

Section 4.55(1A) Modification Report MOD 3

State Significant Development Application SSD-44034342

Westmead Integrated Mental Health Complex

Submitted to The Department of Planning, Housing and Industry
on behalf of Health Infrastructure NSW



'Gura Bulga'

Liz Belanjee Cameron

'Gura Bulga' – translates to Warm Green Country. Representing New South Wales.



'Dagura Buumarri'

Liz Belanjee Cameron

'Dagura Buumarri' – translates to Cold Country. Representing Victoria.



'Gadalung Djarri'

Liz Belanjee Cameron

'Gadalung Djarri' – translates to Hot Red Country. Representing Queensland.

Ethos Urban acknowledges the Traditional Custodians of Country throughout Australia and recognises their continuing connection to land, waters and culture.

We pay our respects to their Elders past, present and emerging.

In supporting the Uluru Statement from the Heart, we walk with Aboriginal and Torres Strait Islander people in a movement of the Australian people for a better future.

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Appendices

Appendix	Title	Author
A.	Architectural Drawings	Jacobs
B.	Design Statement	Jacobs
C.	Landscape Plans	Jacobs
D.	Landscape Design Report	Jacobs and Site Image
E.	Landscape Design Statement	Site Image
F.	Civil Drawings	Arup
G.	Civil Design Statement	Arup
H.	Ecologically Sustainable Development Report	LCI

1.0 Introduction

This Modification Report has been prepared by Ethos Urban on behalf of Health Infrastructure NSW to accompany a Modification Application pursuant to 4.55(1A) of the Environmental Planning and Assessment Act 1979 (EP&A Act). It seeks to modify State Significant Development (SSD) 44034342 relating to the Westmead Integrated Mental Health Complex (the project) at Westmead Hospital (the site).

Section 4.55(1A) states that a consent authority may modify the consent if it is satisfied that the proposed modification is of minimal environmental impact and that the consent as modified is substantially the same development as the development for which the consent was originally granted.

The Modification Application is based on the amended Architectural Plans provided by Jacobs (see **Appendix A**) and other supporting technical information appended to the Report (see Table of Contents). This Report has been prepared in accordance with Part 5 of the EP&A Regulations and the Department of Planning, Housing and Industry's (DPHI) State Significance Development Guidelines – Preparing a Modification Report. It identifies the consent to be modified, describes the proposed modifications and provides a planning assessment of the relevant matters for consideration.

1.1 The Applicant

The Applicant's details are presented in **Table 1** below.

Table 1 *Applicant Details*

Applicant:	Health Infrastructure NSW
Address:	1 Reserve Rd, St Leonards NSW 2065
ABN:	89 600 377 397

1.2 Overview of the approved development

Development consent SSD-44034342 was granted by the Department of Planning and Environment on 7 December 2023 for the construction and operation of a 9 storey Integrated Mental Health (Hospital) Complex (IMHC) at Westmead Hospital, including demolition, remediation, earthworks, tree removal, landscaping, services, access arrangements (including link bridge to ASB) and signage. The project's key elements as originally approved comprise:

- Site establishment.
- Site preparation, including earthworks, tree removal, cut and fill.
- Construction of internal road and car park alterations and upgrades.
- In-ground building services works and utility adjustments, including service diversions.
- Building foundation works.
- Link bridge connection to the existing central acute services building.
- Signage, including wayfinding.
- Landscaping.

1.2.1 Previous Modifications

Modification 1

Development consent SSD-44034342 is subject to modification (SSD-44034342-Mod 1), which was approved by DPHI on 12 December 2024. The modification included the relocation of the electrical kiosk and generator to the ground level, removal of one lift, replacement of the main mechanical riser with on-floor plant to each level and amended landscaping.

Modification 2

Development consent SSD-44034342 is subject to another modification (MOD 2) which is currently under assessment (SSD-44034342-Mod-2), including the deletion of Level 10, relocation of building services from the roof to Level 0, the addition of flood protection to the Level 0 plant rooms, the realignment of balconies, modifications to the façade.

1.3 Proposed modifications to the consent.

This application seeks consent for the following modifications to the development consent:

- Removal of seating benches in landscaped area.
- Reduction of landscaping to accommodate sandstone blocks.
- Removal of the external pergola on the western and eastern shelter.
- Design adjustments to staff courtyard landscaping.
- Adjustment to paving extent and material selection.
- Removal the green roof over the loading dock and replacement with a gravel base.
- Adjustments and rationalisation of the courtyard landscaping and planting schedule, including associated excavation and earthworks.
- Addition of mechanical louvres to the façade.
- Alternative brick selection and bond, changing from soldier course to standard stretcher course.
- Updated ESD report to reflect modifications.
- Modification or Condition A2 to reflect the updated Architectural plan set.

1.4 Site Overview

The IMHC is located within Westmead Hospital, approximately 1.5km northwest of the Parramatta Central Business District (CBD), the primary metropolitan centre of Western Sydney. The hospital site is owned by the Health Administration Corporation and is legally described as Lot 1 in DP1194390 and Lot 4 in DP 1077852. The proposed works will be carried out within the central part of the hospital, which is located on Lot 1 in DP1194390. An aerial photograph of the site is shown at **Figure 1**.

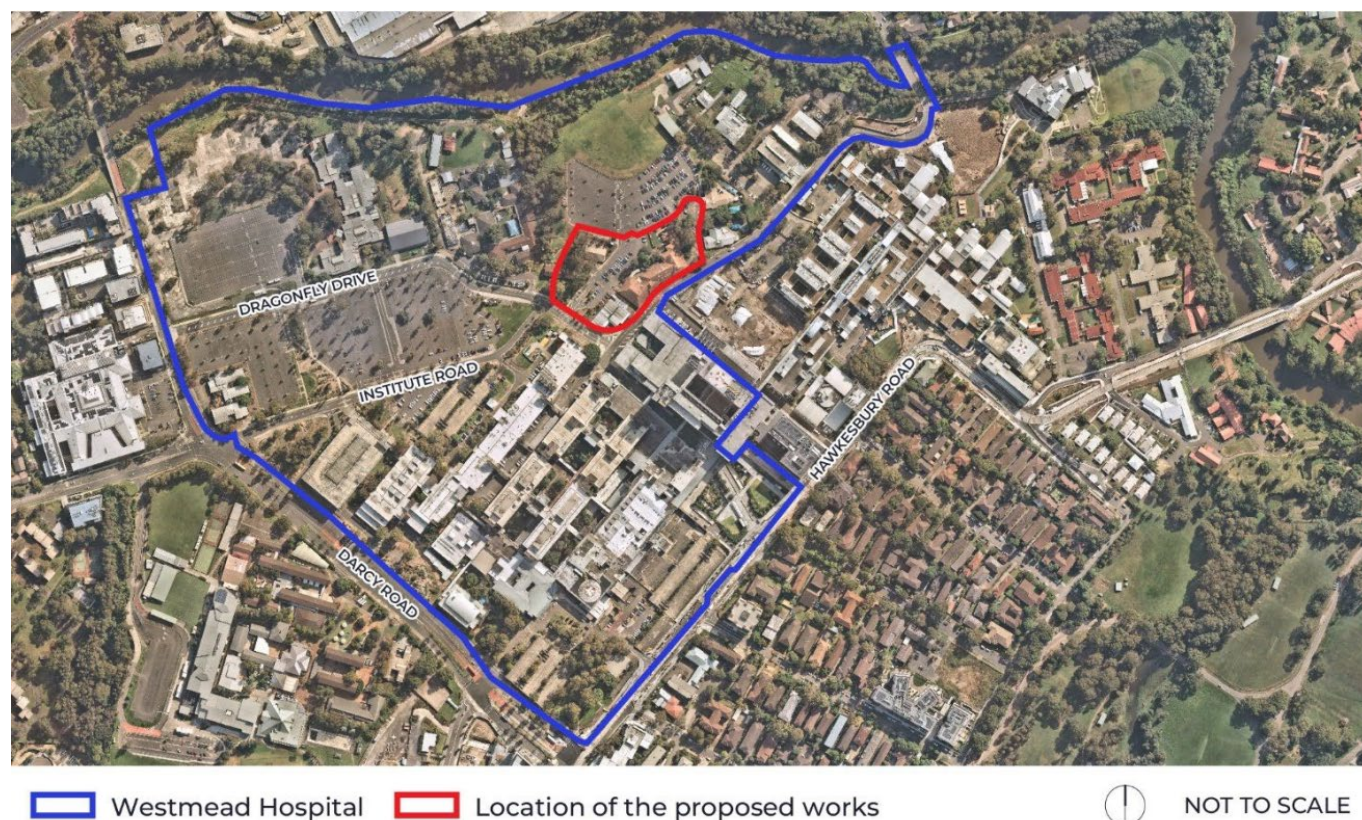


Figure 1 *Site Aerial*

Source: Nearmap & Ethos Urban

1.5 Analysis of alternatives

Two feasible alternatives were considered:

Option 1 – Do nothing

Under the 'do-nothing' alternative, the development will be constructed under the originally approved design, which does not address challenges that have arisen through the detailed design development process.

Option 2 – The proposal

The design development process has identified changes to internal and external elements of the building, including adjustments to landscaped areas, plant, and façade elements for increased efficiency and maintenance. These changes have prompted a reassessment of their placement within the design. The amenity of the building will remain the same, and the building will remain of a high quality. As a result of the proposed changes, the overall project will largely remain the same. Accordingly, option 2 is considered the preferred option.

2.0 Strategic context

The modified development's alignment with its strategic context remains consistent with that identified during the assessment of the approved development. The modified development is consistent with the following:

- **NSW Premier's Priorities**, through the provision of improved health outcomes and education standards as the proposed development will deliver world class health infrastructure.
- The **Greater Sydney Region Plan** as it continues to support the vision of delivering infrastructure to support population growth, reducing the strain on existing hospital services and capacity.
- The modification continues to align with the **Central City District Plan** as it continues to provide employment opportunities within the district in order to help achieve the overarching objective of a 30-minute city.
- The **Parramatta Local Strategic Planning Statement** supports the delivery of infrastructure that addresses the needs of the growing population, aligns with Council's adopted strategies, and implements the State Government's strategic directions for the LGA. The modification is consistent with these planning priorities by delivering critical health infrastructure, enhancing accessibility, and promoting sustainable development.
- The principles of the **Connecting with Country Framework**, continue to apply post-modification, guiding the integration of connections with Country in planning, design, and delivery. These principles will remain throughout the project's lifecycle.
- The **Westmead Place Strategy's** key directions and priorities continue to apply post-modification. The IHMC will still deliver hospital infrastructure, generate employment, incorporate Connecting to Country principles, support active transport, contribute to the green grid, and promote public transport use through the Green Travel Plan.
- The principles of the **Healthy Urban Development Checklist** continue to apply post-modification. The proposed development will still deliver a state-of-the-art facility, improving urban design through modern hospital infrastructure and enhanced pedestrian and vehicular circulation. The checklist has been considered throughout the design process.

3.0 Description of the modifications

This Section describes the proposed modifications to the approved project. It also outlines why the development, as proposed to be modified, is substantially the same development as that originally approved.

3.1 Modification Overview

The purpose of this Modification Application is to amend SSD-44034342 to facilitate minor refinements as a result of design development. The proposed modifications are summarised in **Table 2**, including the modifications proposed as part of MOD 3. The modifications are discussed in further detail in **Section 3.2**.

Table 2 Modified Project Summary Table

Component	Original Project	Modified Project (MOD 3)
Project Summary	Construction and operation of a 9 storey Integrated Mental Health Complex located at Westmead Hospital.	No change.
Project Address	The works will be carried out in the central part of Lot 1 in DP1194390.	No change.
Project Area	1.15 hectares	No change.
Proposed Use	Hospital	No change.
Physical Layout and Design	A 9-storey building that incorporates a rectangular shaped base component (comprising building entries and support areas) which breaks into five peninsular wings (used for patient accommodation and courtyards). The building will also include connection to the CASB via a bridge at Level 2 and Level 3. A at-grade car park will be constructed and will provide 28 car parking spaces for IMHC visitors. Additional works to be undertaken as part of this proposal include landscaping and public domain works which comprise addition tree planting, provision of vegetation and installation of furniture.	No change.
Proposed Site Preparation Activities	Demolition, earthworks, tree removal, services infrastructure	No change.
GFA	37,985m ²	No change.
<ul style="list-style-type: none">Maximum Height	RL61.00 (43.1 metres)	No change.
<ul style="list-style-type: none">Storeys	9 storeys	No change.
Car Spaces	28 short term parking spaces	No change.
Bicycle Parking Spaces	30	No change.
Proposed Tree Removal	34 trees and 15 Palm Trees	No change.
Proposed Tree Canopy	Overall tree canopy of 3,300sqm, equating to an 287.38sqm increase in tree canopy	No change.
Jobs	Construction: 606 Operation: 291	No change.
Operational Hours	24 hours a day, 7 days a week	No change.
Construction Hours	7:00am and 6:00pm on Monday to Friday. 8:00am to 1:00pm on Saturday.	No change.

Component	Original Project	Modified Project (MOD 3)
	No work to take place on Sunday or public holidays.	
Staging	The works proposed under this SSDA will be carried out as a single stage. The construction works are anticipated to commence in Q1 2025.	No change.

3.2 Detailed Modification Description

The proposed modification seeks to further refine the design following the detailed design process. The proposed modifications to the development are described in the following sections below and illustrated in the Architectural Drawings prepared by Jacobs (**Appendix A**), and the Landscape Plans prepared by Site Image (**Appendix C**). The Environmentally Sustainable Development Report (ESD) has also been updated to reflect the below changes and is provided at **Appendix H**.

The proposed modification does not result in any change to the most substantial development elements, including tree removal, parking numbers or overall bed numbers. The subject modifications have been compared to Mod 2 changes in detail below.

3.2.1 Modifications to Open Landscape Space

An updated Landscape Design Report has been prepared by Site Image and is provided at **Appendix D** and revised Landscape Plans included at **Appendix C**. The proposed modifications involve minor changes to the planting schedule within the courtyard throughout the development.

The modifications to the northern open landscaped area comprise the removal of some seating, reduced extent of sandstone, updates to seating nodes and the ceremony area, and the removal of two shelters. The Modification 2 landscape design is shown in **Figure 2** and the proposed modification to the open landscape design is shown in **Figure 3** below.



Figure 2 Modification 2 – Northern Open Landscape Design

Source: Site Image

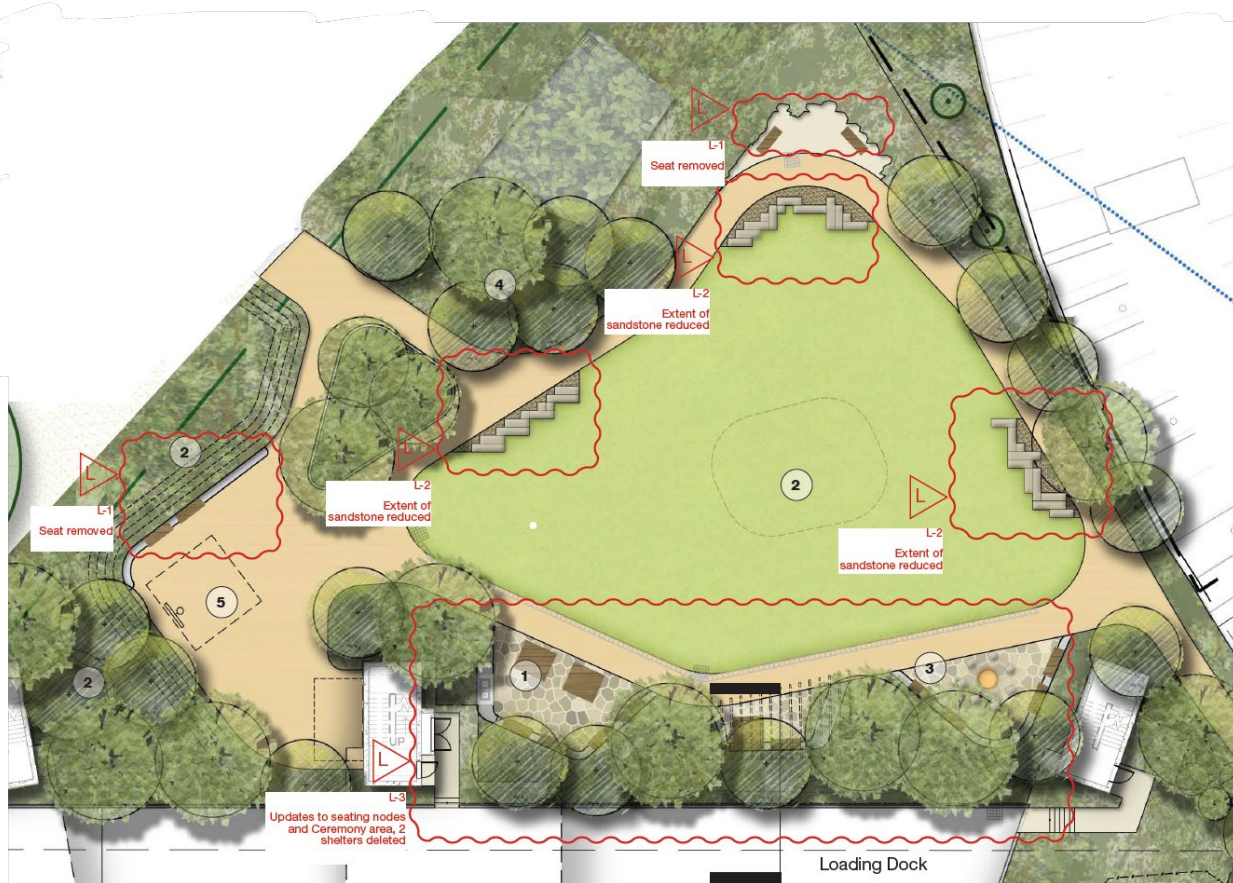


Figure 3 *Modification 3 - Proposed Northern Open Landscape Design*

Source: Site Image

3.2.2 Modifications to Staff Courtyard

The Staff Courtyard has been modified as detailed in the Landscape Design Report at **Appendix D** and the Landscape Plans at **Appendix C**. The following updates have been made:

- Amended seating wall.
- Addition of a barbeque area.
- Removal of the external pergola.

The Modification 2 design of the staff courtyard and the proposed staff courtyard is shown in **Figure 4** and **Figure 9**.

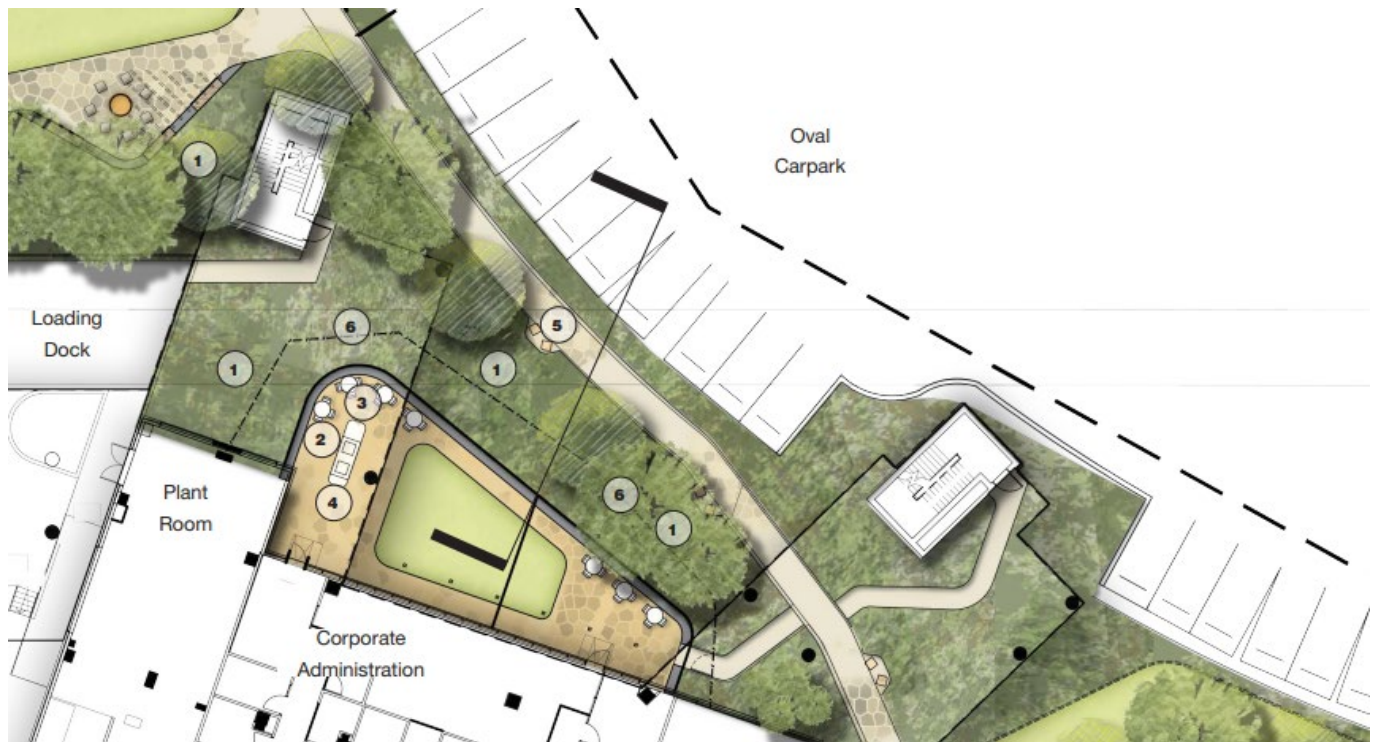


Figure 4 *Modification 2 – Staff Courtyard Design*

Source: Site Image



Figure 5 *Modification 3 - Proposed Staff Courtyard Design*

Source: Site Image

3.2.3 Adjustments to paving extent at the eastern entry

Adjustments have been made to the extent of paving at the site's eastern entry at the bike parking area, as shown in **Figure 7** below. The pavement design proposed under this modification is shown in **Figure 6** below.



Figure 6 Modification 2 - Paving Extent

Source: Site Image



Figure 7 Modification 3 - Adjustments to the paving at the eastern entry

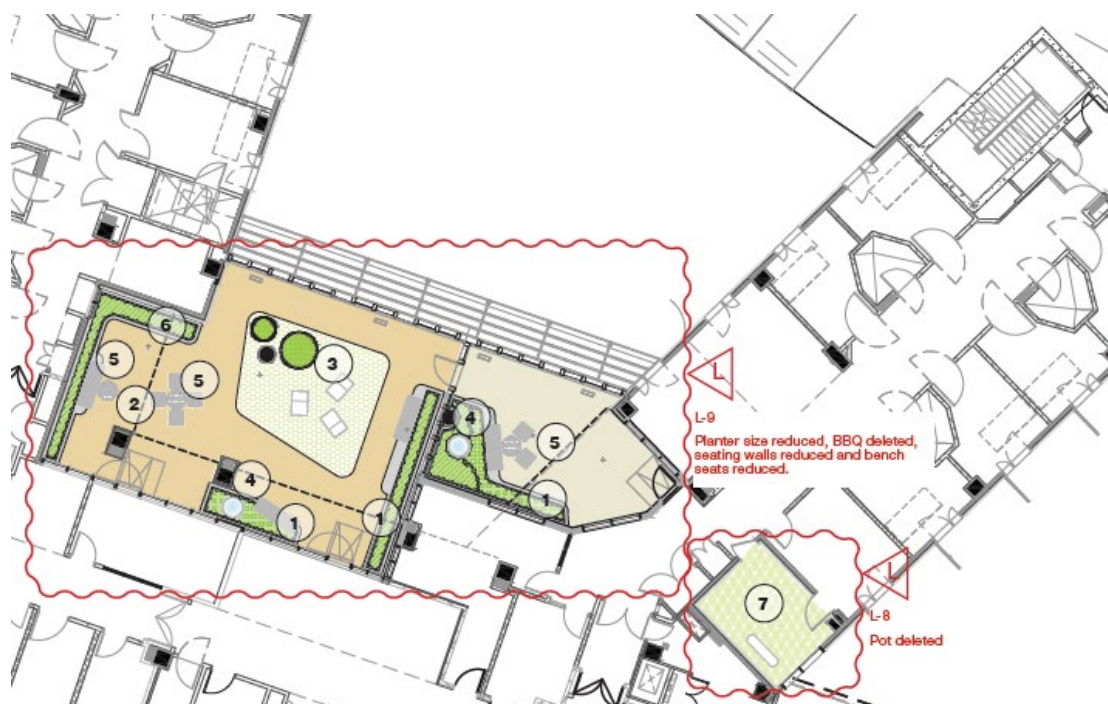
Source: Site Image

3.2.4 Removal of Green Roof

The green roof over the loading dock is proposed to be removed. The green roof will be replaced with a gravel base as detailed in the Landscape Plans at **Appendix C** and the Landscape Design Report at **Appendix D**. **Figure 8** shows the green roof proposed under Modification 2 and **Figure 9** details the proposed gravel roof, materials palette and maintenance access point.

Mental Health Intensive Care Unit

Source: Site Image



Source: Site Image

Levels 2 -9 Courtyards

Adjustments to the courtyard landscaping have been made on the eastern and western facades on levels 2 to 9 and have been detailed in the Landscape Plans at **Appendix C** and the Landscape Design Report at **Appendix D**. **Figure 12** illustrates the Non-Acute inpatient A courtyard under Modification 2. **Figure 13** shows the minor updates proposed under this modification. The remaining courtyards, including on levels 2 through 9, are proposed to include similar adjustments, including planting adjustments and layout rationalisation of furniture.

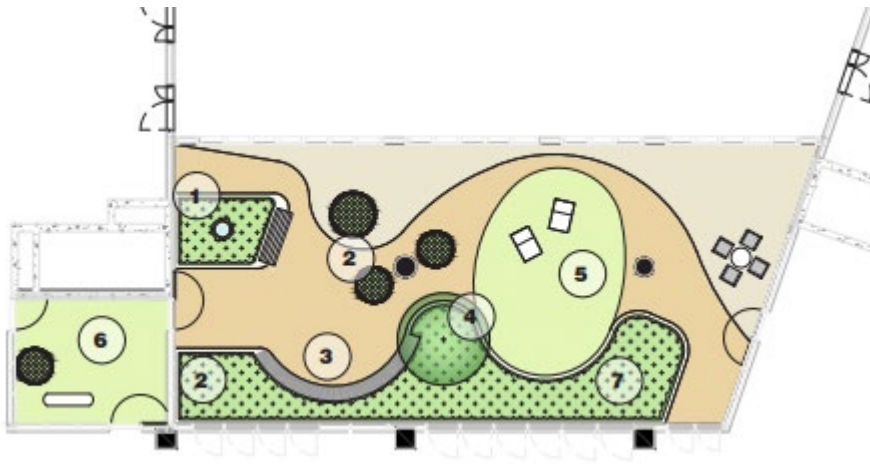


Figure 12 Modification 2 – Non-acute In Patient A Courtyard

Source: Site Image

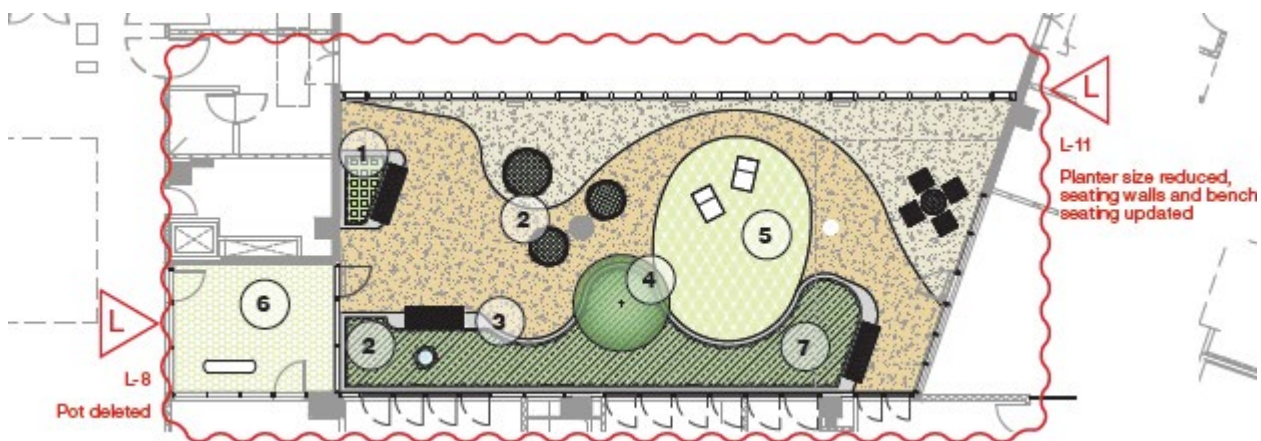


Figure 13 Modification 3 - Proposed Non-acute In-Patient A Courtyard

Source: Site Image

3.2.6 Updated Courtyard Planting Schedule

The courtyard planting schedule has been updated to reflect the changes detailed above. Planting within the courtyards across the site remains to be non-toxic, low allergenic and without sharp foliage or thorns. An excerpt of the updated planting schedule is provided in **Figure 15** below from the Landscape Design Report at **Appendix D**.

The planting schedule under Modification 2 is provided at **Figure 14** for comparative purposes.

Botanic Name	Common Name	Pot Size	Mature Size (h x w) (m)	Botanic Name	Common Name	Pot Size	Mature Size (h x w) (m)
COURTYARD PLANTING				<i>Viola hederacea</i>	Native Violet	150mm	.15 x 1
<i>Grafted Grevillea Sp</i>		200mm		SENSORY SPECIES			
<i>Alpinia nutans</i>	Dwarf Cardomom	200mm	1 x 1	<i>Leptospermum petersonii</i> 'Little Lemon Scents'	Tea Tree	300mm	1.5 x 1.5
<i>Cissus antarctica</i>	Kangaroo Vine	150mm	.15 x 1	<i>Mentha australis</i>	Native Mint	150mm	.3 x .3
<i>Carpobrotus glaucescens</i>	Pigface	150mm	.15 x 1	<i>Tetragonia tetragonioides</i>	Warrigal Greens	150mm	.1 x .2
<i>Dichondra repens</i>	Kidney Weed	150mm	.1 x .5	Species nominated in Cox Inall Ridgeway Consultation Report			
<i>Dianella</i> 'Little Jess'	Native Flax	150mm	.2 x 1				
<i>Dianella caerulea</i>	Blueberry lily	150mm	1.2 x 0.7				
<i>Dietes grandiflora</i>	Wild Iris	150mm	.4 x .6				
<i>Hibbertia scandens</i>	Snake Vine	150mm	.1 x 1				
<i>Hardenbergia violacea</i>	False Sasparilla	150mm	.5 x 2				
<i>Poa</i> 'Kingsdale'	Tussock Grass	150mm	.3 x .6				
<i>Lomandra longifolia</i>	Matt Rush	150mm	1 x 1				
<i>Lomandra</i> 'Tanika'	Matt Rush	150mm	1 x 1				
<i>Lasiopetalum parviflorum</i>		200mm	0.5 x 0.3				
<i>Melaleuca linariifolia</i> 'Claret Tops'	Honey Myrtle	300mm	1 x 1				
<i>Ozothamnus diosmifolius</i>	Everlasting	200mm	1.5 x 1				
<i>Pimelia linifolia</i>	Rice Flower	200mm	1.5 x 1				
<i>Westringia fruticosa</i>	Coastal Rosemary	300mm	2 x 2				

Figure 14 Modification 2 – Courtyard Planting Schedule

Source: Site Image

Botanic Name	Common Name	Pot Size	Mature Size (h x w) (m)	Botanic Name	Common Name	Pot Size	Mature Size (h x w) (m)
COURTYARD PLANTING				<i>Hardenbergia violacea</i>	False Sasparilla	150mm	.5 x 2
<i>Grafted Grevillea Sp</i>		100L		<i>Poa</i> 'Kingsdale'	Tussock Grass	150mm	.3 x .6
<i>Alpinia nutans</i>	Dwarf Cardomom	200mm	1 x 1	<i>Lomandra longifolia</i>	Matt Rush	150mm	1 x 1
<i>Acmena smithii</i> var. <i>minor</i>	Lilly Pilly	200mm	2 x 2	<i>Lomandra</i> 'Tanika'	Matt Rush	150mm	1 x 1
<i>Banksia</i> 'Birthday Candles'	Banksia	150mm	0.3 x 1	<i>Lasiopetalum parviflorum</i>		200mm	0.5 x 0.3
<i>Callistemon</i> 'Little John'	Dwarf Bottle Brush	200mm	1 x 1	<i>Ozothamnus diosmifolius</i>	Everlasting	200mm	1.5 x 1
<i>Carex appressa</i>	Tall sedge	150mm	0.8 x 0.7	<i>Pimelia linifolia</i>	Rice Flower	200mm	1.5 x 1
<i>Grevillea Mt Tamboritha</i>	Wooly Grevillea	200mm	0.4 x 1	SENSORY SPECIES and VEGETABLE PLANTER BED			
<i>Carpobrotus glaucescens</i>	Pigface	150mm	.15 x 1	<i>Leptospermum petersonii</i> 'Little Lemon Scents'	Tea Tree	200mm	1.5 x 1.5
<i>Dianella caerulea</i>	Blueberry lily	150mm	1.2 x 0.7	<i>Prostanthera rotundifolia</i>	Native Oregano	200mm	2 x 1
<i>Hibbertia scandens</i>	Snake Vine	150mm	.1 x 1	<i>Rosemarinus officinalis</i>	Rosemary	200mm	0.5 x 0.5
<i>Melaleuca linariifolia</i> 'Claret Tops'	Honey Myrtle	200mm	1 x 1	<i>Mentha australis</i>	Native Mint	150mm	.3 x .3
<i>Myoporum parvifolium</i>	Creeping Boobialla	150mm	0.15 x 1	<i>Stachys byzantina</i>	Lambs Ear	150mm	0.4 x 0.4
<i>Westringia fruticosa</i>	Coastal Rosemary	200mm	2 x 2	<i>Tetragonia tetragonioides</i>	Warrigal Greens	150mm	.1 x .2
<i>Cissus antarctica</i>	Kangaroo Vine	150mm	.15 x 1	<i>Thymus vulgaris</i>	Common Thyme	150mm	0.3 x 0.3
<i>Dichondra repens</i>	Kidney Weed	150mm	.1 x .5	<i>Viola hederacea</i>	Native Violet	150mm	0.1 x 1
<i>Dianella</i> 'Little Jess'	Native Flax	150mm	.2 x 1	Species nominated in Cox Inall Ridgeway Consultation Report			
<i>Dietes grandiflora</i>	Wild Iris	150mm	.4 x .6				

Figure 15 Modification 3 - Proposed Courtyard Planting Schedule

Source: Site Image

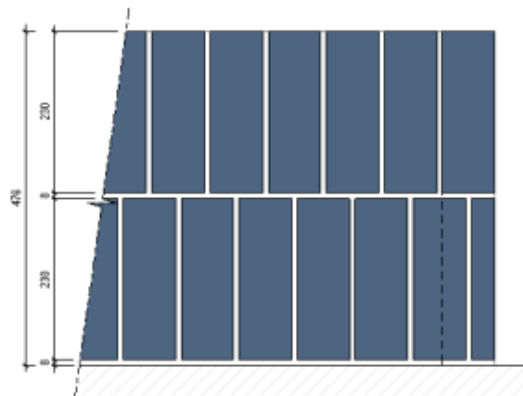
3.2.7 Additional Mechanical Louvers and Updated Brick Selection

Mechanical Louvers

Mechanical louvers have been added to the building façade in various locations as detailed in the Architectural Drawings at **Appendix A**. Excerpts of the proposed mechanical louvers are identified in red outline below which details the additional louvers at each building elevation.

Alternative Brick Selection

An alternative brick and bond have been selected, replacing the soldier course to stretcher course at the base of the building. The previously selected brick under Modification 2 is shown in **Figure 16**. The proposed brick is shown in **Figure 17**.



FAC4

SELECTED BRICK
USAGE: BASE OF BUILDING

Figure 16 Modification 2 - Brick selection

Source: Jacobs

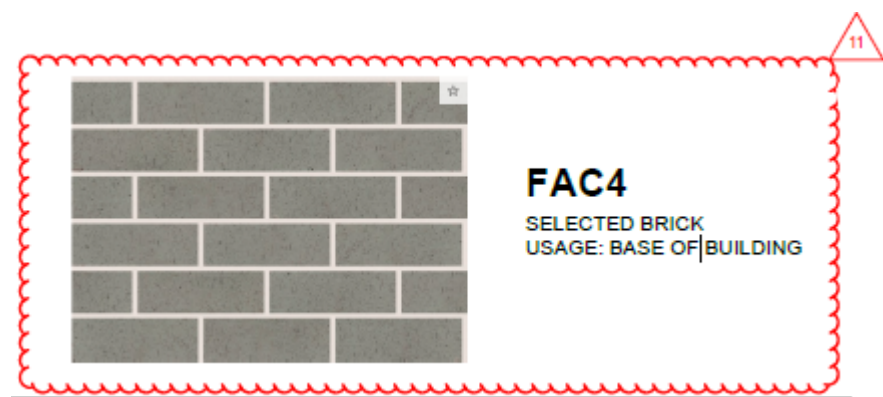


Figure 17 Modification 3 - Alternative brick selected

Source: Jacobs

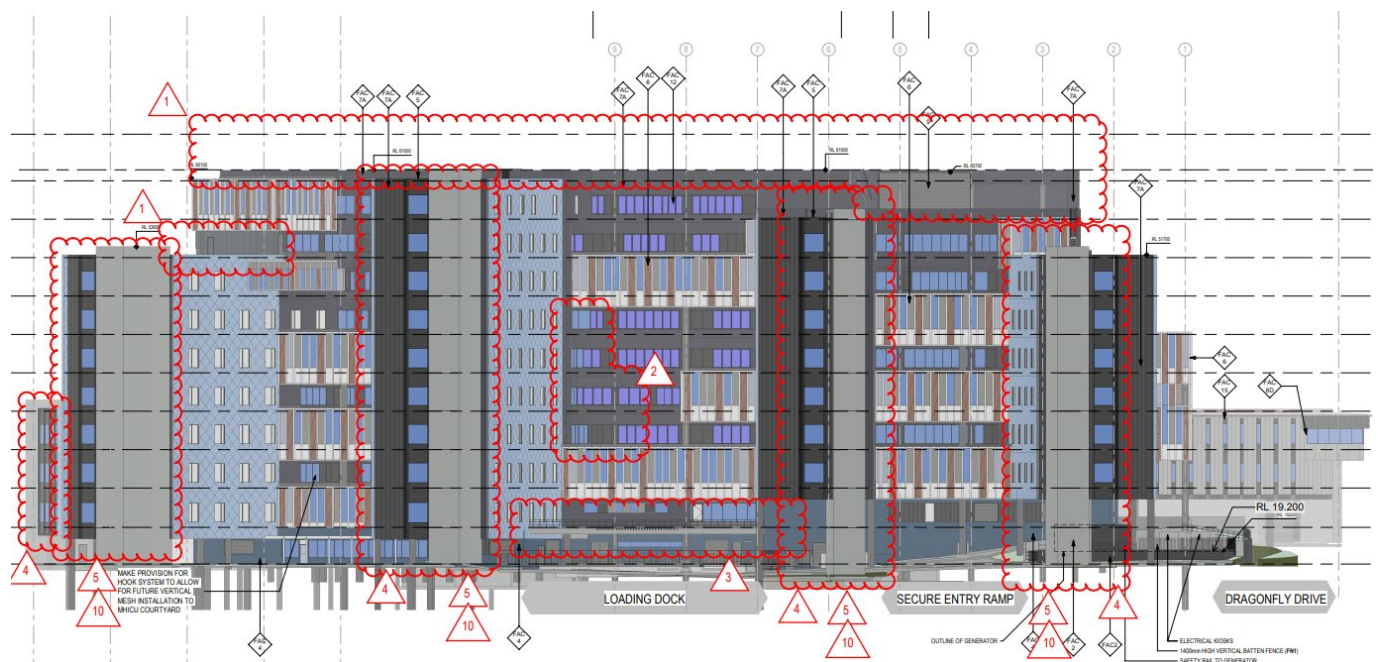


Figure 18 Modification 2 - Northern Elevation

Source: Jacobs

Source: Jacobs

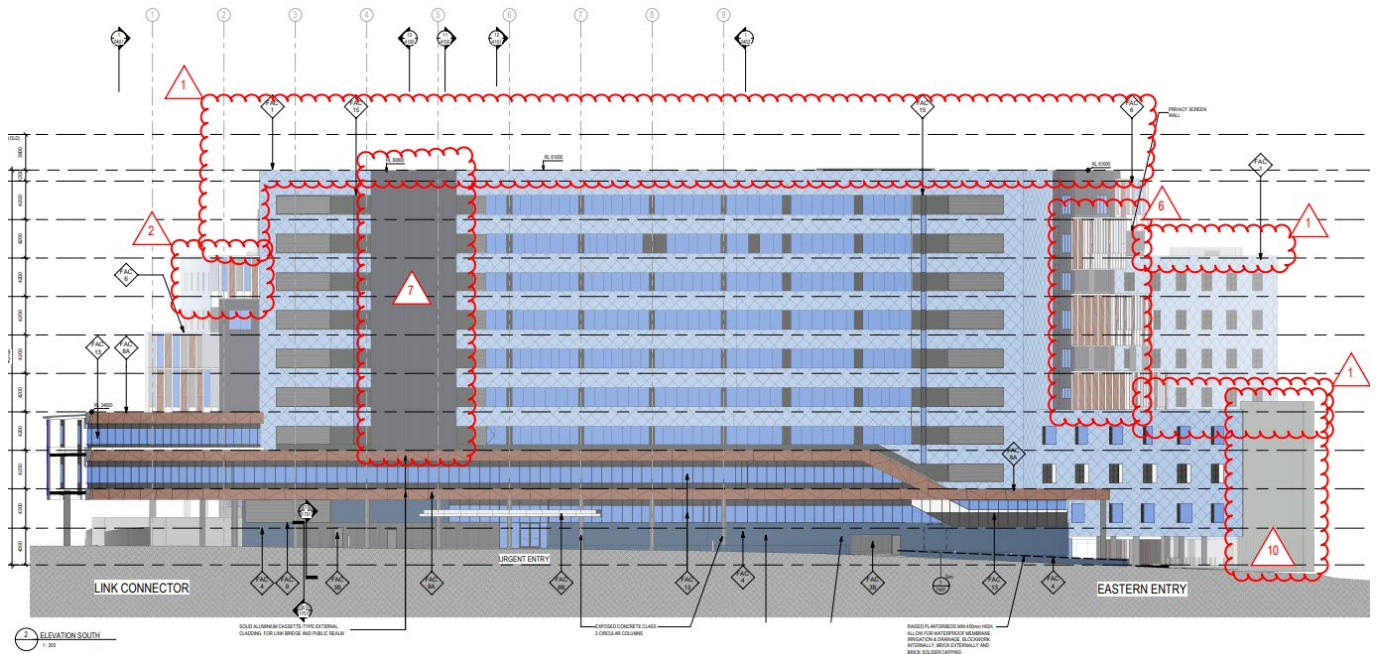


Figure 19 *Modification 2 – Southern Elevation*

Source: Jacobs

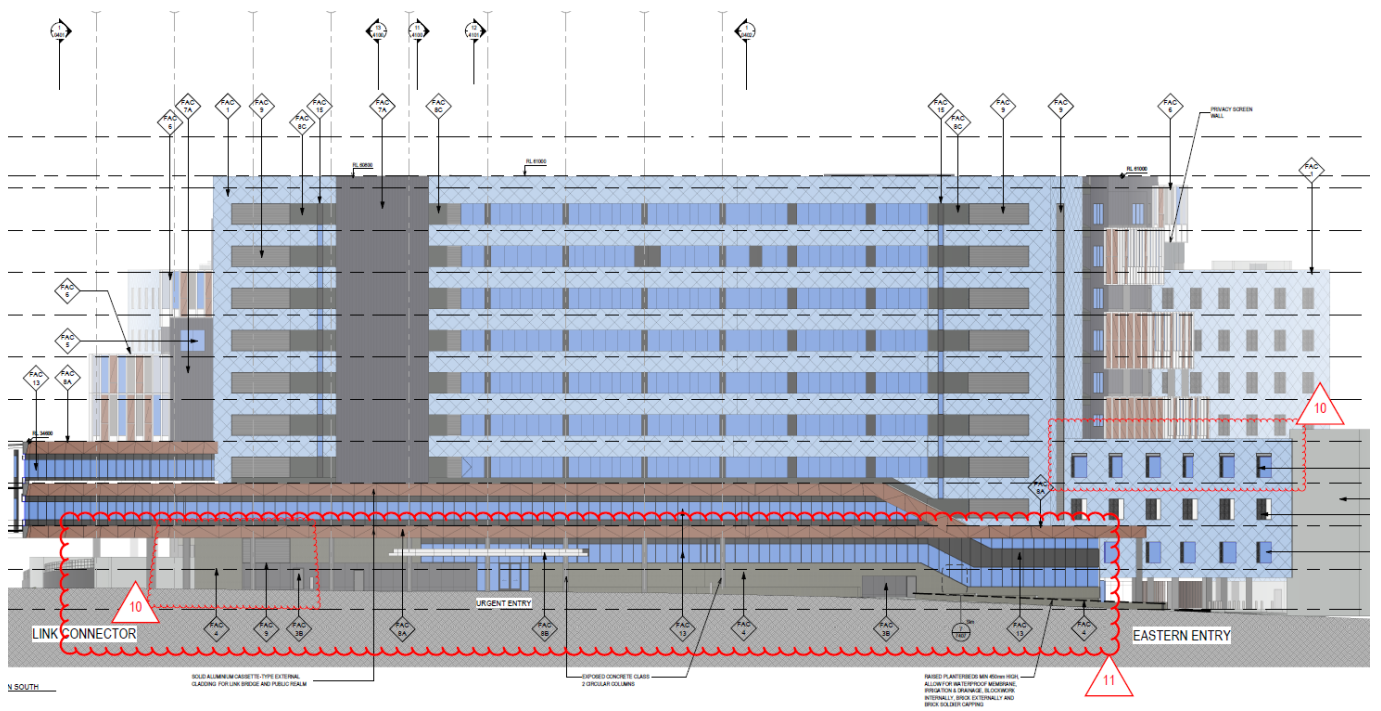


Figure 20 *Modification 3 - Southern Elevation – addition of mechanical louvers labelled as '10'*

Source: Jacobs

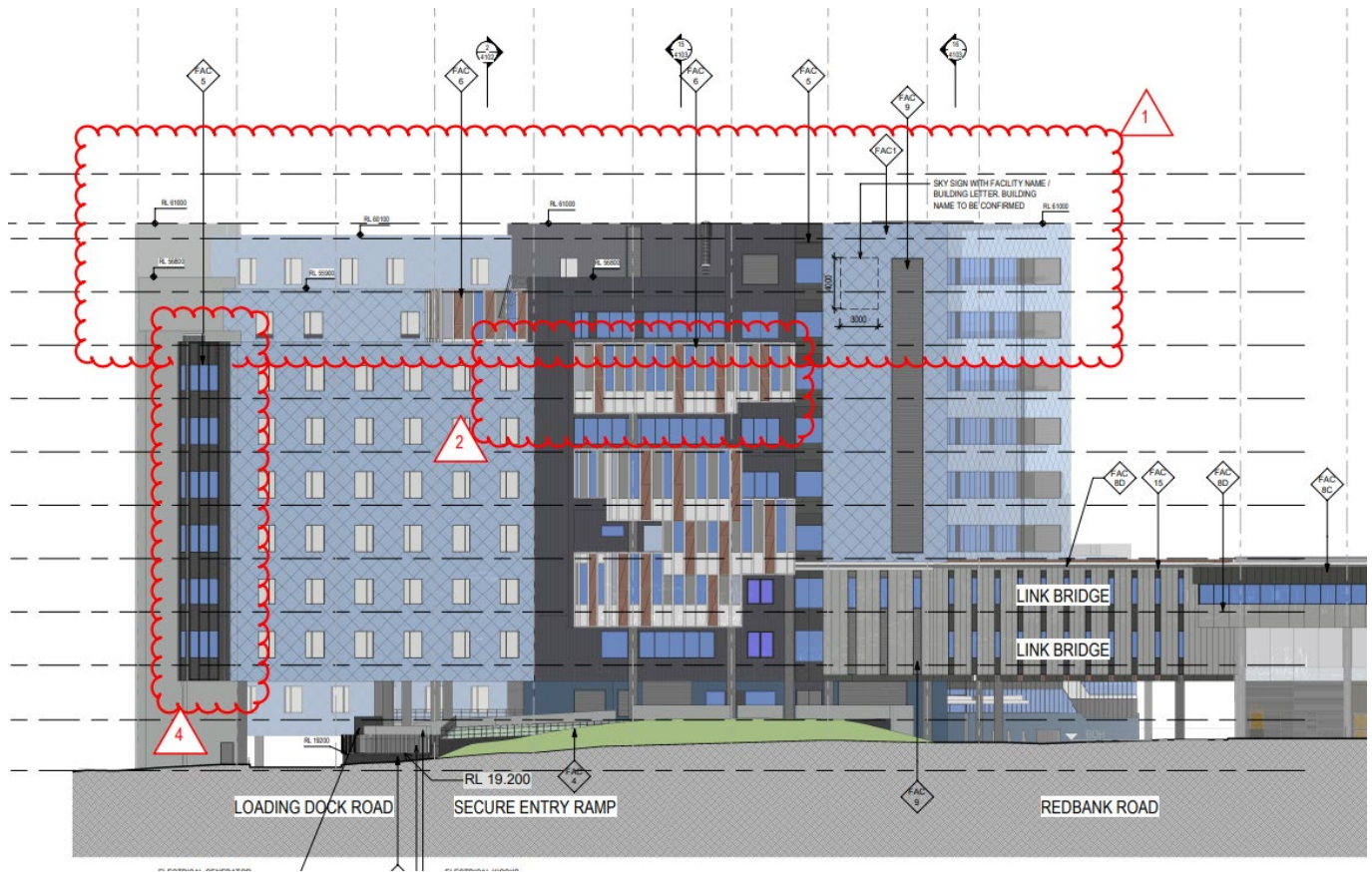


Figure 23 *Modification 2 – Western Elevation*

Source: Jacobs



Figure 24 *Modification 3 - Western Elevation – addition of mechanical louvers labelled as '10'*

Source: Jacobs

3.3 Modifications to Condition A2

The proposed modifications described above necessitate amendments to the consent conditions, which are identified below. Words proposed to be deleted are shown in **bold strike through**, and words to be inserted are shown in **bold italics**.

3.3.1 Condition A2 – Terms of Consent

The development may only be carried out:

- in compliance with the conditions of this consent;
- in accordance with all written directions of the Planning Secretary;
- generally, in accordance with the EIS, Response to Submissions **and SSD-44034342-Mod 3**; and
- in accordance with the approved plans in the table below:

Architectural Plans prepared by Jacobs			
Dwg No.	Rev	Name of Plan	Date
IMHC-AR-DG-0040	7	COVER SHEET & DRAWING INDEX	24/01/25
IMHC-AR-DG-0161	5	PRE-DEVELOPMENT SITE PLAN - SSDA	06/04/23
IMHC-AR-DG-0120	13 14	PROPOSED SITE PLAN	27/11/24-24/01/25
IMHC-AR-DG-1600	6	PROPOSED FLOOR PLAN - SSDA - LEVEL 0	27/11/24
IMHC-AR-DG-1601	6-7	PROPOSED FLOOR PLAN - SSDA - LEVEL 1	27/11/24-24/01/25
IMHC-AR-DG-1602	6	PROPOSED FLOOR PLAN - SSDA - LEVEL 2	27/11/24
IMHC-AR-DG-1603	6	PROPOSED FLOOR PLAN - SSDA - LEVEL 3	27/11/24
IMHC-AR-DG-1604	6	PROPOSED FLOOR PLAN - SSDA - LEVEL 4	27/11/24
IMHC-AR-DG-1605	6	PROPOSED FLOOR PLAN - SSDA - LEVEL 5	27/11/24
IMHC-AR-DG-1606	6	PROPOSED FLOOR PLAN - SSDA - LEVEL 6	27/11/24
IMHC-AR-DG-1607	7	PROPOSED FLOOR PLAN - SSDA - LEVEL 7	27/11/24
IMHC-AR-DG-1608	6	PROPOSED FLOOR PLAN - SSDA - LEVEL 8	27/11/24
IMHC-AR-DG-1609	6	PROPOSED FLOOR PLAN - SSDA - LEVEL 9	27/11/24
IMHC-AR-DG-1610	6	PROPOSED FLOOR PLAN - SSDA - LEVEL 10	27/11/24
IMHC-AR-DG-1611	5-6	PROPOSED FLOOR PLAN – SSDA – ROOF	27/11/24-24/01/25
IMHC-AR-DG-4001	13-14	ELEVATION - NORTH & SOUTH	27/11/24-24/01/25
IMHC-AR-DG-4002	13-14	ELEVATION – EAST & WEST	27/11/24-24/01/25
IMHC-AR-DG-4010	12-13	ELEVATION - B1-B5	27/11/24-24/01/25
IMHC-AR-DG-4100	12	SECTION - NORTH SOUTH	27/11/24
IMHC-AR-DG-4101	11	SECTION - CASB LINK	27/11/24
IMHC-AR-DG-4102	9	SECTION - NORTHERN COURTYARDS	27/11/24
IMHC-AR-DG-4103	12	SECTION - ENTRY & CORRIDOR	27/11/24
IMHC-AR-DG-7910	6-7	MATERIAL BOARD - FACADE	27/11/24-24/01/25

Landscape Drawings – to be updated to reflect those submitted with this Modification (see appendix D).

3.4 Substantially the same development

Section 4.55(1A) of the EP&A Act states that a consent authority may modify a development consent if *“it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which the consent was originally granted and before that consent as originally granted was modified (if at all)”*.

The development, as proposed to be modified, is substantially the same development as that originally approved in that:

- The amendments do not change the intent or use of the IMHC as approved.
- The amendments do not alter the approved development's level of compliance with the applicable environmental planning instruments and policies.
- The changes are intended to refine the design of approved elements of the SSDA, however, they will not result in any changes to the overall intent of the development.
- The modification is consistent with the mitigation measures established in the development consent to protect the environment from the potentially adverse effects of the development
- The changes will not result in any new environmental impacts to those previously addressed.

For the above reasons, the consent authority may be satisfied that the modified proposal substantially represents the same development for which consent was originally granted.

3.5 Modification Category

The consent authority may be satisfied that this Modification Application is one which may be determined pursuant to Section 4.55(1A) of the EP&A Act as:

- The modification is one of minimal environmental impact for the reasons discussed in Section **6.0**; and
- The modification is substantially the same development as the development for which consent was originally granted and before that consent as originally granted was modified (if at all) for the reasons discussed in **Section 3.8**.

4.0 Statutory context

The proposed modifications have been assessed against the relevant provisions of the applicable State Environmental Planning Policies (SEPPs) and the Local Environmental Plan (LEP 2023). **Table 3** summarises the modification’s compliance with the key SEPPs and LEP controls.

Table 3 Summary of SEPP and LEP compliance

Instrument	Assessment
<i>Biodiversity Conservation Act 2017</i>	There are no changes proposed to the extent, area or amount of vegetation previously approved to be cleared under SSD 44034342. Furthermore, the modification does not propose the removal or relocation of any vegetation.
<i>State Environmental Planning Policy (Transport and Infrastructure) 2021</i>	No changes are proposed to the overall bed or parking numbers, and therefore, no new impacts to traffic generation are anticipated. Therefore, referral to Transport for NSW is not required under Schedule 3 of the Transport and Infrastructure SEPP.
<i>State Environmental Planning Policy (Planning Systems) 2021</i>	This SEPP identifies development that is SSD. Pursuant to this SEPP, hospitals with a CIV of more than \$30 million are considered SSD. The approved SSD-44034342 had a CIV of more than \$30 million and, therefore was declared SSD. Accordingly, this application seeks to modify this SSD approval.
<i>State Environmental Planning (Resilience and Hazards) 2021</i>	The State Environmental Planning (Resilience and Hazards) 2021 (Resilience and Hazards SEPP) aims to promote the remediation of contaminated land for the purpose of reducing the risk of harm to human health or any other aspect of the environment. The modification does not change the approved remediation strategy. Therefore, no further assessment is required.
<i>Parramatta Local Environmental Plan 2023</i>	The assessment was previously undertaken against the <i>Parramatta Local Environmental Plan (PLEP 2023)</i> . SSD-44034342 remains relevant, and the development is consistent with this assessment. As the proposal does not seek approval for any significant works other than minor alterations to the approved development, no new assessment against the Parramatta LEP is required.

5.0 Community engagement

Due to the nature of the modification and negligible impacts on the community, further authority and community engagement is not considered necessary.

6.0 Assessment of impacts

Section 4.55(1A) of the EP&A Act states that a consent authority may modify a development consent if *“it is satisfied that the proposed modification is of minimal environmental impact”*. Under section 4.55(3) the consent Authority must also take into consideration the relevant matters to the application referred to in section 4.15(1) of the EP&A Act and the reasons given by the consent authority for the grant of the original consent.

The following assessment considers the relevant matters under section 4.15(1) and demonstrates that the development, as proposed to be modified, will be of minimal environmental impact.

6.1 Architectural Design Quality

The proposed modifications uphold the original architectural design intent and adhere to the construction standards outlined in the original consent (SSD-44034342). The proposed changes include the rationalisation of landscaping, updates to brick selection, relocation of the medical glass enclosure and the inclusion of mechanical louvers as indicated in the above sections of the report, do not significantly alter the external appearance or public domain views of the building.

The modification changes were reviewed and approved by Health Infrastructure’s Design Assurance process.

Jacobs has also confirmed in the updated Architectural Design Statement (**Appendix B**) that the revised design aligns with the requirements of the State Design Review Process for SSD-44034342. The proposed modifications introduce no significant adverse visual or view impacts and continue to achieve the design excellence established through the State Design Review Panel process and recommendations for the original SSD-44034342.

6.1.1 Additional louvers

Following on from MOD 1, regarding the On-Floor Plantrooms, the design has progressed in collaboration with the Mechanical Contractor to incorporate the necessary mechanical supply and exhaust louvers for the new plantrooms. The addition of mechanical louvers to the facade is detailed in the Design Statement prepared by Jacobs at **Appendix B**. This includes adding periphery louvers to accommodate the air conditioning systems and adjusting the sizes of the existing plant room louvers to meet the updated requirements. The plant selections are being finalised as part of the Design Finalisation process.

The need for these changes arises from the ongoing development and finalisation of the building’s services plant and equipment, which has necessitated the inclusion of additional louvers and adjustment to the existing louvers’ sizes and locations.

The new louvers have been carefully positioned to minimise any impact on the building’s overall aesthetics and are coloured to match the surrounding cladding, ensuring they blend seamlessly with the building’s exterior.

6.1.2 Brickwork Bond

The original brick bond was a soldier course (vertical stack), which has now been replaced with a horizontal stretcher course bond. This change has been implemented to enhance buildability by increasing the strength and stability of the walls while also being more cost-effective. The alternative bond type maintains the desired texture and visual interest of the original selection, ensuring that the aesthetic qualities are preserved.

6.2 Landscape Design

The landscape design continues to integrate elements of nature with clinical care whilst respecting the existing environment and Connection to Country. The proposed amendments to the design seek to reflect on going consultation and Connecting with Country input.

The only departure from the SDRP is the landscaped screening above the loading dock has been converted from a green roof to gravel. This is due to maintenance requirements that meant the green roof was not practical for the Local Health District to maintain. Notwithstanding, this departure is minor and supports the Health Districts need to prioritise funding of core public health services that maintenance of this green roof would divert funds from.

As detailed in the Landscape Design Report at **Appendix D**, the proposed modifications to the landscape design seek to respond to the needs of users while recognising the constraints of the site owing to the master plan layout.

The planting schedule has been updated to reflect the proposed modifications and remain non-toxic, low allergenic and species without sharp foliage or forms.

6.3 Civil Changes

The civil engineering design changes include a reduction to the extent of the sandstone blocks used within the landscaped elements, alternate pavement type to the northern landscape area, and the associated bulk earthworks and excavation associated with the overall landscape changes. The Civil Design Statement prepared by Arup at **Appendix C** confirms that the revised design does not alter and is consistent with the civil engineering requirements outlined in the Development Consent for SSD-44034342.

Jacobs has confirmed that the revised design associated with Modification 3 does not alter the architectural requirements as originally designed and set out in the original consent for SSD-44034342. The proposed modifications maintain the same architectural design intent, including the building construction standards, ensuring consistency with the changes. All of the proposed design alterations are positive, do not introduce any adverse visual or view impacts, and continue to uphold the design excellence achieved through meetings with the SDRP.

7.0 Justification of the modification project

The proposed modifications respond to discoveries made during further design development of the approved Integrated Mental Health Complex, ensuring that the building can be properly serviced through the duration of its operational phase. As demonstrated in this report, the project will not result in any significant adverse environmental impacts beyond those associated with the approved IMHC. Therefore, the proposed modification remains consistent with the original reasons given for granting consent to SSD-44034342 as set out in the Notice of Decision from the then Minister for Planning and Public Spaces, which are as follows:

- *the project would provide a range of benefits for the region and the State as a whole, including capital investment in health infrastructure, as well as the creation of 606 construction jobs and 291 jobs during operation of the facility.*
- *the project is permissible with development consent and is consistent with NSW Government policies including A Metropolis of Three Cities, the Greater Sydney Region Plan and Central City District Plan, Transport for NSW's Future Transport Strategy 2056, Infrastructure NSW's State Infrastructure Strategy 2022-2042, Westmead Health Core Master Plan, Westmead 2013 – Draft Westmead Place Strategy, and Parramatta Council's Local Strategic Planning Statement 2036.*
- *the impacts on the community and the environment can be appropriately minimised, managed or offset to an acceptable level, in accordance with applicable NSW Government policies and standards. The consent authority has included conditions to ensure impacts to trees are appropriately managed, operational safety measures are implemented, appropriate staff and visitor carparking provisions are provided, flood emergency response procedures are enforced, and noise mitigation is developed through detailed design to ensure noise targets are complied with and construction impacts are appropriately managed.*
- *the issues raised by the community during consultation and in submissions have been considered and adequately addressed. Engagement on the project is considered to be in line with Undertaking Engagement Guidelines for State Significant Projects, including the community participation objectives outlined in these guidelines.*
- *weighing all relevant considerations, the project is in the public interest.*

In accordance with Section 4.55(1A) of the EP&A Act, the consent authority may modify the consent as:

- The proposed modification is of minimal environmental impact; and
- The proposed modified development is substantially the same development as the development for which the consent was originally granted as:
 - The amendments do not change the intent or use of the IMHC as approved.
 - The amendments do not alter the approved development's level of compliance with the applicable environmental planning instruments and policies.
 - The changes were reviewed by Health Infrastructure's Design Assurance process and the project remains aligned with the State Design Review Panel recommendations.
 - The changes are intended to improve the design of approved elements of the SSDA, however, they will not result in any changes to the overall intent of the development.
 - The modification is consistent with the mitigation measures established in the development consent to protect the environment from the potentially adverse effects of the development.
 - The changes will not result in any new environmental impacts to those previously addressed.