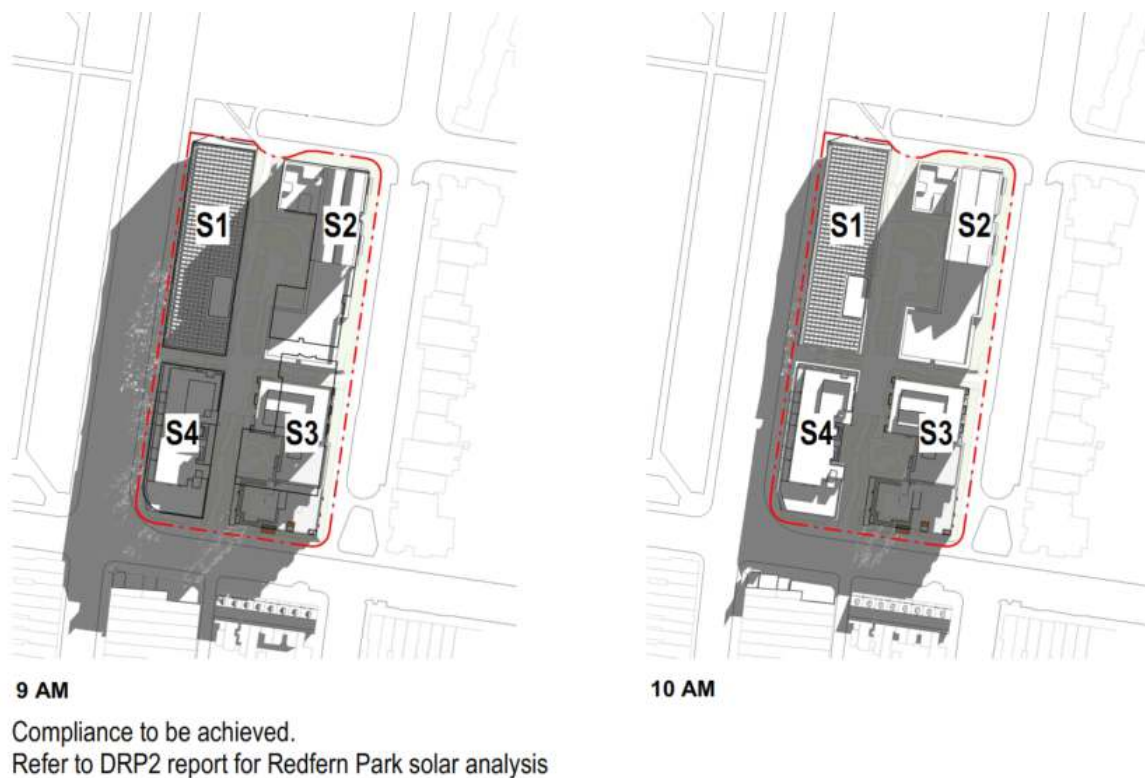


Figure 33. Excerpt of shadow diagram showing 9am-10am shadows of proposed buildings. Source: Hayball.

S1 Community Facility - PCYC

The community sports facility will be located on the northwest corner of the site and is aligned to the Elizabeth Street boundary. The building is three storeys with a flat roof and predominantly rectangular form. The northern elevation contains a covered entry which provides pedestrian access from Kettle Street. The ground floor of the building is constructed of recycled face brickwork with silver toned aluminium windows, whilst the upper floors will be covered with a green tone metal screen and have green toned aluminium windows.



Figure 34. Visualisation of S1 Community Facility from the northwest. Source: Architecture AND.

<p>AW-01 / AD-01 ALUMINIUM WINDOWS AND DOORS, GROUND LEVEL, COMMERCIAL PROFILE, SILVER TONE</p>	<p>AW-02 ALUMINIUM WINDOWS, UPPER LEVEL, COMMERCIAL PROFILE, GREEN TONE</p>	<p>BR-01 BRICKWORK FACE BRICKWORK COLOURMATCHED MORTAR</p>	<p>CO-01 CONCRETE INSITU-CONCRETE</p>	<p>MC-01 PREFINISHED ALUMINIUM PANELS, GREEN TONE</p>
<p>MR-01 METAL ROOF SHEETING MID-GREY TONE</p>	<p>MS-01 METAL SCREEN SOLIDAL PMP PERFORATED POWDERCOAT FINISH</p>	<p>MT-01 METAL LOUVRES POWDERCOAT FINISH BEIGE TONE</p>	<p>MT-02 POWDERCOATED STEEL</p>	<p>PA-01 PAVING DRY PRESSED BRICK PAVERS</p>

Figure 35. Material schedule for S1. Source: Architecture AND.

S2 Affordable Housing Building

This building is located on the northeast corner of the site and comprises a 10-14 storey residential block. The proposed building has a 'U' shaped footprint with the north and east elevations aligned to Walker and Kettle Streets and a communal courtyard to the west. The primary form of the building will be 10 storeys and feature a rooftop garden. A second podium located on the northeast corner of the building will provide an additional three levels of housing above the level 10 roof garden. The roof form for this three storey podium will be a pitched and gabled 'M' shape. Materiality for the building includes stained precast concrete to the facades, metal balustrades and roofing in cream and terracotta paving to the rooftop garden.



Figure 36. Excerpt showing northern elevation of S2. Source: Silvester Fuller.

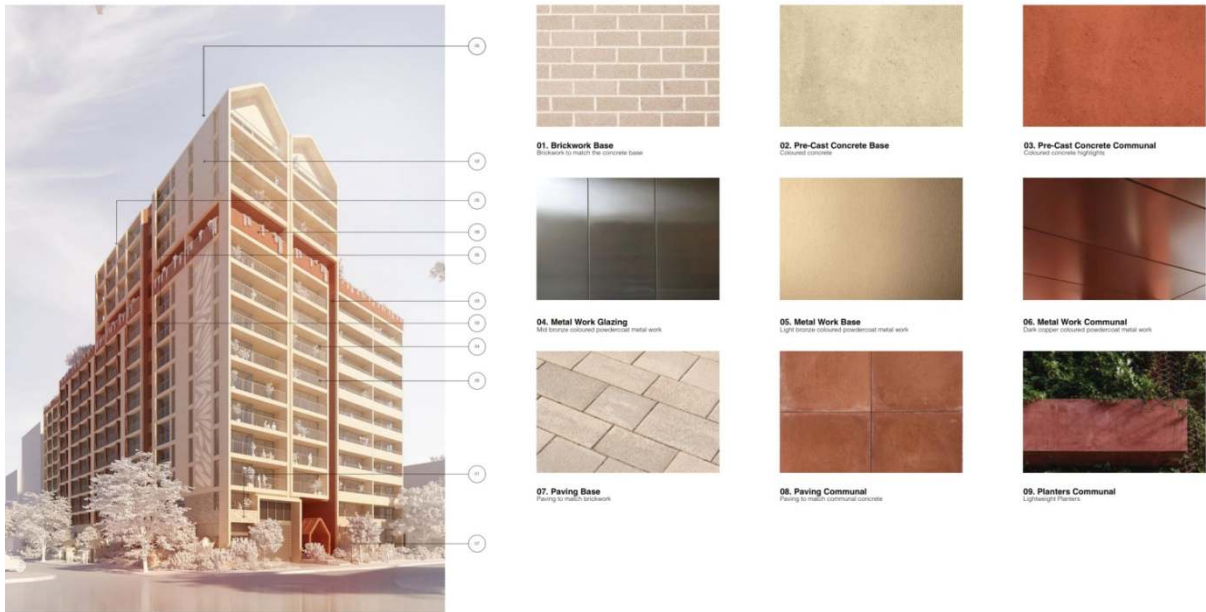


Figure 37. Materials schedule for S2. Source: Silvester Fuller.

S3 – Homes NSW and Social Housing Building

S3 is a residential building on the southeast corner of the site. The building is comprised of three different rectangular forms which vary in height from 4 to 10 storeys and generally form a 'U' shaped footprint. The arrangement of the buildings has been designed so that the height steps down from a maximum of 10 storeys at the northern end, 7 at its centre and 4 storeys at the Phillip Street boundary, with a communal roof terrace on part of the southern 4 storey section. The main lobby to the building is accessed on the southern elevation from Phillip Street.



Figure 38. East elevation of S3. Source: Source: Hayball.

S4 – Bridge and Social Housing Building

This building is located on the southwest corner of the site and comprises a 5-storey. The building contains a mixed use of commercial workplace/community use to the ground floor and residential apartments above. The building is generally rectangular in form with the top floor being stepped back on the southern elevation adjacent to Phillip Street to provide a communal terrace. The ground floor elevation to Elizabeth Street will be predominantly glazed. Ground floor commercial spaces will be accessed via a recess on the corner of Elizabeth and Phillip Streets and a via a community hub on Elizabeth Street.



Figure 39. South elevation of S4. Source: Hayball.

2.1.1. Plans

The following plans which form the Design Review Panel 4 package were referenced in the preparation of this report.

Title	Drawing No.
PRECINCT WIDE – Prepared by Hayball	
SITE PLAN - LOCALITY PLAN	A01.00
SITE PLAN - EXISTING & DEMOLITION	A01.01
SITE PLAN	A01.05
BASEMENT PLAN	A02.00
MASTERPLAN NEW	A02.01

Title	Drawing No.
SITE SECTIONS	A06.01
SITE SECTIONS	A06.02
SITE ELEVATIONS	A06.20
SOLAR STUDIES - SHADOW DIAGRAM - VIEWS FROM SUN	A40.04
SOLAR STUDIES - SHADOW DIAGRAM - PLAN	A40.05
SOLAR STUDIES - REDFERN PARK	A40.06
SOLAR STUDIES - WALKER ST	A40.07
SOLAR STUDIES - PHILLIP ST	A40.08
SOLAR STUDIES - COMMUNAL OPEN SPACE	A40.09
S1 - COMMUNITY FACILITY – prepared by Architecture AND	
COVER PAGE / REGISTER / MATERIAL SCHEDULE	S1.A02.00
GROUND FLOOR PLAN/LEVEL 1 FLOOR PLAN	S1.A02.01
LEVEL 2 FLOOR PLAN/ ROOF PLAN	S1.A02.02
SECTIONS	S1.A02.03
ELEVATIONS	S1.A02.04
S2 - AFFORDABLE HOUSING BUILDING– prepared by Silvester Fuller	
GROUND	S2.A02.01
LEVEL 1	S2.A02.02
LEVELS 02-09	S2.A02.03 to S2.A02.10
LEVEL 10	S2.A02.11
LEVELS 11-13	S2.A02.12 to S2.A02.14
PLANT	S2.A02.15
ROOF	S2.A02.16
EAST	S2.A06.01
NORTH	S2.A06.02
WEST	S2.A06.03
SOUTH	S2.A06.04
GFA	S2.A40.02
MATERIALS	S2.A40.20
S3 - LAHC AND SOCIAL HOUSING BUILDING Prepared by Hayball	
COVER SHEET	S3.A00.01

Title	Drawing No.
S3 PLAN GROUND FLOOR	S3.A02.00
S3 PLAN - LEVEL 1	S3.A02.01
S3 PLAN - LEVEL 4	S3.A02.04
S3 PLAN - LEVEL 7	S3.A02.07
S3 PLAN - ROOF	S3.A02.10
ADG COMPLIANCE (X VENT + SOLAR) DIAGRAM	S3.A40.20
BUILDING ELEVATIONS	S3.A06.01
ADG COMPLIANCE (X VENT + SOLAR) DIAGRAM - NOISE UNAFFECTED	S3.A40.21
AREA SCHEDULE - S3 GFA	S3.A40.30
S4 - BRIDGE AND SOCIAL HOUSING BUILDING Prepared by Hayball	
COVER SHEET	S4.A00.01
S4 PLAN - GROUND FLOOR	S4.A02.00
S4 PLAN - LEVEL 1	S4.A02.01
PLAN - LEVEL 4	S4.A02.04
PLAN - ROOF	S4.A02.05
BUILDING ELEVATIONS	S4.A06.01
ADG COMPLIANCE (X VENT + SOLAR) DIAGRAM	S4.A40.20
ADG COMPLIANCE (X VENT + SOLAR) DIAGRAM - NOISE UNAFFECTED	S4.A40.21
AREA SCHEDULE - S4 GFA	S4.A40.30

3. HERITAGE IMPACT ASSESSMENT

This chapter provides an assessment of the potential impacts of the proposed works based on the *Guidelines for preparing a statement of heritage impact* (Department of Planning and Environment 2023). The guidelines provide for a broad assessment of impacts which may result from development in the vicinity of heritage items.

Table 3 outlines the various matters for consideration as per the guidelines and provides an assessment of the proposed heritage impacts.

Table 3. Heritage impact assessment.

Matter for consideration	Discussion
<p>Fabric and spatial arrangements</p>	<p>The development of Redfern Place and the potential impacts of the four new buildings has been mitigated through considerate spatial arrangements including building heights, positioning and setbacks.</p> <p>The overall site layout and positioning of the four buildings sympathetically responds to the surrounding heritage context by placing lower buildings and forms along the Elizabeth and Phillip Street boundaries and taller buildings to the corner of Walker and Kettle Streets.</p> <p>The maximum height of buildings S1 and S4 ensure that there will be no overshadowing to the state heritage listed Redfern Park and Oval (refer Figure 33). The main form of both buildings also includes a 2-meter public domain setback to Elizabeth Street.</p> <p>Whilst the reticulation and stepped design of building S3 and the upper floor setback of S4 provide a sensitive interface to the adjoining Waterloo Heritage Conservation area on Philip Street.</p> <p>The proposal will have no direct impact to the aesthetic significance or fabric of Redfern Park and Oval or the surrounding HCAs.</p>
<p>Setting, views and vistas</p>	<p>Significant views within the vicinity of the subject site including those to and from Redfern Park and Oval and the Waterloo HCA will generally be retained.</p> <p>Whilst the new buildings will be highly visible from the southern end of the park which comprises the oval, visibility decreases to a minimal amount towards the northern end of the park.</p> <p>As shown in Figure 15 and Figure 17, several tall buildings are currently visible from the oval including three sixteen-storied high-rise residential towers at 43-127 Morehead Street to the east and the Waterloo Social Housing developments to the west. The additional taller buildings within the periphery of the park will therefore not impact on the wider setting of Redfern Park and Oval.</p>

Matter for consideration	Discussion
	<p>Buildings S1 and S4 which are lower but closer to Redfern Park and Oval will also be screened from view by mature trees both within Redfern Park and existing and additional street trees along Elizabeth Street.</p> <p>Internal views of and within the vicinity of the Waterloo HCAs generally comprise of extended views along street alignments, which will be maintained. The introduction of a north-south and east-west site connection will also introduce new visual corridors to both Redfern Park and Oval and the Waterloo HCA.</p> <p>Due to the topography and existing built form of the surrounding area the proposed works will have no impact on views to or from the Redfern Estate HCA or the Baptist Street HCA.</p> <p>Overall, the proposed works will result in a minor but acceptable impact on the setting of Redfern Park and Oval and the Waterloo HCA.</p>
Landscape	<p>The proposal includes the removal of all trees within the subject site. Existing street trees will either be retained or replaced along all street frontages.</p> <p>The existing trees within the site are likely remnant domestic plantings associated with the former social housing development constructed in the 1950s. Previous heritage assessments have not identified the trees as having any cultural heritage significance.</p>
Use	<p>Redfern Place has been used for mixed residential and recreational purposes since the 1950s. The proposal includes a new PCYC and affordable/social housing apartments. This continued use is considered appropriate to the site and surrounding heritage context.</p>
Demolition	<p>The proposal includes the demolition of the existing 1950s PCYC buildings and associated sports infrastructure. These buildings are not listed as items of heritage significance and have not been assessed as having heritage significance in previous assessments.</p>
Curtilage	<p>The proposed work will not affect the curtilage of heritage items in the vicinity.</p>
Moveable heritage	<p>No items of moveable heritage have been identified within the subject site.</p>
Aboriginal cultural heritage	<p>Matters relating to Aboriginal cultural heritage have been assessed in a separate Aboriginal Cultural Heritage Assessment Report (ACHAR), prepared by Extent Heritage on 18 February 2022.</p>

Matter for consideration	Discussion
	SEARS reporting requirements have been addressed separately by Extent Heritage in <i>Elizabeth Street Redfern –Aboriginal Archaeological Report Cover Letter</i> , dated 8 December 2023.
Historical archaeology	<p>Matters related to historical archaeology have been assessed in subsequent reports including a Historical Archaeological Assessment (HAA) prepared by Extent Heritage to support Stage 2 of the development in May 2018, test excavation and post excavation reporting.</p> <p>SEARS reporting requirements have been addressed separately by Extent Heritage in <i>Elizabeth Street Redfern –Historical Archaeological Assessment Report Cover Letter</i>, dated 8 December 2023.</p>
Natural heritage	There are no matters related to natural heritage which relate to the proposed works or the surrounding heritage items.
Conservation areas	<p>Redfern Place is not located within an HCA however it is directly opposite the Waterloo HCA and is in the vicinity of Redfern Estate and Baptist Street HCAs.</p> <p>As outlined above, the proposal including the built form and site layout has been designed with consideration for the Waterloo HCA which is located directly to the south. This HCA is characterised by rows of terrace houses and shops from the late Victorian and early Federation period which can be seen along Phillip Street.</p> <p>The proposal responds to the 1-2 storey-built form along Phillip Street by placing lower scale development along the southern boundary of the site. The southern portion of building S3 which abuts Phillip Street will be 4 storeys and step up to a maximum of 10 storeys at the northern end. The north-south pedestrian connection also responds to the existing streetscape of the HCA by providing a continuation of Beaumont Street through the subject site. This north-south connection also ensures that external facing views from within the Waterloo HCA will not be viewing a terminated street configuration. Rather, historical street alignments are being maintained, with view lines within and outside of the HCA. Additional street plantings will also provide a buffer between the HCA and proposed buildings.</p> <p>It is acknowledged that the proposal will result in a change to the visual setting of the Waterloo HCA and that while oblique views will be available from within the HCA, these are distant and not dissimilar to other views of the surrounding urban environment. The proposal will not impact on the ability to appreciate the HCA.</p> <p>Redfern Estate and Baptist Street HCAs are substantially distanced and visually separated from the subject site by existing built forms. There are no adverse impacts to these heritage items as a result of the proposal.</p>

Matter for consideration	Discussion
Cumulative impacts	The proposal will not result in any cumulative impacts to the heritage significance of the items or HCAs in the vicinity.
The conservation management plan	There is no conservation management plan for the subject site or adjacent heritage items.
Other heritage items in the vicinity	Redfern Place is located within the vicinity of Redfern Park and Oval which is listed as item of State heritage significance. As discussed above, the proposal will not impact on the wider setting of Redfern Park and Oval. Whilst the new buildings will be highly visible from the southern end of the park which comprises the oval, visibility decreases to a minimal amount towards the northern end of the park.

3.1.1. Sydney Development Control Plan

Although the Sydney DCP does not strictly apply to the proposed SSD, an assessment against the relevant heritage provisions has been undertaken and is provided below.

DCP Provision	Heritage Assessment
3.9.5 Heritage items	
(3) Alterations and additions to buildings and structures and new development of sites in the vicinity of a heritage item are to be designed to respect and complement the heritage item in terms of the: <ul style="list-style-type: none"> (a) building envelope; (b) proportions; (c) materials, colours and finishes; and (d) building and street alignment. 	<p>The proposal is for the construction of four new buildings of varying heights ranging from 3 to 13 storeys. The proposed building heights ensure a predominately mid-scale development that responds to the adjacent heritage conservation areas and ensures no overshadowing to Redfern Park.</p> <p>The materials, colours and finishes have been selected to complement the surrounding environment. The colours and finishes predominantly utilise natural tones which respect the historic character of the area and will not impact on the aesthetic significance of the heritage items within the vicinity.</p> <p>Various aspects of the proposal respond to the existing building and street alignment. The proposal includes a new north-south pedestrian thoroughfare which provides a continuation of Beaumont Street through to Kettle Street.</p>
(4) Development in the vicinity of a heritage item is to minimise the impact on the setting of the item by:	Refer to matters for consideration in Table 3.

DCP Provision	Heritage Assessment
<p>(a) providing an adequate area around the building to allow interpretation of the heritage item;</p> <p>(b) retaining original or significant landscaping (including plantings with direct links or association with the heritage item);</p> <p>(c) protecting, where possible and allowing the interpretation of archaeological features; and</p> <p>(d) Retaining and respecting significant views to and from the heritage item.</p>	

4. SUMMARY AND RECOMMENDATIONS

The proposed Redfern Place development at 600-660 Elizabeth Street, Redfern will have an acceptable impact on the heritage items in the vicinity. The design and site layout carefully responds to the surrounding heritage context including the locally listed Waterloo HCA and State listed Redfern Park and Oval. Significant views to and from the heritage items in the vicinity will be retained and the proposed buildings will result in no additional overshadowing to Redfern Park and Oval.

There are no significant heritage impacts from this proposal that require mitigation, or which pose a barrier to the approval of the project.

4.1. Recommendation

Although the site is not identified as having heritage significance, it is recommended that a Photographic Archival Recording should be undertaken of the PCYC Building only (including the murals), due to the potential social significance of the PCYC building to the local community. The Archival Recording must be prepared in accordance with the NSW OEH Heritage Division's Guidelines for 'Photographic Recording of Heritage Items Using Film or Digital Capture'. The archival recording should capture the murals and public artwork which are located on the southern and eastern elevations of the building as well as any other elements which may be of social importance to the local community.

5. REFERENCES

Australia ICOMOS. 2013. *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance*. Burwood, Vic.: Australia ICOMOS.

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