

Job No: IAC-1541

Sunday, 12 October 2025

**CENTURION PROJECT MANAGEMENT
LEVEL 25
88 PHILLIP ST
SYDNEY NSW 2000**Reference: **ABEL TASMAN VILLAGE CHESTER HILL – SSDA APPLICATION**

Attention: Mr Nick Winberg

Email: nick.winberg@centuriongroup.com.au

Phone No: +61 403 000 968

Dear Mr Winberg,

Thank you for inviting iAccess Consultants to undertake this access assessment of the proposed development on this site.

This access report has been structured in accordance with the provisions of the Disability (Access to Premises) Standard 2010 as well as the provisions of the relevant Australian Standards.

Detailed documentation addressing the specific details and requirements of the access legislation, codes and standards will need to be documented in the Construction Certificate documentation.

Several issues have been identified which will need to be addressed by the project team in the finalisation of the documents for this project. A summary of the recommendations nominated is provided at pages 8-10 of this report.

Please do not hesitate to contact us should you wish to discuss any aspect of this Access Report.

Yours sincerely,

**RICHARD SEIDMAN**

M.PropDev,
BArch (Hons), ARB Reg No 4829,
Diploma in Access Consulting, ACA (Accredited Access Consultant No 330),
Livable Housing Registered Assessor 10041



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ACCESS REPORT – SSDA APPLICATION

ABEL TASMAN VILLAGE DEVELOPMENT 222 WALDRON ROAD & 138 CAMPBELL HILL ROAD CHESTER HILL NSW 2162



Prepared by

iAccess Consultants

A division of iAccess Group Pty Ltd

ABN 37 002 648 615

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12 October 2025

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222 WALDRON ROAD & 138 CAMPBELL HILL ROAD
CHESTER HILL NSW 2162

Document Type: Access Report – SSDA Application

Report Number: IAC-1541

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C	Access report revised to reference NCC 2022 Amend 2 and AS1428.1:2021 and issued to client	12 October 2025

Authorisation and Sign-off by:



Richard Seidman

M.PropDev,
BArch (Hons), ARB Reg No 4829,
Diploma in Access ACA (Accredited Access Consultant No 330)



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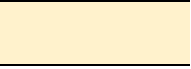
Abbreviations

The following abbreviations are employed in this Checklist:

ACA	Access Consultants Association
AS	Australian Standard
BCA	Building Code of Australia
NCC	National Construction Code
Dts	Deemed to satisfy
CAPT	Continuous Accessible Path of Travel
GPO	General Power Outlet
USAT	Unisex Accessible Sanitary Toilet
AFFL	Above Finished Floor Level
TGSI	Tactile Ground Surface Indicator
PPE	Principal Pedestrian Entrance
DAPB	Designated Accessible Parking Bay
SOU	Sole Occupancy Unit

Legend

The following list of differing colour toning are indicators of access compliance throughout this report:

	Compliant
	Not Compliant
	Information to be provided
	To be addressed by way of a Performance Solution

Examples of these compliance summaries include:

Compliance:	An accessible path of travel is provided from the set-down point to the Principal Pedestrian Entry to the event.
Compliance:	Door circulation zones are not compliant. Ensure door latch-side clearance achieves a minimum of 530mm.
Compliance:	The doorways luminance contrast levels is not able to be assessed. Information is to be provided.

1. Executive Summary

This access report has been prepared to provide commentary on the SSDA Application for the Abel Tasman Village development located at 222 Waldron Road and 138 Campbell Hill Road, Chester Hill.

The purpose of this access report is to highlight and review key accessible topics as they relate to design elements of the proposed development. The key accessible areas of assessment noted in the Legislative Frameworks and considered by this access report are: -

- Disability (Access to Premises – Buildings) 2010
- the National Construction Code 2022 Amendment 2 addressing Access & Egress, Lift services, Sanitary facilities.
- The Australian Standards referenced by the National Construction Code

There is generally a high level of compliance throughout the project, however there are many access requirements that require more information to be provided. This additional information is to be provided as part of the detailed construction documentation to be prepared for this project.

NCC 2022 Part G7 is not applicable to Class 2 residential development in NSW.

1.1. Scope of works

This development proposes a mixed-use development comprising residential aged care and independent living units.

The development comprises 4 buildings.

Building A 39 Dwellings - Independent Living Units

Building C 37 Dwellings - Independent Living Units

Building E 25 Dwellings - Independent Living Units

Total 101 Dwellings - Independent Living Units

Buildings A, C & E are to be detailed compliant with SEPP Housing 2021.

Building B 110 Rooms - Residential Aged Care

1.2. Adaptable Dwellings and LHA Silver dwellings

Part B5 Cumberland Council DCP requires that 20% of dwellings are to be designed to meet the requirements of AS4299:1995 Adaptable Housing.

The development proposes 101 ILU dwellings. 21 dwellings are to be designed to meet the requirements of AS4299 Class C.

This requirement is satisfied by the design being designed to meet the requirements of SEPP Housing 2021.

The provisions of apartment design guide will apply to the residential component of this development where 20% of apartments will need to satisfy the provisions of the Silver LHA Design Guidelines. Compliance requires the provision of 21 Silver LHA apartments.

Compliance: **Adaptable Dwellings** – All the residential dwellings will be designed to meet the requirements of SEPP Housing. The requirements of the DCP have been satisfied by this proposal.

Compliance: **Silver LHA** – The detailing of all the residential units to meet the requirements of SEPP Housing satisfies the requirements of Section 4Q of the Apartment Design Guidelines.

1.3. Access Declaration

This report confirms that the provisions for compliance with the accessible requirements nominated in the Disability (Access to Premises – Building) Standard 2010 where possible have been incorporated into the design proposed by the Development Application documentation.

1.4. Building Classification

The NCC classification for this Development is:

- *Building Class A6G3(1) Class 2 - Residential Apartment*
- *Building Class A6G10(2)(c) Class 9c – A Residential Care Building*
- *Building Class A6G8(2)(a) Class 7a - Carpark*

1.5. Report Exclusions

The assessment discussed in this report is limited to the Scope of Works nominated in the Executive Summary.

Our access assessment covered in this report specifically excludes the following areas of this development:

- Occupational Health & Safety Act and Regulations
- Workcover Authority requirements

1.6. Performance Based Design Solutions to be prepared

The proposed design does not rely upon any Performance Based Design Solutions.

1.7. Equitable Egress Strategy - NCC Clauses D1P4 Exits & D1P6

An NCC Deemed to Satisfy solution addressing egress from a building satisfies the provisions of D1P4 and D1P6.

1.8. Architectural Documentation

This Access Report references the following architectural documentation prepared.

Dwg No	Title	Revision
A1DA03	BASEMENT (BUILDING A) FLOOR PLAN – OVERALL	D
A1DA04	Basement Floor (Building B & E) and Ground Floor Plan (Building A)	F
A1DA05	GROUND FLOOR PLANS (BUILDING B & E) 1ST FLOOR PLAN (BUILDING A)	D
A1DA06	1ST FLOOR PLANS (BUILDING B & E) 2ND FLOOR PLAN (BUILDING A)	D
A1DA07	2ND FLOOR PLANS (BUILDING B & E) 3RD FLOOR PLAN (BUILDING A)	D
A1DA08	3RD FLOOR PLANS (BUILDING B & E) 4TH FLOOR PLAN (BUILDING A)	D
A1DA09	4TH FLOORROOF PLANS (BUILDING B & E) 5TH FLOOR PLAN (BUILDING A)	D
A1DA10	ROOF PLANS (BUILDING B & E) 6TH FLOOR PLAN (BUILDING A)	D
A1DA11	7TH FLOOR PLAN (BUILDING A)	D
A1DA14	ELEVATIONS - OVERALL - SHEET 1	D
A1DA15	ELEVATIONS - OVERALL - SHEET 2	D
A1DA16	SECTIONS - OVERALL - SHEET 1	D
A1DA17	SECTIONS - OVERALL - SHEET 2	D
A1DA18	BUILDING A - BASEMENT FLOOR PLAN	D
A1DA19	Building A - Ground Floor Plan	F
A1DA20	BUILDING A - 1ST FLOOR PLAN	D

A1DA21	BUILDING A - TYPICAL 2ND- 5TH FLOOR PLAN	D
A1DA22	BUILDING A - 6TH FLOOR PLAN	D
A1DA23	BUILDING A -7TH FLOOR PLAN	D
A1DA24	BUILDING A - ROOF PLAN	C
A1DA28	Building B - Basement Floor Plan - North 2	E
A1DA29	Building B - Basement Floor Plan – South	E
A1DA30	BUILDING B - GROUND FLOOR PLAN – NORTH	C
A1DA31	BUILDING B - GROUND FLOOR PLAN – SOUTH	C
A1DA32	BUILDING B - 1ST FLOOR PLAN – NORTH	C
A1DA33	BUILDING B - 1ST FLOOR PLAN – SOUTH	C
A1DA34	BUILDING B - TYPICAL 2ND - 3RD FLOOR PLAN – NORTH	C
A1DA35	BUILDING B - TYPICAL 2ND - 3RD FLOOR PLAN – SOUTH	C
A1DA36	BUILDING B - 4TH FLOOR PLAN – NORTH	C
A1DA37	BUILDING B - 4TH FLOOR PLAN SOUTH	C
A1DA38	BUILDING B - ROOF PLAN – NORTH	C
A1DA39	BUILDING B - ROOF PLAN – SOUTH	C
A1DA40	BUILDING B - ELEVATIONS SHEET 1	D
A1DA41	BUILDING B - ELEVATIONS SHEET 2	D
A1DA42	BUILDING B – SECTIONS	D
A1DA43	BUILDING E - GROUND FLOOR PLAN	C
A1DA44	BUILDING E - TYPICAL 1ST - 3RD FLOOR PLANS	C
A1DA45	BUILDING E - 4TH FLOOR & ROOF PLAN	C
A1DA46	BUILDING E – ELEVATIONS	D
A1DA47	BUILDING E – SECTIONS	E

1.9. Occupation Certificate Checklist – Access NCC Section D, Clauses E3D7, E3P4, E3D8, F4P1, F4D6 and F4D8

The following requirements are to be provided for the issue of the Occupation Certificate Access Installation Certificate.

- Lift installation certificate for each lift nominating compliance with NCC 2022 Clause E3D8 Accessible features required for passenger lifts and AS1735.12:1999.
- Slip resistance rating for external pavements.
- Slip resistance rating for internal floor finishes to corridors and wet areas of rooms required to be accessible.
- Slip resistance rating of stair nosing
- Slip resistance rating of stair going
- Slip resistance rating of TGSIs
- Luminous contrast of TGSIs to background floor finish
- Luminous contrast of stair nosing to going.
- Luminous contrast of Visual Indicators installed to full height glazing.
- Luminous contrast at doorways
- Installation of wall strengthening to locations where grabrails are installed.
- Setout of Accessible WCs to the requirements of Clause 15 of AS1428.1:2009
- Setout of Ambulant WCs to the requirements of Clause 16 of AS1428.1:2009
- Certification of hearing augmentation systems installed to the provisions of NCC Clause D4D8 and AS1428.5:2021.
- Certification that the Statutory Braille Tactile signage is designed and installed to NCC Clause D4D7, NCC Specification 15 and Section 5 of AS1428.5:2010 where hearing augmentation is installed.
- Detailing of handrails to ramps and stairs to the provisions of Clause 10, 11 & 12 of AS1428.1:2009
- Line marking of any accessible parking spaces to be to Section 3 of AS2890.6:2009.
- Gradients of kerb ramps to be not more than 1:8

- Gradients of ramps to be between 1:14 and 1:20
- Gradients of walkways to be shallower than 1:20
- Certification of force to operate doors other than fire or smoke doors fitted with door closers to be not more than 20N force
- Setout of door release buttons
- Location of switches to be not closer than 500mm to an internal corner
- Locations where the ceiling height is less than 2m to be designated with TGSIs or a barrier

2. Statutory Framework

The legislation addressing accessibility is documented in the following Act, Code and Standards:

2.1. Disability Discrimination Act 1992

Section 23 of the Disability Discrimination Act 1992 states:

It is unlawful for a person to discriminate against another person on the ground of the other person's disability:

- by refusing to allow the other person access to, or the use of, any premises that the public or a section of the public is entitled or allowed to enter or use (whether for payment or not); or*
- in the terms or conditions on which the first-mentioned person is prepared to allow the other person access to, or the use of, any such premises; or*
- in relation to the provision of means of access to such premises; or*
- by refusing to allow the other person the use of any facilities in such premises that the public or a section of the public is entitled or allowed to use (whether for payment or not); or*
- in the terms or conditions on which the first-mentioned person is prepared to allow the other person the use of any such facilities; or*
- by requiring the other person to leave such premises or cease to use such facilities.*

The Disability Discrimination Act 1992 is complaints-based legislation and the Commissioner once having heard and assessed the level of discrimination may issue orders to rectify.

2.2. Legislative Framework

- Disability Discrimination Act 1992
- Disability (Access to Premises - Buildings) Standards 2010 (DDA 1992)
- SEPP Housing 2021
- National Construction Code 2022 Amendment 2
- AS1428.1:2021 Design for access and mobility - General requirements for access - New building work
- AS1428.2:1992 Design for access and mobility - Enhanced and additional requirements - Buildings and facilities
- AS1428.4.1:2009 Design for access and mobility - Means to assist the orientation of people with vision impairment - Tactile ground surface indicators
- AS1680.2.1:2008 Interior and workplace lighting - Specific applications - Circulation spaces and other general areas
- AS1735.12:1999 Lifts, escalators and moving walks - Facilities for persons with disabilities

- HB198:2014 Guide to the specification and testing of slip resistance of pedestrian surfaces

2.3. Australian Standards not referenced by NCC 2022

The following Australian Standards address accessibility and may be referenced by this access report. The following Australian Standards are not referenced by the National Construction Code 2022.

- AS1428.2:1992 Design for access and mobility - Enhanced and additional requirements - Buildings and facilities
- AS1428.4.2:2018 Means to assist the orientation of people with vision impairment - Wayfinding signs.
- AS1428.5:2021 Design for access and mobility - Communication for people who are deaf or hearing impaired.
- AS1735.12:2020 Lifts, escalators and moving walks - Facilities for persons with disabilities.
- HB198:2014 Guide to the specification and testing of slip resistance of pedestrian surfaces.

3. ACCESS REPORT

3.1. Access Report Preamble

The Access Report following has adopted the headings of the Disability (Access to Premises) Standard 2010. The Standard provides a framework for analysis and when coupled with the technical provisions of the National Construction Code (NCC) and the provisions of Australian Standards AS1428, AS2890.6 and AS1735.

Australian Standards provide certainty and direction to address accessibility compliance.

3.2. Continuous Accessible Paths of Travel

NCC 2022	D1P1 Access for people with a disability D4D3 Access to buildings D4D4 Parts of buildings to be accessible
AS Reference:	Clause 6 (Continuous Accessible Paths of Travel) of AS1428.1 2009 AS 1428.4.1 2009 Design for access and mobility - Means to assist the orientation of people with vision impairment

3.2.1. Preamble

This section discusses Continuous Accessible Paths of Travel (CAPT) throughout the external and internal areas of the development.

The requirements for Continuous Accessible Paths of Travel are noted in the National Construction Code at Clauses D1P1 and D4D3.

A continuous accessible path of travel to accessible facilities will need to be provided to enable people to 'approach the building from the road boundary' so that they can 'access work and public spaces, accommodation and facilities for personal hygiene' in accordance with the requirements of D1P1 of the National Construction Code 2022.

The NCC Clause D4D3(1) identifies that

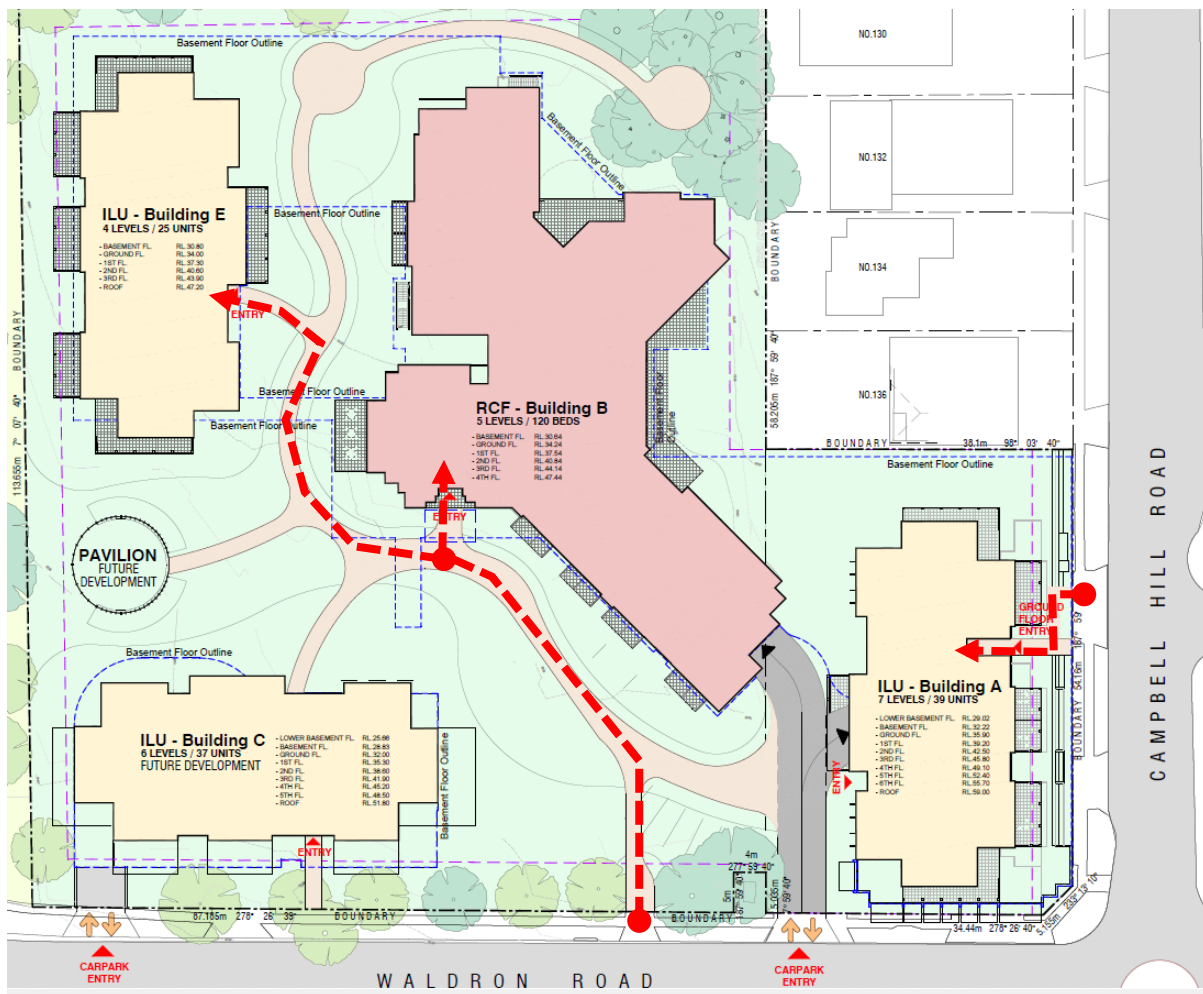
An accessway must be provided to a building required to be accessible—

- (a) *from the main points of a pedestrian entry at the allotment boundary; and*
- (b) *from another accessible building connected by a pedestrian link; and*
- (c) *from any required accessible carparking space on the allotment.*

Accessible access is provided from the boundaries to the to the principle pedestrian entrances of each building.

The following plan indicates the accessible paths of travel from the Waldron Road and Cambell Hill Road boundaries.

Compliance: **Accessible path of travel** – The design as proposed indicates that this requirement is capable of being achieved.



3.2.2. Lighting Levels

The lighting level along path of travels will need to achieve a minimum level of 150lx as noted at Clause 19 of AS1428.2:1992 or the minimum lighting levels noted at AS1680.

3.2.2. OC Lighting Levels – On completion of the works certification of lighting levels achieved indicating compliance with these requirements will need to be provided for the issue of the Access Installation certificate at OC.

3.2.3. Height and Width of Continual Accessible Paths of Travel

The minimum unobstructed height of a continuous accessible path of travel shall be 2000mm or 1980mm at doorways.

Unless otherwise specified (such as at doors, curved ramps and similar), the minimum unobstructed width of a continuous accessible path of travel shall be 1000 mm and the following shall not intrude into the minimum unobstructed width of a continuous accessible path of travel:

- (a) Fixtures and fittings such as lights, awnings, windows that, when open, intrude into the circulation space, telephones, skirtings and similar objects.
- (b) Essential fixtures and fittings such as fire hose reels, fire extinguishers and switchboards.
- (c) Door handles less than 900 mm above the finished floor level.

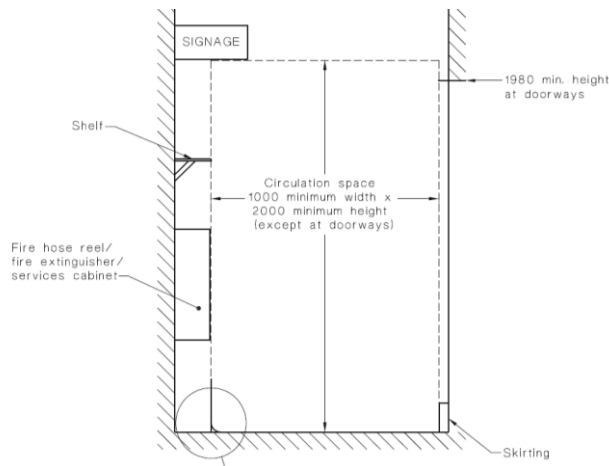


Figure 1 – Fig. 2 of Section 6, AS1428.1:2009

3.2.4. Circulation Zones – Width of path of travel

A minimum pathway of 1m width is required throughout all accessible areas.

3.2.5. Circulation Zones – Turn areas

The design also requires locations where a wheelchair user can make a 180deg turn (1540 x 2070mm) at corridor/pathway ends in accordance with the provisions of Fig. 5, Clause 6 of AS1428.1 2009 as well as 1500x1500 circulation zones where the path of travel changes direction.

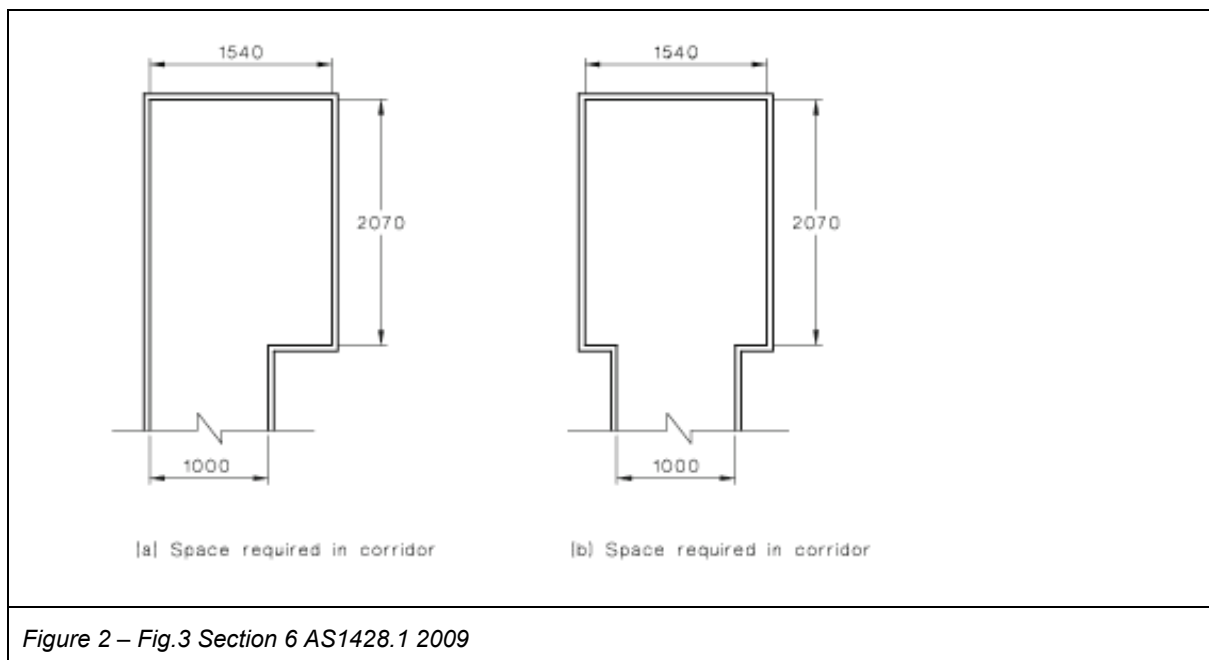
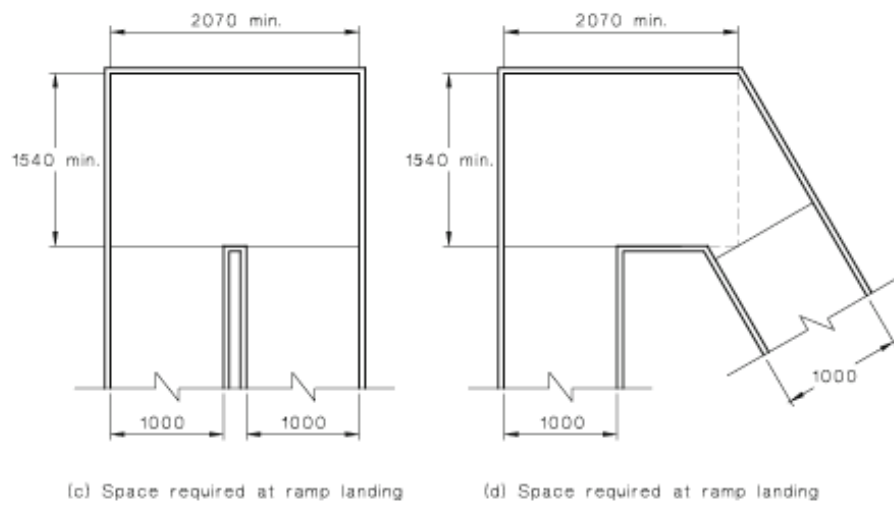


Figure 2 – Fig.3 Section 6 AS1428.1 2009



DIMENSIONS IN MILLIMETRES

FIGURE 5 SPACE REQUIRED FOR A >90° TO 180° TURN

Figure 3 – Fig.5 Section 6 AS1428.1 2009

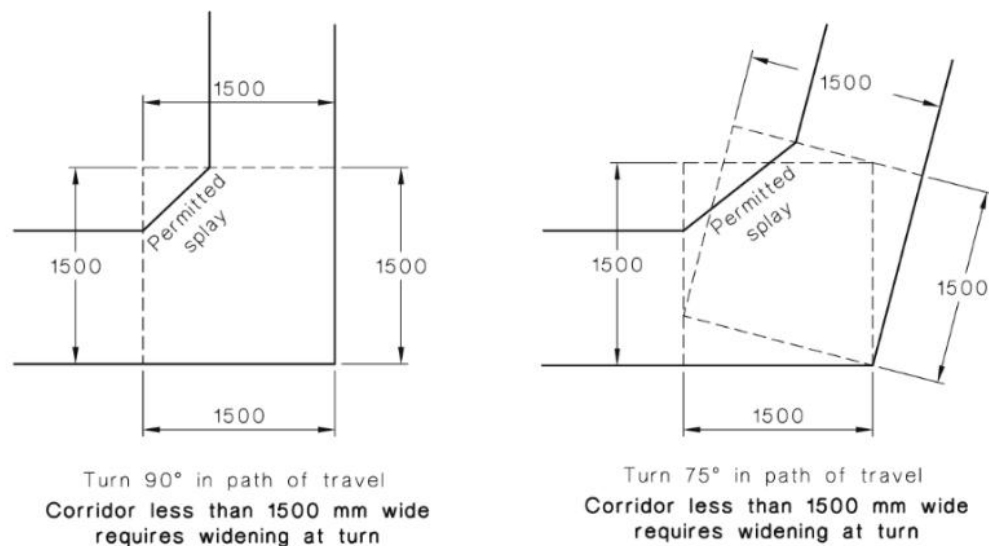


Figure 4 – Fig.4 Section 6 AS1428.1 2009

3.3. Visual Indicators on Glazing

NCC 2022 D1P1(a)(iii) Access for people with a disability
 D4D13 Glazing on an accessway

AS Reference: Clause 6.6 (Visual Indicators on Glazing) of AS1428.1 2009

3.3.1. Visual Indicators on glazing

The design may propose full height glazing as part of the glazing associated with the common areas within the residential lobbies. Where full height glazing is provided then visual indicators will need to be specified to be applied to the glazing.

3.3.2. Visual Indicators – Requirements to be satisfied

Where full height glazing is proposed, visual indicators will need to be fixed to the glazing in accordance with Clause 6.6 of AS1428.1:2009:

Where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights, including any glazing capable of being mistaken for a doorway or opening, shall be clearly marked for their full width with a solid and non-transparent contrasting line. The contrasting line shall be not less than 75 mm wide and shall extend across the full width of the glazing panel. The lower edge of the contrasting line shall be located between 900 mm and 1000 mm above the plane of the finished floor level.

Any contrasting line on the glazing shall provide a minimum of 30% luminance contrast when viewed against the floor surface or surfaces within 2 m of the glazing on the opposite side.

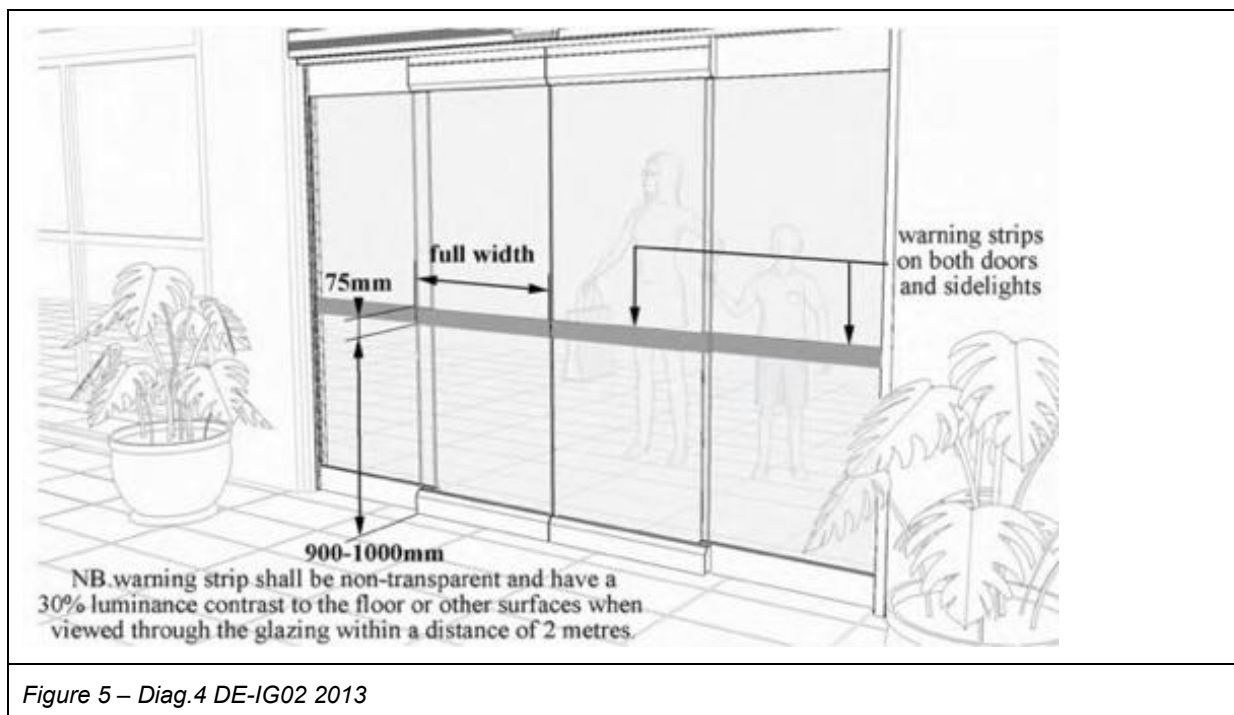
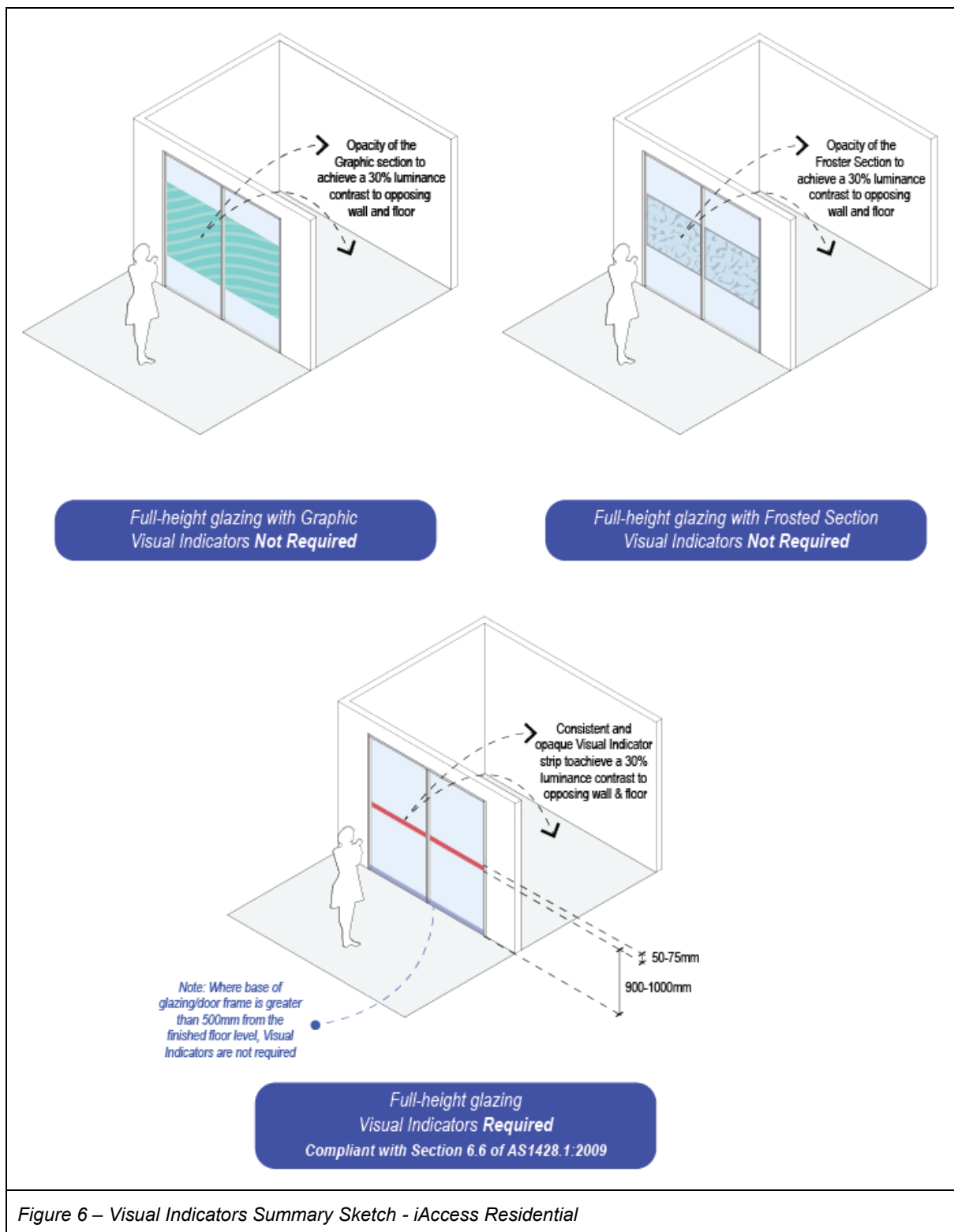
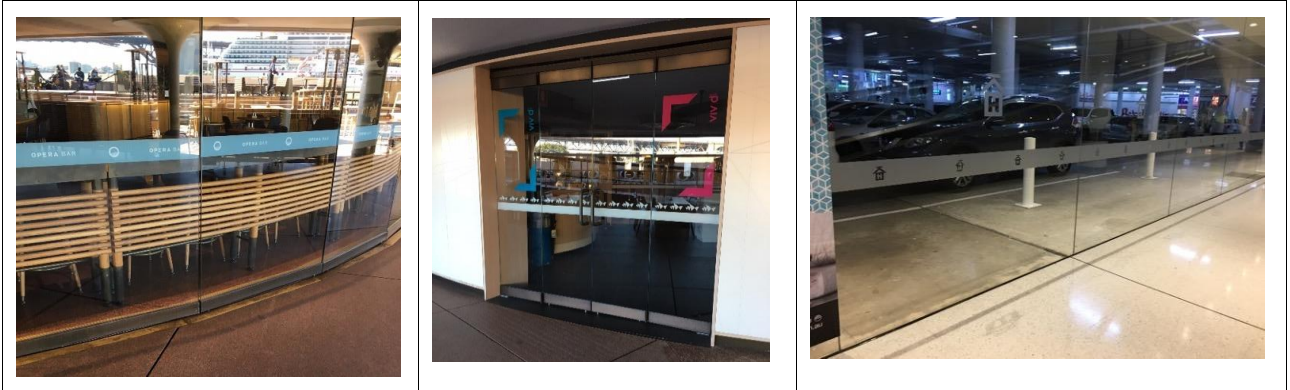


Figure 5 – Diag.4 DE-IG02 2013

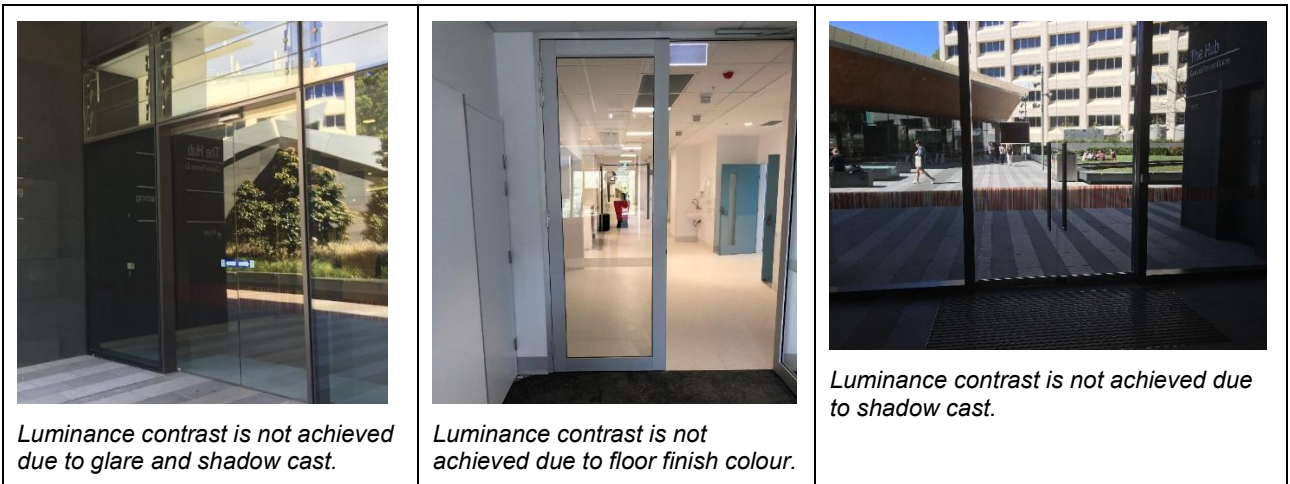


The following are some compliant examples of the application of Visual Indicators on glazing.



In considering the statutory requirements for Visual Indicators on glazing, it is important to note other contextual factors, such as glare, lighting, floor finishes, furniture placement and casted shadows from building lines.

The following are some non-compliant examples of the application of Visual Indicators on glazing as a result of these contextual factors.



3.4. Floor or Ground Surfaces

NCC 2022: D1P1(a)(iii) Access for people with a disability
 D1P2 Safe movement to and within a building
 D3D15(a) Landings
 Table D3D15: Slip-resistance classification

AS Reference: Clause 7 of AS1428.1:2009
 HB198:2014 (slip resistance)

3.4.1. Slip Resistance

The slip resistance of the floor finishes will need to satisfy the minimum requirements of NCC Table D3D15 and the slip resistance ratings noted within HB198.

Certification indicating compliance with the slip resistance provisions will need to be provided from the respective flooring suppliers.

The table following summarises the minimum slip resistance levels of flooring materials to be achieved within this development.

Location	NCC Table D2.14	HB198	Criterion Satisfied
Ramp steeper than 1:14	Dry P4/R11 – Wet P5/R12	P5/R12	Additional Information to be provided
Ramp steeper than 1:20 but not steeper than 1:14	Dry P3/R10 – Wet P4/R11		Additional Information to be provided
Tread or landing surface	Dry P3/R10 – Wet P4/R11	Dry P3/R10 – Wet P4/R11	Additional Information to be provided
Nosing	Dry P3 – Wet P4	Dry P3 – Wet P4	Additional Information to be provided
Transition Areas		P2/R9	Additional Information to be provided
External ramps including sloping driveways, footpaths, etc., under 1:14, external sales areas (e.g. markets), external carpark areas, external colonnades, walkways, pedestrian crossings, balconies, verandas, carports, driveways, courtyards and roof decks		P4/R11	Additional Information to be provided
External Ramps (including sloping driveways, footpaths etc.) steeper than 1 in 14		P5/R12	Additional Information to be provided
Wet area / sanitary facilities		P3/R10	Additional Information to be provided

3.4.1. OC Slip Resistance - floor and ground surfaces – On completion of the works certification is to be provided by the contractors indicating the slip resistance of the flooring materials installed. This information is required for the issue of the access installation certificate required for the issue of the Occupation Certificate.

3.4.2. Carpet

The finishes schedule may propose carpet finishes within this development.

It will be necessary that the specification and application of the carpet satisfy the provisions of:

- NCC Clause D4D4 (g) & (h) and
- AS1428.1:2009 Clause 7.4

Clause 7.4.1 of AS1428.1:2009 states:

Where carpets or any soft flexible materials are used on the ground or floor surface—

- the pile height or pile thickness shall not exceed 6 mm and the carpet backing thickness shall not exceed 4mm*
- exposed edges of floor covering shall be fastened to the floor surface and shall have a trim along the entire length of any exposed edge; and*
- at the leading edges, carpet trims and any soft flexible materials shall have a vertical face no higher than 3 mm or a rounded bevelled edge no higher than 5 mm or above that height a gradient of 1 in 8 up to a total maximum height of 10 mm*

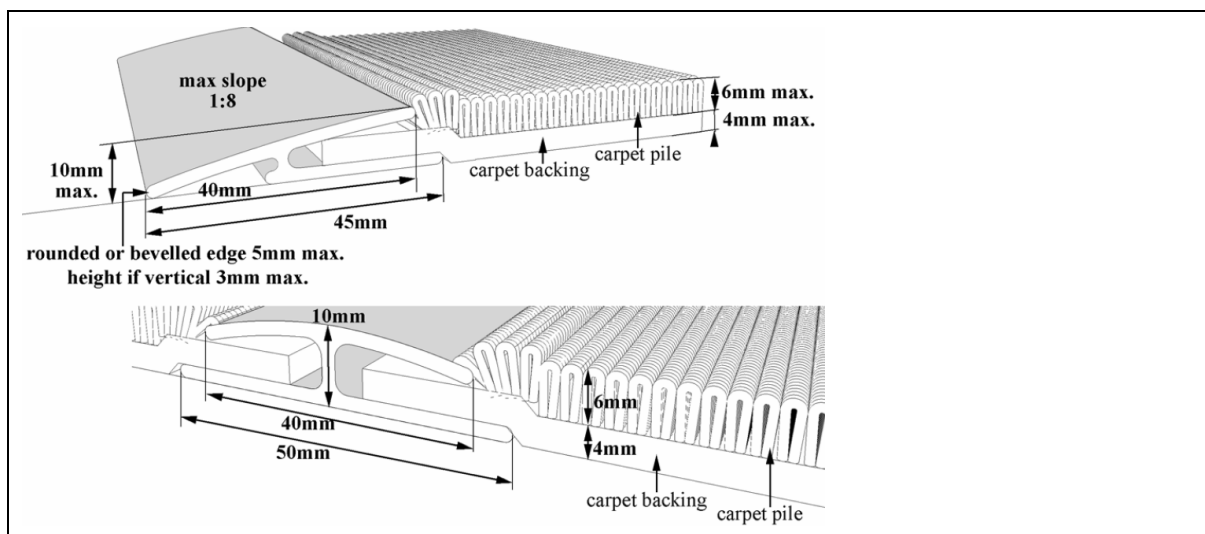
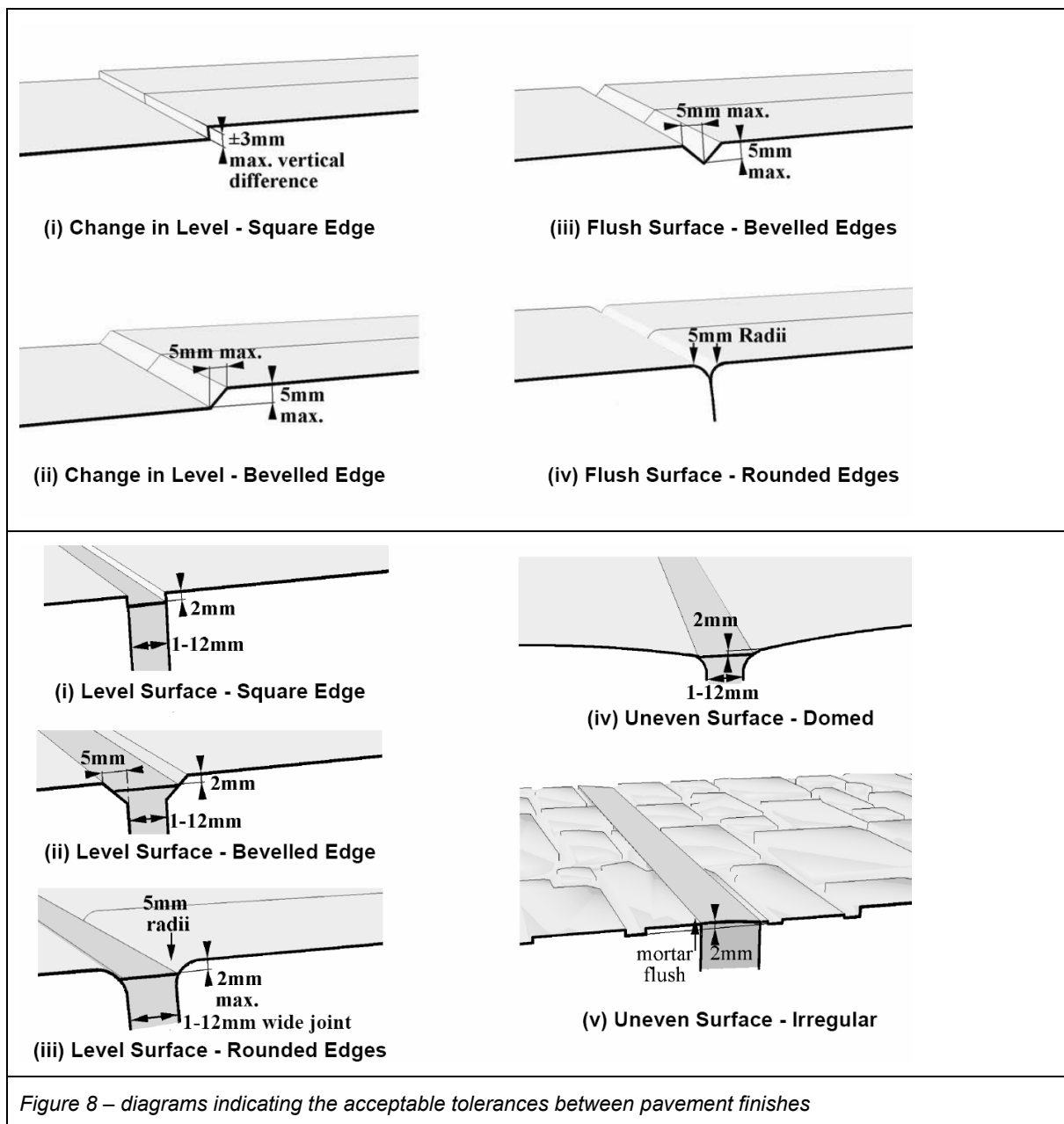


Figure 7 – Examples of carpet joints on an accessible path of travel

3.4.2. Carpet – On completion of the works certification is to be provided by the carpet contractor that the specified carpet has been installed and that the provisions of NCC Clause D4D4 (g) & (h) have been satisfied.

3.4.3. Floor transitions

Transitions between floor finishes will need to comply with Clause 7.2 of AS1428.1:2009.



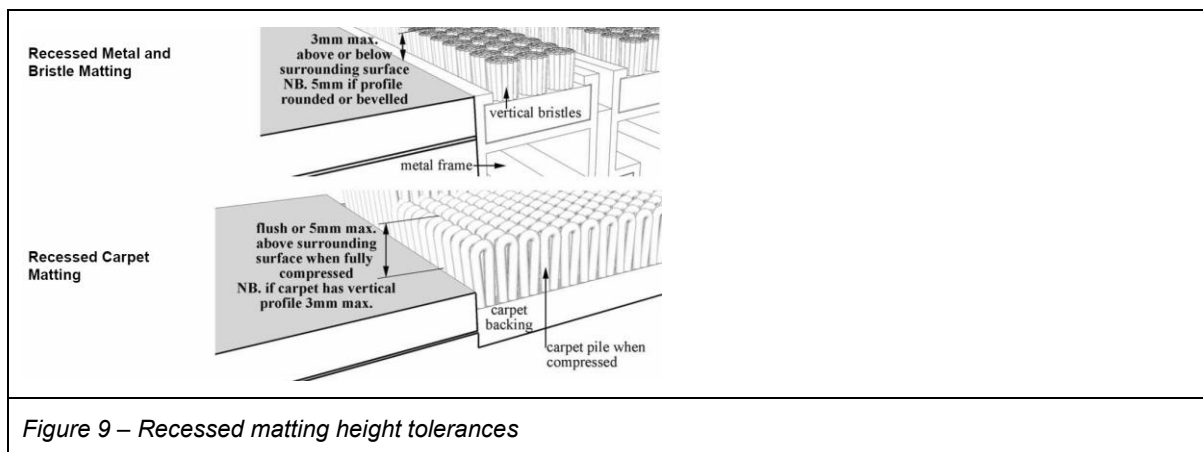
3.4.4. Recessed Matting

The design may propose the installation of recessed matting.

The installation will need to satisfy the following requirements from Clause 7.4.2 of AS1428.1:2009

Matting recessed within a continuous accessible path of travel—

- (a) where of metal and bristle type construction or similar, its surface shall be no more 3 mm if vertical or 5 mm if rounded or bevelled, above or below the surrounding surface; and
- (b) where of a mat or carpet type material, shall have the fully compressed surface level with or above the surrounding surface with a level difference no greater than 3 mm if vertical or 5 mm if rounded or bevelled.



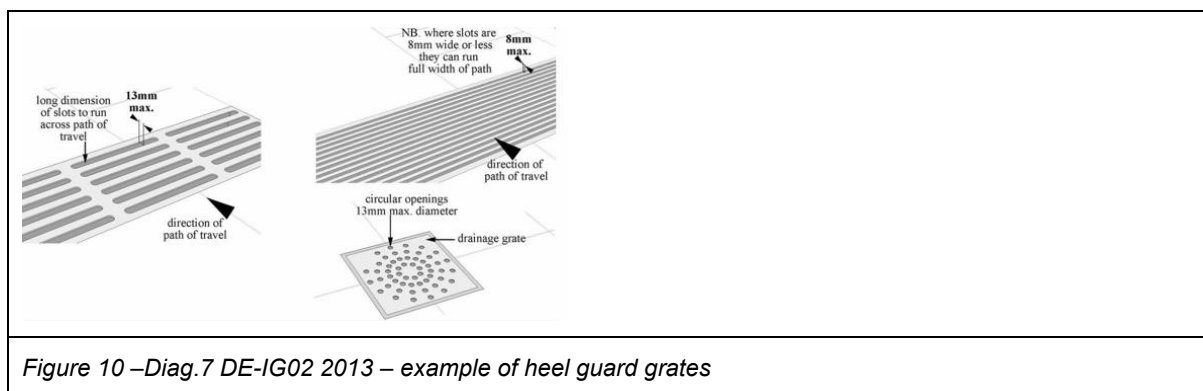
3.4.5. Grated Drains

Any grated drains located on any paths of travel will need to be fitted with compliant heel guard grates (Clause 7.5).

7.5 Grates

Grates shall comply with the following:

- (a) *Circular openings shall be not greater than 13 mm in diameter.*
- (b) *Slotted openings shall be not greater than 13 mm wide and be oriented so that the long dimension is transverse to the dominant direction of travel.*



3.5. Statutory Braille Tactile Signage

The requirements for the statutory Braille Tactile signage are referenced in the following legislation:

NCC 2022:	D1P1(a)(iii) Access for people with a disability Clause D3D26(2)(b) Operation of latch Clause D4D7 Signage Specification 15 Braille Tactile Signs
AS Reference:	Clause 8 – Signage, AS1428.4.1 2009 Design for access and mobility - Means to assist the orientation of people with vision impairment Clause 16 – Symbols, AS1428.4.2 1992 Design for access and mobility - Enhanced and additional requirements - Buildings and facilities Clause 17 – Signs, AS1428.2 1992 Design for access and mobility - Enhanced and additional requirements - Buildings and facilities AS1428.4.2:2018 Design for access and mobility – Wayfinding

3.5.1. Preamble

The NCC nominates the statutory requirements for Braille Tactile signage. Braille Tactile signs are to be provided in the following locations:

- WC locations
- Exits
- Locations where hearing augmentation is provided
- Directional information to accessible entrances.
- Push to exit locations

3.5.2. Statutory Signage Requirements (Informational)

NCC Section **D4D7 Signage** states:

In a building required to be accessible—

- (a) *braille and tactile signage complying with **Specification D3.6** must—*
 - (ii) *identify each door required by E4.5 to be provided with an exit sign and state—*
 - (A) **"Exit"**; and
 - (B) **"Level"**; and either
 - (aa) *the floor level number; or*
 - (bb) *a floor level descriptor;*

3.5.3. Wayfinding (Not referenced by the NCC)

AS 1428.4.2-2018 The Australian Standard for design for access and mobility – Wayfinding, specifies the minimum wayfinding sign requirements to enable pedestrians, particularly those who are blind, deafblind or have low vision, to enter and to navigate within buildings and/or sites, including a return route, in a safe and independent manner.

This Standard will also be of use to people with other disabilities who require enhanced information to communicate wayfinding information within buildings.

3.5.4. Braille Tactile Exit Signage

Braille tactile Exit signage will need to be provided at each level of the building associated with the fire egress door and at horizontal exits between fire compartments.

Examples of Braille Tactile Signage include:



(Figure 11 – Examples of Braille Tactile Signage from www.brailletactilesigns.com.au)

3.5.5. WC Signage

Braille tactile WC signage will need to be provided at each sanitary facility entrance.

Examples of Braille Tactile Signage to be provided in this project include:



NB: Text “Unisex Toilet RH” to be used where the toilet is configured adjacent to a wall on the right, and similarly text “Unisex Toilet LH” is to be used where the toilet is adjacent to a wall on the left of the toilet pan.

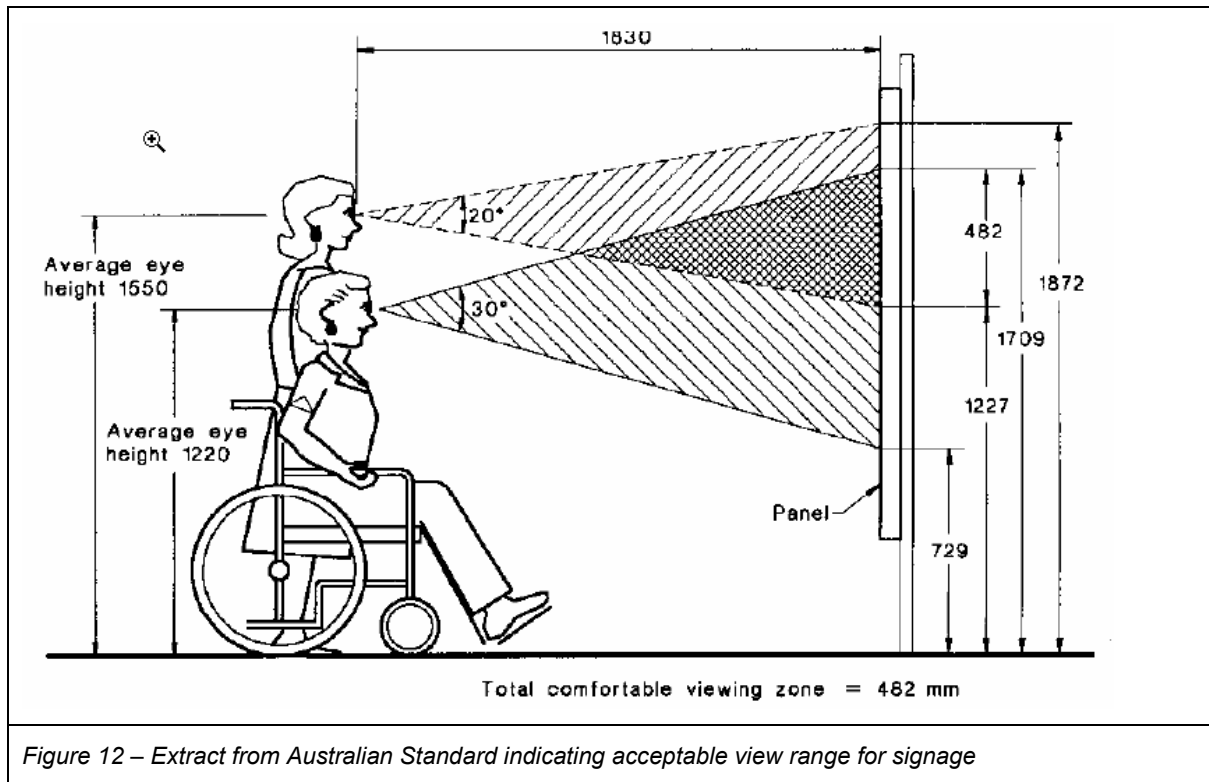
3.5.6. Lift Signage (Not referenced by the NCC)

Clause ZA5.2 of AS1735.12:2020 requires the provision of Braille, tactile level identification signs to be installed on the lift door jamps.



3.5.7. Mounting Heights – General signs

The mounting heights of signage will need to incorporate the viewing zones as identified in AS1428.2:1992.



3.5.8. Luminance & Colour Contrast

Signs should be matt in colour, instead of a gloss finish to avoid any glare.

The minimum recommended luminance contrast for lettering on signage to the sign background is 30%.

The minimum recommended luminance contrast of a sign to its context is 30%.

This can be achieved by the sign field colour achieving a 30% luminous contrast with the wall surface the sign is mounted on or by providing a 5mm black border to the sign as per the following examples.



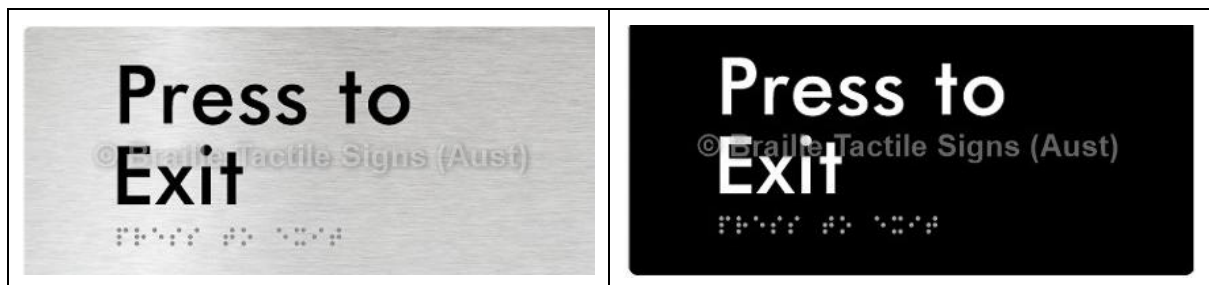
3.5.9. Push to release door locations

The design may include door release by way of push buttons.

NCC Clause D3D26(2)(b) states:

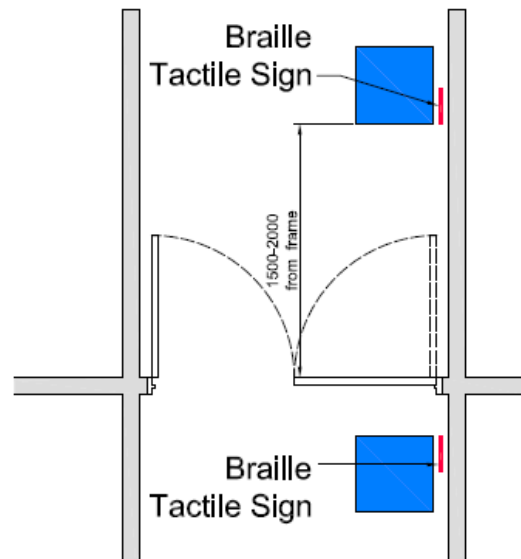
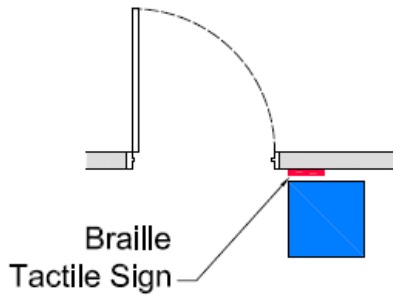
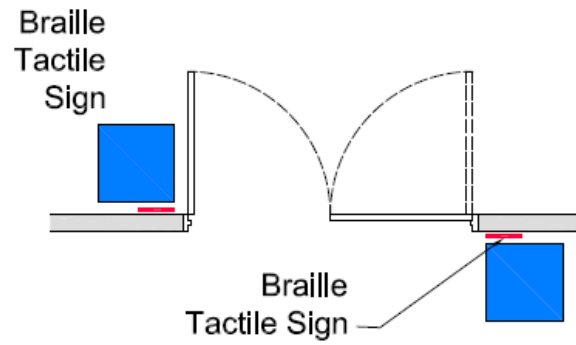
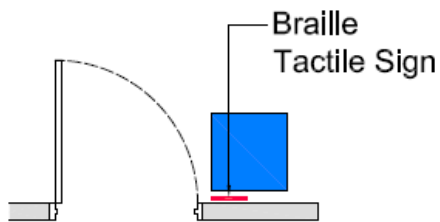
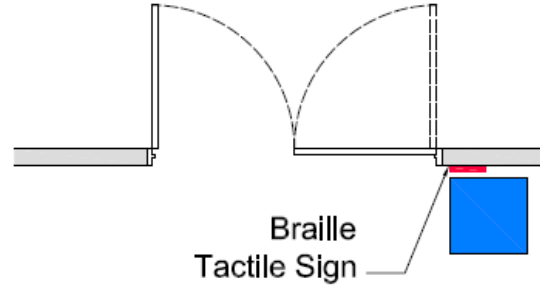
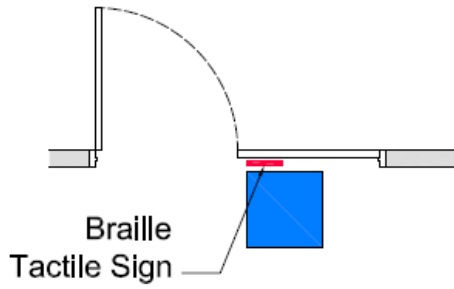
Where the latch operation device referred to in (1)(b) is not located on the door leaf itself braille and tactile signage complying with S15C3 and S15C6 must identify the latch operation device.

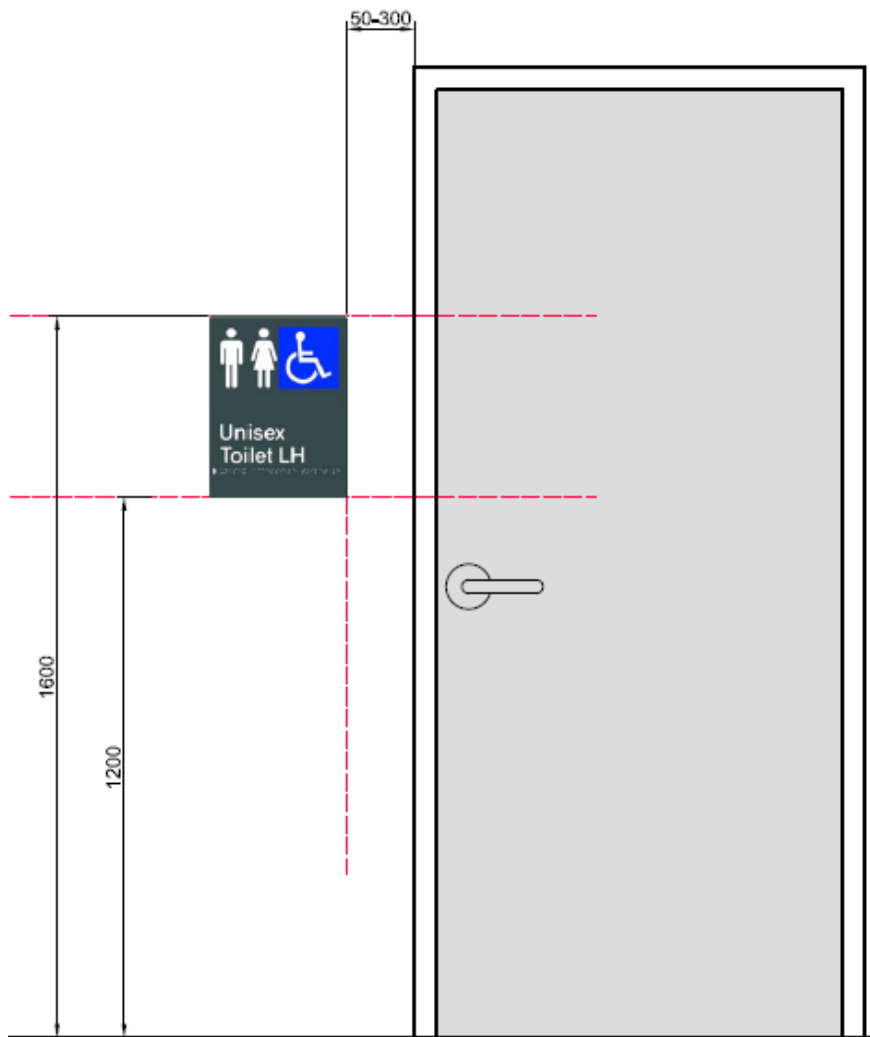
The following are examples of sign types for this instance.



3.5.10. Locations of Braille Tactile door signs

The following sketches have been prepared to indicate the preferred installation locations for the placement of Braille Tactile signs.





3.6. Tactile Indicators (TGSIs)

NCC 2022:	D1P1(a)(iii) Access for people with a disability Clause D4D9 Tactile Indicators
AS Reference:	Clause 9 (Tactile Ground Surface Indicators (TGSIs) of AS1428.1 2009 AS 1428.4.1 2009 Design for access and mobility - Means to assist the orientation of people with vision impairment

3.6.1. TGSIs – Overview

The design proposes ramps and stairs within the development.

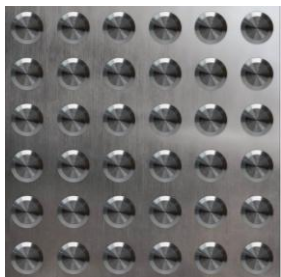
For ramps and stairs associated with the Residential Independent Living Units, TGSIs will need to be provided in accordance with the requirements of AS1428.4.1:2009.

The concessional provisions of NCC Clause D4D9(3) applies to the Residential Aged Care Facility. TGSIs are not required to be provided within the NCC Class 9c component of this development.

3.6.2. TGSIs – Luminance Contrast

Clause 2.2 of AS1428.4.1:2009 requires that luminance contrast be provided between the TGSIs and the adjacent base as follows:

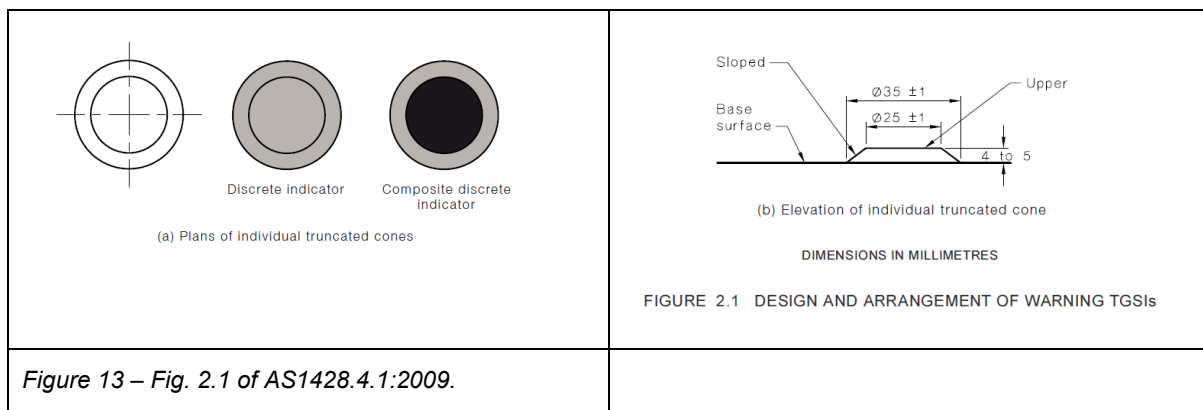
- (i) *Where the integrated TGSIs are of the same colour as the underlying surface—not less than 30% across its entire area.*
- (ii) *Where discrete TGSIs—not less than 45%.*
- (iii) *Where discrete TGSIs are constructed using two colours or materials, the raised surface shall have a section that has 60% luminance contrast for a diameter of 25 ± 1 mm.*

		
The above integrated TGSIs format requires 30% luminous contrast to adjacent floor finish	The above discrete TGSIs format requires 45% luminous contrast to adjacent floor finish	The above two colour/material discrete TGSIs format requires 60% luminous contrast to adjacent floor finish

3.6.3. TGSIs – Requirements to be satisfied

TGSIs to warn people of hazards shall comply with AS/NZS 1428.4.1.

The design and arrangement of warning tactile ground surface indicators (TGSIs) shall comply with Figure 2.1 of AS1428.4.1:2009.



3.6.4. Setout of TGSIs associated with 1:14 Ramps

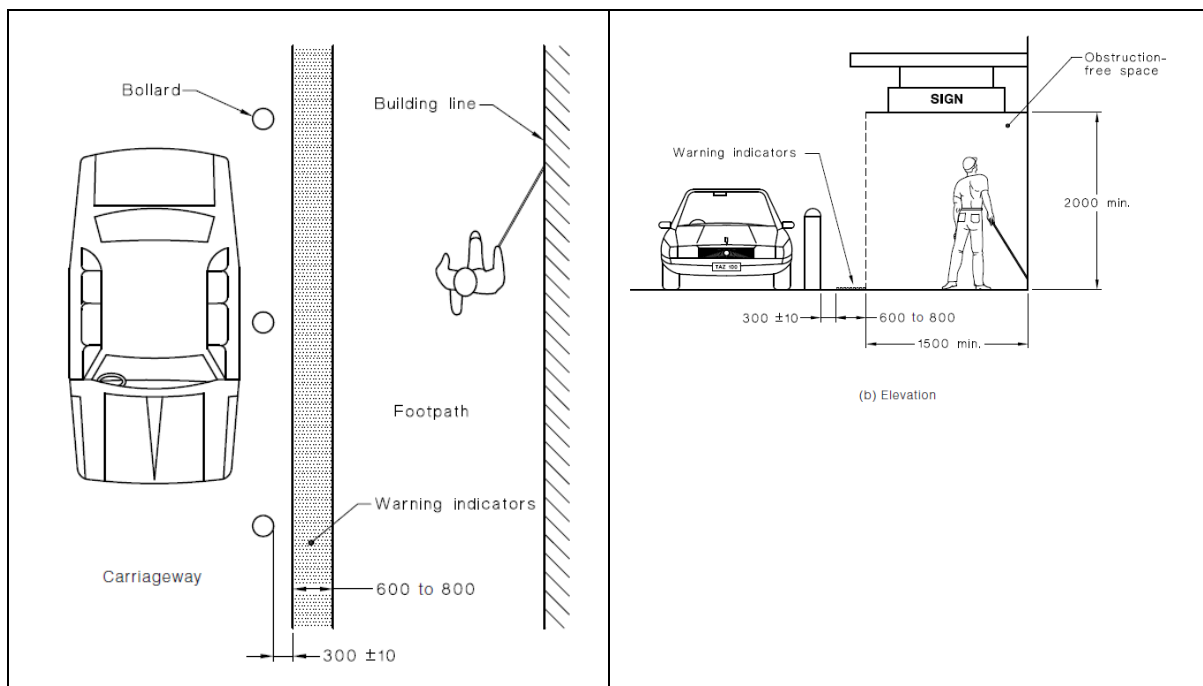
TGSIs to warn people of hazards shall comply with AS/NZS 1428.4.1. TGSIs are to be provided to ramps where the gradient of the ramp is between 1:20 and 1:14.

TGSIs are setout from the end of the ramp. The first row of TGSIs is located 300mm from the end of the ramp. The depth of the TGSIs is generally 600-800mm where length of the landing is greater than 3m. Where the length of the landing is less than 3m the depth of the TGSIs is reduced to 300mm.

TGSIs are not located at mid landings where no additional population is address to the ramp system.

3.6.5. Setout of TGSIs associated with walkways at grade with driveways

TGSIs to warn people of hazards shall comply with AS/NZS 1428.4.1. The setdown areas within the carpark associated with travelator lobbies located with the carpark may be at the same grade. If this is the case TGSIs and bollards will need to be provided. The setout of bollards and TGSIs where the driveway and accessway are at the same grade is to be as follows:



3.7. Walkways, Ramps and Landings

NCC 2022: D1P1(a)(iii) Access for people with a disability
D1P2(c) Safe movement to and within a building
D4D4(a)(i) Parts of buildings to be accessible.
AS Reference: Clause 10.3 of AS 1428.1:2009
Clause 10.6 of AS 1428.1:2009

3.7.1. Preamble

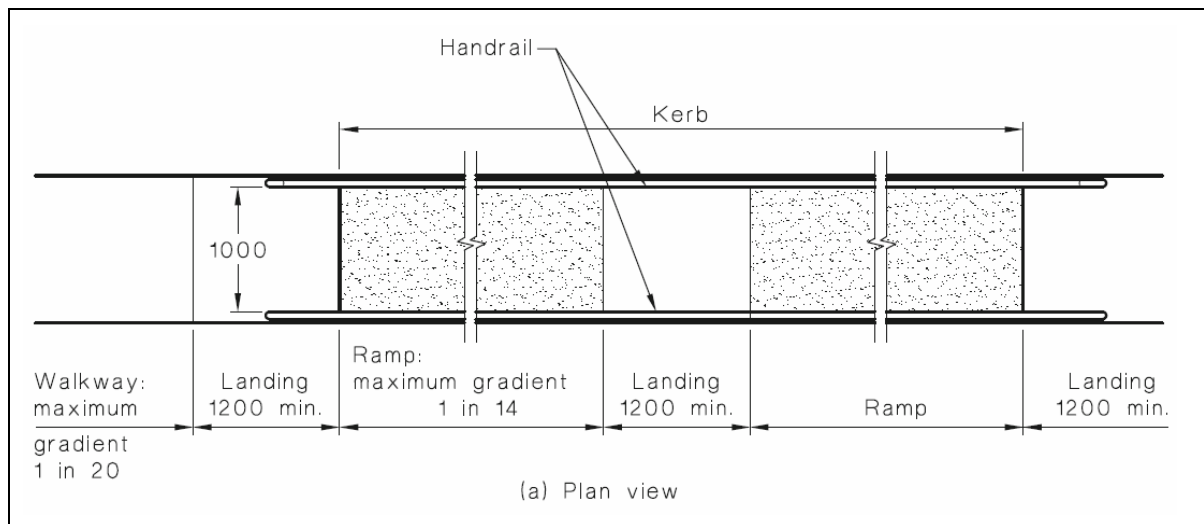
The design proposed 1:20 walkway and 1:14 ramps across this development.

3.7.2. 1:14 Ramps

The NCC Clause D4D4(a)(i) identifies that:

In a building required to be accessible every ramp and stairway, except for ramps and stairways in areas exempted by D3.4, must comply with for a ramp, except a fire-isolated ramp, clause 10 of AS 1428.1

Ramp setout specifications for ramps of gradient 1:14 are provided at Figure 14 of AS1428.1:2009.



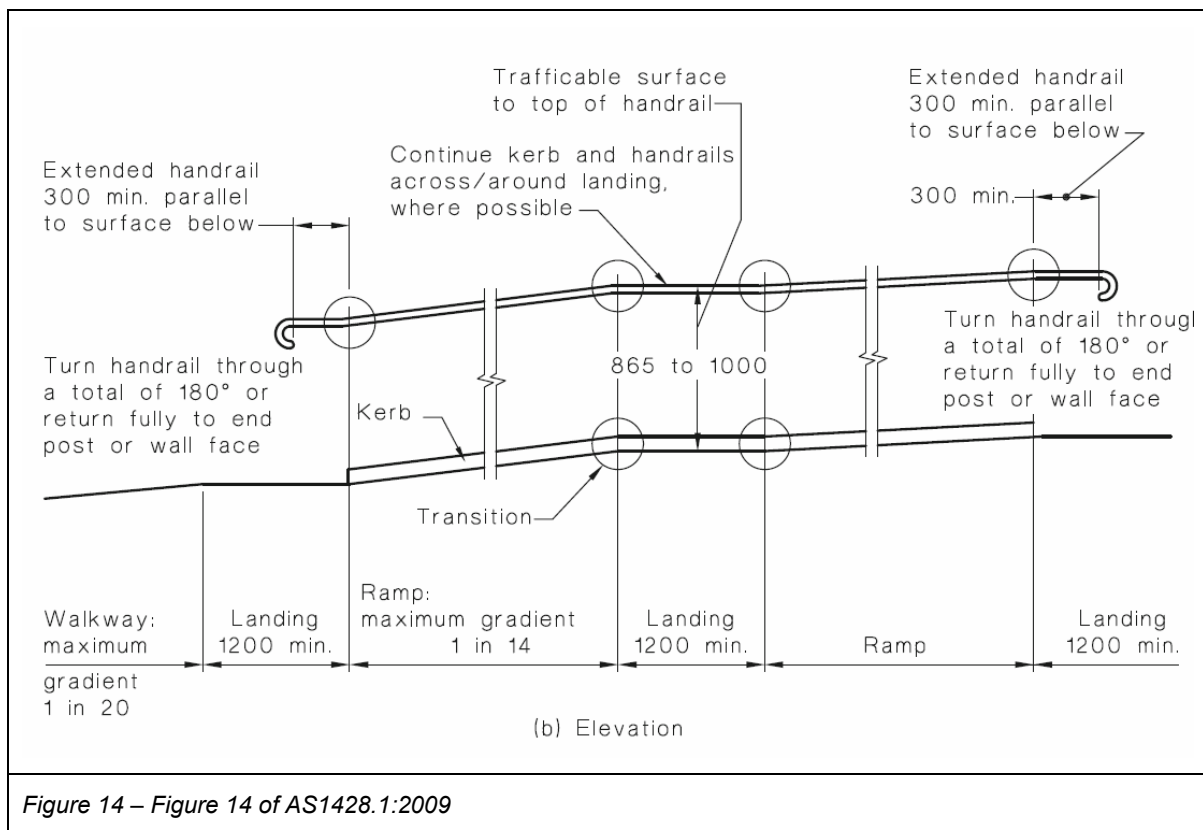


Figure 14 – Figure 14 of AS1428.1:2009

3.7.3. Walkways

Clause 10.2 of AS1428.1:2009 states:

Walkways shall comply with the following:

- (a) *The floor or ground surface abutting the sides of the walkway shall provide a firm and level surface of a different material to that of the walkway at the same level of the walkway, follow the grade of the walkway and extend horizontally for a minimum of 600 mm unless one of the following is provided:*
 - (i) *Kerb in accordance with Figure 18.*
 - (ii) *Kerb rail and handrail in accordance with Figure 19.*
 - (iii) *A wall not less than 450 mm in height.*
- (b) *Walkways shall be provided with landings, as specified in Clause 10.8, at intervals not exceeding the following:*
 - (i) *For walkway gradients of 1 in 33, at intervals no greater than 25 m.*
 - (ii) *For walkway gradients of 1 in 20, at intervals no greater than 15 m.*
 - (iii) *For walkway gradients between 1 in 20 to 1 in 33, at intervals that shall be obtained by linear interpolation.*

For walkways shallower than 1 in 33, no landings are required.

The intervals specified above may be increased by 30% where at least one side of a walkway is bounded by—

- (A) *a kerb or kerb rail as specified in Clause 10.3(j) and a handrail as specified in Clause 12; or*
- (B) *a wall and a handrail as specified in Clause 12.*

Clause 10.8 of AS1428.1:2009 states:

The length of landings at walkways (up to a gradient of 1 in 33) and ramps shall comply with one of the following:

- (a) *Where there is no change in direction, the length shall be not less than 1200 mm, as shown in Figure 25(A).*
 - (b) *Where there is a change of direction not exceeding 90°, the landing shall be not less than 1500 mm. The internal corner shall be truncated for a minimum of 500 mm in both directions, as shown in Figure 25(B).*
 - (c) *For a 180° turn, the landing shall be as shown in Figure 25(C),*
-

3.8. Stairways

NCC 2022:	D1P1(a)(iii) Access for people with a disability
	D1P2(c) Safe movement to and within a building
	D4D4(a)(i) Parts of buildings to be accessible.
	Table D3D15 Slip Resistance Classification
AS Reference:	Clause 11 Stairways AS1428.1:2009

3.8.1. Overview

The design proposes fire rated stairs and circulation stairs throughout this development.

3.8.2. Fire Stairs

The detailing of fire stairs will need to satisfy the requirements of Clauses 11.1 (f) & (g) of AS1428.1:2009.

Specific attention is directed to the following:

- f) *At the nosing, each tread shall have a strip not less than 50 mm and not more than 75 mm deep across the full width of the path of travel. The strip may be set back a maximum of 15 mm from the front of the nosing. The strip shall have a minimum luminance contrast of 30% to the background. Where the luminous contrasting strip is affixed to the surface of the tread, any change in level shall comply with Clause 7.2 and Clause 7.3.*
- g) *Where the luminance contrasting strip is not set back from the front of the nosing then any area of luminance contrast shall not extend down the riser more than 10 mm*

The detailing of the handrail provided within the fire stairs will need to satisfy the provisions of Clause 11.2(c) which requires that there be no vertical sections in the handrail design and that the handrail follow the angle of the stairway nosing.

The details of the handrail design will need to be provided as part of the Construction Certificate documentation.

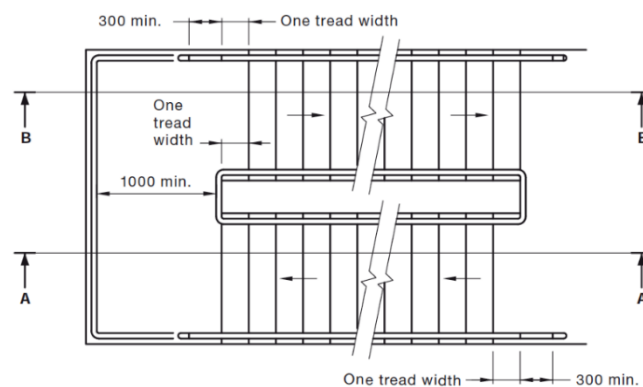


Figure 15 – Fig. 28 of AS1428.1:2009

Appropriate exit Braille Tactile Signage is required. Refer to the 'Signage' section of this report.

3.8.3. Circulation Stairs

The circulation stairs will need to comply with the provisions noted at Clause 11 and 12 of AS1428.1:2009.

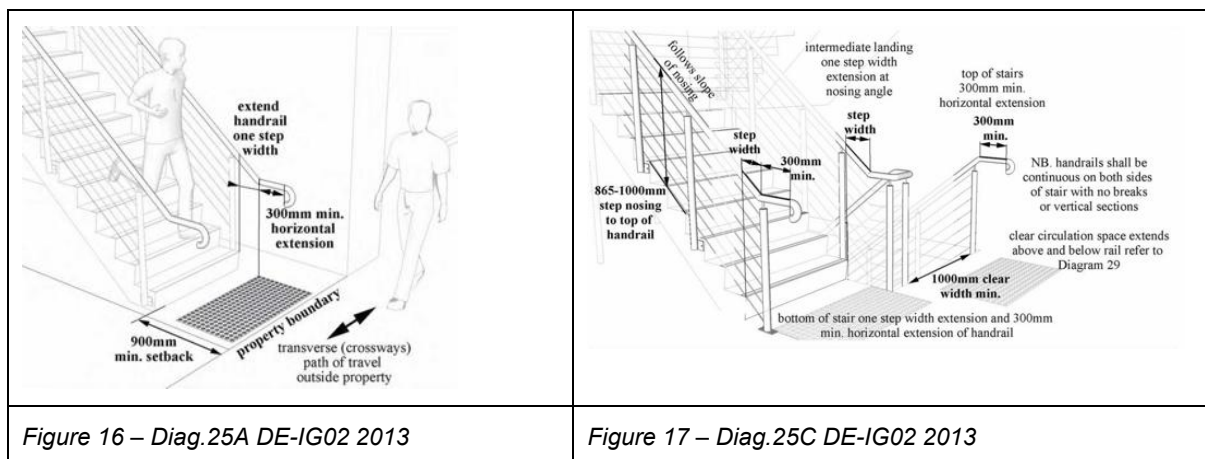
Specific attention is directed to the following:

- Compliant handrail designs
- Compliant handrail extensions to the top and bottom of each flight
- Non-slip finish to going (Refer to NCC Table D3D15)
- Non-slip 50-75 nosing fixed to each going
- Opaque risers
- Compliant TGSIs located at the top and bottom of each flight. TGSIs are not required at mid-landings where no additional pedestrians are added to the stair system (TGSIs do not apply to the NCC Class 9c component of this development)

Note: TGSIs shall be 600mm in width (or 300mm wide where the stair is closer than 3m to an adjacent wall.)

- Minimum lighting level of 150 lx to be achieved

The following extract Figures below highlight the main features of a compliant stair design.



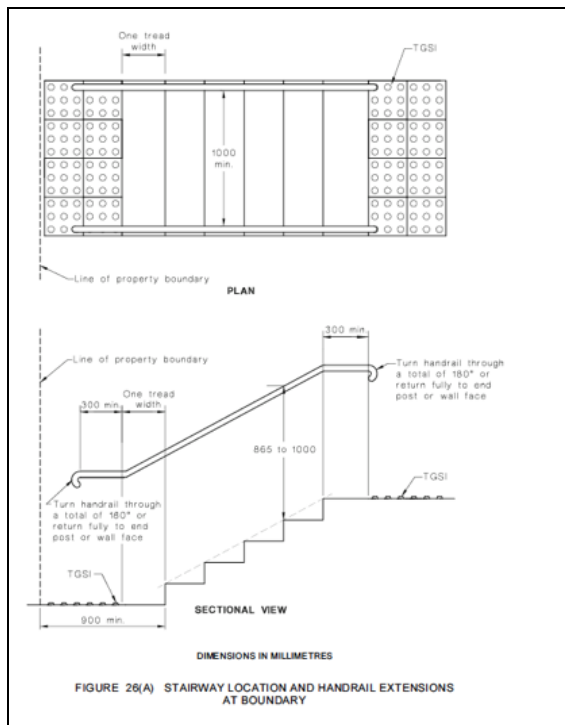


Figure 18 – Fig.26A Section 11 AS1428.1 2009

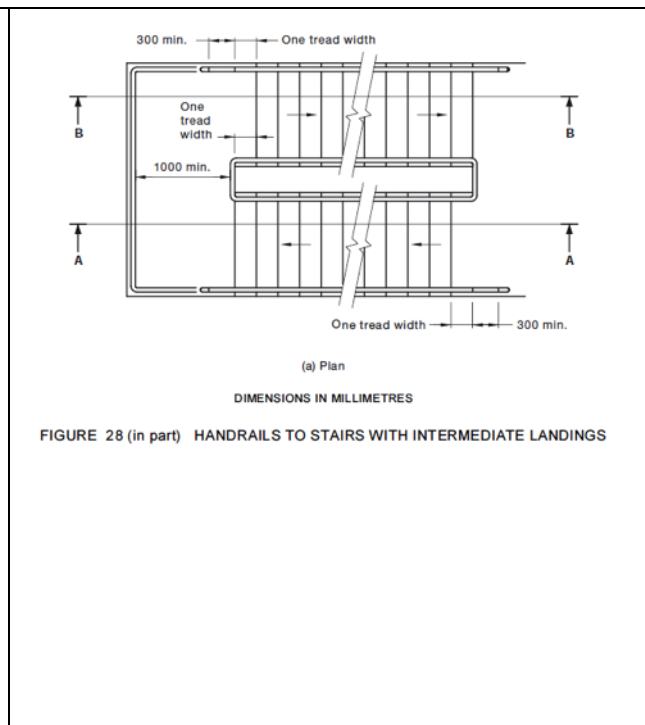


Figure 19 – Fig.28 Section 11 AS1428.1 2009

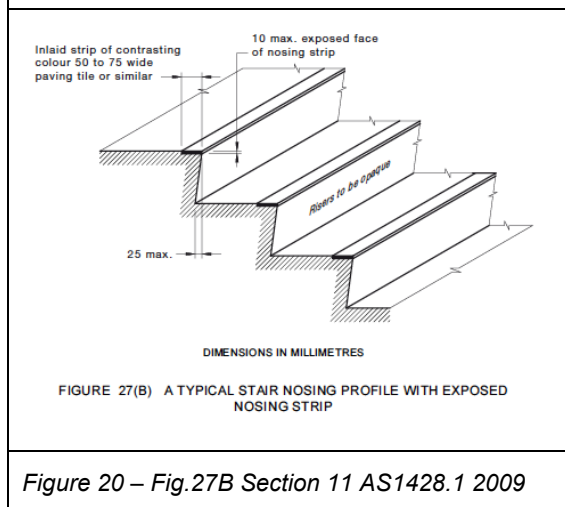


Figure 20 – Fig.27B Section 11 AS1428.1 2009

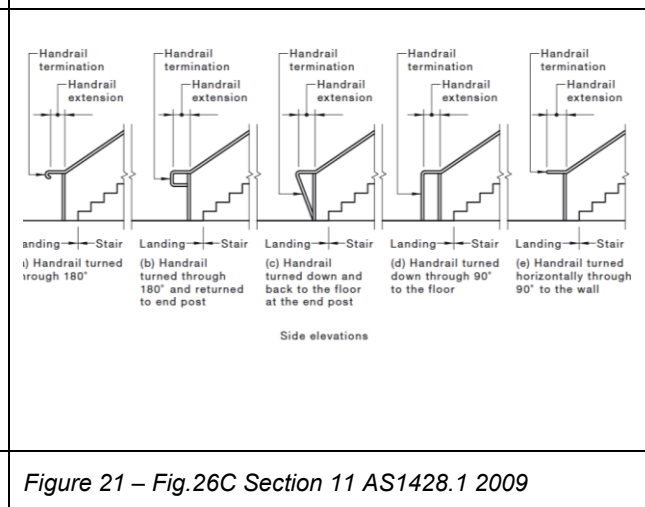


Figure 21 – Fig.26C Section 11 AS1428.1 2009

3.8.4. Stair nosing

The stair nosing are to meet the following performance requirements:

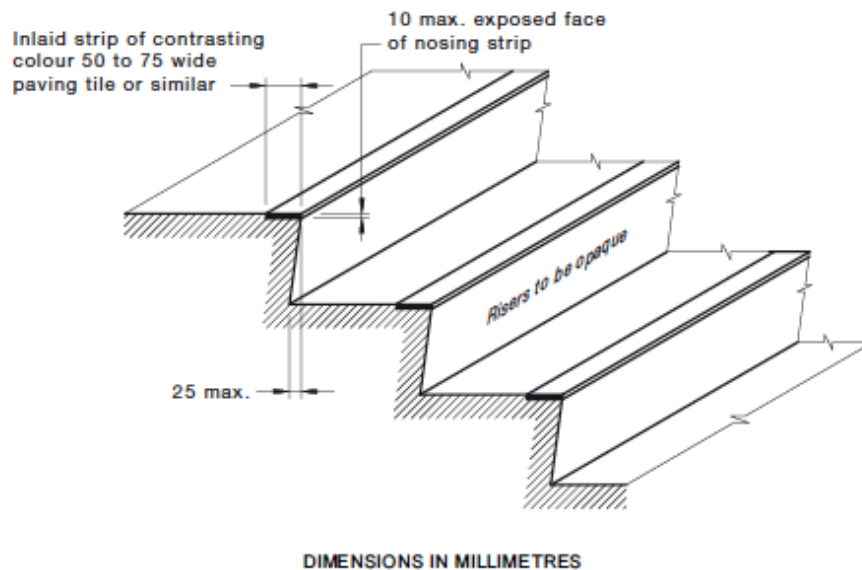
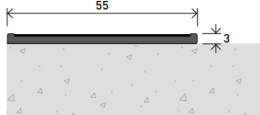
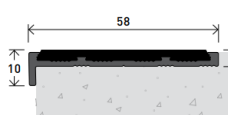


FIGURE 27(B) A TYPICAL STAIR NOSING PROFILE WITH EXPOSED NOSING STRIP

Examples of compliant nosing include:

 NCC COMPLIANT P5 GRIP PEMKO® SUEDE EDGING 50X3 PRODUCT CODES: NATURAL ANODISED DE0500C Slip resistant insert BLACK ANODISED DE0500B Slip resistant insert 	 NCC COMPLIANT P5 GRIP PEMKO® SUEDE EDGING 10X50X3 PRODUCT CODES: NATURAL ANODISED DE0510C Slip resistant insert BLACK ANODISED DE0510B Slip resistant insert 	 NCC COMPLIANT P5 GRIP PEMKO® URBAN EDGING 10X58X5 PRODUCT CODES: NATURAL ANODISED DE0680C Grey silicon carbide infill BLACK ANODISED DE0680B Black silicon carbide infill 	 NCC COMPLIANT P5 GRIP PEMKO® URBAN EDGING 58X5 PRODUCT CODES: NATURAL ANODISED DE0690C Grey silicon carbide infill BLACK ANODISED DE0690B Black silicon carbide infill 
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3.9. Handrails

NCC 2022: D1P2(c)(ii) Safe movement to and within a building
D1P2(c)(v) Safe movement to and within a building
D4D4(a) Parts of buildings to be accessible

AS Reference: Clause 12 Handrails AS1428.1:2009

The design and construction of handrails shall comply with the following:

- (a) *Handrails and balustrades shall not encroach into required circulation spaces.*
- (b) *The cross-section of handrails shall be circular or elliptical, not less than 30 mm or greater than 50 mm in height or width for not less than 270° around the uppermost surface as shown in Figures 29(a) and 29(b). Elliptical handrails shall have the greater dimension in the horizontal axis as shown in Figure 29(b).*
- (c) *Exposed edges at ends and corners of handrails shall have a radius of not less than 5 mm.*
- (d) *The top of handrails shall be not less than 865 mm nor more than 1000 mm above the nosing of stairway tread or the plane of the finished floor of the walkway, ramp or landing.*
- (e) *The height of the top of the handrail, measured in accordance with Item (d), shall be consistent through the ramp (or stairs) and any landings.*
- (f) *If a balustrade is required at a height greater than the handrail, both shall be provided.*
- (g) *Handrails shall be securely fixed and rigid, and their ends shall be turned through a total of 180°, or to the ground, or returned fully to end post or wall face, as shown in Figures 26(C) and 26(D).*
- (h) *The clearance between a handrail and an adjacent wall surface or other obstruction shall be not less than 50 mm. This clearance shall extend above the top of the handrail by not less than 600 mm.*
- (i) *Handrails shall have no obstruction to the passage of a hand along the rail, as shown in Figures 29(a) and 29(b).*
- (j) *The inside handrail at landings shall always be continuous, as shown in Figure 28(a).*

3.10. Doorways

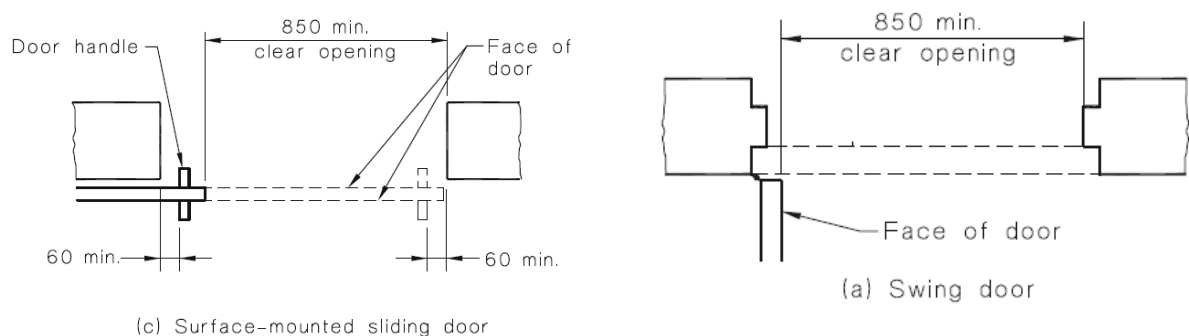
NCC 2022	D1P1 Access for people with a disability D4D2(8) General building access requirements
AS Reference:	Clause 13 (Doorways, Doors and Circulation Spaces at Doorways) of AS1428.1 2009

3.10.1. Clear Door Width

The minimum clear width of all doorways (including swing and sliding doorways) to rooms required to be accessible is to be not less than 850mm clear.

Where double doors are proposed, the active leaf is to have a minimum clear width of 850mm.

Provide confirmation of clear open widths of all doorways.



3.10.2. Door identification

Rooms that are not required to be accessible do not need to satisfy the requirements for doorway luminance contrast.

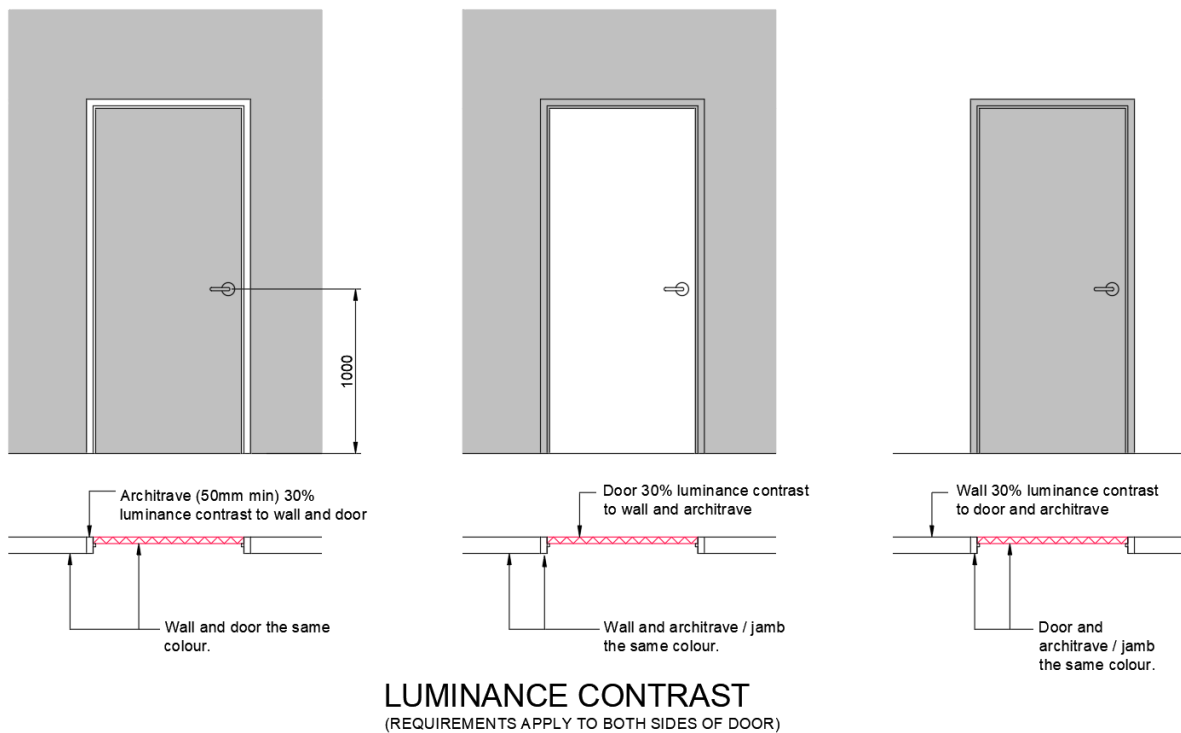
All other rooms required to be accessible require compliance with doorway luminance contrast requirements noted at Clause 13.1 of AS1428.1:2009:

All doorways shall have a minimum luminance contrast of 30% provided between—

- (a) door leaf and door jamb;*
- (b) door leaf and adjacent wall;*
- (c) architrave and wall;*
- (d) door leaf and architrave; or*
- (e) door jamb and adjacent wall.*

The minimum width of the area of luminance contrast shall be 50 mm

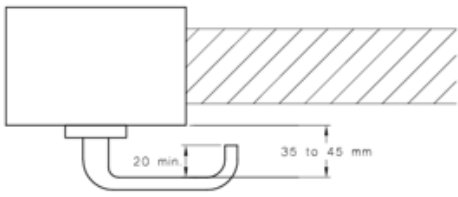
The prevailing view is that option (b) – indicating luminance contrast between the *door leaf and adjacent wall* is the preferred option.

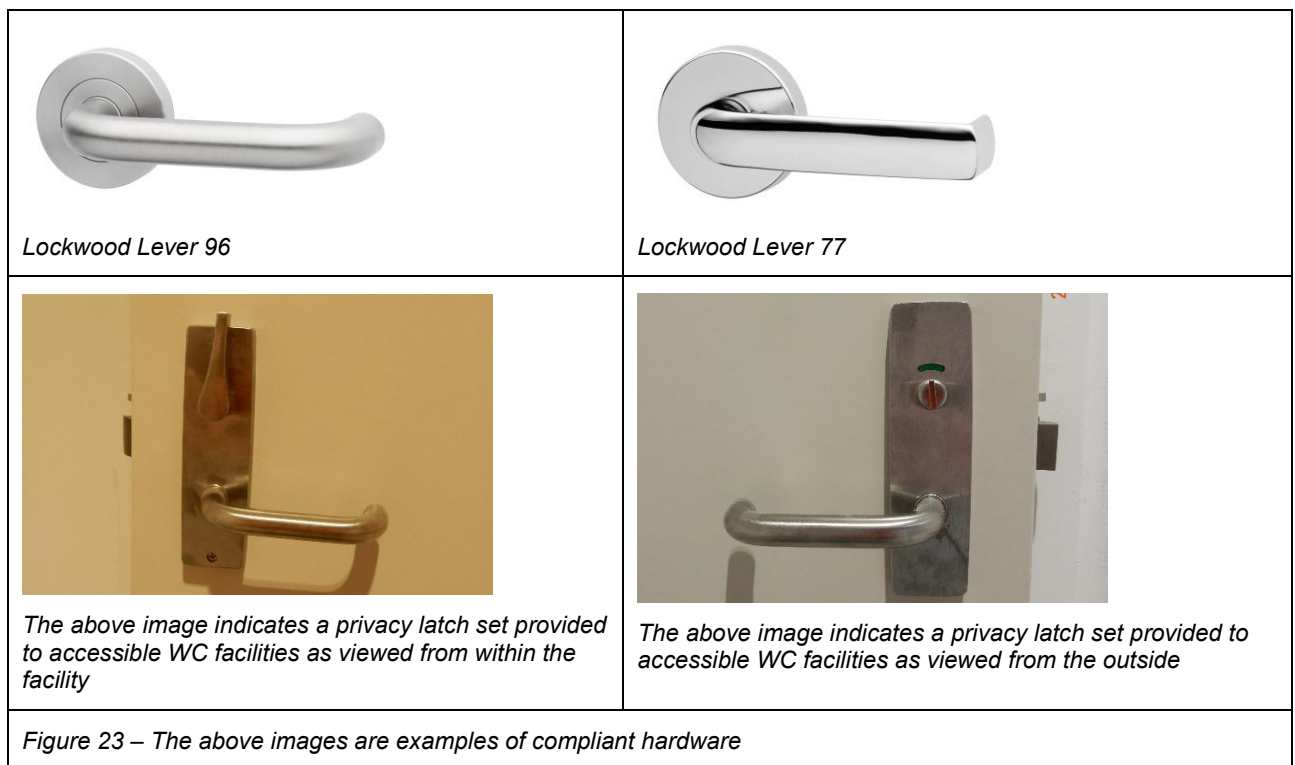


3.10.3. Door Controls

The Australian Standard requires that door hardware be located within 900-1100mm AFFL.

If lever hardware is proposed to be utilised it will be necessary for the design of the lever to comply with the provisions of Clause 13.5 of AS1428.1:2009.

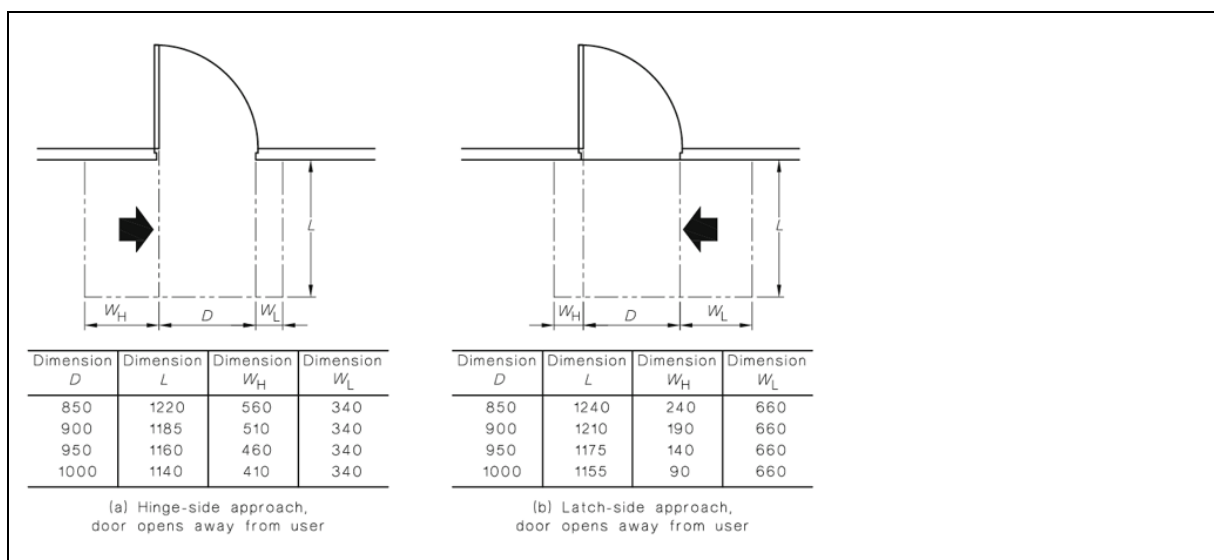
 (b) Plan view FIGURE 35(A) EXAMPLE OF ACCEPTABLE DOOR HARDWARE FOR HINGED DOORS	
<i>Figure 22 – Fig. 35 Section 13 AS1428.1:2009</i>	
 <i>Lockwood Lever 80</i>	 <i>Lockwood Lever 70</i>

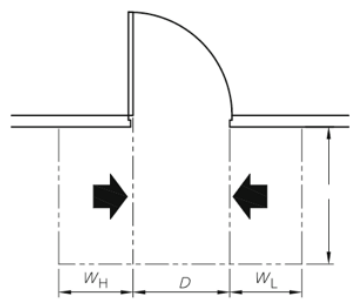


3.10.4. Circulation at Doorways

Clause 13.3 of AS1428.1:2009 provides direction as to the required circulation space to approach and enter rooms required to be accessible. Doorways to rooms that are not required to be accessible do not need to comply with the requirements for circulation at doorways.

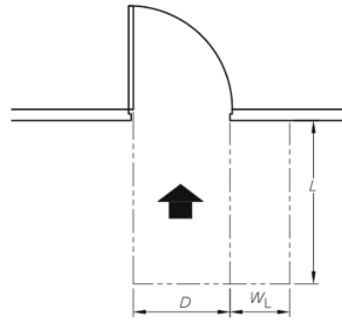
The following extracts from the Standard is provided by way of information.





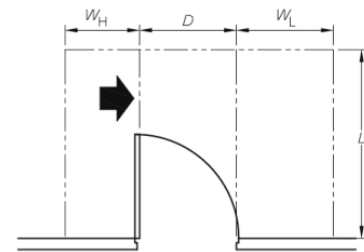
Dimension D	Dimension L	Dimension W_H	Dimension W_L
850	1240	560	660
900	1210	510	660
950	1175	460	660
1000	1155	410	660

(c) Either side approach,
door opens away from user



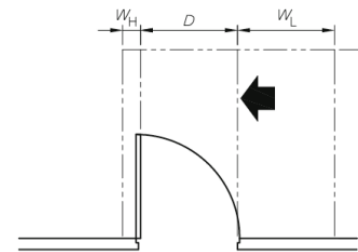
Dimension D	Dimension L	Dimension W_H	Dimension W_L
850	1450	0	510
900	1450	0	510
950	1450	0	510
1000	1450	0	510

(d) Front approach,
door opens away from user



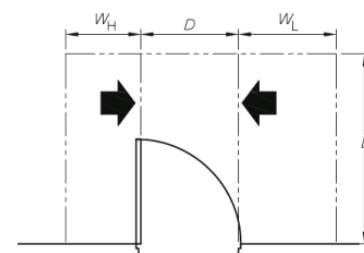
Dimension D	Dimension L	Dimension W_H	Dimension W_L
850	1670	660	900
900	1670	610	900
950	1670	560	900
1000	1670	510	900

(e) Hinge-side approach,
door opens towards user



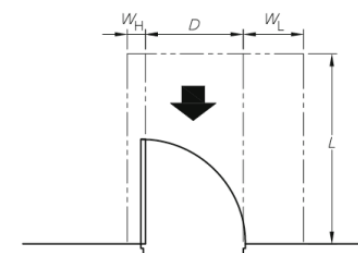
Dimension D	Dimension L	Dimension W_H	Dimension W_L
850	1670	110	900
900	1670	110	900
950	1670	110	900
1000	1670	110	900

(f) Latch-side approach,
door opens towards user



Dimension D	Dimension L	Dimension W_H	Dimension W_L
850	1670	660	900
900	1670	610	900
950	1670	560	900
1000	1670	510	900

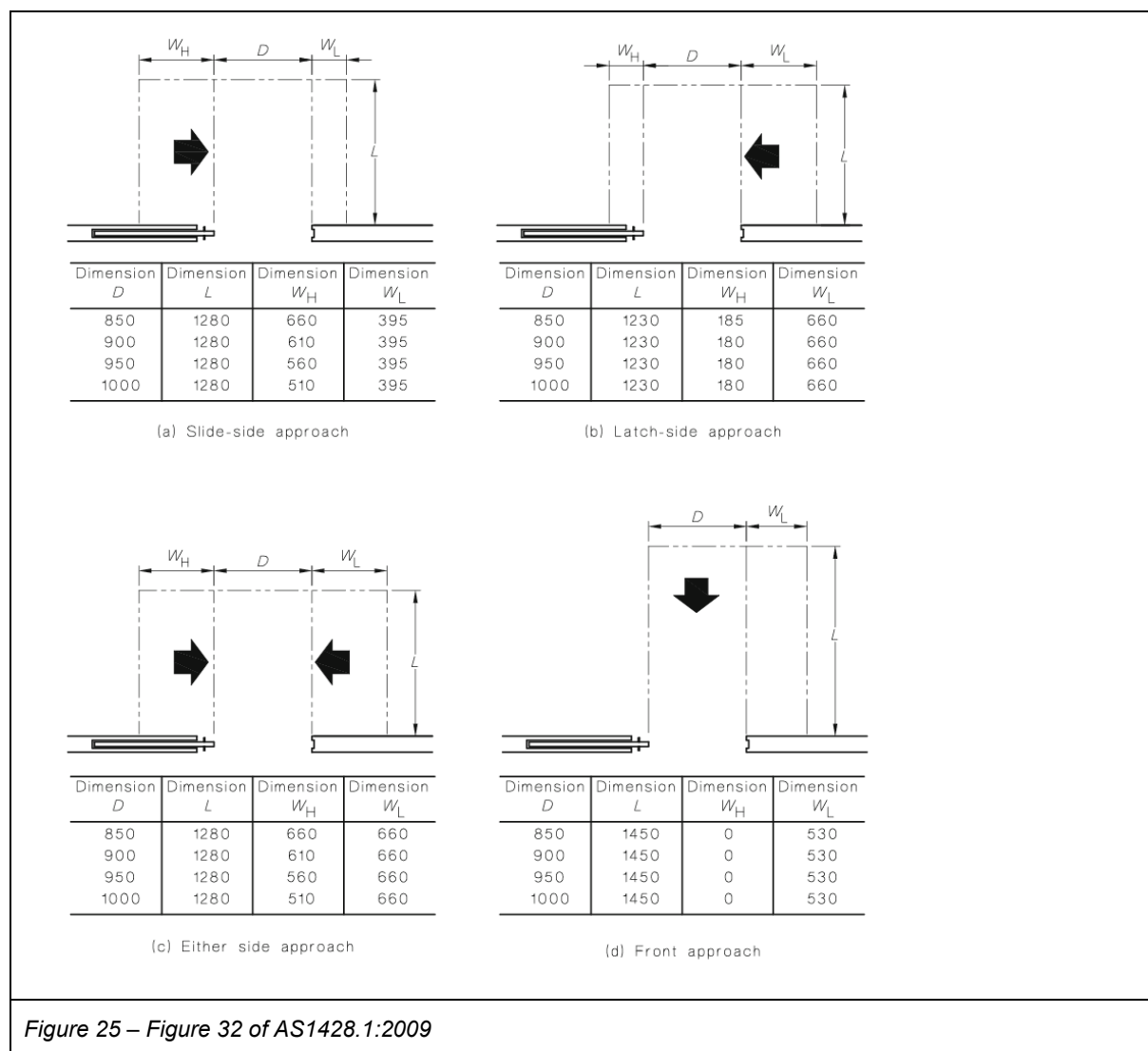
(g) Either side approach,
door opens towards user



Dimension D	Dimension L	Dimension W_H	Dimension W_L
850	1450	110	530
900	1450	110	530
950	1450	110	530
1000	1450	110	530

(h) Front approach,
door opens towards user

Figure 24 – Figure 31 of AS1428.1:2009



3.10.5. Door Closers (20N Force)

Where door closers are fitted to doors, other than fire doors associated with the fire stairs, the maximum force required to be applied to the door to open the door is not to be greater than 20N force. (Clause 13.5.2(e) AS1428.1:2009).

3.10.5. OC Door Closers – Certification of compliance that the doors installed with a door closer (other than fire rated doors) satisfy the provisions of Clause 13.5(e) of AS1428.1:2009 (20N Force) will be required for the issue of the Occupation Certificate.

3.10.6. Doorway Thresholds

Doors to all accessible rooms and common areas require a level threshold whereby the maximum lip shall be 3mm high for a straight edge or 5mm high for a bevelled edge. Specific attention is drawn to the doorways leading to outdoor areas. The following photograph is an example of a level threshold transition.



Figure 26 – Photograph of door threshold

3.11. Switches

NCC 2022 D1P1 Access for people with a disability
D4D2(8) General building access requirements

AS Reference: Clause 14 (Switches and General Purpose Outlets) of AS1428.1 2009

3.11.1. General

The operation of some of the doors within this development may be connected to the building access control system.

Requirement to be Satisfied: All switches and controls on an accessible path of travel, other than general purpose outlets, shall be located not less than 900 mm nor more than 1100 mm above the plane of the finished floor and not less than 500 mm from internal corners.

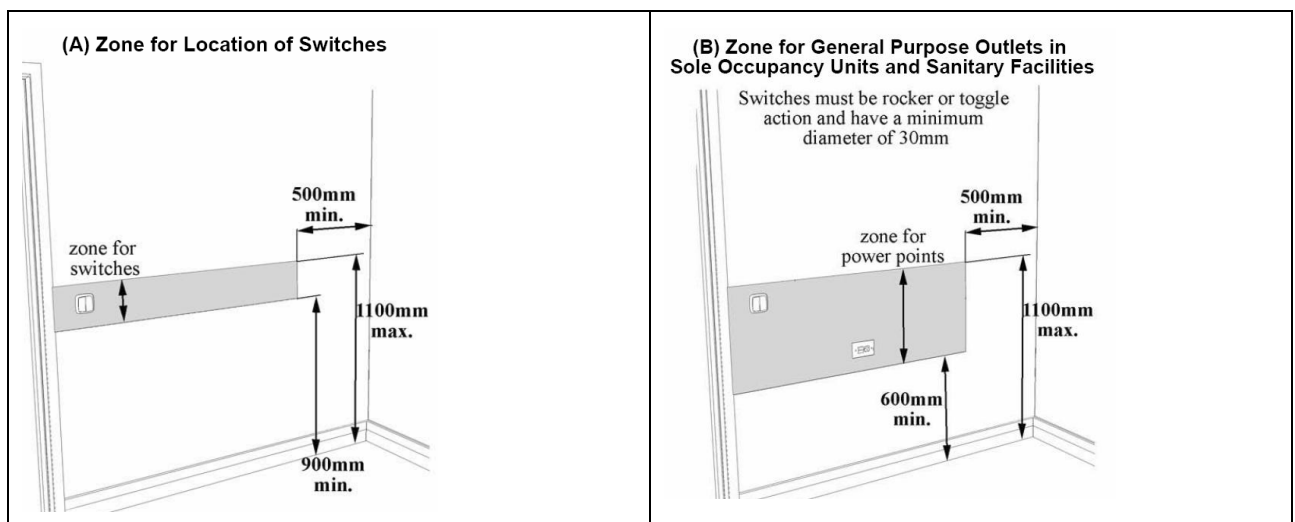
3.11.2. Video Intercoms

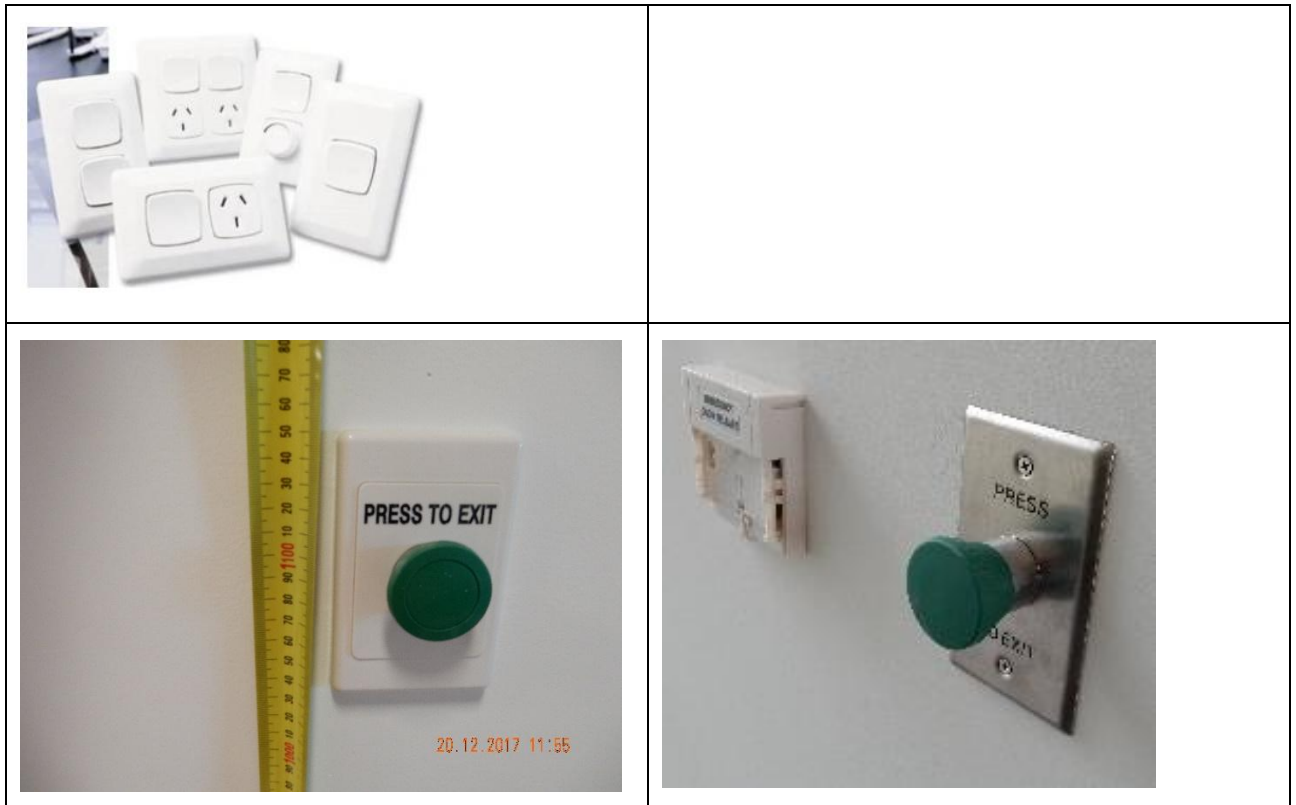
Any video intercom units will need to be installed in accordance with the manufacturer's instructions. The video intercom unit will need to be installed not closer than 500mm to an internal corner.

3.11.3. Access Control

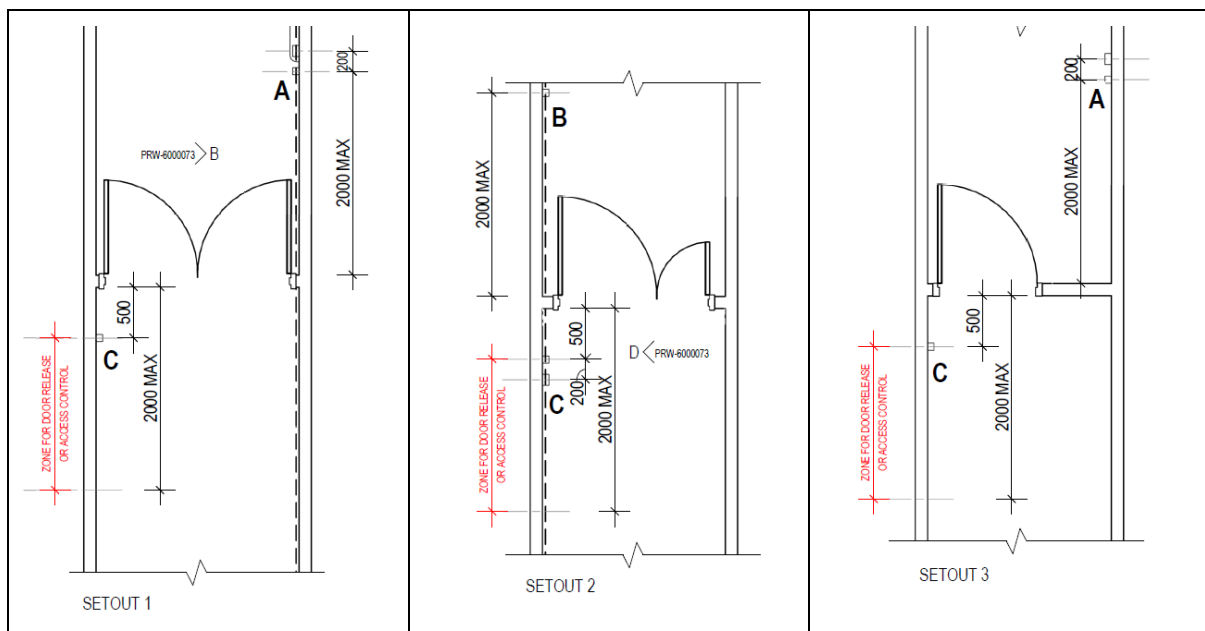
Access control swipe or fob readers will need to be installed between 900-1100mm AFFL and not closer than 500mm to an internal corner.

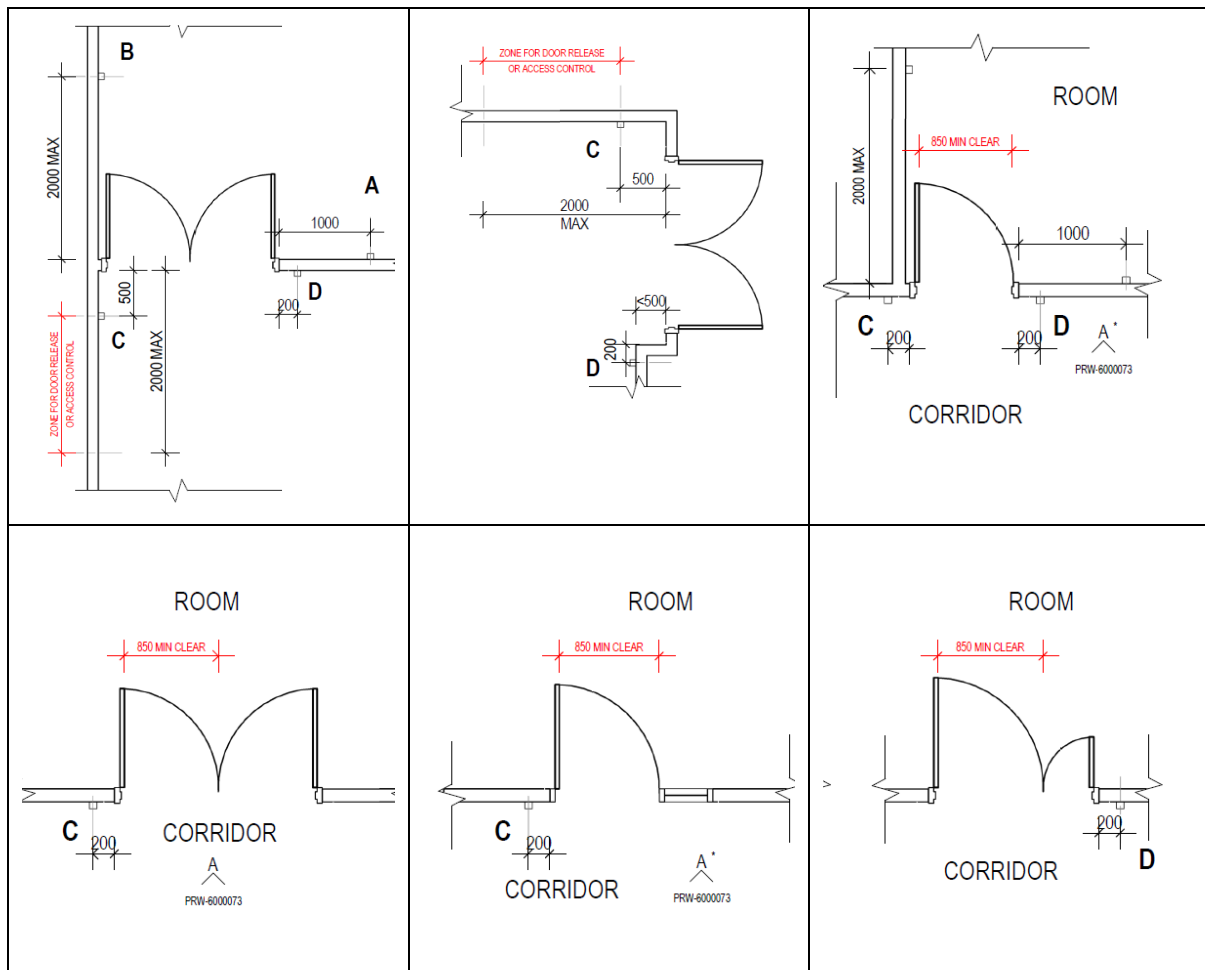
Door release buttons will need to be located between 900-1100mm AFFL and not closer than 500mm to an internal corner. The door release button will need to be the large format switches (35 x 35mm rocker switch) or the "mushroom" push button type.





The following diagrams have been prepared to indicate the location of Light switches card readers, push to exit buttons and the like in relation to doorways.





3.12. Vertical transport

NCC 2022:	D1P1 Access for people with a disability
	E3P4 Lift access for people with a disability
	D4D4(b) Parts of buildings to be accessible
	E3D7 Passenger Lifts Types and their limitations
	E3D8 Accessible features required for passenger lifts
AS Reference:	AS1735.12:1999 Lifts, Escalators and Moving Walks
	AS1735.12:2020 Lifts, Escalators and Moving Walks

3.12.1. Lifts - Overview

Passenger lifts will be provided as part of this development.

The detailing of the lift car will need to satisfy the requirements of NCC Clause E3D7 and E3D8, the provisions of AS1735.12.

The provision of a lift service designed to the provisions of AS1735.12:2020 will address the Categories of Disability considered at Annex A of AS1735.12.

3.12.2. AS1735.12:2020 Assessment

The lift design will need to satisfy the provisions of AS1735.12:2020. The following table identifies the accessible features to be provided.

CI	Requirement	Status																																		
5.1.2	Luminance Contrast (comply with Table 2) Table 2 — Minimum difference of light reflectance value (LRV) <table><tr><th rowspan="2">Clause</th><th rowspan="2">Item</th><th colspan="2">At landings</th><th colspan="2">In the car</th></tr><tr><th>Minimum LRV point difference</th><th>Viewing angle</th><th>Minimum LRV point difference</th><th>Viewing angle</th></tr><tr><td>Table 4, item c)</td><td>Active part of push buttons to their surrounding</td><td>30</td><td>45° above horizontal</td><td>30</td><td>45° above horizontal</td></tr><tr><td>Table 4, item d)</td><td>Face plate to its surrounding</td><td>30</td><td>Perpendicular</td><td>30</td><td>Perpendicular</td></tr><tr><td>Table 4, item j)</td><td>Symbols on push buttons to active areas</td><td>30 (60 recommended)</td><td>45° above horizontal</td><td>30 (60 recommended)</td><td>45° above horizontal</td></tr><tr><td>5.4.3.3 c)</td><td>Lift identification to background</td><td>30 (60 recommended)</td><td>Perpendicular</td><td>-</td><td>-</td></tr></table>	Clause	Item	At landings		In the car		Minimum LRV point difference	Viewing angle	Minimum LRV point difference	Viewing angle	Table 4, item c)	Active part of push buttons to their surrounding	30	45° above horizontal	30	45° above horizontal	Table 4, item d)	Face plate to its surrounding	30	Perpendicular	30	Perpendicular	Table 4, item j)	Symbols on push buttons to active areas	30 (60 recommended)	45° above horizontal	30 (60 recommended)	45° above horizontal	5.4.3.3 c)	Lift identification to background	30 (60 recommended)	Perpendicular	-	-	Additional Information to be provided
Clause	Item			At landings		In the car																														
		Minimum LRV point difference	Viewing angle	Minimum LRV point difference	Viewing angle																															
Table 4, item c)	Active part of push buttons to their surrounding	30	45° above horizontal	30	45° above horizontal																															
Table 4, item d)	Face plate to its surrounding	30	Perpendicular	30	Perpendicular																															
Table 4, item j)	Symbols on push buttons to active areas	30 (60 recommended)	45° above horizontal	30 (60 recommended)	45° above horizontal																															
5.4.3.3 c)	Lift identification to background	30 (60 recommended)	Perpendicular	-	-																															
5.1.3	When an audible signal or voice announcement is required, the sound shall be adjustable between 35dB(A) and at least 65dB(A) to suit the site conditions.	Additional Information to be provided																																		
5.2.1	The clear opening door width shall be at least 900mm for Type 2 cars	Additional Information to be provided																																		
5.2.2	Minimum door dwell time – 6s	Additional Information to be provided																																		

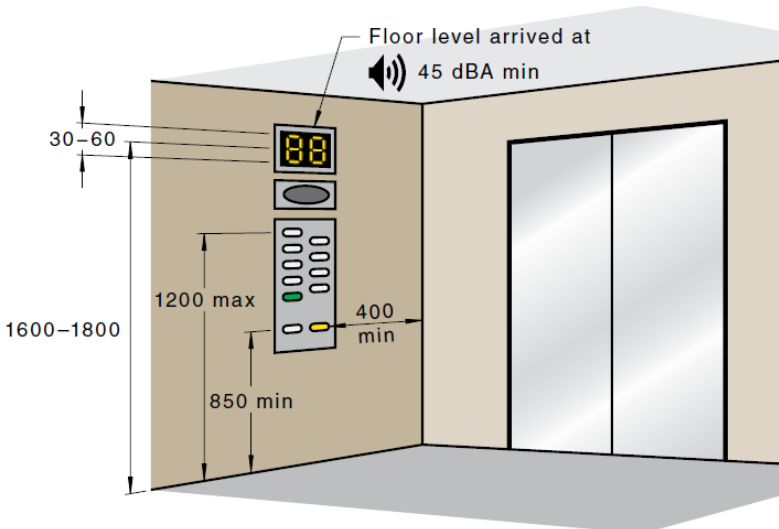
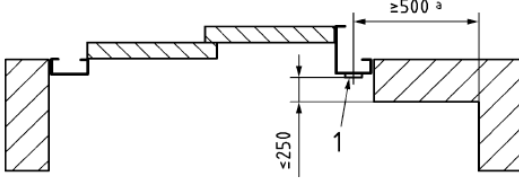
CI	Requirement	Status
5.3.1	Table 3 Minimum car dimensions - Type 2 lift car - 1100 x 1400mm (630kg) Car decorations that reduce the minimum car dimensions shall not exceed 15mm in thickness. Any protruding decorations shall not extend below 800mm AFFL.	Additional Information to be provided
5.3.2.1	A handrail shall be installed on the side wall where the car operating panel is located.	Additional Information to be provided
	(a) The handrail shall be interrupted where the car operating panel is located	Additional Information to be provided
	(b) Handrail length to be a minimum of 400mm	Additional Information to be provided
	(c) The cross section of the handrail is to be between 30-45mm with a minimum radius of 10mm	Additional Information to be provided
	(d) The distance between the wall and the gripping part of the handrail shall be at least 35mm	Additional Information to be provided
	(e) The top of the rail shall be 900+/-25mm AFFL	Additional Information to be provided
	(f) The ends of the rail shall be closed.	Additional Information to be provided
5.3.2.3	For Type 2 cars a device shall be installed to enable passengers to observe obstacles behind them when moving backwards out of the car	Additional Information to be provided
5.3.2.4	The car floor shall be slip resistant (P3/R10)	Additional Information to be provided
5.4.2	Control devices and signals for collective control systems (Refer to Table 4 of AS1735.12:2020) 	Additional Information to be provided

Figure ZA.1 — In car control station

CI	Requirement	Status
5.4.2.2	Landing control devices The minimum setout of landing control devices is to be as follows:  Key 1 landing button a preferably 700 Figure 3 — Arrangement of landing buttons	Additional Information to be provided
ZA.5.2	Raised tactile and braille signs identifying both the lift car and building level shall be provided on both sides of every lift landing door frame. Signs shall be visible from inside the lift car. 	Additional Information to be provided
ZA.6	Lift identification sign content shall be in accordance with AS1428.4.2.	Additional Information to be provided

3.12.2 Vertical transport - A lift installation certificate referencing the NCC performance requirement of EP4, NCC Clause E3.6 and AS1735.12:2020 will need to be provided for the issue of the OC Access Installation Certificate.

3.13. Accessible Sanitary Facilities

NCC 2022: D1P1(a)(iii) Access for people with a disability
 F4P1 Personal hygiene facilities
 F4D5 Accessible sanitary facilities
 F4D6 Accessible unisex sanitary compartments
 D4D7 Signage
 Specification 15 Braille and tactile signs

AS Reference: Clause 15 of AS1428.1:2009

3.13.1. Accessible sanitary facilities

The design proposes multiple accessible WCs within Building B of this development. The detail layout of the accessible WCs has not been provided.

The table following summarises the NCC requirements to be satisfied.

Accessible WC requirements as nominated at NCC Clause F4D5	Additional criteria to be satisfied	Criteria satisfied by the proposed design
(a) accessible unisex sanitary compartments must be provided in accessible parts of the building in accordance with F4D5(a) and	Accessible WC facilities are to be provided (a) 1 on every storey containing sanitary compartments; and (b) where a storey has more than 1 bank of sanitary compartments containing male and female sanitary compartments, at not less than 50% of those banks.	Satisfied
(b) accessible unisex showers must be provided in accordance with F4D5(b); and	Where 1 or more showers are provided, not less than 1 for every 10 showers or part thereof.	To be confirmed
(c) at each bank of toilets where there are one or more toilets in addition to an accessible unisex sanitary compartment at that bank of toilets, a sanitary compartment suitable for a person with an ambulant disability in accordance with AS 1428.1 must be provided for use by males and females; and		To be confirmed
(d) an accessible unisex sanitary compartment must contain a closet pan, washbasin, shelf or bench top and adequate means of disposal of sanitary towels; and		Information to be provided

Accessible WC requirements as nominated at NCC Clause F4D5	Additional criteria to be satisfied	Criteria satisfied by the proposed design
(e) the circulation spaces, fixtures and fittings of all accessible sanitary facilities provided in accordance with F4D5(e) must comply with the requirements of AS 1428.1; and		Information to be provided
(f) an accessible unisex sanitary facility must be located so that it can be entered without crossing an area reserved for one sex only; and		Satisfied
(g) where two or more of each type of accessible unisex sanitary facility are provided, the number of left and right handed mirror image facilities must be provided as evenly as possible; and		Information to be provided
(h) where male sanitary facilities are provided at a separate location to female sanitary facilities, accessible unisex sanitary facilities are only required at one of those locations; and		Satisfied
(i) an accessible unisex sanitary compartment or an accessible unisex shower need not be provided on a storey or level that is not required by D4D4(f) to be provided with a passenger lift or ramp complying with AS 1428.1.		Not applicable

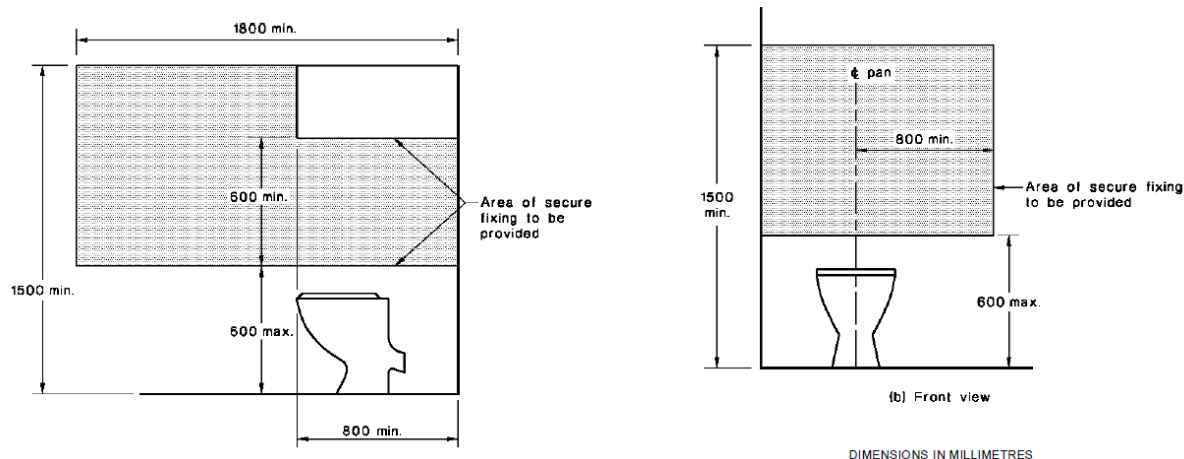
Details of the non-slip floor finish to the bathrooms will need to be provided.

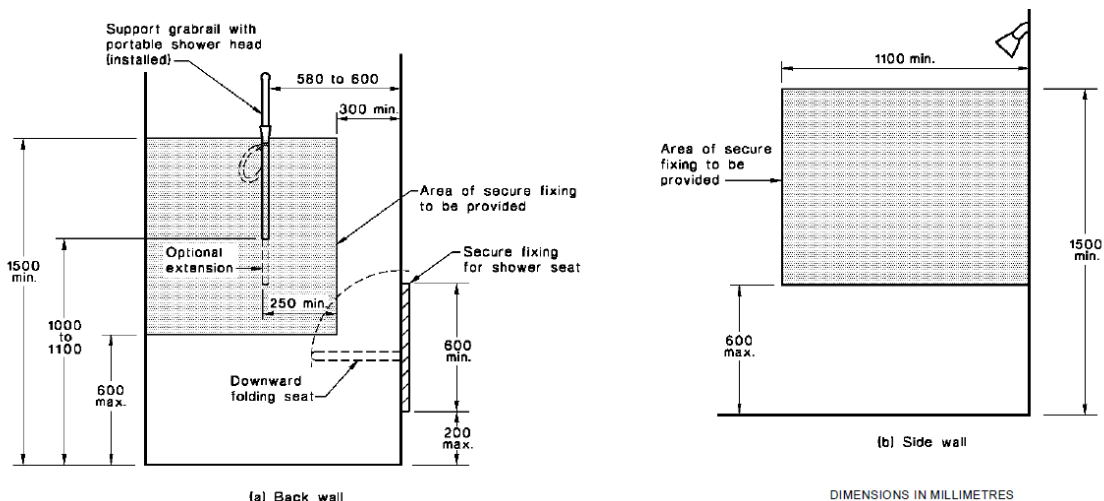
Locations of TMV(s) are to be provided as part of the Construction Certificate documentation.

Tap sets will need to be specified with lever or capstan handles.

3.13.2. Wall Reinforcement

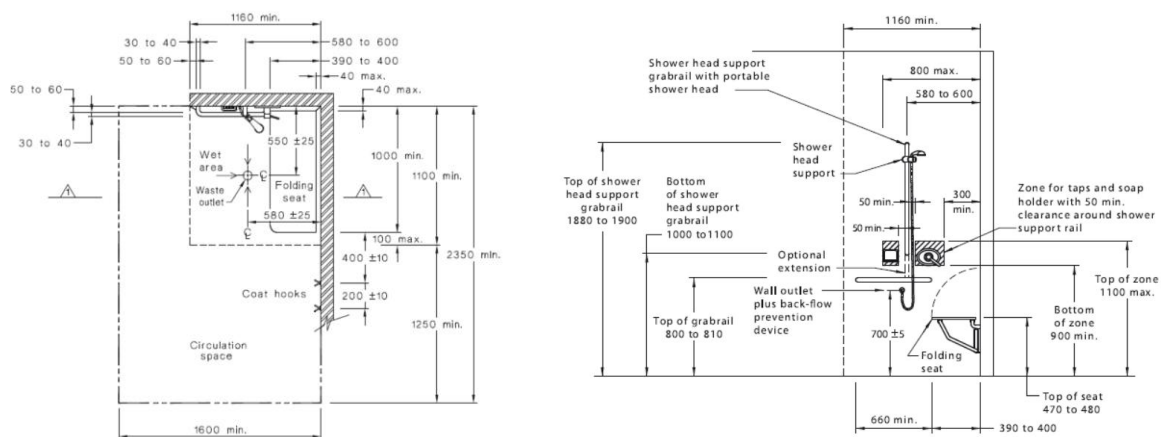
Provision of wall strengthening for grabrails will need to be provided adjacent to the WC and shower of all accessible sanitary facilities.





3.13.3. Shower Compartment

The shower compartment will need to have an area of 1160 x 1100mm. The position of the shower rose, tapware and the soap holder recess will need to be compliant to the provisions of Clause 15 of AS1428.1.



Specific attention is directed to the requirement of the length of the hose associated with the shower rose. The Standard requires the length of the hose to be 1500mm. The placement of the hose connection point results in the possibility of the shower head reaching the WC bowl which is prohibited by the Australian Standards. The detailing of this configuration will need to be resolved as part of the detailed documentation of detailed construction certificate documentation.

3.13.6. Grabrails

Clause 17-Handrails of AS1428.1:2009 specifies the clearance requirement for grabrails.

The clearance between a grabrail and the adjacent wall surface or other obstruction shall be not less than 50 mm and not more than 60 mm. The clearance above a horizontal grabrail shall extend above the top of the grabrail by not less than 600 mm. The clearance below a horizontal or angled rail shall be a minimum of 50 mm except at fixing points.

Grabrails shall be fixed so that there is no obstruction to the passage of the hand along the top 270° arc of horizontal and angled grabrails. There shall be no obstruction to the passage of the hand for the full length of vertical grabrails.

The toilet roll dispenser shall therefore not be installed less than 50mm from underneath the grabrail.

3.13.7. Summary

The following is a summary of requirements to satisfy the WC provisions of AS1428.1:2009:

- | | |
|----------------------------------|---|
| • Entry Door | The detailing of the circulation at doorways shall comply with the provisions of Clause 13 of AS1428.1:2009 |
| • Entry door | The luminance contrast provisions at the doorway shall comply with the provisions of Clause 13.1 of AS1428.1:2009 |
| • Force required to operate door | The force required to operate the door if fitted with a door closer is a maximum of 20N. It is assumed that autodoors will not be installed |
| • Door hardware | The position of door hardware is to be located between 900-1100mm AFFL. |
| • WC pan circulation | 1900×2300mm |
| • hand basin circulation | 850×1500mm, the basin may encroach a maximum of 100 mm into the circulation space of the adjacent WC pan circulation |
| • WC pan offset from side wall | 450/460 mm |
| • WC pan offset from rear wall | 800±10 mm |
| • WC pan backrest | to code requirements |
| • WC pan toilet seat | The toilet seat will need to be the full round type, securely fixed in position, be rated 250 KG and have a minimum limits contrast of 30% with the background pan, wall or floor against which it is viewed. |
| • WC pan grab rails | Grab rail to be mounted 800 mm above finish floor level, length of grab rail to be 1050 mm from rear wall, install 300 mm grab rail to left-hand side of the WC pan. It is assumed that the walls to which the grab rails are fixed will have the required 1100N force rating wall reinforcement required by the standard |
| • Hand basin mounting height | Top of hand basin to be 800/830 mm above finish floor level |
| • Hand basin clearances | The clearances around and under the hand basin need to comply with the provisions of clause 15.3 of AES 1428.1:2009. Specific attention is drawn to the plumbing installation where the required clearances under the hand basin necessitate special consideration of the bottle trap associated with the hand basin |
| • Hand basin selection | The detailing of the hand basin requires the installation of a shelf unit. It may be possible to specify a hand basin that incorporates a shelf section thereby eliminating an additional component to be installed in the USAT |

- Hand basin mirror
The mirror is to be flush mounted on the wall above the sink the bottom of the mirror is to be no more than 900 mm above the finish floor level and the top of the mirror is to be a minimum of 1850 mm above the finish floor level
- Hand basin tap
It is recommended that a lever hand basin tap be installed in lieu of the capstan type
- Toilet roll holder
The position of the toilet roll holder is to be in accordance with code requirements
- Coat hooks
Coat hooks can be installed 1200 to 1350 mm above finish floor level and not closer than 500 mm from an internal corner. The coat hook can be installed on the wall or on the back of the door
- Soap dispensers/hand towel
These items are to be able to be operated by one hand and shall be installed so that the tap or dispenser is not less than 900 and not more than 1100 mm above the finish floor level.
- Braille Tactile Signage
The detailing of the Braille Tactile Signage will need to comply with the provision of NCC Clause D3.6 and NCC Specification D3.6. The location of the Braille Tactile sign is to be mounted on the latchside wall. The sign is to indicate the handing of the grabrails to the WC Pan. The following is an example of the type of information to be provided in the Braille Tactile Sign.
Details of Braille tactile signage are highlighted in the above Signage section of this report.

3.14. Ambulant Sanitary Facilities

NCC 2022:	D1P1(a)(iii) Access for people with a disability
	F4P1 Personal hygiene facilities
	F4D5(c) Accessible sanitary facilities
	D4D7 Signage
	Specification 15 Braille and tactile signs
AS Reference:	Clause 16 of AS1428.1:2009

3.14.1. Requirements to be satisfied

The NCC Clause F4D5(c) nominates *at each bank of toilets where there are one or more toilets in addition to an accessible unisex sanitary compartment at that bank of toilets, a sanitary compartment suitable for a person with an ambulant disability in accordance with AS 1428.1 must be provided for use by males and females.*

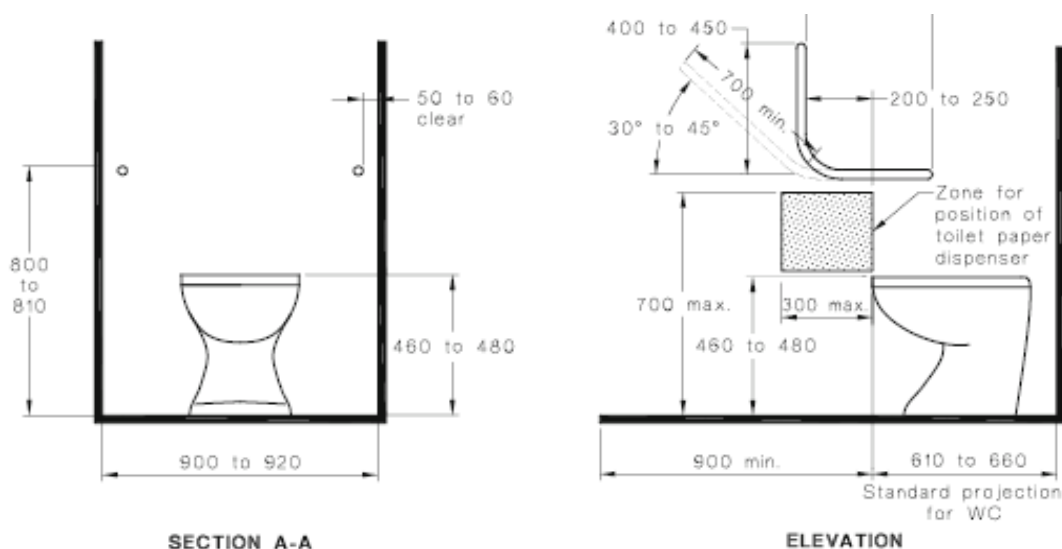
3.14.2. Review

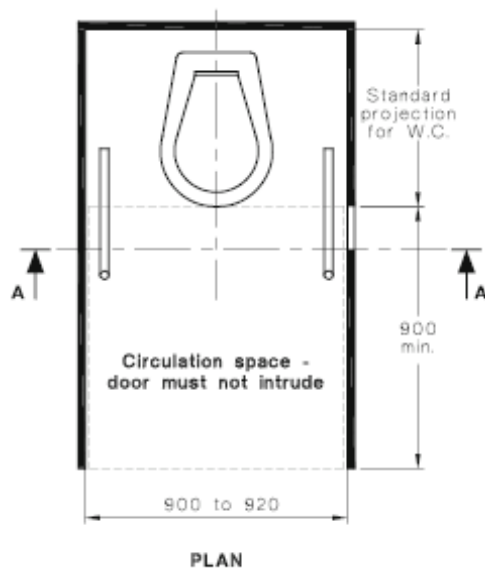
The plans indicate WCs on each level of Building B. Male and female ambulant WCs will need to be provided at each level of the building where sanitary compartments are provided.

Where ambulant sanitary facilities are provided the ambulant WC pan is to be compliant to the provisions of AS1428.1:2009 and not AS1428.1:2021. AS 1428.1:2021 is not referenced by NCC 2022. Some suppliers indicate their WC pans are complaint to AS1428.1:2021 and the sizing of the pan is not compliant to AS1428.1:2009. The depth of the pan is to be 610-660mm.

3.14.3. Features of ambulant WC Cubicles

The following extracts from the Australian Standard nominate the requirements for the fitout of the ambulant WC Cubicles.





3.14.4. Ambulant WC Cubicles - Circulation

The following extracts from the Australian Standard nominate the circulation requirements for ambulant WC Cubicles.

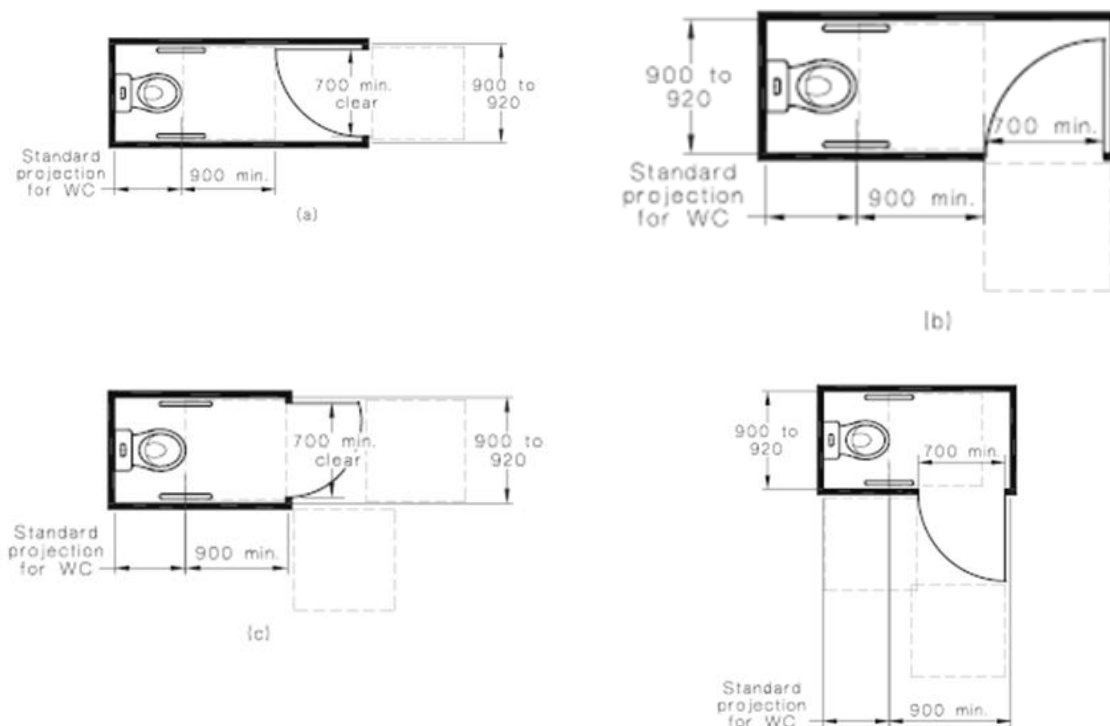
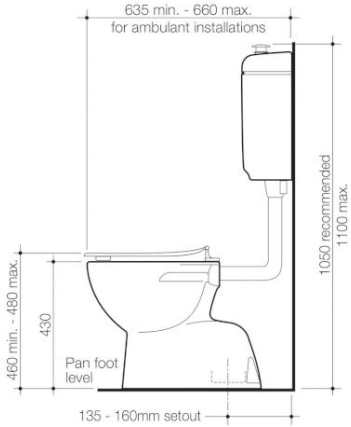
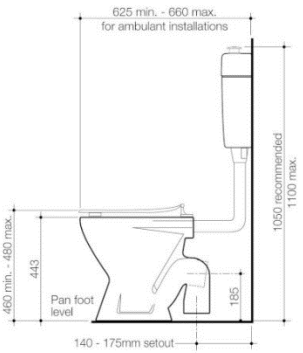
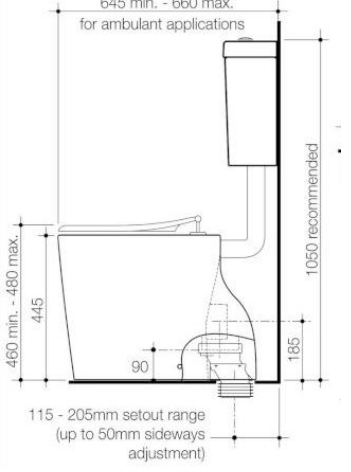
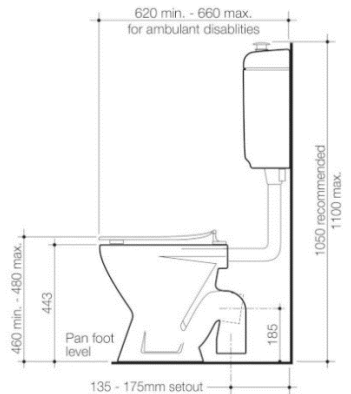


Figure 28 – Fig.53 AS1428.1 2009

3.14.5. Ambulant WC Pans (Examples)

The following selection from CAROMA are examples of compliant Ambulant WC Pans.

 CARE 400 CONNECTOR SUITE	 CARE 100 V2 CONNECTOR SUITE	 CARE 610 CLEANFLUSH CONNECTOR SUITE and CARE 200 V2 CONNECTOR SUITE
 CARE 300 CONNECTOR SUITE	 URBANE WALL FACED TOILET SUITE	

3.14.6. Ambulant WC Hardware (Examples)

The fit off of the ambulant WC Cubicles will need to include for the following hardware.



A sliding lock can be specified



*Robe Hook to be located between 1350-1500mm
AFFL*

3.15. Carparking

NCC 2022:	D1P1(a)(iii) Access for people with a disability
	D1P8 Carparking for people with disability
	D4D6 Accessible Parking
AS Reference:	AS 2890.6:2009 Carparking
	AS 1680.2.1:2008 Carparking (undercover)

3.15.1. Carparking - overview

The plan proposes parking within the basements of this development.

Drawing A1DA01 provides a summary table of the parking to be provided in this development.

Building A	42 Parking spaces
Building C	42 Parking spaces
Building E	23 Parking spaces
Building B (RCF)	27 Parking spaces

This access report is to be read in conjunction with the Traffic report prepared by Colston Budd Rogers & Kafes PTY Ltd addressing the sizing of the parking spaces as an alternative approach to the requirements of SEPP Housing. This report relies on the expert advice provided by the Traffic consultants.

3.15.2. Carparking ILU Component - overview

SEPP Housing requires the provision of parking for the independent living units component of this development to satisfy Schedule 4 Part 1 (4)(c):

If parking spaces associated with a class 1, 2 or 3 building under the Building Code of Australia are provided in a common area for use by occupants who are seniors or people with a disability, the following applies for a group of 8 or more parking spaces

- (i) *at least 15% of the parking spaces must comply with AS/NZS 2890.6, and*
- (ii) *at least 50% of the parking spaces must—*
 - (A) *comply with AS/NZS 2890.6, or*
 - (B) *be at least 3.2m wide and have a level surface with a maximum gradient of 1:40 in any direction*

3.15.3. Carparking RCF Component - overview

The plan provides for 27 parking spaces for the RCF component of this development. Compliance with NCC Clause D4D6(b) requires the provision of 1 accessible parking space per 100 parking spaces provided. The design is to nominate 1 accessible parking space for the RCF component of this development. The detailing of the accessible parking space is to be compliant to AS2890.6:2009.

3.15.4. Carparking – Line marking (Commercial)

The line marking associated with the accessible parking spaces for the RCF and visitor parking components of this development will need to satisfy the provisions of Section 3 of AS2890.6:2009. The international symbol for access shall be marked in accordance with Figure 3.1 of AS2890.6:2009.

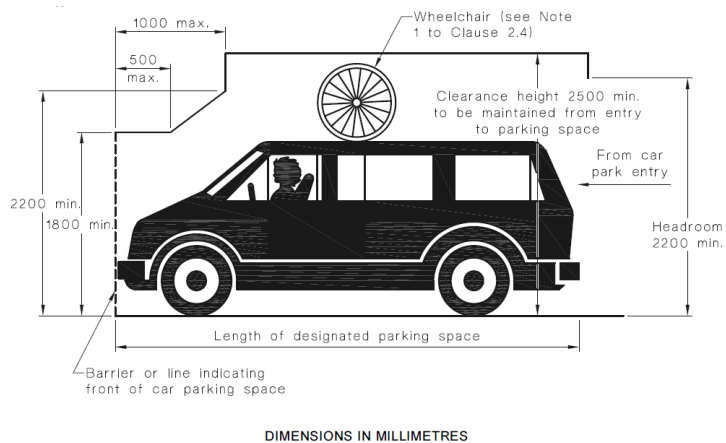


FIGURE 2.7 HEADROOM REQUIRED ABOVE CAR SPACES FOR PEOPLE WITH DISABILITIES

Figure 29 – Fig. 2.7 of Section 2 AS2890.6 2009

3.16. Unit designs

3.16.1. DCP requirements

The development comprises 64 dwellings. Section 4Q of the Apartment Design Guidelines requires that 20% of all dwellings provided satisfy the requirements of the LHA Design Guidelines.

A total of 21 Dwellings are nominated on plans to satisfy this requirement. The provisions of Section 4Q of the Apartment Design Guidelines are satisfied by this proposal.

3.16.2. Silver LHA dwellings

The table following identify the silver LHA design guideline requirements to be achieved in this development.

1. DWELLING ACCESS	
SILVER CRITERIA	ASSESSMENT
a. Provide a safe and continuous pathway from:	
i. the front boundary of the allotment; or	Information to be provided with CC
ii. a car parking space, where provided, which may include the driveway on the allotment, to an entrance that is level (step- free) as specified in Element 2.	N/A
b. The path of travel as referred to in (a) should have a minimum clear width of 1000mm and –	Information to be provided with CC
i. an even, firm, slip resistant surface;	Information to be provided with CC
ii. a crossfall of not more than 1:40;	Information to be provided with CC
iii. a maximum pathway slope of 1:14, with landings provided at no greater than 9m for a 1:14 ramp and no greater than 15m for ramps steeper than 1:20. Landings should be no less than 1200mm in length; and	Information to be provided with CC
iv. be step-free	Information to be provided with CC
c. A step ramp may be incorporated at an entrance doorway where there is a change in height of 190mm or less. The step ramp should provide:	N/A
i. a maximum gradient of 1:10	N/A
ii. a minimum clear width of 1000mm (please note: width should reflect the pathway width)	N/A
iii. a maximum length of 1900mm	N/A
Level landings no less than 1200mm in length, exclusive of the swing of the door or gate than opens onto them, must be provided at the head and foot of the ramp	N/A

2. DWELLING ENTRANCE	
SILVER CRITERIA	ASSESSMENT
a. The dwelling should provide an entrance door with -	
i. a minimum clear opening width of 820mm;	Information to be provided with CC

2. DWELLING ENTRANCE	
SILVER CRITERIA	ASSESSMENT
ii. a level (step-free) transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or bevelled); and	Information to be provided with CC
iii. reasonable shelter from the weather.	Satisfied
b. A level landing area of at least 1200mm x 1200mm should be provided at the level (step free) entrance door	Satisfied
c. Where the threshold at the entrance exceeds 5mm and is less than 56mm, a ramped threshold may be provided (see Figure 1(b))	N/A
d. The level (step-free) entrance should be connected to the safe and continuous pathway as specified in Element 1	Information to be provided with CC
The entrance must incorporate waterproofing and termite management requirements as specified in the NCC.	Information to be provided with CC

3. INTERNAL DOORS & CORRIDORS	
SILVER CRITERIA	ASSESSMENT
a. Doorways to rooms on the entry level used for living, dining, bedroom, bathroom, kitchen, laundry and sanitary compartment purposes should provide	
i. a minimum clear opening width of 820mm and	Information to be provided
ii. a level transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or bevelled).	Information to be provided
b. Internal corridors/passageways to the doorways referred to in (a) should provide a minimum clear width of 1000mm	Information to be provided with CC

4. TOILET	
SILVER CRITERIA	ASSESEMNT
a. Dwellings should have a toilet on the ground (or entry) level that provides:	
i. a minimum clear width of 900mm between the walls of the bathroom if located in a separate room; and	Information to be provided with CC
ii. a minimum 1200mm clear circulation space forward of the toilet pan exclusive of the swing of the door in accordance with Figure 3(a).	Information to be provided with CC
b. If the toilet is located within the ground (or entry) level bathroom, the toilet pan should be located in the corner of the room to enable the installation of grabrails	Satisfied

5. SHOWER	
SILVER CRITERIA	ASSESSMENT
a. One bathroom should feature a slip resistant, hobless (step- free) shower recess. Shower screens are permitted provided they can be easily removed at a later date	Information to be provided with CC
b. The shower recess should be located in the corner of the room to enable the installation of grabrails at a future date	Information to be provided with CC

6. REINFORCEMENT OF BATHROOM & TOILET WALLS	
SILVER CRITERIA	ASSESSMENT
a. Except for walls constructed of solid masonry or concrete, the walls around the shower, bath (if provided) and toilet should be reinforced to provide a fixing surface for the safe installation of grabrails.	Information to be provided with CC
b. The walls around the toilet are to be reinforced by installing: i. noggings with a thickness of at least 25mm in accordance with Figure 6(a); or ii. sheeting with a thickness of at least 12mm in accordance with Figure 6(b).	
c. The walls around the bath are to be reinforced by installing: i. noggings with a thickness of at least 25mm in accordance with Figure 7(a); or ii. sheeting with a thickness of at least 12mm in accordance with Figure 7(b).	
d. The walls around the hobless shower recess are to be reinforced by installing: i. noggings with a thickness of at least 25mm in accordance with Figure 8(a); or ii. sheeting with a thickness of at least 12mm in accordance with Figure 8(b).	

7. INTERNAL STAIRWAYS	
SILVER CRITERIA	ASSESSMENT
a. Stairways in dwellings must feature: i. a continuous handrail on one side of the stairway where there is a rise of more than 1m.	N/A

3.17. Lighting

Australian Standard Reference: Clause 19 of AS1428.2:1992
Appendix D of AS1680.2.1:2008

The plans presently do not indicate the minimum lighting levels to be achieved. It will be necessary that the Construction Certificate documentation confirm that the minimum lighting levels nominated by the Australian Standards are achieved.

In addition to the minimum lighting levels identified at Clause 19 of AS1428.2:1992 the provisions of Table D1 of AS168.2.1:2008 which nominates interior light levels to be achieved must be considered.

The following table schedules the lighting levels nominated within the Australian Standards for accessibility:

LOCATION	CLAUSE 19 AS1428.2:1992	APPENDIX D AS1680.2.1:2008
Entrances, passages & walkways	150lx	160lx
Corridors Passageways	-	40lx
Accessible parking spaces	-	40lx

3.18. Adaptable Housing

Australian Standard Reference: AS4299:1995 Adaptable Housing
Appendix A of AS4299:1995 Class C

20% of all dwellings within this development will need to be adaptable to satisfy Councils DCP requirements.

Compliance:	Accessible path of travel – The ILU component of this development is being provided to meet the requirements of SEPP Housing 2021. The provision of this accommodation satisfies the adaptable housing requirements of the DCP.
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3.19. SEPP Housing

SEPP Housing 2021	Comment
3 Letterboxes (1) Letterboxes (a) must be located on a hard standing area, and (b) must have wheelchair access by a continuous accessible path of travel from the letterbox to the relevant dwelling, and (c) must be lockable by a lock that faces a wheelchair accessible path.	This requirement is capable of being satisfied
(2) If a structure contains multiple letterboxes, the structure must be in a prominent location.	This requirement is capable of being satisfied
(3) At least 20% of the letterboxes on the site must be more than 600mm and less than 1,200mm above ground level (finished).	This requirement is capable of being satisfied
4 Car parking (2) If parking spaces associated with a class 1, 2 or 3 building under the Building Code of Australia are provided in a common area for use by occupants who are seniors or people with a disability, the following applies— (a) for a parking space not in a group—the parking space must comply with AS/NZS 2890.6, (b) for a group of 2–7 parking spaces— (i) at least 1 of the parking spaces must comply with AS/NZS 2890.6, and (ii) 50% of the parking spaces must— (A) comply with AS/NZS 2890.6, or (B) be at least 3.2m wide and have a level surface with a maximum gradient of 1:40 in any direction, (c) for a group of 8 or more parking spaces— (i) at least 15% of the parking spaces must comply with AS/NZS 2890.6, and (ii) at least 50% of the parking spaces must— (A) comply with AS/NZS 2890.6, or (B) be at least 3.2m wide and have a level surface with a maximum gradient of 1:40 in any direction.	Information is to be provided from the architects.
(3) To avoid doubt, a parking space that complies with AS/NZS 2890.6 is only counted toward 1 of the requirements in subsection (2)(b)(i) or (ii) or (c)(i) or (ii)	Information is to be provided from the architects.
(4) At least 5% of any visitor parking spaces must comply with AS/NZS 2890.6:2009	Information is to be provided from the architects.
(5) A parking space required by this section to comply with AS/NZS 2890.6, other than a visitor parking space, is not required to include the international symbol of access.	Information is to be provided from the architects.

SEPP Housing 2021	Comment
(6) If multiple parking spaces are accessible by a common access point, the access point must be secured by a power-operated garage door, vehicle gate, vehicle barrier or similar device	This requirement is capable of being satisfied
(7) A parking space, other than a parking space under subsection (6), must be— (a) secured by a power-operated door, or (b) capable of accommodating the installation of a power-operated door, including by having— (i) access to a power point, and (ii) an area for motor or control rods for a power-operated door.	This requirement is capable of being satisfied
(8) A requirement in this section for a parking space to comply with AS/NZS 2890.6 extends to the associated shared area within the meaning of AS/NZS 2890.6.	This requirement is capable of being satisfied
(9) In this section, a parking space is in a common area if it is not attached to or integrated with a hostel or independent living unit	Not Applicable
5 Accessible entry (1) The main entrance to a dwelling must have— (a) a clear opening that complies with AS 1428.1, and (b) a circulation space in front of the door and behind the door that complies with AS 1428.1.	This requirement is capable of being satisfied
(2) This section does not apply to an entry for employees.	Noted
6 Interiors (1) An internal doorway must have an unobstructed opening that complies with AS 1428.1.	This requirement is capable of being satisfied
(2) An internal corridor must have an unobstructed width of at least 1,000mm.	This requirement is capable of being satisfied
(3) The circulation spaces in front of and behind an internal doorway in the following areas must comply with AS 1428.1— (a) a kitchen, (b) a laundry, (c) a bathroom, (d) a toilet, (e) a bedroom (f) a living area, (g) the main area of private open space.	This requirement is capable of being satisfied
(4) To avoid doubt, subsection (3)(b) does not apply to laundry facilities in a cupboard.	This requirement is capable of being satisfied

SEPP Housing 2021	Comment
7 Bedroom At least one bedroom in a dwelling must have the following— (a) a clear area, not including a circulation space, sufficient to accommodate— (i) for a hostel—a wardrobe and a single-size bed, or (ii) for an independent living unit—a wardrobe and a queen-size bed, (b) a clear area around the area for the bed of at least— (i) 1,200mm at the foot of the bed, and (ii) 1,000mm on each side of the bed, (c) at least 2 double general power outlets on the wall where the head of the bed is likely to be, (d) at least one general power outlet on the wall opposite the wall where the head of the bed is likely to be.	This requirement is capable of being satisfied
8 Bathroom (1) At least one bathroom in a dwelling must be located on— (a) the same floor as the entry to the dwelling, or (b) a floor serviced by a private passenger lift accessible only from inside the dwelling	This requirement is capable of being satisfied
(2) The bathroom must have the following— (a) a slip resistant floor surface that achieves a minimum rating of P3 in accordance with AS 4586—2013, (b) a washbasin with tap ware capable of complying with AS 1428.1, including by future adaptation if the washbasin and tap ware continue to use existing hydraulic lines,	This requirement is capable of being satisfied
(c) a shower that— (i) is accessible without a shower-hob or step, and (ii) complies with the requirements of AS 1428.1 for the entry, circulation space, floor gradient to the wastewater outlet and location of the mixer tap, and (iii) is in the corner of a room, and (iv) has a wall capable of accommodating the installation of a grab rail, portable shower head with supporting grab rail and shower seat, in accordance with AS 1428.1,	This requirement is capable of being satisfied
(d) a wall cabinet with shelving illuminated by an illumination level of at least 300 lux, (e) a double general power outlet in an accessible location, in accordance with AS 1428.1.	This requirement is capable of being satisfied
(3) Subsection (2)(c) does not prevent the installation of a shower screen that can easily be removed to enable compliance with that paragraph.	Noted

SEPP Housing 2021	Comment
9 Toilet (1) At least one toilet in a dwelling must be located on— (a) the same floor as the entry to the dwelling, or (b) a floor serviced by a private passenger lift accessible only from inside the dwelling. (2) The toilet must have the following— (a) a water closet pan— (i) in the corner of the room, and (ii) with a centreline set-out in accordance with AS 1428.1, (b) a circulation space in front of the water closet pan that is— (i) at least 1,200mm long and at least 900mm wide, and (ii) clear of door swings and fixtures, other than a toilet paper dispenser or grab rails, (c) a circulation space around the water closet pan that complies with AS 1428.1, (d) a slip resistant floor surface that achieves a minimum rating of P3 in accordance with AS 4586—2013, (e) a wall capable of accommodating the installation of a back rest and grab rail that will comply with AS 1428.1.	This requirement is capable of being satisfied
(3) A removable shower screen may be located in the circulation space specified in subsection (2)(c).	Noted
10 Surfaces of balconies and external paved areas Balconies and external paved areas must have surfaces that are slip resistant and comply with— (a) the Building Code of Australia, or (b) the Standards Australia Handbook SA HB 198:2014, Guide to the specification and testing of slip resistance of pedestrian surfaces, published on 16 June 2014.	This requirement is capable of being satisfied
11 Door hardware (1) Door handles and hardware for all doors, including entry doors and external doors, must comply with AS 1428.1. (2) To avoid doubt, subsection (1) does not apply to cabinetry.	This requirement is capable of being satisfied
12 Switches and power points (1) Switches and power points must— (a) comply with AS 1428.1, or (b) be capable of complying with AS 1428.1 through future adaptation. (2) Subsection (1) does not apply to— (a) remote controls, or (b) power points likely to serve appliances that are not regularly moved or turned off.	This requirement is capable of being satisfied

SEPP Housing 2021	Comment
15 Bedroom At least one bedroom in an independent living unit that complies with this schedule, section 7 must be located on— (a) the same floor as the entry to the unit, or (b) a floor serviced by a private passenger lift accessible only from inside the unit.	This requirement is capable of being satisfied
16 Living room (1) A living room in an independent living unit must be located on— (a) the same floor as the entry to the dwelling, or (b) a floor serviced by a private passenger lift accessible only from inside the dwelling. (2) The living room must have— (a) a circulation space that— (i) is clear of all fixtures, and (ii) has a diameter of at least 2,250mm, and (b) a telecommunications or data outlet adjacent to a general power outlet.	This requirement is capable of being satisfied
17 Main area of private open space The main area of private open space for an independent living unit must be located on— (a) the same floor as the entry to the dwelling, or (b) a floor serviced by a private passenger lift accessible only from inside the dwelling.	This requirement is capable of being satisfied
18 Kitchen (1) A kitchen in an independent living unit must be located on— (a) the same floor as the entry to the dwelling, or (b) a floor serviced by a private passenger lift accessible only from inside the dwelling.	This requirement is capable of being satisfied
(2) The kitchen must have a circulation space with a diameter of at least 1,200mm between each bench top, cupboard or large appliance and each other bench top, cupboard or large appliance.	This requirement is capable of being satisfied
(3) Each circulation space specified in subsection (2) must be capable of being increased to a diameter of 1,550mm without— (a) relocating the sink, or (b) moving a load-bearing wall, or (c) breaching another circulation requirement.	This requirement is capable of being satisfied

SEPP Housing 2021	Comment
(4) The kitchen must have the following fittings— (a) a bench that includes at least one work surface that is— (i) at least 800mm long, and (ii) clear of obstructions, and (iii) not in the corner of the room, (b) a lever tap set with the lever and water source that is within 300mm of the front of the bench, (c) a cooktop next to the work surface, (d) an isolating switch for the cooktop, (e) an oven that— (i) has operative elements between 450mm and 1,250mm above the finished floor level, and (ii) is next to the work surface, (f) at least one double general power outlet located within 300mm of the front of a work surface.	This requirement is capable of being satisfied
(5) The cupboards must— (a) not be entirely located in the corner of the bench or the corner of the room, and (b) face where the user of the fixture is likely to be	This requirement is capable of being satisfied
(6) An overhead cupboard in the kitchen must be capable of being fitted with “D” pull cupboard handles towards the bottom of the cupboard.	This requirement is capable of being satisfied
(7) A below-bench cupboard in the kitchen must be capable of being fitted with “D” pull cupboard handles towards the top of the cupboard.	This requirement is capable of being satisfied
(8) The lever tap set, cooktop, isolating switch, oven and double general power outlet must— (a) not be in the corner of the bench or the corner of the room, and (b) face where the user of the fixture is likely to be.	This requirement is capable of being satisfied
(9) Cabinetry below a work surface must be able to be easily removed to allow wheelchair access to the work surface.	This requirement is capable of being satisfied
19 Laundry (1) A laundry in an independent living unit must be located on— (a) the same floor as the entry to the dwelling, or (b) a floor serviced by a private passenger lift accessible only from inside the dwelling. (2) The laundry must have the following— (a) a circulation space that complies with AS 1428.1 at the approach to any external doors, (b) an appropriate space for an automatic washing machine and a clothes dryer, (c) a clear space in front of each appliance of at least 1,550mm, (d) a slip resistant floor surface that achieves a minimum rating of P3 in accordance with AS 4586—2013, (e) a continuous accessible path of travel to the main area of private open space or any clothes line provided for the dwelling. (3) The space specified in subsection (2)(c) may overlap with a door swing or the circulation space for a door.	This requirement is capable of being satisfied
(4) For laundry facilities in a cupboard, the cupboard must be capable of being fitted with “D” pull cupboard handles in the following locations— (a) for below-bench cupboards—towards the top, (b) for overhead cupboards—towards the bottom, (c) for floor-to-ceiling doors—between 900mm and 1,100mm above the finished floor level.	This requirement is capable of being satisfied

SEPP Housing 2021	Comment
(5) In this section—laundry includes laundry facilities in a cupboard.	This requirement is capable of being satisfied
20 Linen storage An independent living unit must have a floor-to-ceiling linen storage cupboard that— (a) is at least 600mm wide, and (b) has adjustable shelving.	This requirement is capable of being satisfied
21 Lift access in multi-storey buildings An independent living unit on a storey above the ground storey must be accessible by a lift that complies with the Building Code of Australia, Volume 1, Part E3.	This requirement is capable of being satisfied
22 Garbage and recycling A garbage storage area and a recycling storage area provided for an independent living unit must be accessible by a continuous accessible path of travel from the dwelling entrance.	This requirement is capable of being satisfied

The following Table summarises the requirements to be satisfied for adaptable Housing (AS4299 Class C).

Modified Extract

APPENDIX A - AS4299-1995

SCHEDULE OF FEATURES FOR ADAPTABLE HOUSING

CLASS C

Review undertaken by iAccess Residential
(a division of iAccess Group Pty Ltd ACN 37 002 648 615)

The table shown below indicates essential features to be incorporated into a housing unit for it to be termed an 'Adaptable House'. All essential items are pre-checked in the 'essential' features column.

Prior to commencing construction, the Architect is to sign the checklist to certify that the essential features have been incorporated into the design.

The Head Contractor must initial the second column to certify that each essential feature has been incorporated into the building (prior to Handover).

The Head Contractor shall sign the checklist signifying achievement of Class C adaptability.

Although this table is generally completed for OC, it is provided as part of this DA Access Report for reference.

Item No.	Room/Item	Clause No.	Essential	
			Required feature	Certified by
	DRAWINGS			
1	Provision of drawings showing the housing unit in its pre-adaptation and post-adaptation stages	2.3	√	R Seidman Not applicable
	SITING			
3	A continuous accessible path of travel from street frontage and vehicle parking to entry complying with AS 1428.1	3.3.2	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
	LETTERBOXES IN ESTATE DEVELOPMENTS			
11	Letterboxes to be on hard standing area connected to accessible pathway	3.8	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
	PRIVATE CAR ACCOMMODATION			
14	Carparking space or garage min. area 5.4m x 3.8 m	3.7.2	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
16	Internal clearance of garage or carport 2.5 m min.	3.7.2	√	R Seidman The plans indicate that this requirement is capable of being satisfied.

Item No.	Room/Item	Clause No.	Essential	
			Required feature	Certified by
	ACCESSIBLE ENTRY			
20	Accessible entry	4.3.1	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
22	Accessible entry to be level (i.e. max. 1:40 slope)	4.3.2	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
23	Threshold to be low-level	4.3.2	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
24	Landing to enable wheelchair manoeuvrability	4.3.2	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
25	Accessible entry door to have 850 mm min. clearance	4.3.1	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
27	Door lever handles and hardware to AS 1428.1	4.3.4	√	The plans indicate that this requirement is capable of being satisfied.
	INTERIOR: GENERAL			
32	Internal doors to have 820 mm <u>min.</u> clearance	4.3.3	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
33	Internal corridors min. width of 1000 mm	4.3.7	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
34	Provision for compliance with AS 1428.1 for door approaches	4.3.7	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
	LIVING ROOM & DINING ROOM			
36	Provision for circulation space of min. 2250 mm diameter	4.7.1	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
38	Telephone adjacent to GPO	4.7.4	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
41	Potential illumination level min. 300 lux	4.10	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
	KITCHEN			
42	Minimum width 2.7 m (1550 mm clear between benches)	4.5.2	√	R Seidman The plans indicate that this requirement is capable of being satisfied.

Item No.	Room/Item	Clause No.	Essential	
			Required feature	Certified by
43	Provision for circulation at doors to comply with AS 1428.1	4.5.1	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
44	Provision for benches planned to include at least one work surface of 800 mm length, adjustable in height from 750 mm to 850 mm or replaceable. Refer to Figure 4.8	4.5.5	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
45	Refrigerator adjacent to work surface	4.5.5	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
46	Kitchen sink adjustable to heights from 750 mm to 850 mm or replaceable	4.5.6	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
47	Kitchen sink bowl max. 150 mm deep	4.5.6	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
48	Tap set capstan or lever handles or lever mixer	4.5.6(e)	√	The plans indicate that this requirement is capable of being satisfied.
49	Tap set located within 300 mm of front of sink	4.5.6(e)	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
51	Cooktops to include either front or side controls with raised cross bars	4.5.7	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
52	Cooktops to include isolating switch	4.5.7	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
53	Work surface min. 800 mm length adjacent to cooktop at same height	4.5.7	√	The plans indicate that this requirement is capable of being satisfied.
54	Oven located adjacent to an adjustable height or replaceable work surface	4.5.8	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
59	GPOs to comply with AS 1428.1. At least one double GPO within 300 mm of front of work surface	4.5.11	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
60	GPO for refrigerator to be easily reachable when the refrigerator is in its operating position	4.5.11	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
61	Slip-resistant floor surface	4.5.4	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
	MAIN BEDROOM			

Item No.	Room/Item	Clause No.	Essential	
			Required feature	Certified by
62	At least one bedroom of area sufficient to accommodate queen size bed and wardrobe and circulation space requirements of AS 1428.2	4.6.1	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
	BATHROOM			
75	Provision for bathroom area to comply with AS 1428.1	4.4.1	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
76	Slip-resistant floor surface	4.4.2	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
77	Shower recess - no hob. Minimum size 1160 × 1100 to comply with AS 1428.1. (Refer Figures 4.6 and 4.7)	4.4.4(f)	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
78	Shower area waterproofed to AS 3740 with floor to fall to waste	4.4.4(f)	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
79	Recessed soap holder	4.4.4(f)	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
80	Shower taps positioned for easy reach to access side of shower sliding track	4.4.4(f)	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
82	Provision for adjustable, detachable hand held shower rose mounted on a slider grabrail or fixed hook (plumbing and wall – strengthening provision)	4.4.4(h)	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
83	Provision for grabrail in shower (Refer to Figure 4.7) to comply with AS 1428.1	4.4.4(h)	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
86	Tap sets to be capstan or lever handles with single outlet	4.4.4(c)	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
88	Provision for washbasin with clearances to comply with AS1428.1	4.4.4(g)	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
90	Double GPO beside mirror	4.4.4(d)	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
	TOILET			
92	Provision of either 'visitable toilet' or accessible toilet	4.4.3	√	R Seidman The plans indicate that this requirement is capable of being satisfied.

Item No.	Room/Item	Clause No.	Essential	
			Required feature	Certified by
93	Provision to comply with AS 1428.1	4.4.1	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
94	Location of WC pan at correct distance from fixed walls	4.4.3	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
95	Provision for grab rail zone. (Refer Figure 4.6)	4.4.4(h)	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
96	Slip resistant floor surf ace. (Vitreous tiles or similar)	4.4.2	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
	LAUNDRY			
98	Circulation at doors to comply with AS 1428.1	4.8	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
99	Provision for adequate circulation space in front of or beside appliances (min. 1550 mm depth)	4.8	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
100	Provision for automatic washing machine	4.8(e)	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
102	Where clothes line is provided, an accessible path of travel to this	4.8(a)	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
105	Double GPO	4.8(g)	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
108	Slip-resistant floor surface	4.9.1	√	R Seidman The plans indicate that this requirement is capable of being satisfied.
	DOOR LOCKS			
110	Door hardware operable with one hand, located 900–1100 mm above floor	4.3.4	√	R Seidman The plans indicate that this requirement is capable of being satisfied.

4. Disability (Access to Premises - Buildings) Standard 2010 – Compliance Summary

PART / CLAUSE	DISABILITY (ACCESS TO PREMISES) STANDARD 2010 CRITERIA TO BE SATISFIED	COMPLIANCE	ACTION / COMMENT
A4.1	Classifications Class 2 – Residential Class 9c – Residential aged care Class 7a - Parking	Note	
DP1	Performance requirement Access must be provided, to the degree necessary, to enable: a) people to: i. approach the building from the road boundary and from any <i>accessible</i> carparking spaces associated with the building; and	Satisfied	
	ii. approach the building from any accessible associated building; and	Satisfied	
	iii. access work and public spaces, accommodation and facilities for personal hygiene; and	Satisfied	
	b) Identification of accessways at appropriate locations which are easy to find.	Satisfied	
DP4	Performance requirement <i>Exits</i> must be provided from a building to allow occupants to evacuate safely, with their number, location and dimensions being appropriate to: a) the travel distance; and b) the number, mobility and other characteristics of occupants; and c) the function or use of the building; and d) the height of the building; and e) Whether the <i>exit</i> is from above or below ground level.	Satisfied	
DP6	Performance requirement So that occupants can safely evacuate the building, <i>accessways</i> to <i>exits</i> must have dimensions appropriate to: a) the number, mobility and other characteristics of occupants; and b) the function or use of the building.	Satisfied	

PART / CLAUSE	DISABILITY (ACCESS TO PREMISES) STANDARD 2010 CRITERIA TO BE SATISFIED	COMPLIANCE	ACTION / COMMENT
DP8	Performance requirement Carparking spaces for use by people with a disability must be: - provided, to the degree necessary, to give equitable access for carparking; and - designated and easy to find.	Satisfied	
DP9	Performance requirement An inbuilt communication system for entry, information, entertainment, or for the provision of a service, must be suitable for occupants who are deaf or hearing impaired.	Not Applicable	
D3.1	General Building Access Requirements Class 2 — a building containing 2 or more sole-occupancy units each being a separate dwelling.,		
Table D3.1	From a pedestrian entrance required to be accessible to at least 1 floor containing sole-occupancy units and to the entrance doorway of each sole-occupancy unit located on that level. To and within not less than 1 of each type of room or space for use in common by the residents, including a cooking facility, sauna, gymnasium, swimming pool, common laundry, games room, individual shop, eating area, or the like. Where a ramp complying with AS 1428.1 or a passenger lift is installed— - to the entrance doorway of each sole-occupancy unit; and - to and within rooms or spaces for use in common by the residents, located on the levels served by the lift or ramp.	Satisfied	
D3.1	General Building Access Requirements Class 7a -Parking		
Table D3.1	To and within all areas normally used by the occupants	Satisfied	
D3.1	General Building Access Requirements Class 9c		
Table D3.1	To and within all areas normally used by the occupants	Satisfied	

PART / CLAUSE	DISABILITY (ACCESS TO PREMISES) STANDARD 2010 CRITERIA TO BE SATISFIED	COMPLIANCE	ACTION / COMMENT
D3.2	Access to Buildings		
	(1) An <i>accessway</i> must be provided:	Satisfied	
	(a) to a building <i>required</i> to be <i>accessible</i> ;		
	(b) from the main points of a pedestrian entry at the allotment boundary;	Satisfied	
	and		
	I. from another <i>accessible</i> building connected by a pedestrian link; and	Satisfied	
	II. from any required accessible carparking space on the allotment.	Satisfied	
	(2) In a building <i>required</i> to be <i>accessible</i> , an <i>accessway</i> must be provided through the principal pedestrian entrance, and:	Satisfied	
	a. through not less than 50% of all pedestrian entrances including the principal pedestrian entrance; and		
	b. in a building with a total <i>floor area</i> more than 500sqm, a pedestrian entrance which is not <i>accessible</i> must not be located more than 50 m from an <i>accessible</i> pedestrian entrance.		
	Except for pedestrian entrances serving only areas exempted by clause D3.4.		
D3.3	Parts of buildings to be accessible		
	In a building <i>required</i> to be <i>accessible</i> :		
	a) every ramp and stairway, except for ramps and stairways in areas exempted by clause D3.4, must comply with:		
	i. for a ramp, except a fire-isolated ramp, clause 10 of AS 1428.1; and	Satisfied	
	ii. for a stairway, except a fire-isolated stairway, clause 11 of AS 1428.1;	Satisfied	
	iii. for a fire-isolated stairway, clause 11.1(f) and (g) of AS 1428.1;	Satisfied	
	b) every passenger lift must comply with clause E3.6;	Satisfied	

PART / CLAUSE	DISABILITY (ACCESS TO PREMISES) STANDARD 2010 CRITERIA TO BE SATISFIED	COMPLIANCE	ACTION / COMMENT
	c) <i>accessways</i> must have: i. passing spaces complying with AS 1428.1 at maximum 20 m intervals on those parts of an <i>accessway</i> where a direct line of sight is not available; and ii. turning spaces complying with AS 1428.1: A. within 2m of the end of <i>accessways</i> where it is not possible to continue travelling along the <i>accessway</i>; and B. at maximum 20 m intervals along the <i>accessway</i>;	Satisfied	
	d) an intersection of <i>accessways</i> satisfies the spatial requirements for a passing and turning space;	Satisfied	
	e) a passing space may serve as a turning space;	Satisfied	
	f) a ramp complying with AS 1428.1 or a passenger lift need not be provided to serve a <i>storey</i> or level other than the entrance <i>storey</i> in a Class 5, 6, 7b or 8 building- (i) containing not more than 3 <i>storeys</i>; and (ii) with a <i>floor area</i> for each <i>storey</i>, excluding the entrance <i>storey</i>, of not more than 200sqm.	Not Applicable	
D3.5	Carparking	Satisfied	
D3.6	Signage	Satisfied	
D3.7	Hearing Augmentation	Not Applicable	
D3.8	Tactile Indicators	Satisfied	
D3.9	Wheelchair seating	Not Applicable	
D3.10	Swimming pool	Not Applicable	
D3.11	Ramps (Connecting Ramps)	Not Applicable	
D3.12	Glazing on an accessway On an <i>accessway</i> , where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening, must be clearly marked in accordance with Clause 6.6 of AS 1428.1.	Satisfied	

PART / CLAUSE	DISABILITY (ACCESS TO PREMISES) STANDARD 2010 CRITERIA TO BE SATISFIED	COMPLIANCE	ACTION / COMMENT
Part D4	Braille & Tactile Signs	Satisfied	The signage detailing will need to comply with the provisions of Clause D3.6 and Specification D3.6 of the BCA as well as Clauses 16.3 and 17 of AS1428.2 which addresses the size of the pictogram as well as the height of lettering.
Part E3	Lift Installation	Satisfied	
Part F2	Sanitary and other facilities	Satisfied	

5. STATEMENT OF EXPERTISE

	Name Richard Seidman
Qualifications	• 2025 Accredited Changing Places Assessor • 2021 Accredited SDA Assessor • 2019 Diploma in Access (Access Institute) • 2018 Accredited Access Consultant • 2014 Accredited assessor Livable Housing Australia • 2011 Certificate IV Access Consulting (IATA) • 2008 Accredited Green Star Professional (GBCA) • 2007 Graduate Diploma in Building Surveying (Fire Engineering) University of Western Sydney • 2005 Masters in Property Development University of Technology (Graduating 1st in year) • 1999 Graduate Diploma in Architectural Design Science (Facilities Management) University of Sydney • 1983 Bachelor of Architecture (Hons) University of NSW
Memberships	• Royal Australian Institute of Architects (No. 4700) • NSW Architects Registration Board (No. 4829) • Access Consultants Association (Accredited Access Consultant No 330) • Livable Housing Australia (10041) • Changing Places Assessor (CP076) • Accredited SDA Assessor (SDA00052)
Experience	Richard Seidman has practised for more than 40 years in the built environment and has developed extensive skills and expertise in the residential, commercial, industrial, health, retail, education and transport industries. Richard has extensive expertise in all aspects of AS1428, AS4299 and AS2890.6 which has been honed as part of the plan check role undertaken as part of the NBESP Social Housing Initiative undertaken for the Department of Human Services – Housing NSW and 10 years' experience with Westfield Design and Construction in the capacity of Project Design Manager. In 2010 Richard established iAccess Consultants a division of iAccess Group Pty Ltd. Since 2010 Richard has undertaken a wide range of consultancies