

MIRVAC HARBOURSIDE - S4.55 MOD4 PACKAGE

2-10 DARLING DRIVE SYDNEY NSW 2000

Snøhetta 

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Hassell

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SSDA2 DRAWING SCHEDULE

SHEET NUMBER	DRAWING TITLE
AR-SSDA2- 0000_00	Cover Sheet
AR-SSDA2- 0100_00	Site Plan
AR-SSDA2- 1095_B5	General Arrangement - Basement 5 Plan
AR-SSDA2- 1096_B4	General Arrangement - Basement 4 Plan
AR-SSDA2- 1097_B3	General Arrangement - Basement 3 Plan
AR-SSDA2- 1098_B2	General Arrangement - Basement 2 Plan
AR-SSDA2- 1099_B1	General Arrangement - Basement 1 Plan
AR-SSDA2- 1100_00	General Arrangement - L00 Ground Plan
AR-SSDA2- 1101_00	General Arrangement - L01 Plan
AR-SSDA2- 1102_00	General Arrangement - L02 Plan
AR-SSDA2- 1103_00	General Arrangement - L03 Plan
AR-SSDA2- 1104_00	General Arrangement - L04 Plan
AR-SSDA2- 1105_00	General Arrangement - L05 Plan
AR-SSDA2- 1105_01	General Arrangement - L05 Plan
AR-SSDA2- 1106_00	General Arrangement - L06 Plan - CV
AR-SSDA2- 1106_01	General Arrangement - L06 Plan - CV
AR-SSDA2- 1107_00	General Arrangement - L07 Plan - CV
AR-SSDA2- 1107_01	General Arrangement - L07 Plan - CV
AR-SSDA2- 1108_00	General Arrangement - L08 Plan - LR-A
AR-SSDA2- 1108_01	General Arrangement - L08 Plan - LR-A
AR-SSDA2- 1109_00	General Arrangement - L09 - L13 Plan - LR-A
AR-SSDA2- 1109_01	General Arrangement - L09 Plan - LR-A
AR-SSDA2- 1110_01	General Arrangement - L10 Plan - LR-A
AR-SSDA2- 1111_01	General Arrangement - L11 Plan - LR-A
AR-SSDA2- 1112_01	General Arrangement - L12 Plan - LR-A
AR-SSDA2- 1113_01	General Arrangement - L13 Plan - LR-A
AR-SSDA2- 1114_00	General Arrangement - L14 - L16 Plan - LR-A
AR-SSDA2- 1114_01	General Arrangement - L14 Plan - LR-A
AR-SSDA2- 1115_01	General Arrangement - L15 Plan - LR-A
AR-SSDA2- 1116_01	General Arrangement - L16 Plan - LR-A
AR-SSDA2- 1117_00	General Arrangement - L17-L26 Plan - LR-B
AR-SSDA2- 1117_01	General Arrangement - L17 Plan - LR-B
AR-SSDA2- 1118_01	General Arrangement - L18 Plan - LR-B
AR-SSDA2- 1119_01	General Arrangement - L19 Plan - LR-B
AR-SSDA2- 1120_01	General Arrangement - L20 Plan - LR-B
AR-SSDA2- 1121_01	General Arrangement - L21 Plan - LR-B
AR-SSDA2- 1122_01	General Arrangement - L22 Plan - LR-B
AR-SSDA2- 1123_01	General Arrangement - L23 Plan - LR-B
AR-SSDA2- 1124_01	General Arrangement - L24 Plan - LR-B
AR-SSDA2- 1125_01	General Arrangement - L25 Plan - LR-B
AR-SSDA2- 1126_01	General Arrangement - L26 Plan - LR-B
AR-SSDA2- 1127_00	General Arrangement - L27 Plan Mid Plant
AR-SSDA2- 1127_01	General Arrangement - L27 Plan Mid Plant
AR-SSDA2- 1128_00	General Arrangement - L28 Plan Stair Transfer
AR-SSDA2- 1128_01	General Arrangement - L28 Plan Stair Transfer
AR-SSDA2- 1129_00	General Arrangement - L29 - L37 Plan - MR
AR-SSDA2- 1129_01	General Arrangement - L29 Plan - MR
AR-SSDA2- 1130_01	General Arrangement - L30 Plan - MR
AR-SSDA2- 1131_01	General Arrangement - L31 Plan - MR
AR-SSDA2- 1132_01	General Arrangement - L32 Plan - MR
AR-SSDA2- 1133_01	General Arrangement - L33 Plan - MR
AR-SSDA2- 1134_01	General Arrangement - L34 Plan - MR
AR-SSDA2- 1135_01	General Arrangement - L35 Plan - MR
AR-SSDA2- 1136_01	General Arrangement - L36 Plan - MR
AR-SSDA2- 1137_01	General Arrangement - L37 Plan - MR
AR-SSDA2- 1138_00	General Arrangement - L38 - L41 Plan - HR
AR-SSDA2- 1138_01	General Arrangement - L38 Plan - HR
AR-SSDA2- 1139_01	General Arrangement - L39 Plan - HR
AR-SSDA2- 1140_01	General Arrangement - L40 Plan - HR
AR-SSDA2- 1141_01	General Arrangement - L41 Plan - HR
AR-SSDA2- 1142_00	General Arrangement - L42 - L45 Plan - HR
AR-SSDA2- 1142_01	General Arrangement - L42 Plan - HR
AR-SSDA2- 1143_01	General Arrangement - L43 Plan - HR
AR-SSDA2- 1144_01	General Arrangement - L44 Plan - HR
AR-SSDA2- 1145_01	General Arrangement - L45 Plan - Subpenthouse
AR-SSDA2- 1146_00	General Arrangement - L46 Plan - Subpenthouse
AR-SSDA2- 1146_01	General Arrangement - L46 Plan - Subpenthouse
AR-SSDA2- 1147_00	General Arrangement - L47 Plan - Penthouse
AR-SSDA2- 1147_01	General Arrangement - L47 Plan - Penthouse
AR-SSDA2- 1148_00	General Arrangement - L48 Plan - Penthouse
AR-SSDA2- 1148_01	General Arrangement - L48 Plan - Penthouse
AR-SSDA2- 1148M_00	General Arrangement - L48 Mezzanine Plant
AR-SSDA2- 1148M_01	General Arrangement - L48 Mezzanine Plant
AR-SSDA2- 1149_00	General Arrangement - L49 Roof Plan
AR-SSDA2- 1149_01	General Arrangement - L49 Roof Plan
AR-SSDA2- 1900_00	Adaptable Apartments
AR-SSDA2- 1900_01	Adaptable Apartments
AR-SSDA2- 2000_00	General Arrangement - North Elevation
AR-SSDA2- 2000_01	General Arrangement - North Elevation - Part 1
AR-SSDA2- 2000_02	General Arrangement - North Elevation - Part 2
AR-SSDA2- 2001_00	General Arrangement - South Elevation

SSDA2 DRAWING SCHEDULE

SHEET NUMBER	DRAWING TITLE
AR-SSDA2- 2001_01	General Arrangement - South Elevation - Part 1
AR-SSDA2- 2001_02	General Arrangement - South Elevation - Part 2
AR-SSDA2- 2002_00	General Arrangement - East Elevation
AR-SSDA2- 2002_01	General Arrangement - East Elevation - Part 1
AR-SSDA2- 2002_02	General Arrangement - East Elevation - Part 2
AR-SSDA2- 2002_03	General Arrangement - East Elevation - Part 3
AR-SSDA2- 2003_00	General Arrangement - West Elevation
AR-SSDA2- 2003_01	General Arrangement - West Elevation - Part 1 & 2
AR-SSDA2- 2003_02	General Arrangement - West Elevation - Part 3
AR-SSDA2- 3000_00	Section A & B
AR-SSDA2- 3001_00	Section C
AR-SSDA2- 3001_01	Section C - Part 1
AR-SSDA2- 3001_02	Section C - Part 2
AR-SSDA2- 3002_00	Section D
AR-SSDA2- 3003_00	Section E & F
AR-SSDA2- 3004_00	Section G & H
AR-SSDA2- 4050_00	Typical Facade Details - Tower
AR-SSDA2- 5000_00	ADG Diagrams - Solar Access
AR-SSDA2- 5001_00	ADG Diagrams - Direct Sunlight
AR-SSDA2- 5055_00	ADG - Storage L16 and L45 to L48
AR-SSDA2- 7013_00	Area Plans - GFA - Residential
AR-SSDA2- 7014_00	Area Plans - GFA - Residential
AR-SSDA2- 7015_00	Area Plans - GFA - Residential
AR-SSDA2- 7016_00	Area Plans - GFA - Residential
AR-SSDA2- 9000_00	Material Board

HIGHLIGHTED DRAWINGS RESUBMITTED FOR
SSDA2 MOD8 SUBMISSION APPROVAL

NatHERS Thermal Inclusions Summary

Glazing Doors/Windows
Facade Glazing Custom windows modelled:
 Fixed panel window: U-value: 3.68 (equal to or lower than), SHGC: 0.23 (±10%)
 Awning + Fixed panel windows: U-value: 2.67 (equal to or lower than), SHGC: 0.24 (±10%)
Balcony Glazing Custom windows modelled:
 Fixed panel window: U-value: 2.71 (equal to or lower than), SHGC: 0.26 (±10%)
 Awning + Fixed panel windows: U-value: 3.15 (equal to or lower than), SHGC: 0.26 (±10%)
 Sliding doors: U-value: 3.43 (equal to or lower than), SHGC: 0.23 (±10%)

Roof and ceiling
 Minimum 200mm Concrete with plasterboard ceiling, no insulation where neighbouring units are above
 Minimum 200mm Concrete with plasterboard with R2.0 insulation (insulation only value) where balcony is above
 Minimum 200mm Concrete with plasterboard ceiling with R3.5 insulation (insulation only value) to soffit of concrete where roof is over
 Minimum 200mm Concrete with plasterboard with R2.2 insulation (insulation only value) where plant room is above
 R3.5 insulation upgrade to Level 46 and 47 where balcony above conditioned areas
 300mm width pelmet adjacent to glazing – no insulation required.
Upgrade to Dwelling 47003:
 R3.5 insulation to ceiling where natural ventilated plant room above conditioned areas
Upgrade to Dwelling 26001 and 26008:
 R2.2 insulation to ceiling where natural ventilated plant room above conditioned areas
 External Colour
 Medium (0.475 < SA < 0.7)

Ceiling Penetrations
 Sealed downlights: 1 per 5 m², ceiling penetration 100mm diameter with 50mm clearance
 Sealed exhaust fans: laundry, bathroom and laundry, ceiling penetration 250mm diameter with 50mm clearance

External Wall
 Curtain wall (façade) metal or glass spandrel with insulated panel on stud wall with an R2.0 insulation (insulation only value) for an Rt 5.18 (not included external and internal air film R-value)
 Spandrel wall (balcony) metal or glass cladding with insulated panel R1.78 insulation (insulation only value)
 Spandrel wall (balcony) metal or glass cladding with insulated panel R1.78 insulation (insulation only value) and stud wall with R2.0 insulation (insulation only value)
 External Colour
 medium colour modelled

Inter-tenancy walls
 75mm Hebel Power Panel to walls adjacent to neighbours, R1.5 insulation (insulation only value)
 75mm Hebel Power Panel to walls adjacent to hallways with R1.5 insulation (insulation only value)
 Minimum 400mm concrete with furring channel and plasterboard lining as per plans
Upgrade to Dwelling 27001:
 R2.2 insulation to wall adjacent to natural ventilated plant room.
Upgrade to Dwelling 27007:
 R2.5 insulation to wall adjacent to natural ventilated plant room.

Walls within dwellings
 Plasterboard on studs – no insulation
 Average 400mm concrete with plasterboard lining both sides NOTE: concrete thickness will be updated at CC to reflect correct thickness once it is known.

Floors
 Minimum 200mm Concrete with a minimum R1.0 insulation (insulation only value) required where part open subfloor is below
 Minimum 200mm Concrete between levels, no insulation required where conditioned below
Upgrade to Dwellings 6005, 28001 and 28007:
 R2.2 insulation to floor above natural ventilated plant room
Dwelling 6001:
 R2.7 insulation to floor above natural ventilated plant room

Floor coverings
 Carpet to bedrooms, tiles to bathrooms and laundry, timber elsewhere

External Shading
 Shading as per stamped documentation

BASIX – Water requirements

Landscape
 392m² lawn and 3,495 m² garden
 3,495 m² low-water use species

Central rainwater storage
 Not required

Fire sprinkler test water
 Fire sprinkler test water must be contained in a closed loop system

Common area swimming pools and spas
 Indoor pool 140kL
 Outdoor pool 148kL
 Not shaded
 Indoor spa 16kL
 No cover

BASIX – Energy requirements

Hot water system
 Central system: Electric heat pump – air sourced, with R0.75 (~32mm) insulation to ring main and supply risers.

Alternative Energy
 Minimum 0 kW PV system

Common area swimming pools and spas
 Heating: Electric heat pumps
 All pumps controlled by timers

Common area sauna
 Heating: electric infrared with manual on / timer off

NOTES

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REV	DESCRIPTION	DATE
A	FOR SSDA2 APPROVAL	02/11/22
B	FOR SSDA2 RTS	29/06/2023
C	S4.55 MODIFICATION 2	01/05/2024
D	S4.55 MODIFICATION 2	06/06/2024
E	S4.55 MODIFICATION 4	02/04/2025
F	S4.55 MODIFICATION 8	15/09/2025

NORTH

SCALE

CLIENT



MIRVAC HARBOURSIDE

2 - 10 DARLING DRIVE, DARLING HARBOUR
NSW 2000

DRAWING TITLE

Cover Sheet

REVIEWED MI SCALE @ A1 N/A

APPROVED LW / KK PROJECT NO. 016152-61A-P

DRAWING NO. AR-SSDA2- 0000_00 REV NO. F





NOTES

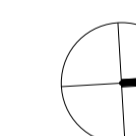
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REV	DESCRIPTION	DATE
A	FOR SSDA2 APPROVAL	02/11/22
B	FOR SSDA2 RTS	29/06/2023
C	S4.55 MODIFICATION 1	01/05/2024
D	S4.55 MODIFICATION 2	06/06/2024
E	S4.55 MODIFICATION 8	15/09/2025

LEGEND

	SSDA EXTENT
	AREA SUBJECT TO FUTURE SSDA APPLICATION

NORTH



SCALE

CLIENT



PROJECT
MIRVAC HARBOURSIDE
2 - 10 DARLING DRIVE, DARLING HARBOUR
NSW 2000

DRAWING TITLE
Site Plan

REVIEWED MI	SCALE @ A1 1 : 1000
APPROVED LW / KK	PROJECT NO. 016152-61A-P
DRAWING NO. AR-SSDA2- 0100_00	REV NO. E

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A	FOR SSDA2 APPROVAL	02/11/22
B	FOR SSDA2 RTS	29/06/2023
C	FOR SSDA2 RTS	27/09/23
D	S4.55 MODIFICATION 2	01/05/2024
E	S4.55 MODIFICATION 2	06/06/2024
F	S4.55 MODIFICATION 4	06/02/2025
G	SSDA2 Modification 7 Submission for PMNSW LOC	14/07/2025
H	S4.55 MODIFICATION 8	15/09/2025

LEGEND

- BOH
- BOH / PLANT
- COMMERCIAL
- COMMERCIAL LOBBY
- OFFICE
- PLANT
- RESIDENTIAL COMMON AREAS
- RETAIL

LEGEND

- SSDA EXTENT
- SSDA STAGE 1 ENVELOPE
- AREA SUBJECT TO SSDA3 SSD-49653211 APPLICATION
- 500MM ZONE - TENANCY 'KIT OF PARTS' OPTION FOR SHOPFRONT FAÇADE ALIGNMENT & OPERABILITY*
- 250MM ZONE - TENANCY 'KIT OF PARTS' OPTION FOR SHOPFRONT FAÇADE ALIGNMENT & OPERABILITY*
- *SUBJECT TO TENANT SHOPFRONT GUIDELINES
- INDICATIVE INTER-TENANCY WALLS
- EXISTING STRUCTURES

NORTH

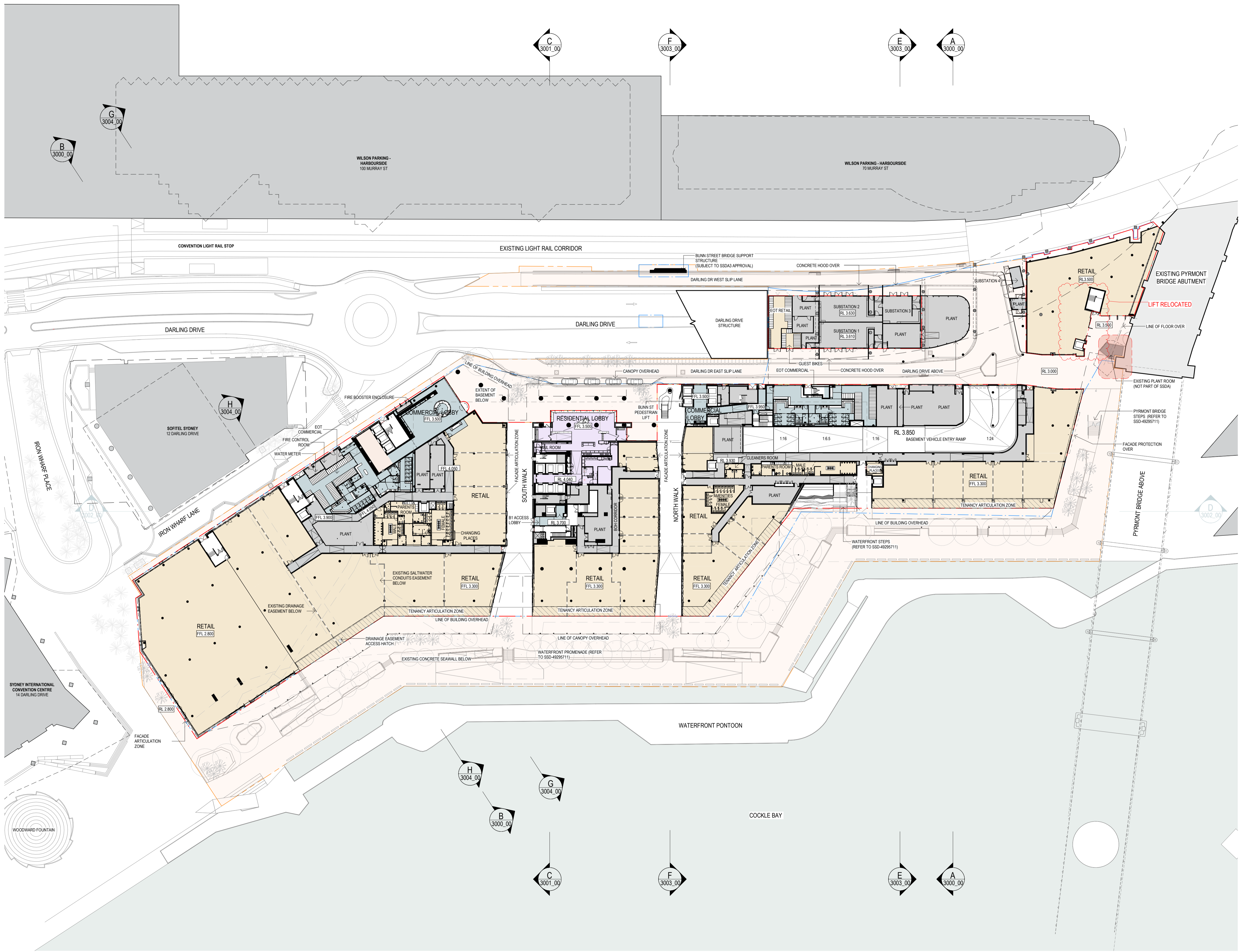
SCALE

CLIENT

PROJECT
 MIRVAC HARBOURSIDE
 2 - 10 DARLING DRIVE, DARLING HARBOUR
 NSW 2000

DRAWING TITLE
 General Arrangement - L00 Ground Plan

REVIEWED MI	SCALE @ A1 1 : 500
APPROVED LW / KK	PROJECT NO. 016152-61A-P
DRAWING NO. AR-SSDA2- 1100_00	REV NO. H



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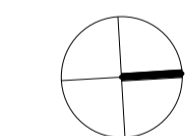
REV	DESCRIPTION	DATE
A	FOR SSDA2 APPROVAL	02/11/22
B	FOR SSDA2 RTS	29/06/2023
C	S4.55 MODIFICATION 2	01/05/2024
D	S4.55 MODIFICATION 2	06/06/2024
E	S4.55 MODIFICATION 2	31/03/2025
F	S4.55 MODIFICATION 8	15/09/2025

LEGEND

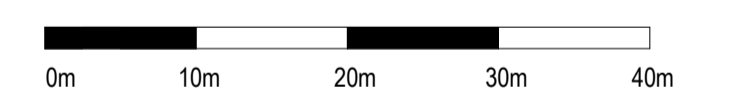
- BOH / PLANT
- COMMERCIAL
- OFFICE
- PLANT
- RESIDENTIAL COMMON AREAS
- TERRACE

- SSDA EXTENT
- SSDA STAGE 1 ENVELOPE
- AREA SUBJECT TO FUTURE SSDA APPLICATION
- EXISTING STRUCTURES

NORTH



SCALE



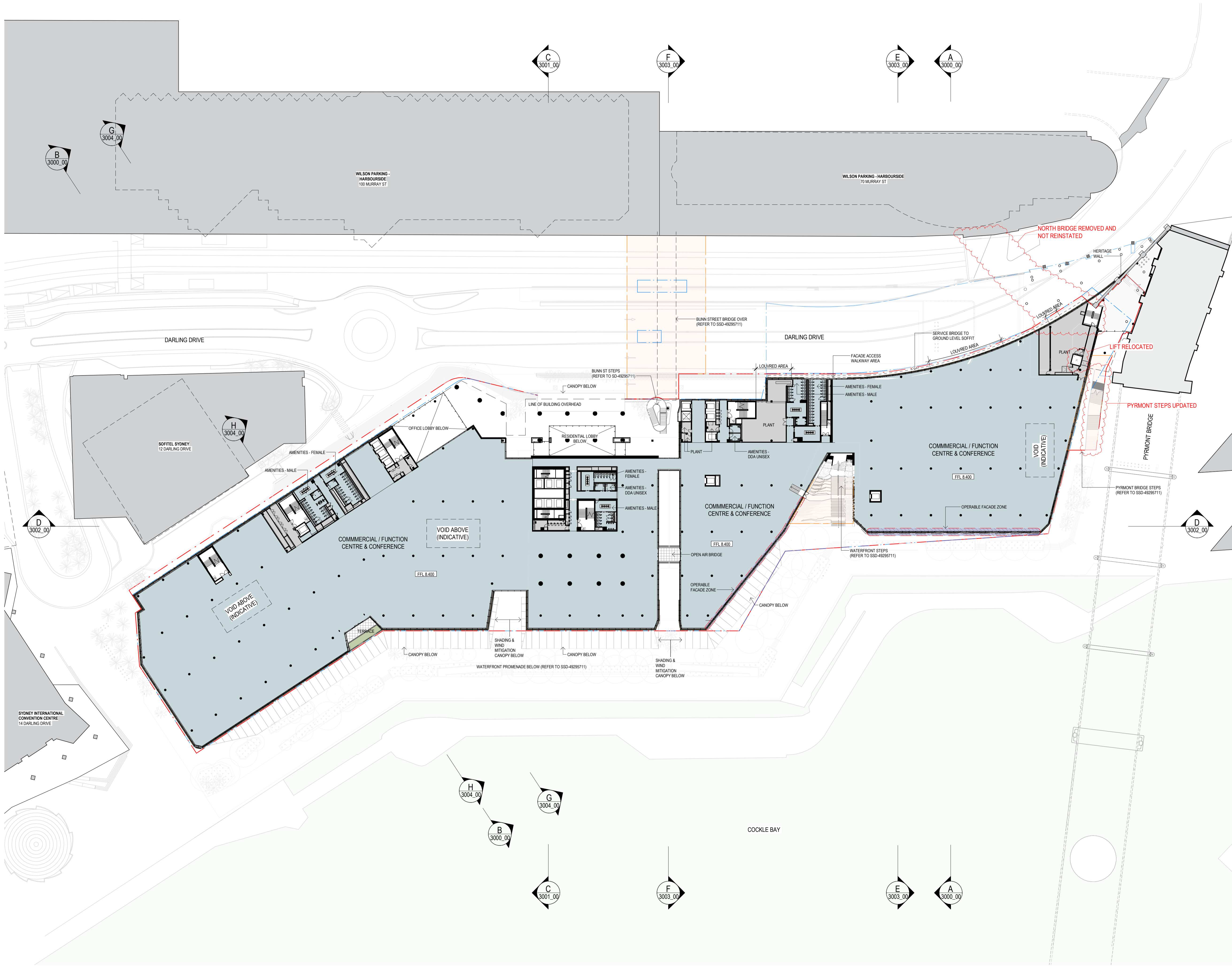
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PROJECT
 MIRVAC HARBOURSIDE
 2 - 10 DARLING DRIVE, DARLING HARBOUR
 NSW 2000

DRAWING TITLE
 General Arrangement - L01 Plan

REVIEWED MI	SCALE @ A1 1 : 500
APPROVED LW / KK	PROJECT NO. 016152-61A-P
DRAWING NO. AR-SSDA2- 1101_00	REV NO. F



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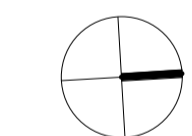
REV	DESCRIPTION	DATE
A	FOR SSDA2 APPROVAL	02/11/22
B	FOR SSDA2 RTS	29/06/2023
C	S4.55 MODIFICATION 2	01/05/2024
D	S4.55 MODIFICATION 2	06/06/2024
E	SSDA2 Modification 7 Submission for PMNSW LOC	14/07/2025
F	S4.55 MODIFICATION 8	15/09/2025

LEGEND

- BOH / PLANT
- OFFICE
- PLANT
- RETAIL
- TERRACE

- SSDA EXTENT
- SSDA STAGE 1 ENVELOPE
- AREA SUBJECT TO FUTURE SSDA APPLICATION
- EXISTING STRUCTURES

NORTH



SCALE



CLIENT



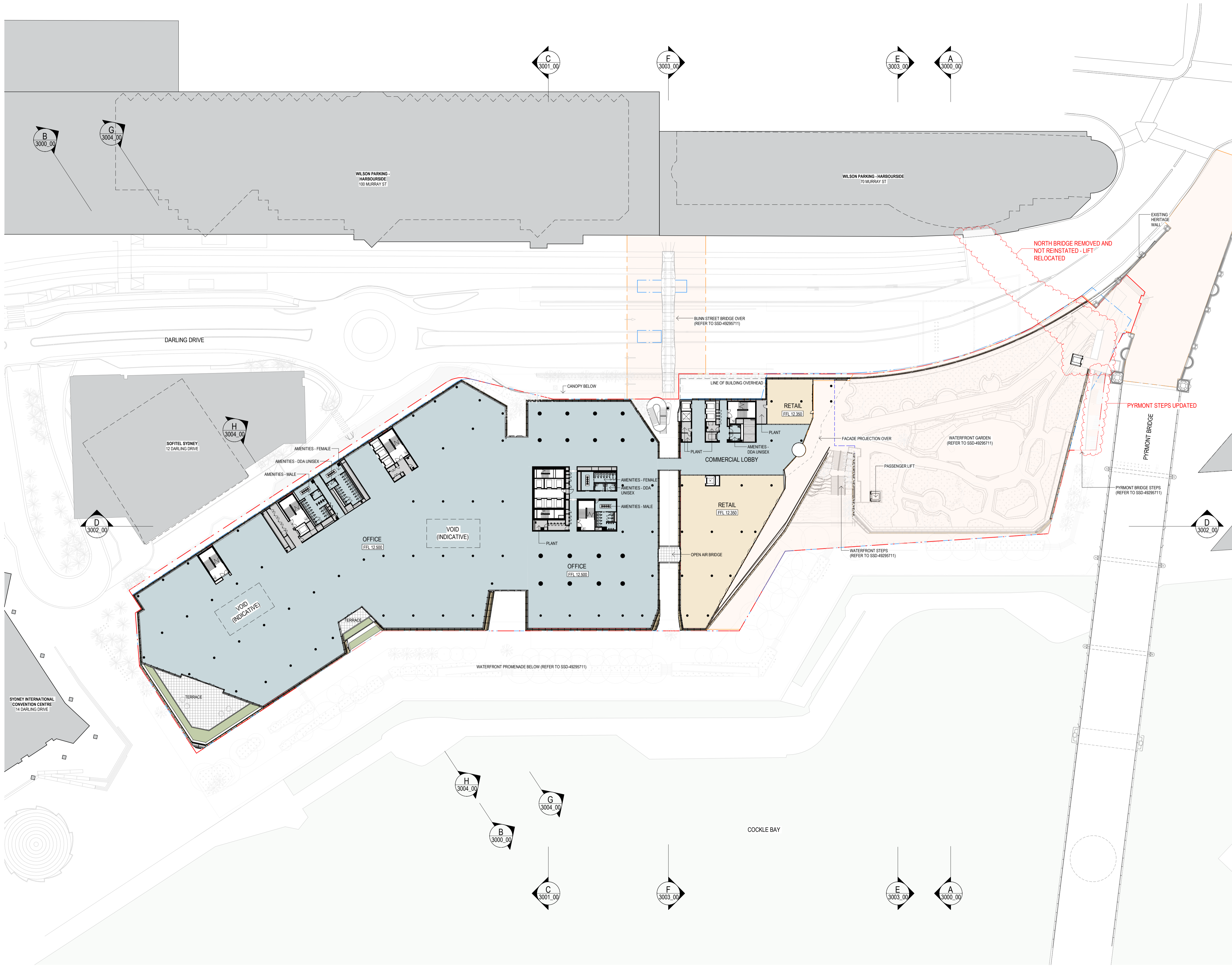
PROJECT
 MIRVAC HARBOURSIDE
 2 - 10 DARLING DRIVE, DARLING HARBOUR
 NSW 2000

DRAWING TITLE
 General Arrangement - L02 Plan

REVIEWED
 MI
SCALE @ A1
 1 : 500

APPROVED
 LW / KK
PROJECT NO.
 016152-61A-P

DRAWING NO.
 AR-SSDA2- 1102_00
REV NO.
 F



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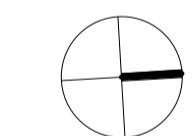
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A	FOR SSDA2 APPROVAL	02/11/22
B	FOR SSDA2 RTS	29/06/2023
C	S4.55 MODIFICATION 2	01/05/2024
D	S4.55 MODIFICATION 2	06/06/2024
E	SSDA2 Modification 7 Submission for PMNSW LOC	15/07/2025
F	S4.55 MODIFICATION 8	15/09/2025

LEGEND

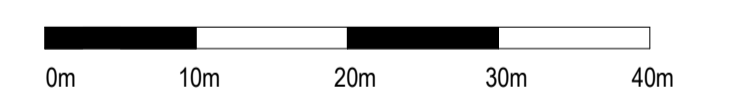
- BOH / PLANT
- OFFICE
- PLANT
- RESIDENTIAL COMMON AREAS
- TERRACE

- SSDA EXTENT
- SSDA STAGE 1 ENVELOPE
- AREA SUBJECT TO FUTURE SSDA APPLICATION
- EXISTING STRUCTURES

NORTH



SCALE



CLIENT

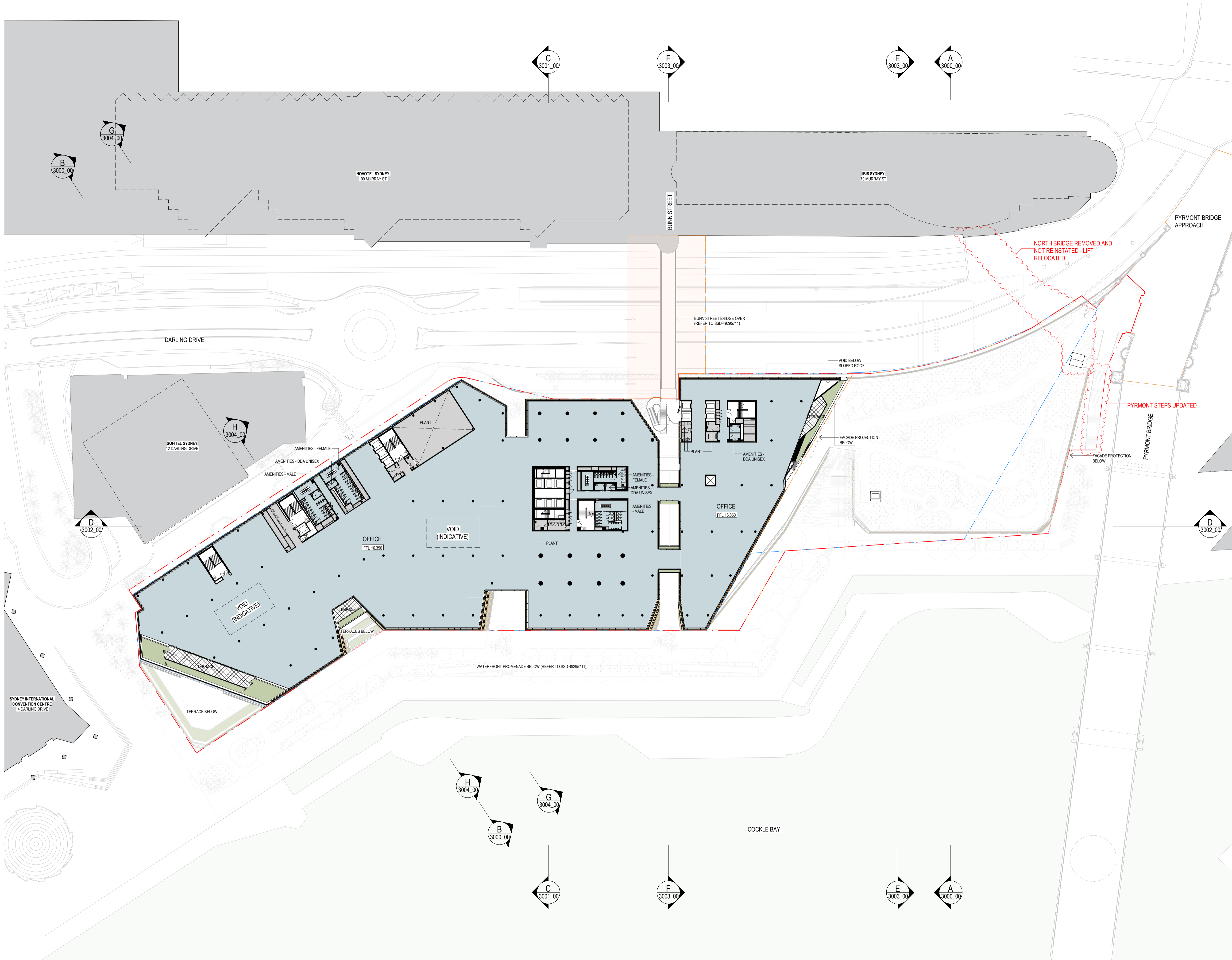


PROJECT
 MIRVAC HARBOURSIDE
 2 - 10 DARLING DRIVE, DARLING HARBOUR
 NSW 2000

DRAWING TITLE

General Arrangement - L03 Plan

REVIEWED MI	SCALE @ A1 1 : 500
APPROVED LW / KK	PROJECT NO. 016152-61A-P
DRAWING NO. AR-SSDA2- 1103_00	REV NO. F



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REV	DESCRIPTION	DATE
A	FOR SSDA2 APPROVAL	02/11/22
B	FOR SSDA2 RTS	29/06/2023
C	S4.55 MODIFICATION 2	01/05/2024
D	S4.55 MODIFICATION 2	06/06/2024
E	S4.55 MODIFICATION 3	22/11/2024
F	S4.55 MODIFICATION 8	15/09/2025

LEGEND

- BOH / PLANT
- OFFICE
- PLANT
- RESIDENTIAL COMMON AREAS
- TERRACE

SSDA EXTENT
 SSDA STAGE 1 ENVELOPE
 AREA SUBJECT TO FUTURE SSDA APPLICATION
 EXISTING STRUCTURES

NORTH

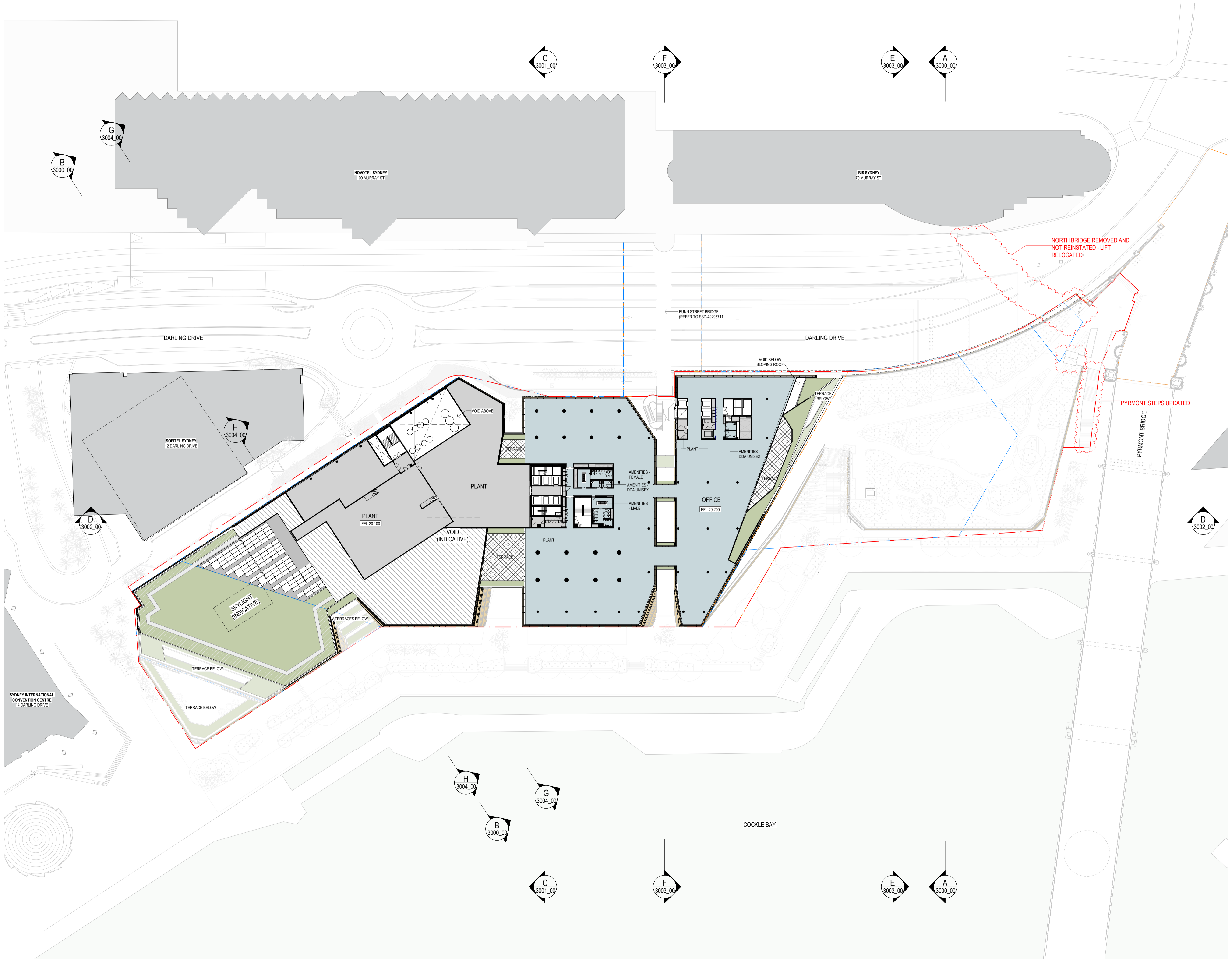
SCALE

CLIENT

PROJECT
 MIRVAC HARBOURSIDE
 2 - 10 DARLING DRIVE, DARLING HARBOUR
 NSW 2000

DRAWING TITLE
 General Arrangement - L04 Plan

REVIEWED MI	SCALE @ A1 1 : 500
APPROVED LW / KK	PROJECT NO. 016152-61A-P
DRAWING NO. AR-SSDA2- 1104_00	REV NO. F



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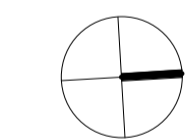
REV	DESCRIPTION	DATE
A	FOR SSDA2 APPROVAL	02/11/22
B	FOR SSDA2 RTS	29/06/2023
C	S4.55 MODIFICATION 2	01/05/2024
D	S4.55 MODIFICATION 2	06/06/2024
E	S4.55 MODIFICATION 8	15/09/2025

LEGEND

- BOH / PLANT
- OFFICE
- PLANT

- SSDA EXTENT
- SSDA STAGE 1 ENVELOPE
- AREA SUBJECT TO FUTURE SSDA APPLICATION
- EXISTING STRUCTURES

NORTH



SCALE



CLIENT

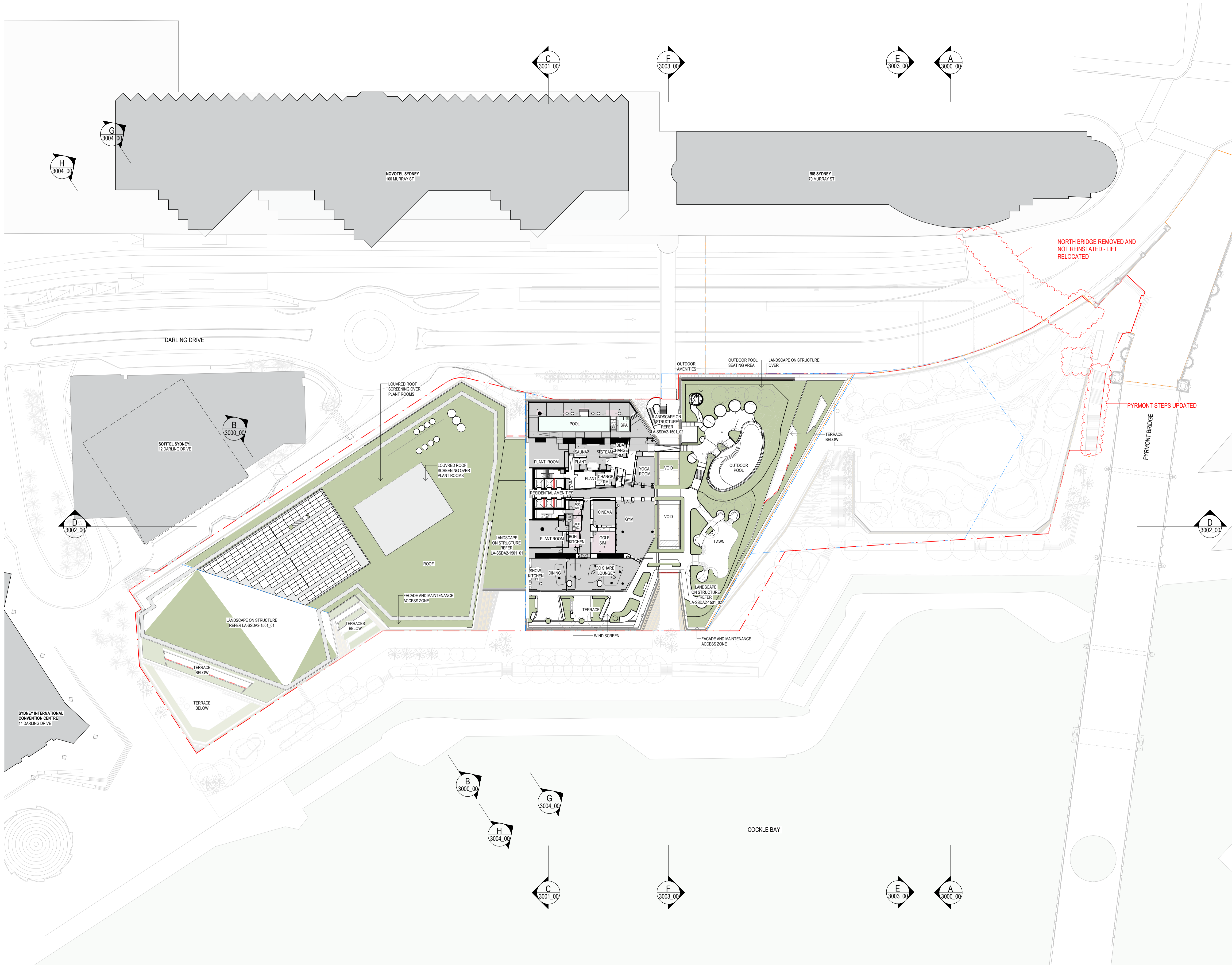


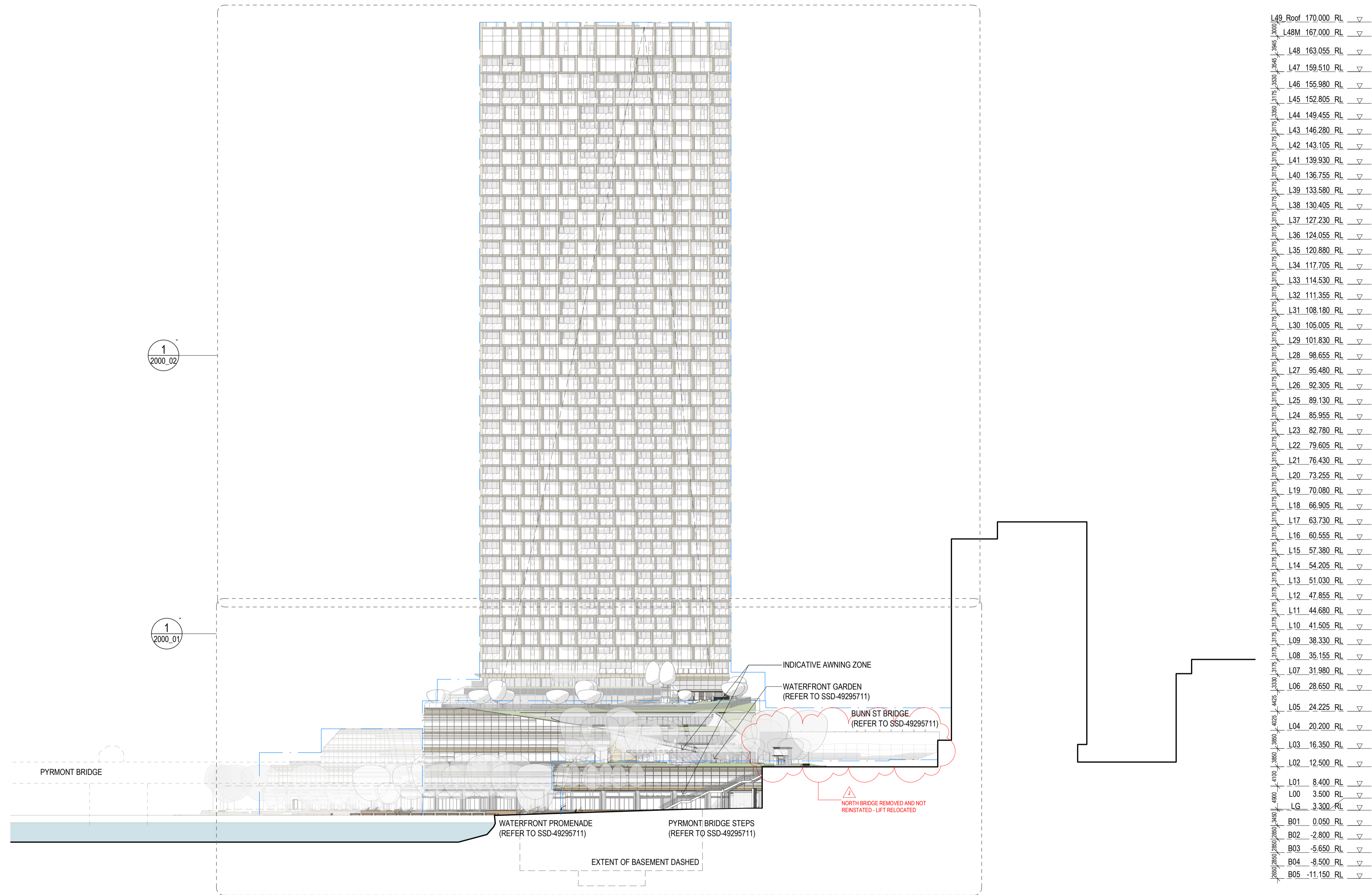
PROJECT
 MIRVAC HARBOURSIDE
 2 - 10 DARLING DRIVE, DARLING HARBOUR
 NSW 2000

DRAWING TITLE

General Arrangement - L05 Plan

REVIEWED MI	SCALE @ A1 1 : 500
APPROVED LW / KK	PROJECT NO. 016152-61A-P
DRAWING NO. AR-SSDA2- 1105_00	REV NO. E





1 GA - North Elevation
1:500

L49	Roof	170.000	RL	▽
L48M		167.000	RL	▽
L48		163.055	RL	▽
L47		159.510	RL	▽
L46		155.980	RL	▽
L45		152.805	RL	▽
L44		149.455	RL	▽
L43		146.280	RL	▽
L42		143.105	RL	▽
L41		139.930	RL	▽
L40		136.755	RL	▽
L39		133.580	RL	▽
L38		130.405	RL	▽
L37		127.230	RL	▽
L36		124.055	RL	▽
L35		120.880	RL	▽
L34		117.705	RL	▽
L33		114.530	RL	▽
L32		111.355	RL	▽
L31		108.180	RL	▽
L30		105.005	RL	▽
L29		101.830	RL	▽
L28		98.655	RL	▽
L27		95.480	RL	▽
L26		92.305	RL	▽
L25		89.130	RL	▽
L24		85.955	RL	▽
L23		82.780	RL	▽
L22		79.605	RL	▽
L21		76.430	RL	▽
L20		73.255	RL	▽
L19		70.080	RL	▽
L18		66.905	RL	▽
L17		63.730	RL	▽
L16		60.555	RL	▽
L15		57.380	RL	▽
L14		54.205	RL	▽
L13		51.030	RL	▽
L12		47.855	RL	▽
L11		44.680	RL	▽
L10		41.505	RL	▽
L09		38.330	RL	▽
L08		35.155	RL	▽
L07		31.980	RL	▽
L06		28.805	RL	▽
L05		24.225	RL	▽
L04		20.200	RL	▽
L03		16.350	RL	▽
L02		12.500	RL	▽
L01		8.400	RL	▽
L00		3.500	RL	▽
LG		3.300	RL	▽
B01		0.050	RL	▽
B02		-2.800	RL	▽
B03		-5.650	RL	▽
B04		-8.500	RL	▽
B05		-11.150	RL	▽

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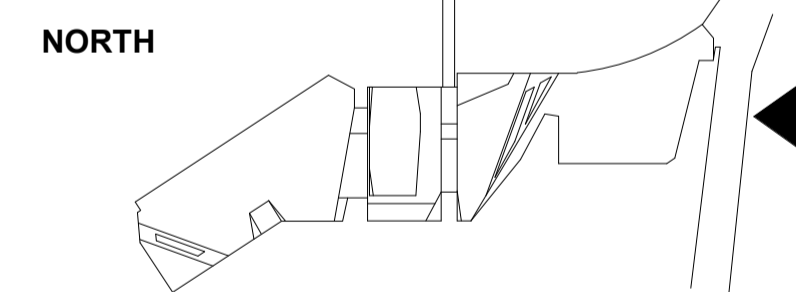
REV	DESCRIPTION	DATE
A	FOR SSDA2 APPROVAL	02/11/2022
B	FOR SSDA2 RTS	03/10/2023
C	S4.55 MODIFICATION 1	22/02/2024
D	S4.55 MODIFICATION 1	01/05/2024
E	S4.55 MODIFICATION 2	06/06/2024
F	S4.55 MODIFICATION 2	19/12/2024
G	S4.55 MODIFICATION 4	02/04/2025
H	SSDA2 Modification 7 Submission for PMNSW LOC	15/07/2025
J	S4.55 MODIFICATION 8	15/09/2025

LEGEND

- ENVELOPE
- SSDA EXTENTS
- OPERABLE AWNING WINDOW
- BALCONY

GENERAL INFORMATION

- TOWER FACADE MATERIALITY**
1. The tower facade system includes curtain wall aluminium framing, fixed clear vision glass, clear vision glass awning windows, colour back glass spandrel panels, clear glass balustrades, and integral vertical and horizontal shading fins.
- PODIUM FACADE MATERIALITY**
1. The podium curtain wall modules are composed of glazing with spandrel panels comprised of GRC (or similar) and colourback glazing with fritting.
2. The facade is shaded with GRC or similar sunshades which vary in depth based on solar orientation.
3. Ground floor facades are comprised of operable shopfront glazing with varying finishes to individual tenancies.



CLIENT
500 mirvac

PROJECT
HARBOURSIDE
2-10 Darling Drive, Sydney, NSW, 2000

DRAWING TITLE
General Arrangement - North Elevation

REVIEWED MI	SCALE @ A1 1 : 500
APPROVED KK LW	PROJECT NO. 016152-61A-P
DRAWING NO. AR-SSDA2- 2000_00	REV NO. J

NOTES

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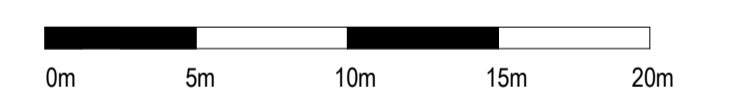
REV	DESCRIPTION	DATE
A	FOR SSDA2 APPROVAL	02/11/2022
B	For SSDA2 RTS	03/10/2023
C	S4.55 MODIFICATION 1	22/02/2024
D	S4.55 MODIFICATION 2	01/05/2024
E	S4.55 MODIFICATION 2	06/06/2024
F	S4.55 MODIFICATION 2	19/12/2024
G	S4.55 MODIFICATION 8	15/09/2025

LEGEND	DESCRIPTION
	ENVELOPE
	SSDA EXTENTS
	OPERABLE AWNING WINDOW
	BALCONY

NOTE: REFER MATERIAL SCHEDULE FOR DEFINITIONS OF MATERIAL TAGS

NORTH

SCALE



CLIENT



PROJECT

HARBOURSIDE
 2-10 Darling Drive, Sydney, NSW, 2000

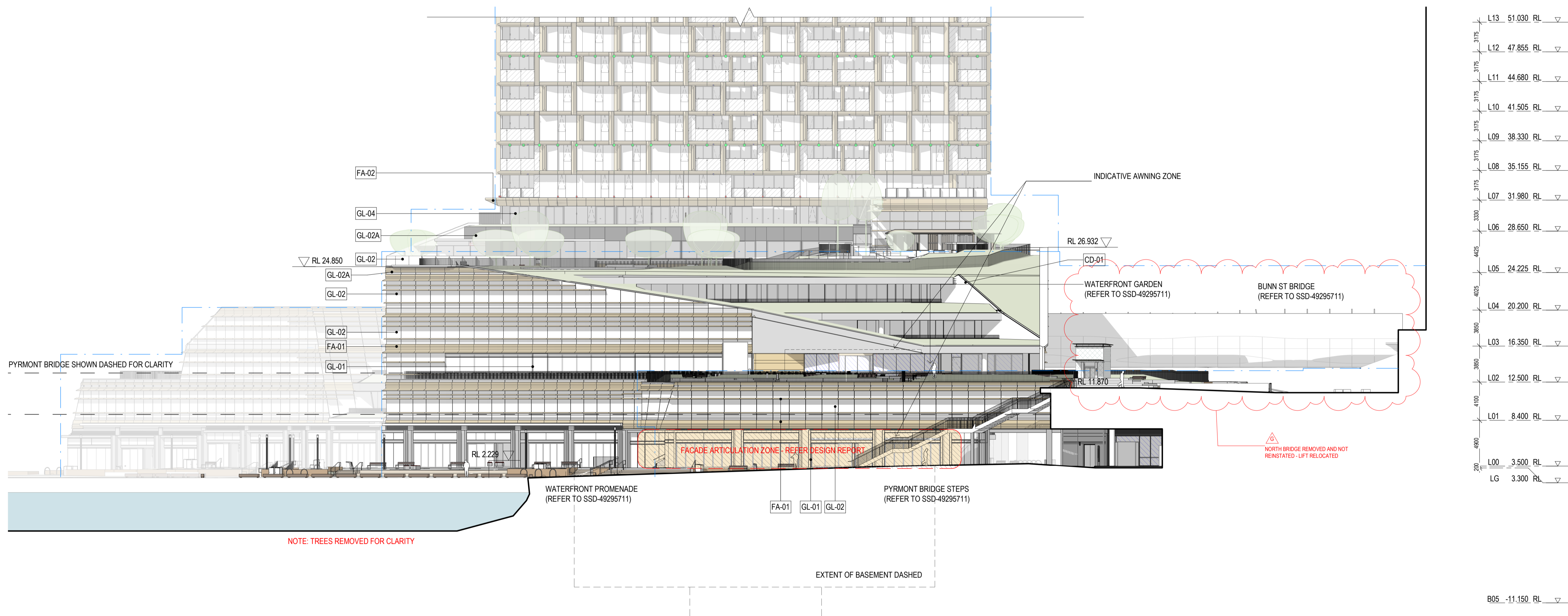
DRAWING TITLE

General Arrangement - North Elevation - Part 1

REVIEWED MI	SCALE @ A1 1 : 250
APPROVED KK LW	PROJECT NO. 016152-61A-P
DRAWING NO. AR-SSDA2- 2000_01	REV NO. G

FOR CONTINUATION REFER TO DRAWING No. 2000_02

NOTE: ANYTHING SHOWN BEYOND MATCHLINE SHOULD NOT BE USED AS PART OF THIS DRAWING.



1 GA - North Elevation Part 1
 1 : 250

NOTES

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REV	DESCRIPTION	DATE
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C	S4.55 MODIFICATION 1	22/02/2024
D	S4.55 MODIFICATION 2	01/05/2024
E	S4.55 MODIFICATION 2	06/06/2024
F	S4.55 MODIFICATION 2	19/12/2024
G	S4.55 MODIFICATION 4	02/04/2025
H	S4.55 MODIFICATION 8	15/09/2025

LEGEND

	ENVELOPE
	SSDA EXTENTS
	OPERABLE AWNING WINDOW
	BALCONY

GENERAL INFORMATION

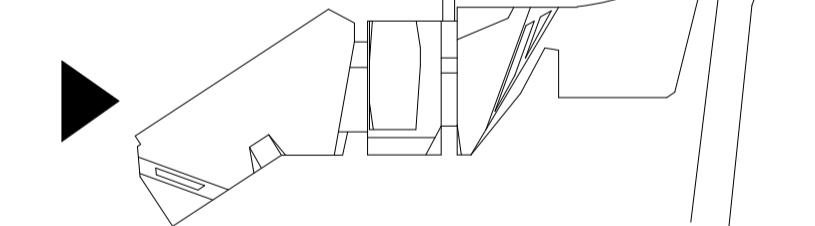
TOWER FACADE MATERIALITY
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PODIUM FACADE MATERIALITY
1. The podium curtain wall modules are composed of glazing with spandrel panels comprised of GRC (or similar) and colourback glazing with fritting.

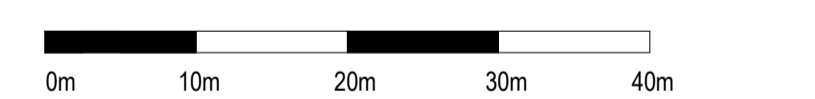
2. The facade is shaded with GRC or similar sunshades which vary in depth based on solar orientation.

3. Ground floor facades are comprised of operable shopfront glazing with varying finishes to individual tenancies.

NORTH



SCALE



CLIENT



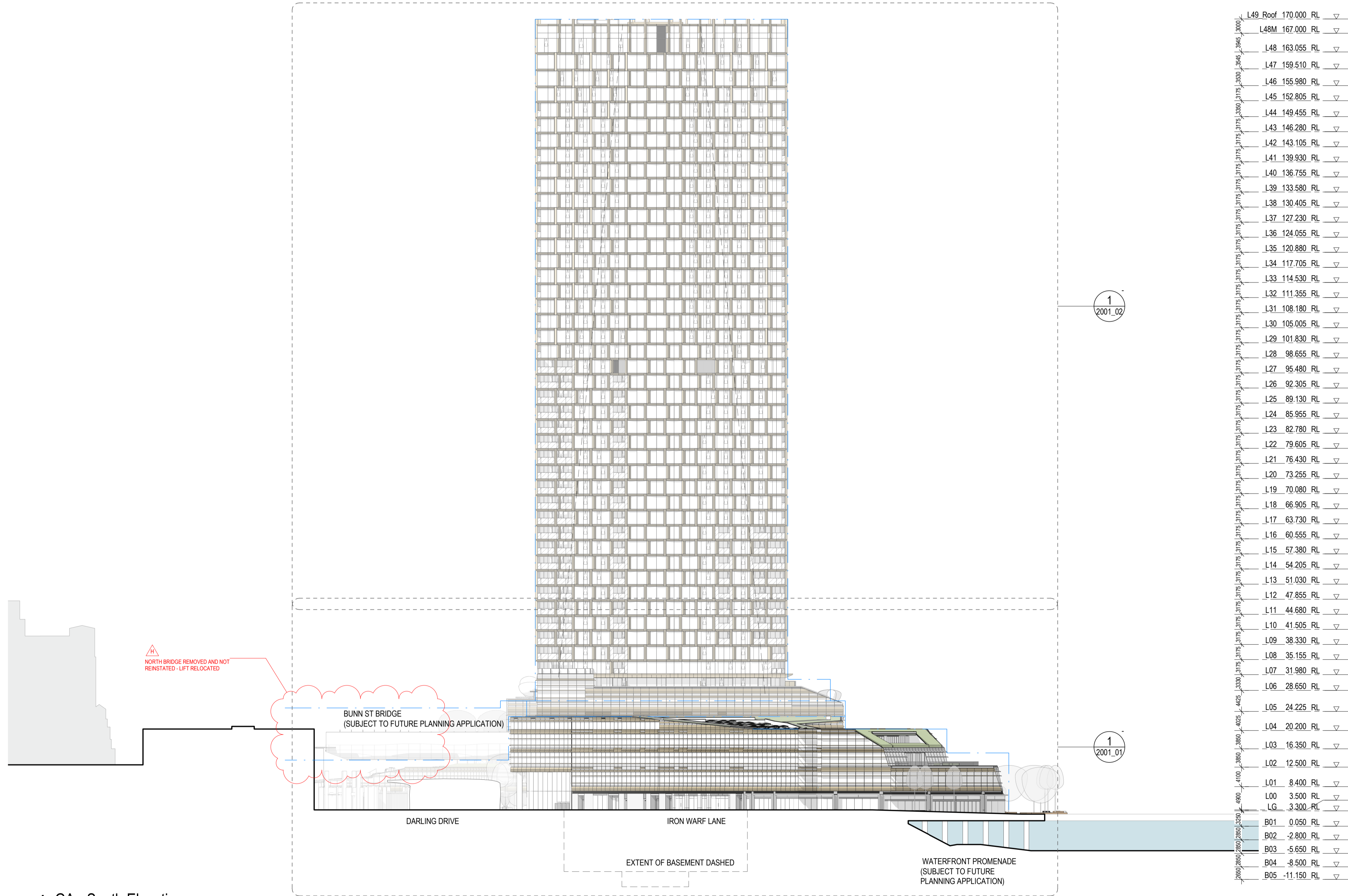
PROJECT

HARBOURSIDE
2-10 Darling Drive, Sydney, NSW, 2000

DRAWING TITLE

General Arrangement - South Elevation

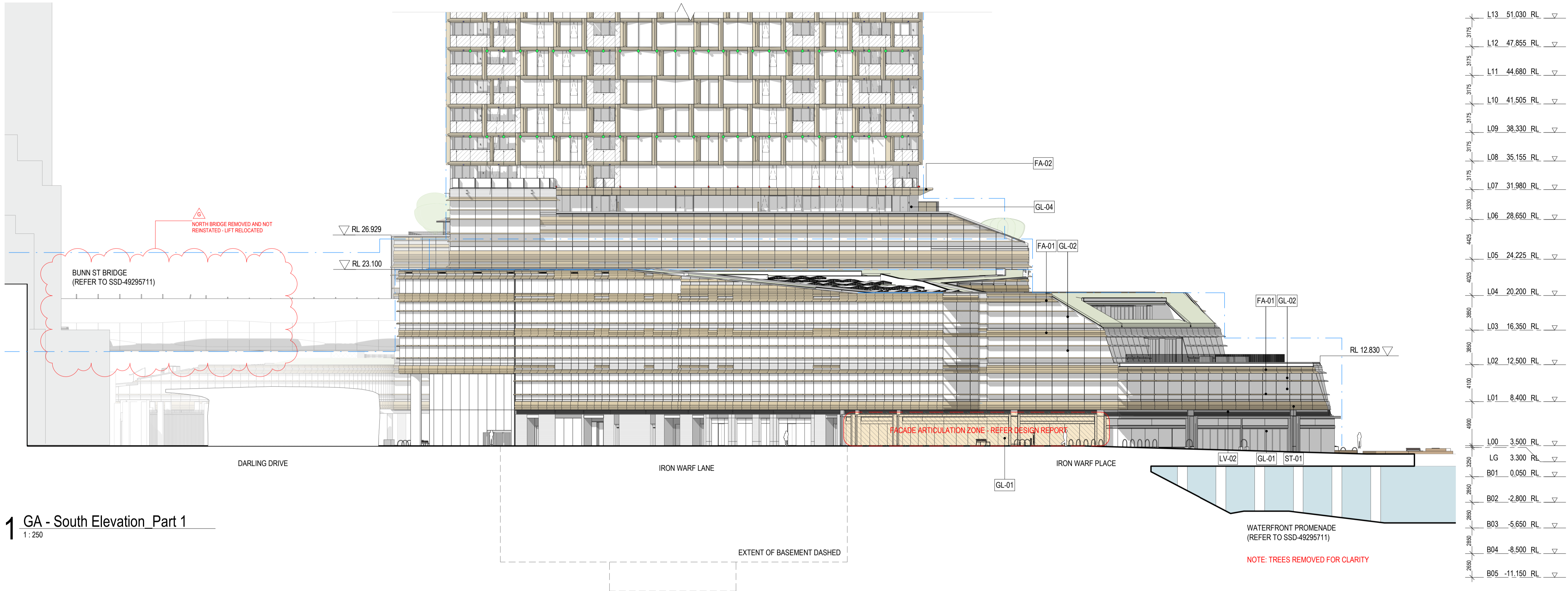
REVIEWED MI	SCALE @ A1 1 : 500
APPROVED KK LW	PROJECT NO. 016152-61A-P
DRAWING NO. AR-SSDA2- 2001_00	REV NO. H



L49 Roof	170.000	RL	▽
L48M	167.000	RL	▽
L48	163.055	RL	▽
L47	159.510	RL	▽
L46	155.980	RL	▽
L45	152.805	RL	▽
L44	149.455	RL	▽
L43	146.280	RL	▽
L42	143.105	RL	▽
L41	139.930	RL	▽
L40	136.755	RL	▽
L39	133.580	RL	▽
L38	130.405	RL	▽
L37	127.230	RL	▽
L36	124.055	RL	▽
L35	120.880	RL	▽
L34	117.705	RL	▽
L33	114.530	RL	▽
L32	111.355	RL	▽
L31	108.180	RL	▽
L30	105.005	RL	▽
L29	101.830	RL	▽
L28	98.655	RL	▽
L27	95.480	RL	▽
L26	92.305	RL	▽
L25	89.130	RL	▽
L24	85.955	RL	▽
L23	82.780	RL	▽
L22	79.605	RL	▽
L21	76.430	RL	▽
L20	73.255	RL	▽
L19	70.080	RL	▽
L18	66.905	RL	▽
L17	63.730	RL	▽
L16	60.555	RL	▽
L15	57.380	RL	▽
L14	54.205	RL	▽
L13	51.030	RL	▽
L12	47.855	RL	▽
L11	44.680	RL	▽
L10	41.505	RL	▽
L09	38.330	RL	▽
L08	35.155	RL	▽
L07	31.980	RL	▽
L06	28.805	RL	▽
L05	24.225	RL	▽
L04	20.200	RL	▽
L03	16.350	RL	▽
L02	12.500	RL	▽
L01	8.400	RL	▽
L00	3.500	RL	▽
LG	-3.300	RL	▽
B01	0.050	RL	▽
B02	-2.800	RL	▽
B03	-5.650	RL	▽
B04	-8.500	RL	▽
B05	-11.150	RL	▽

1 GA - South Elevation
1:500

FOR CONTINUATION REFER TO DRAWING No. 2001_02
 NOTE: ANYTHING SHOWN BEYOND MATCHLINE SHOULD NOT BE USED AS PART OF THIS DRAWING.



L13	51.030	RL	▽
L12	47.855	RL	▽
L11	44.680	RL	▽
L10	41.505	RL	▽
L09	38.330	RL	▽
L08	35.155	RL	▽
L07	31.980	RL	▽
L06	28.650	RL	▽
L05	24.225	RL	▽
L04	20.200	RL	▽
L03	16.350	RL	▽
L02	12.500	RL	▽
L01	8.400	RL	▽
L00	3.500	RL	▽
LG	3.300	RL	▽
B01	0.050	RL	▽
B02	-2.800	RL	▽
B03	-5.650	RL	▽
B04	-8.500	RL	▽
B05	-11.150	RL	▽

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REV	DESCRIPTION	DATE
A	FOR SSDA2 APPROVAL	02/11/2022
B	For SSDA2 RTS	03/10/2023
C	S4.55 MODIFICATION 1	22/02/2024
D	S4.55 MODIFICATION 1	01/05/2024
E	S4.55 MODIFICATION 2	06/06/2024
F	S4.55 MODIFICATION 2	19/12/2024
G	S4.55 MODIFICATION 8	15/09/2025

LEGEND

- ENVELOPE
- SSDA EXTENTS
- OPERABLE AWNING WINDOW
- BALCONY

NOTE: REFER MATERIAL SCHEDULE FOR DEFINITIONS OF MATERIAL TAGS

NORTH

SCALE

CLIENT

PROJECT
 HARBOURSIDE
 2-10 Darling Drive, Sydney, NSW, 2000

DRAWING TITLE
 General Arrangement - South Elevation - Part 1

REVIEWED MI	SCALE @ A1 1 : 250
APPROVED KK LW	PROJECT NO. 016152-61A-P
DRAWING NO. AR-SSDA2- 2001_01	REV NO. G

1 GA - South Elevation Part 1
 1 : 250

NOTES

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A	FOR SSDA2 APPROVAL	02/11/2022
B	FOR SSDA2 RTS	03/10/2023
C	S4.55 MODIFICATION 1	22/02/2024
D	S4.55 MODIFICATION 2	01/05/2024
E	S4.55 MODIFICATION 2	06/06/2024
F	S4.55 MODIFICATION 2	19/12/2024
G	S4.55 MODIFICATION 4	02/04/2025
H	S4.55 MODIFICATION 8	15/09/2025

LEGEND

- ENVELOPE
- SSDA EXTENTS
- OPERABLE AWNING WINDOW
- BALCONY

GENERAL INFORMATION

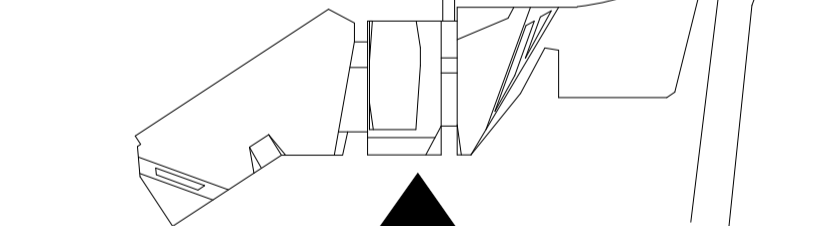
TOWER FACADE MATERIALITY
1. The tower facade system includes curtain wall aluminium framing, fixed clear vision glass, clear vision glass awning windows, colour back glass spandrel panels, clear glass balustrades, and integral vertical and horizontal shading fins.

PODIUM FACADE MATERIALITY
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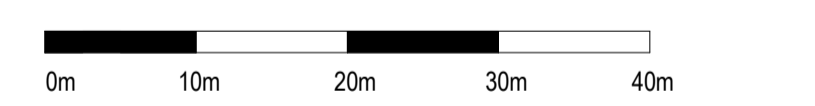
2. The facade is shaded with GRC or similar sunshades which vary in depth based on solar orientation.

3. Ground floor facades are comprised of operable shopfront glazing with varying finishes to individual tenancies.

NORTH



SCALE



CLIENT



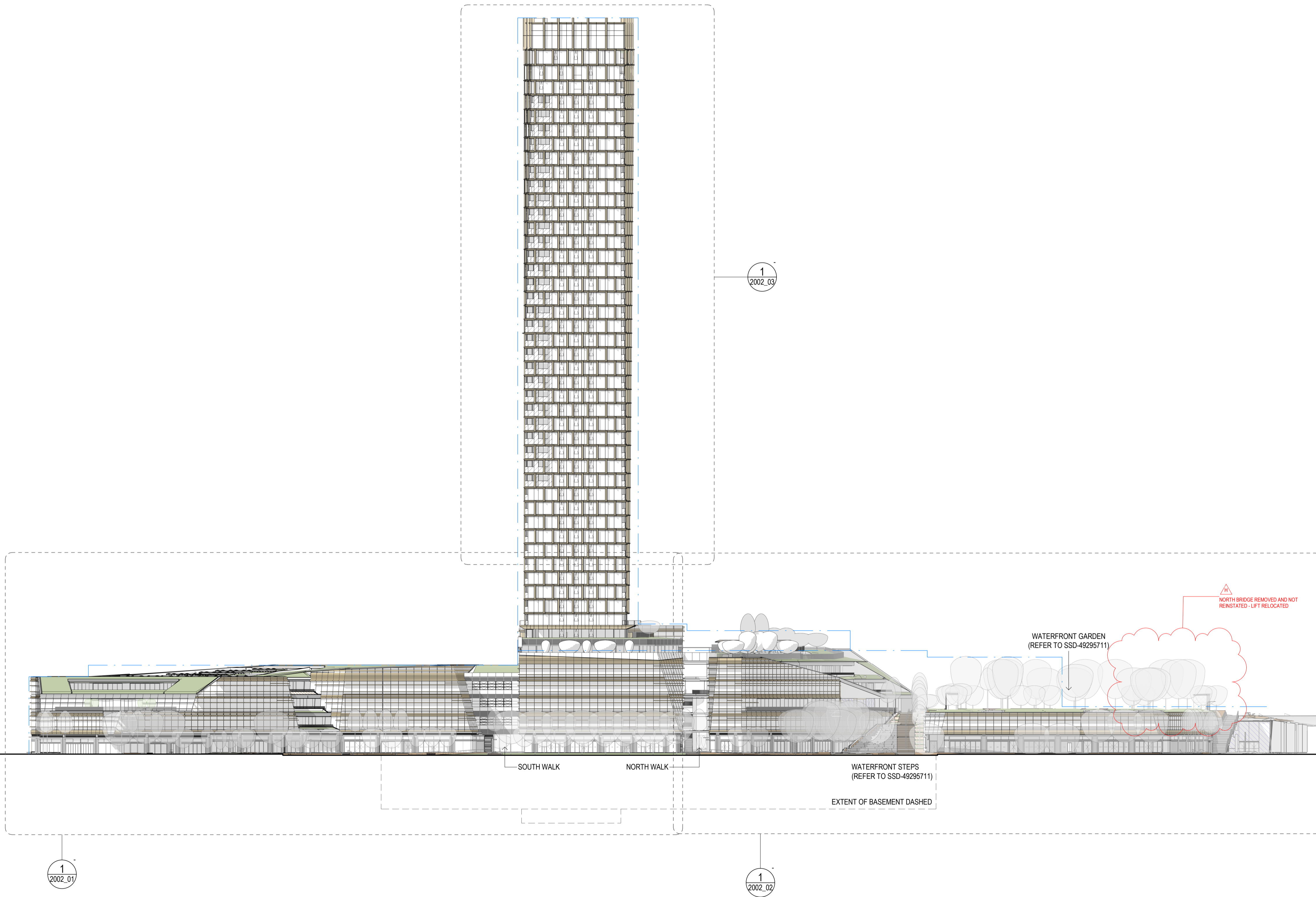
PROJECT

HARBOURSIDE
2-10 Darling Drive, Sydney, NSW, 2000

DRAWING TITLE

General Arrangement - East Elevation

REVIEWED	SCALE @ A1
MI	1 : 500
APPROVED	PROJECT NO.
KK LW	016152-61A-P
DRAWING NO.	REV NO.
AR-SSDA2-2002_00	H



L49_Roof	170.000	RL	▽
L48M	167.000	RL	▽
L48	163.055	RL	▽
L47	159.510	RL	▽
L46	155.980	RL	▽
L45	152.805	RL	▽
L44	149.455	RL	▽
L43	146.280	RL	▽
L42	143.105	RL	▽
L41	139.930	RL	▽
L40	136.755	RL	▽
L39	133.580	RL	▽
L38	130.405	RL	▽
L37	127.230	RL	▽
L36	124.055	RL	▽
L35	120.880	RL	▽
L34	117.705	RL	▽
L33	114.530	RL	▽
L32	111.355	RL	▽
L31	108.180	RL	▽
L30	105.005	RL	▽
L29	101.830	RL	▽
L28	98.655	RL	▽
L27	95.480	RL	▽
L26	92.305	RL	▽
L25	89.130	RL	▽
L24	85.955	RL	▽
L23	82.780	RL	▽
L22	79.605	RL	▽
L21	76.430	RL	▽
L20	73.255	RL	▽
L19	70.080	RL	▽
L18	66.905	RL	▽
L17	63.730	RL	▽
L16	60.555	RL	▽
L15	57.380	RL	▽
L14	54.205	RL	▽
L13	51.030	RL	▽
L12	47.855	RL	▽
L11	44.680	RL	▽
L10	41.505	RL	▽
L09	38.330	RL	▽
L08	35.155	RL	▽
L07	31.980	RL	▽
L06	28.805	RL	▽
L05	24.225	RL	▽
L04	20.200	RL	▽
L03	16.350	RL	▽
L02	12.500	RL	▽
L01	8.400	RL	▽
L00	3.500	RL	▽
LG	3.300	RL	▽
B01	0.050	RL	▽
B02	-2.800	RL	▽
B03	-5.650	RL	▽
B04	-8.500	RL	▽
B05	-11.150	RL	▽

1 GA -East Elevation
1 : 500

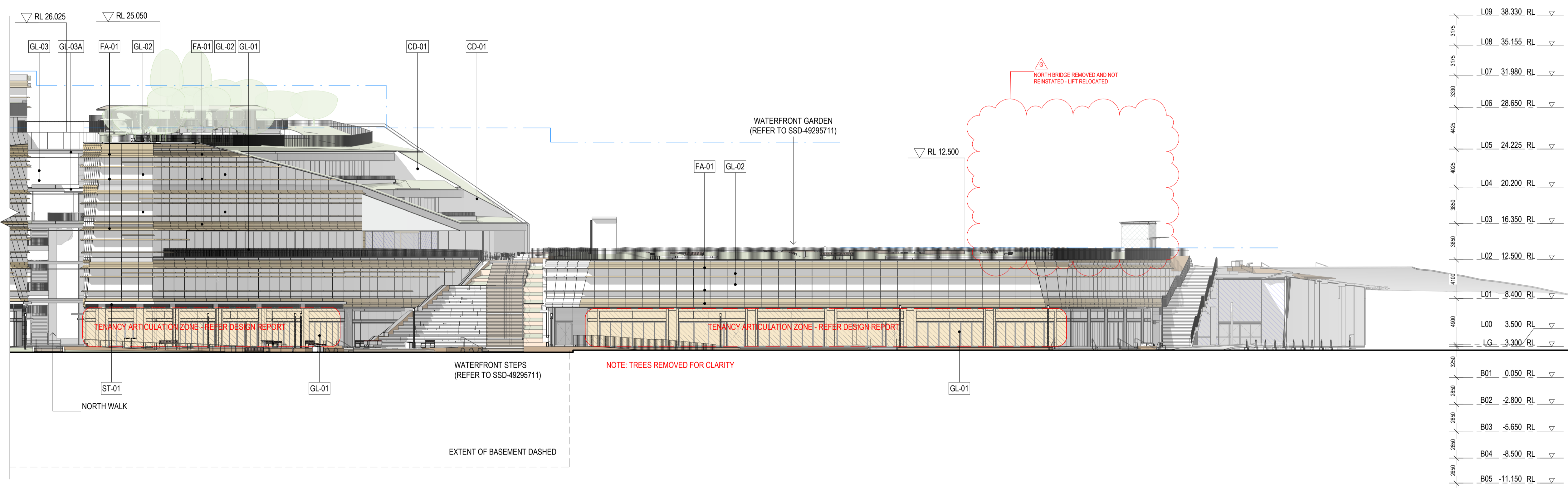
NOTES

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REV	DESCRIPTION	DATE
A	FOR SSDA2 APPROVAL	02/11/2022
B	For SSDA2 RTS	03/10/2023
C	S4.55 MODIFICATION 1	22/02/2024
D	S4.55 MODIFICATION 2	01/05/2024
E	S4.55 MODIFICATION 2	06/06/2024
F	S4.55 MODIFICATION 2	19/12/2024
G	S4.55 MODIFICATION 8	15/09/2025

NOTE: ANYTHING SHOWN BEYOND MATCHLINES SHOULD NOT BE USED AS PART OF THE DRAWING FOR CONTINUATION REFER TO DRAWING No. 2002_01

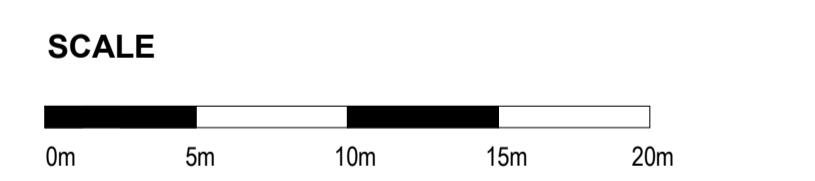


LEGEND

- ENVELOPE
- SSDA EXTENTS
- OPERABLE AWNING WINDOW
- BALCONY

NOTE: REFER MATERIAL SCHEDULE FOR DEFINITIONS OF MATERIAL TAGS

NORTH



CLIENT

PROJECT
 HARBOURSIDE
 2-10 Darling Drive, Sydney, NSW, 2000

DRAWING TITLE
 General Arrangement - East Elevation - Part 2

REVIEWED MI	SCALE @ A1 1 : 250
APPROVED KK LW	PROJECT NO. 016152-61A-P
DRAWING NO. AR-SSDA2- 2002_02	REV NO. G

1 GA -East Elevation - Part 2
 1 : 250

NOTES

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REV	DESCRIPTION	DATE
A	FOR SSDA2 APPROVAL	02/11/2022
B	For SSDA2 RTS	03/10/2023
C	S4.55 MODIFICATION 1	22/02/2024
D	S4.55 MODIFICATION 2	01/05/2024
E	S4.55 MODIFICATION 2	06/06/2024
F	S4.55 MODIFICATION 2	19/12/2024
G	S4.55 MODIFICATION 4	02/04/2025
H	S4.55 MODIFICATION 8	15/09/2025

LEGEND

	ENVELOPE
	SSDA EXTENTS
	OPERABLE AWNING WINDOW
	BALCONY

GENERAL INFORMATION

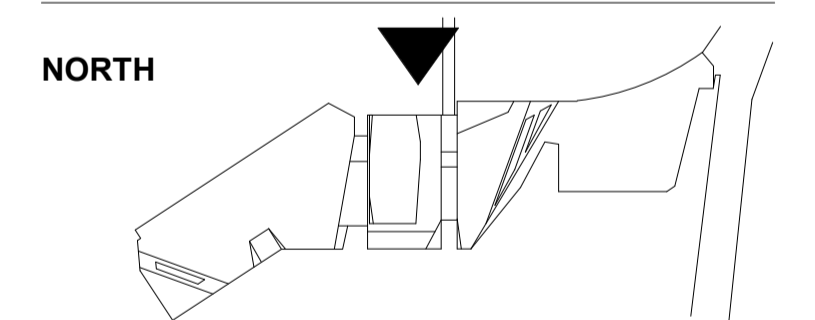
TOWER FACADE MATERIALITY
1. The tower facade system includes curtain wall aluminium framing, fixed clear vision glass, clear vision glass awning windows, colour back glass spandrel panels, clear glass balustrades, and integral vertical and horizontal shading fins.

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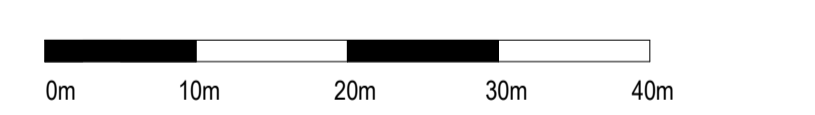
2. The facade is shaded with GRC or similar sunshades which vary in depth based on solar orientation.

3. Ground floor facades are comprised of operable shopfront glazing with varying finishes to individual tenancies.

NORTH



SCALE



CLIENT



PROJECT

HARBOURSIDE
2-10 Darling Drive, Sydney, NSW, 2000

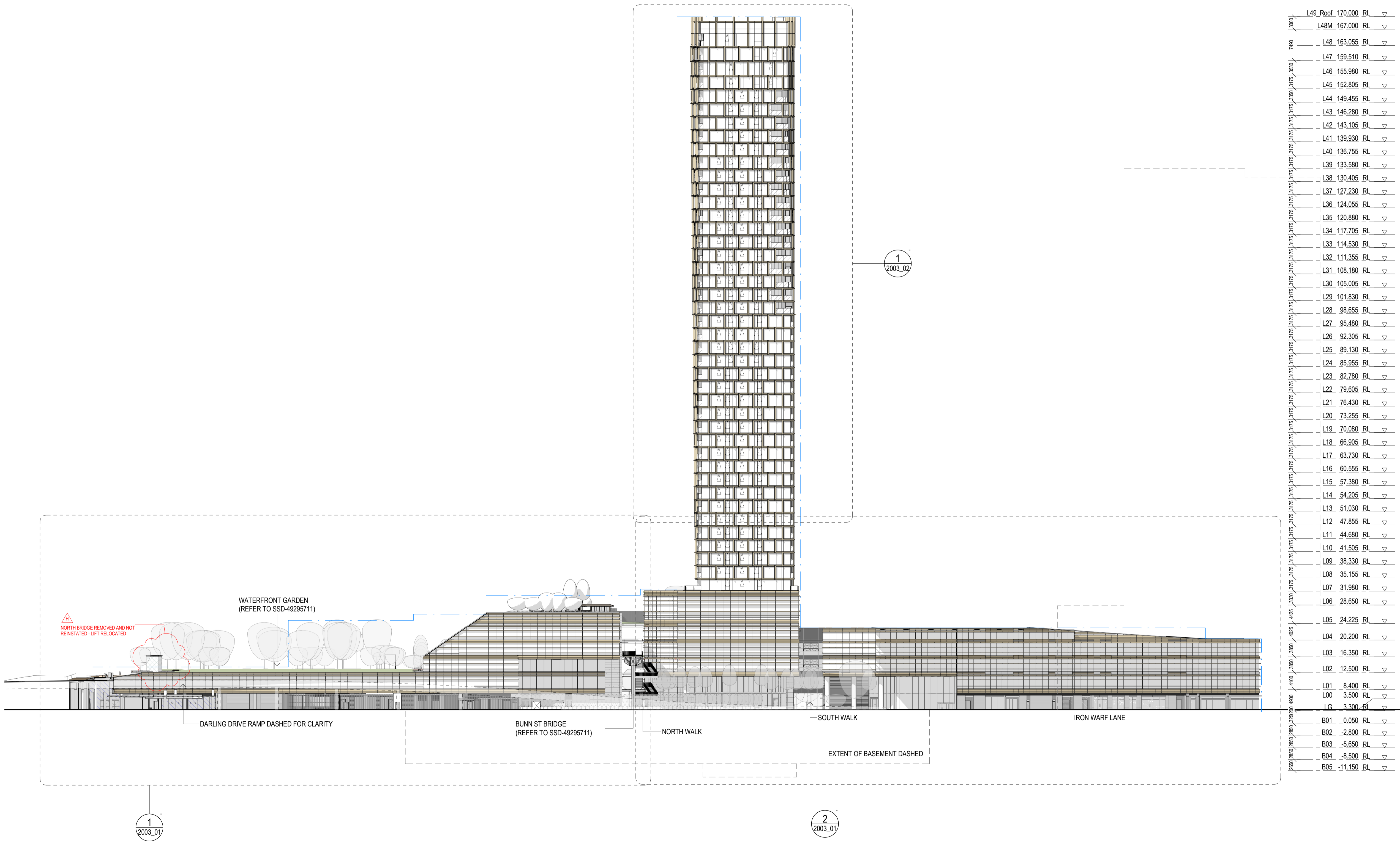
DRAWING TITLE

General Arrangement - West Elevation

REVIEWED MI SCALE @ A1 1 : 500

APPROVED KK LW PROJECT NO. 016152-61A-P

DRAWING NO. AR-SSDA2-2003_00 REV NO. H



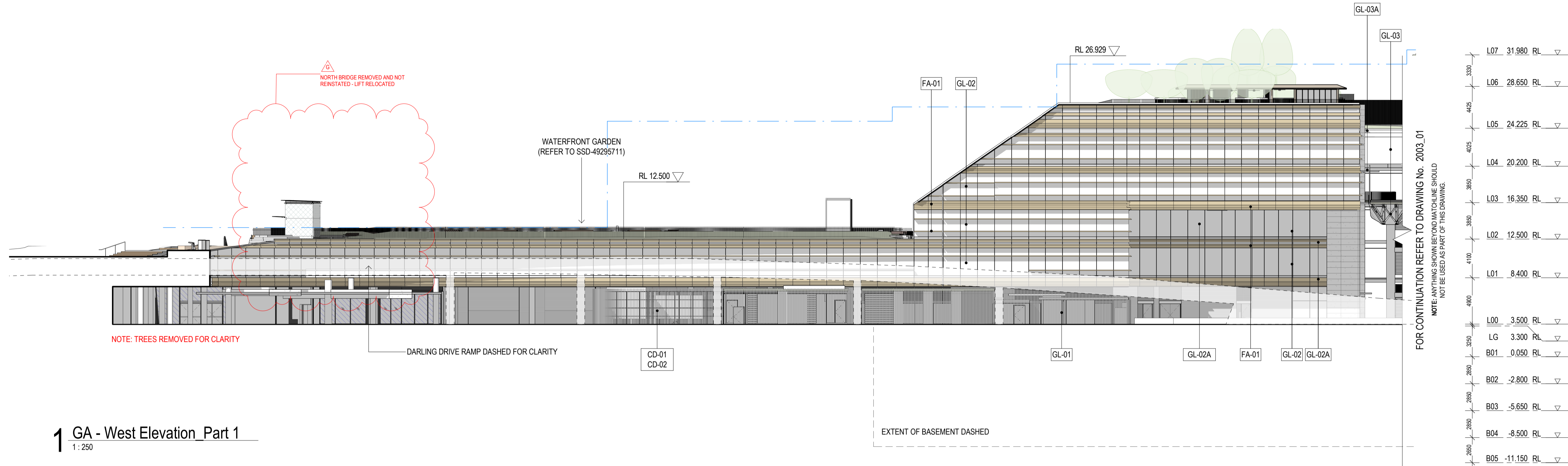
1 GA - West Elevation
1 : 500

NOTES

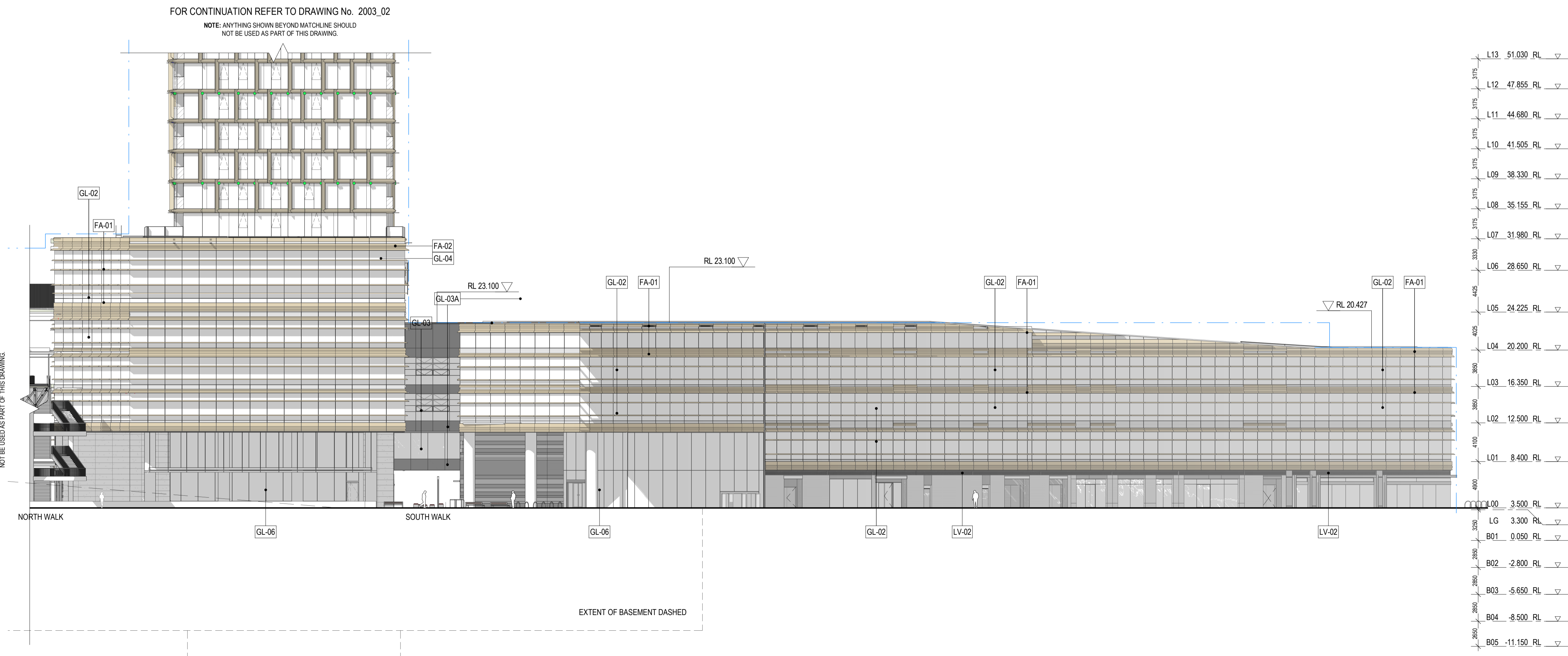
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REV	DESCRIPTION	DATE
A	FOR SSDA2 APPROVAL	02/11/2022
B	FOR SSDA2 RTS	03/10/2023
C	S4.55 MODIFICATION 1	22/02/2024
D	S4.55 MODIFICATION 2	01/05/2024
E	S4.55 MODIFICATION 2	06/06/2024
F	S4.55 MODIFICATION 2	19/12/2024
G	S4.55 MODIFICATION 8	15/09/2025



1 GA - West Elevation Part 1
 1 : 250



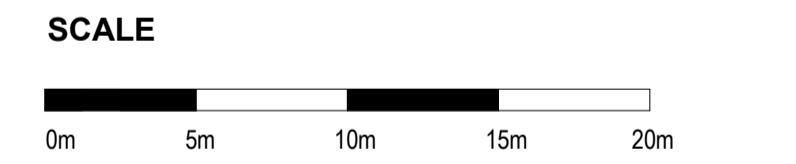
2 GA - West Elevation Part 2
 1 : 250

LEGEND

- ENVELOPE
- SSDA EXTENTS
- OPERABLE AWNING WINDOW
- BALCONY

NOTE: REFER MATERIAL SCHEDULE FOR DEFINITIONS OF MATERIAL TAGS

NORTH

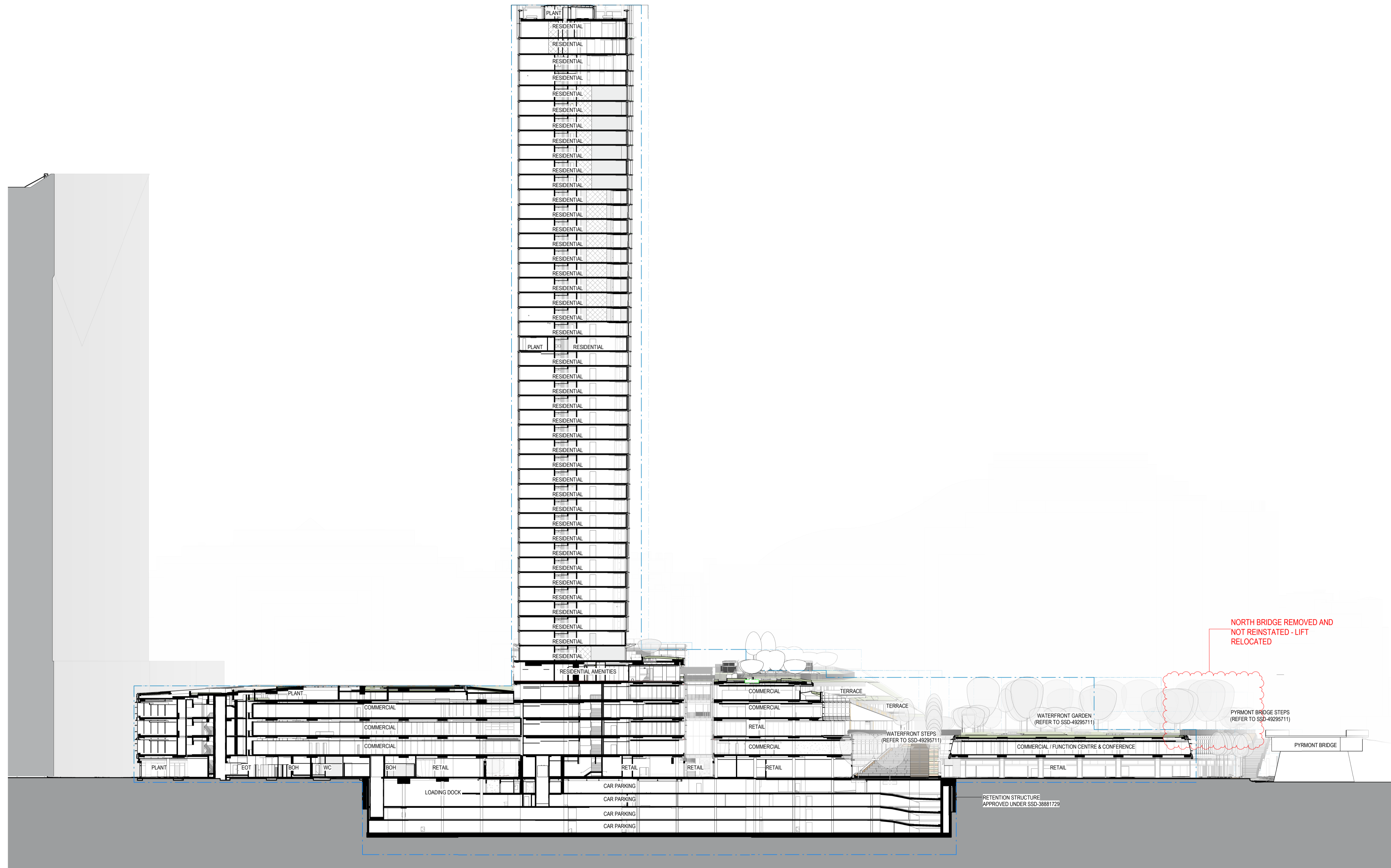


CLIENT

PROJECT
 HARBOURSIDE
 2-10 Darling Drive, Sydney, NSW, 2000

DRAWING TITLE
 General Arrangement - West Elevation - Part 1 & 2

REVIEWED MI	SCALE @ A1 1 : 250
APPROVED KK LW	PROJECT NO. 016152-61A-P
DRAWING NO. AR-SSDA2- 2003_01	REV NO. G



L149	Roof	170.000	RL	▽
L148		167.000	RL	▽
L147		163.055	RL	▽
L146		159.510	RL	▽
L145		155.980	RL	▽
L144		152.805	RL	▽
L143		149.455	RL	▽
L142		146.280	RL	▽
L141		143.105	RL	▽
L140		139.930	RL	▽
L139		136.755	RL	▽
L138		133.580	RL	▽
L137		130.405	RL	▽
L136		127.230	RL	▽
L135		124.055	RL	▽
L134		120.880	RL	▽
L133		117.705	RL	▽
L132		114.530	RL	▽
L131		111.355	RL	▽
L130		108.180	RL	▽
L129		105.005	RL	▽
L128		101.830	RL	▽
L127		98.655	RL	▽
L126		95.480	RL	▽
L125		92.305	RL	▽
L124		89.130	RL	▽
L123		85.955	RL	▽
L122		82.780	RL	▽
L121		79.605	RL	▽
L120		76.430	RL	▽
L119		73.255	RL	▽
L118		70.080	RL	▽
L117		66.905	RL	▽
L116		63.730	RL	▽
L115		60.555	RL	▽
L114		57.380	RL	▽
L113		54.205	RL	▽
L112		51.030	RL	▽
L111		47.855	RL	▽
L110		44.680	RL	▽
L109		41.505	RL	▽
L108		38.330	RL	▽
L107		35.155	RL	▽
L106		31.980	RL	▽
L105		28.805	RL	▽
L104		25.630	RL	▽
L103		22.455	RL	▽
L102		19.280	RL	▽
L101		16.105	RL	▽
L100		12.930	RL	▽
B01		9.755	RL	▽
B02		6.580	RL	▽
B03		3.405	RL	▽
B04		0.230	RL	▽
B05		-2.945	RL	▽

NOTES

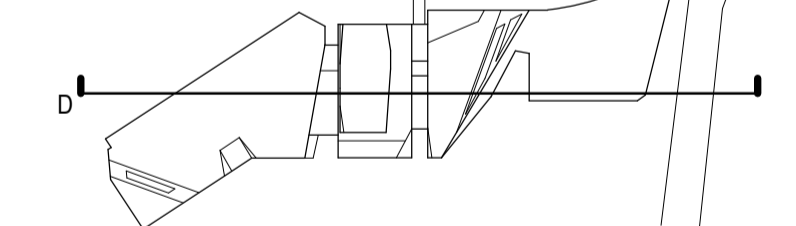
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REV	DESCRIPTION	DATE
A	FOR SSDA2 APPROVAL	02/11/22
B	FOR SSDA2 RTS	29/06/2023
C	S4.55 MODIFICATION 1	22/02/2024
D	S4.55 MODIFICATION 2	01/05/2024
E	S4.55 MODIFICATION 2	06/06/2024
F	S4.55 MODIFICATION 2	19/12/2024
G	S4.55 MODIFICATION 4	02/04/2025
H	S4.55 MODIFICATION 8	15/09/2025

LEGEND

SSDA STAGE 1 AMENDED ENVELOPE

NORTH



SCALE



CLIENT

mirvac
PROJECT
 MIRVAC HARBOURSIDE
 2 - 10 DARLING DRIVE, DARLING HARBOUR
 NSW 2000

DRAWING TITLE

Section D

REVIEWED MI	SCALE @ A1 1 : 500
APPROVED LW / KK	PROJECT NO. 016152-61A-P
DRAWING NO. AR-SSDA2- 3002_00	REV NO. H

D SECTION D
 1:500