

16 November 2022

Our Ref: P222\_139

NSW Government  
Transport for NSW  
**Sent Via Email**

Attention: Jennifer Faddy

**Redfern North Eveleigh Precinct Renewal Project - Chief Mechanical Engineer's Building  
ACCESS Capability Statement for State Significant Development Application**

---

## 1. INTRODUCTION

An assessment of the subject development has been undertaken by Design Confidence at the request of Transport for NSW. This statement is to address the SEAR's Built Form and Urban Design issue and assessment requirement. It supports State Significant Development (SSD) Development Application (DA) No. SSD-39971796 for the heritage conservation and adaptive reuse of the former Chief Mechanical Engineer's Building (CME Building) in North Eveleigh, which is submitted to the Minister for Planning pursuant to Part 4 of the Environmental Planning and Assessment Act 1979 (EP&A Act).

The application seeks consent for the heritage conservation and adaptive reuse of the CME Building, which includes:

- (i) Internal and external heritage conservation works to make the building suitable for adaptive reuse, including painting, repairs and refurbishment of the existing building (primarily internally) and installation of services to support future usage for offices or the like;
- (ii) Building upgrades to ensure compliance with the Building Code of Australia, including accessibility and fire safety requirements;
- (iii) Removal of any hazardous building materials; and
- (iv) Minor landscaping works.

No significant additions (except those necessary to facilitate suitable access and fire egress) or substantive demolition of external heritage fabric is envisaged as part of the project. Internal changes comprise the removal of some internal walls and alterations to building fabric to create suitable spaces and compliant paths of travel.

## 2. BACKGROUND

Design Confidence has been engaged to provide building regulatory advice regarding the compliance status of the proposed development works when assessed against the relevant prescriptive requirements as contained within the Building Code of Australia (BCA) 2022 – Volume 1, particularly the accessibility provisions as are principally contained within Parts D4, E3D7, E3D8, F4D5, F4D6, F4D7, F4D12 and G7 as applicable to the subject development.

This correspondence has been provided to assist with development of the design documentation, a broad assessment has been undertaken of the proposed design as detailed within the documentation listed in **Appendix 1**.

The advice being provided to date has been in the context of the following—

- » Building Code of Australia (BCA) 2022 – Volume 1
- » AS1428.1-2009 Design for access and mobility Part 1: General requirements for access – New building work;
- » AS1428.4.1-2009 Means to assist the orientation of people with a vision impairment – Tactile Ground Surface Indicators;
- » AS2890.6-2009 Off-street parking for people with disabilities; and
- » AS1735.12-1999 Lifts, escalators and moving walks: Part 12 Facilities for persons with disabilities.

### 3. ASSESSMENT

The subject existing Heritage Chief Mechanical Engineers Building is located within the Redfern North Eveleigh Precinct and is to undergo refurbishment to utilise the current dilapidated building as a commercial office space again.

The proposed use of the building is commercial/office, achieving a BCA function and use classification of Class 5.

Given the building is existing, this report therefore applies to new works and the affected part, as defined by the Disability (Access to Premises – Buildings) Standards 2010, hereinafter referred to as the Premises Standards.

In addition to undertaking a detailed assessment of the design against the prescriptive requirements of the BCA a preliminary performance-based assessment has also been undertaken.

The implementation of a performance-based approach in lieu of compliance with the deemed-to-satisfy (DtS) provisions of the BCA shall be disclosed to the relevant stakeholders and is subject to the approval of the certifying authority.

The **Table 1** below lists scenarios where we believe the adoption of a performance design may add value to development in-lieu of complying with the prescriptive (DtS) provisions—

**Table 1 – Performance Solutions**

ITEM	PROPOSED PERFORMANCE SOLUTION	BCA DtS CLAUSE	PERFORMANCE REQUIREMENT
1	Existing doors along affected part leading to area of new works shown with green circles In Appendix 2 do not comply with door opening width, door controls, door circ clearances etc	D4D2	D1P1
2	Walkways are to comply with AS1428.1. Along GF covered verandah, the walkways Is not provided with a 600mm wide contrasting surface where a step leads to the lawn.	D4D2	D1P1
3	Access is not provided to the GF common shower and changing room.	D4D2	D1P1
4	Gates provided on the allotment boundary will be operated by security personal. Door circulation clearances, operable force and door hardware to be considered within the proposed solution.	D4D3	D1P1
5	Existing Heritage stair handrail is unable to be provided with a compliant handrail on each side. A single handrail will be provided with an inconsistent height with non-compliant horizontal extensions. TGSIs will not be provided to the stair. A single central handrail to be provided at the external entry stairs in lieu of 2 handrails.	D4D4 D4D9	D1P1 D1P2
6	An accessible WC is not provided within the GF bank of WC's.	F4D5 F4D6	F4P1

In accordance with the requirements of Clause D4D2 of the BCA, access is required to be provided to and within all areas normally used by the occupants within a Class 5 building.

**Table 2** below outlines the relevant accessibility measures that will be provided as part of the development such that compliance with the BCA is achieved, specifically with D4, E3D7, E3D8, F4D5, F4D6, F4D7, F4D12 and G7 as applicable to the subject development.

**Table 2 – Accessibility Measures**

DESCRIPTION	COMMENT	RESOLUTION
Clause D4D2	<p>In accordance with D4D2, access to be provided to and within all areas normally used by the occupants.</p> <p>However, the Premises Standard being Federal Legislation, above the BCA only requires where new building works being undertaken, from the principle pedestrian entrance along the affected part to the new part are required to be upgraded in accordance with AS1428.1.</p>	<p>An accessway 'affected part' into areas of identified as new building based on the comparison of the existing floor plans have been identified within Appendix 2. Door openings that do not comply with current requirements will be addressed by a Performance Solution given the Heritage significance of the building.</p> <p>Step ramps at the external doors leading to the terraces due to the existing floor level restrictions are proposed.</p> <p>Walkways with compliant gradients and floor tolerances around the covered terraces to be provided, connecting to any common areas, including any garden furniture to the rear corner of the building.</p> <p>Where the walkway/accessway within the covered verandah is not provided with a 600mm wide contrast surface before a drop to the lawn is proposed, this will be reviewed further by a Performance Solution.</p> <p>In general, stepramps and walkways to comply with AS1428.1.</p> <p>Access is not available to the GF Shower and Changing area. The L1 accessible shower and WC will form part of the justification of the required Performance Solution.</p>
Clause D4D3	<p>The Premises Standard only requires upgrade from the principle building entrance and within the affected part and new works areas within the building. However, given the extensive upgrade works externally, an accessible path of travel has been provided via a 1:20 walkway from the allotment boundary to the building entrance. Where works are being undertaken, they should comply with AS1428.1.</p>	<p>Automatic double entry doors on GF shown to comply.</p> <p>Two security gates are located in front of the main entry stairs and the 1:20 walkway which are along the upgraded accessway from the allotment boundary. The door controls, operable force, door circulation spaces and clear opening width will be justified by a Performance Solution.</p>

DESCRIPTION	COMMENT	RESOLUTION
	Where a doorway on an accessway has multiple leaves, at least one of those leaves should have a clear opening width of 850mm unless is automatic.	
Clause D4D4	General circulation stairs (Front entry stairs and internal central stairs)	<p>A single central handrail is proposed to the entry stairs that does not comply with AS1428.1 requiring handrails on both sides and therefore will be justified by a Performance Solution.</p> <p>The central internal stairs will also not satisfy Clause 11 of AS1428.1 due to the Heritage restrictions of the existing stair. The performance requirement of the BCA will be justified by a Performance Solution.</p>
Clause D4D5	Rooms / areas and associated accessways afforded the exemption concession under D3.4 need not to be accessible for people with disabilities due to the health and safety risk within these areas.	<p>Refer to Appendix 2 markups for potential areas that would generally fall under D3.4 exemptions.</p> <p>Client acceptance would be requested to accompany construction documentation approval.</p>
Clause D4D6	Number of accessible car parking spaces shown to comply with the BCA.	There are no carparking spaces provided for this building within the allotment and therefore accessible carspaces have not been considered.
Clause D4D7	Signage packages to be provided with detailed construction documentation to show compliance with Spec 15 of the BCA and AS1428.1	Further details required in due course.
Clause D4D8	Hearing augmentation not required as a part of the base building design.	Future tenancy fitouts may require hearing augmentation where inbuilt amplification systems installed within meeting rooms and the alike.
Clause D4D9	Tactile Ground Surface Indicators (TGSIs) are required for general circulation stairs to satisfy DtS provision.	<p>TGSI's will be required for the external entry stairs on GF adjacent to principle building entrance as indicated on the Landscape Site Plan Drawing.</p> <p>TGSI's will be performance justified where not provided to the internal Heritage central stairs.</p>
Clause D4D10	Wheelchair seating spaces in Class 9b assembly buildings are not applicable to this building.	No further action required.
Clause D3.10	There are no proposed swimming pools within this development.	No further action required.

DESCRIPTION	COMMENT	RESOLUTION
Clause D4D11	A landing for a step ramp must not overlap another landing for a step ramp or ramp.	The building shows compliance with D3.11 of the BCA.
Clause D4D12	Glazing on an accessway will be required to be provided with a solid horizontal decal in accordance with AS1428.1	Horizontal decals will be required on all frameless or fully glazed doors and sidelights, or any glazing capable of being mistaken as a doorway. Further details to be provided with construction documentation.
Clause E3D8	One (1) new passenger lift is to be provided to serve the building.	Design of the passenger lift to demonstrate compliance with BCA 2022 Clause E3D8 and AS1735.12.  Lift shop drawings required for further review for compliance.
Clause F4D4	<p>Separate facilities are required for male and females unless is an unisex accessible sanitary facility or a staff facility that is for less than 10 users only.</p> <p>A Class 5 building does not require showers and therefore an accessible unisex shower is not required in accordance with F4D7 of the BCA however is provided given Council's End of Trip facility requirements.</p>	<p>Given the End of Trip facilities are not a BCA requirement, we are unable under the BCA to provide guidance on providing non gender facilities in this situation.</p> <p>Designated Male and Female sanitary facilities are provided throughout the building except the unisex combined shower and sanitary facility, compliant with DfS provisions.</p>
Clause F4D5	<p>An accessible WC is provided in combination with an accessible shower on L1. Refer to F4D6 below.</p> <p>The amenities on GF and the Female facilities on L1 are existing and have not been affected by the Premises Standard upgrade requirements.</p> <p>The new Male sanitary facilities on L1 will be provided with an ambulant facility satisfying Clause F4D5 c).</p>	<p>Fixtures and fittings to be designed within detailed documentation to comply with AS1428.1.</p> <p>A performance solution is required where the accessible WC and shower is not provided on the GF accessible part of the building.</p>
Clause F4D6	An accessible WC is required on each level where sanitary facilities are provided.	A performance solution is required where the accessible WC and shower is not provided on the GF location of staff amenities.
Clause F4D12	Accessible Adult Change Facilities are not applicable to the subject development.	No further action required.

#### 4. SUMMARY

Based upon the information contained in the above tables one can determine that the proposed alteration and additions to the existing Heritage building are capable of achieving compliance with the relevant accessibility requirements of the BCA, subject to the comments provided above.

Compliance can be achieved either by meeting the deemed-to-satisfy requirements of the BCA, as are principally contained within Parts D4, E3D7, E3D8, F4D5, F4D6, F4D7, F4D12 and G7 as applicable, or via a performance-based approach.

We trust that the above information is sufficient for the consent authority in assessing the merit of the architectural design from a planning perspective.

This statement should not be construed as relieving any other parties of their legislative obligations.

Design Confidence possess Indemnity Insurance to the satisfaction of the building owner.

Kind Regards,

Report By



Rachael Telling  
**Accessibility Consultant**  
For Design Confidence (Sydney) Pty Ltd

Reviewed By



John La Scala  
**Accessibility Associate**  
For Design Confidence (Sydney) Pty Ltd

## APPENDIX 1 – DOCUMENTATION PROVIDED FOR ASSESSMENT

**Table 1** – Architectural Drawings prepared by CCG Architects

DRAWING	REV	TITLE	DATE
COVER SHEET, LOCATION PLAN		CCG-CME-AR-DRG-000	B 04/11/2022
DRAWING INDEX		CCG-CME-AR-DRG-100	B 04/11/2022
SURVEY		CCG-CME-AR-DRG-101	B 04/11/2022
SITE ANALYSIS PLAN		CCG-CME-AR-DRG-200	B 04/11/2022
PROPOSED SITE PLAN		CCG-CME-AR-DRG-201	B 04/11/2022
GLA & NLA CALCULATIONS SHEET		CCG-CME-AR-DRG-202	B 04/11/2022
GROUND FLOOR DEMOLITION PLAN		CCG-CME-AR-DRG-203	B 04/11/2022
PROPOSED GROUND FLOOR PLAN		CCG-CME-AR-DRG-204	B 04/11/2022
FIRST FLOOR DEMOLITION PLAN		CCG-CME-AR-DRG-205	B 04/11/2022
PROPOSED FIRST FLOOR PLAN		CCG-CME-AR-DRG-206	B 04/11/2022
ROOF PLAN		CCG-CME-AR-DRG-207	B 04/11/2022
GROUND FLOOR REFLECTED CEILING PLAN		CCG-CME-AR-DRG-208	B 04/11/2022
FIRST FLOOR REFLECTED CEILING PLAN		CCG-CME-AR-DRG-209	B 04/11/2022
ELEVATIONS		CCG-CME-AR-DRG-300	B 04/11/2022
ELEVATIONS		CCG-CME-AR-DRG-301	B 04/11/2022
SECTIONS		CCG-CME-AR-DRG-400	B 04/11/2022
SECTIONS		CCG-CME-AR-DRG-401	B 04/11/2022
DETAILS - STAIRCASE		CCG-CME-AR-DRG-500	B 04/11/2022
DETAILS - WET AREA PLANS SHEET 1		CCG-CME-AR-DRG-501	B 04/11/2022
DETAILS - WET AREA PLANS SHEET 2		CCG-CME-AR-DRG-502	B 04/11/2022
DETAILS - LIFT PLANS AND SECTION		CCG-CME-AR-DRG-503	B 04/11/2022
DETAILS - BALCONY BALUSTRADE DETAILS		CCG-CME-AR-DRG-504	B 04/11/2022
DETAILS - DORMER WINDOW		CCG-CME-AR-DRG-505	B 04/11/2022

## APPENDIX 2 – DRAWING MARK-UPS



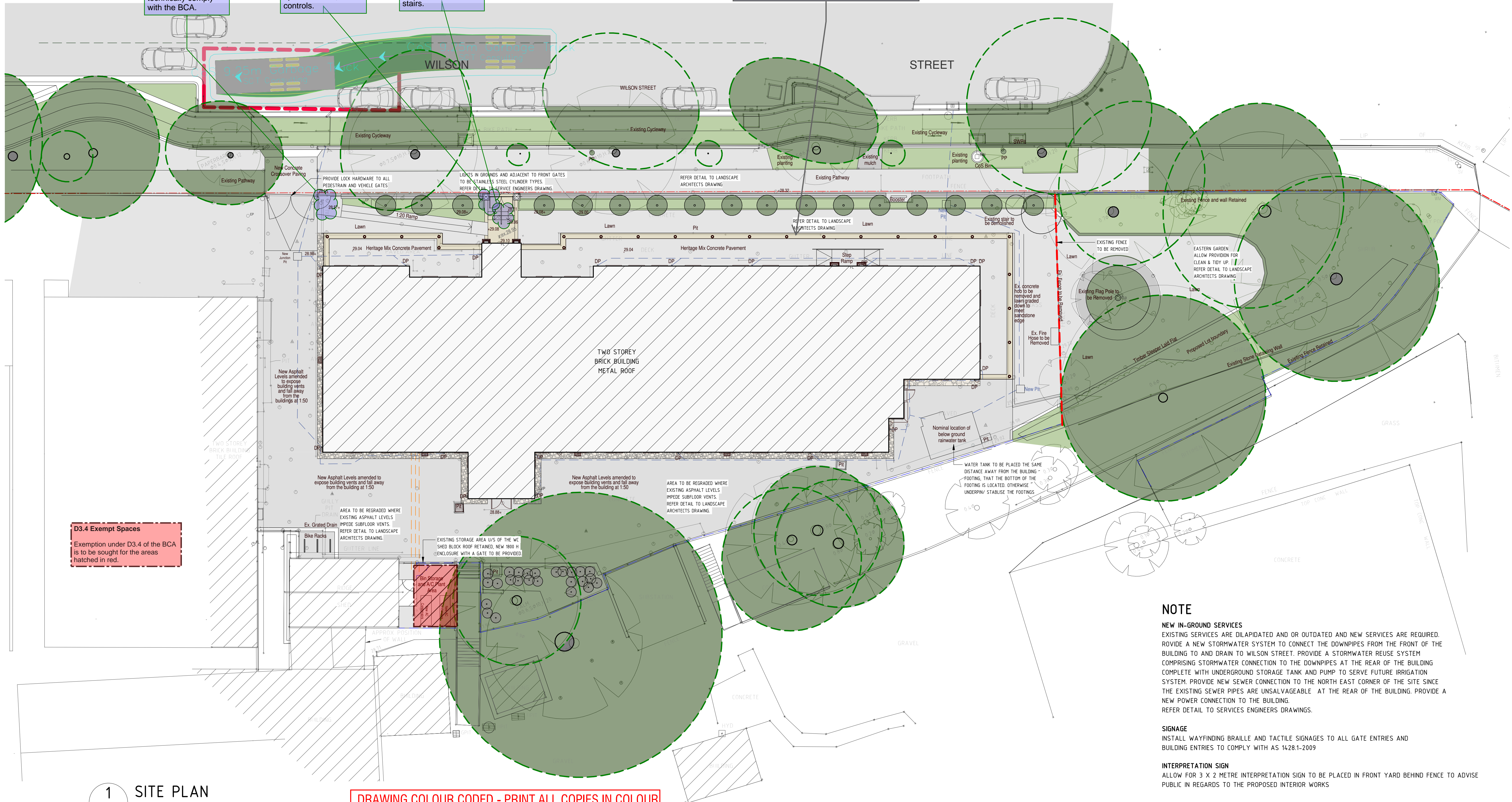


4. Performance Solution  
Gate circulation clearances to both gates to be achieved outside of the allotment boundary and therefore do not technically comply with the BCA.

4. Performance Solution  
Gates to be operated by dedicated staff given non compliances with operable force, door controls.

5. Performance Solution  
Handrail not provided either side of flight of stairs.

2. Performance Solution  
The floor or ground surface abutting the sides of the walkway shall provide a firm and level surface of a different material to that of the walkway at the same level of the walkway, follow the grade of the walkway and extend horizontally for a minimum of 600 mm.



D3.4 Exempt Spaces  
Exemption under D3.4 of the BCA is to be sought for the areas hatched in red.

**NOTE**

**NEW IN-GROUND SERVICES**  
EXISTING SERVICES ARE DILAPIDATED AND OR OUTDATED AND NEW SERVICES ARE REQUIRED. PROVIDE A NEW STORMWATER SYSTEM TO CONNECT THE DOWNPIPES FROM THE FRONT OF THE BUILDING TO AND DRAIN TO WILSON STREET. PROVIDE A STORMWATER REUSE SYSTEM COMPRISING STORMWATER CONNECTION TO THE DOWNPIPES AT THE REAR OF THE BUILDING COMPLETE WITH UNDERGROUND STORAGE TANK AND PUMP TO SERVE FUTURE IRRIGATION SYSTEM. PROVIDE NEW SEWER CONNECTION TO THE NORTH EAST CORNER OF THE SITE SINCE THE EXISTING SEWER PIPES ARE UNSALVAGEABLE AT THE REAR OF THE BUILDING. PROVIDE A NEW POWER CONNECTION TO THE BUILDING. REFER DETAIL TO SERVICES ENGINEERS DRAWINGS.

**SIGNAGE**  
INSTALL WAYFINDING BRAILLE AND TACTILE SIGNAGES TO ALL GATE ENTRIES AND BUILDING ENTRIES TO COMPLY WITH AS 1428.1-2009

**INTERPRETATION SIGN**  
ALLOW FOR 3 X 2 METRE INTERPRETATION SIGN TO BE PLACED IN FRONT YARD BEHIND FENCE TO ADVISE PUBLIC IN REGARDS TO THE PROPOSED INTERIOR WORKS

1 SITE PLAN  
SCALE 1 : 150

DRAWING COLOUR CODED - PRINT ALL COPIES IN COLOUR

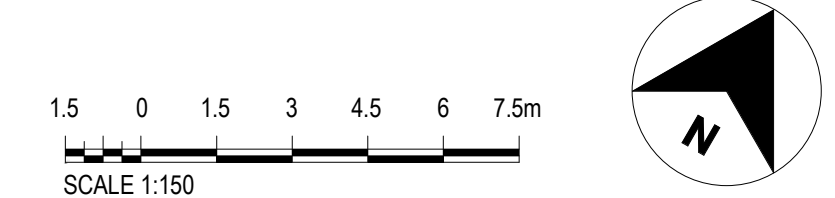
REV	DESCRIPTION	DESIGNER SIGN/DATE	VERIFIED SIGN/DATE	APPROVED SIGN/DATE
B	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22
A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22

CO-ORDINATE SYSTEM:	HEIGHT DATUM:	SCALE:
---------------------	---------------	--------



This drawing and the related information have been prepared by, or at the request of, Transport for NSW for a specific purpose and may not be used for any purpose other than the purpose intended by Transport for NSW. Transport for NSW does not provide any warranties and accepts no liability arising out of the use of this drawing or any of the related information for any purpose other than the intended purpose. This drawing is protected by copyright and no part of this drawing may be reproduced in any form without the express written permission of Transport for NSW.	
<b>CCG ARCHITECTS</b> NOMINATED ARCHITECTS DAVID COOK (5678) / HISHAM NOORI (5678) CCG ARCHITECTS ARCHITECTURE	DRAWN - MUNKONG DESIGNED - ERIC PARK DRG CHECK - ERIC PARK DESIGN CHECK - DAVID COOK APPROVED - DAVID COOK

<b>CHIEF MECHANICAL ENGINEER'S BUILDING</b> 505 WILSON STREET REDFERN			
ARCHITECTURAL PROPOSED SITE PLAN			
FILE No.	SHEET: 1 OF 1	A1	
STATUS: SSDA SUBMISSION			
DRG No.	REV B	VER	EDMS No.
CGG-CME-AR-DRG-201			







## LEGEND

- DEMOLISH
- PROPOSED
- EXISTING WALL
- PROPOSED WALL

## LEGEND FLOOR FINISHES

REFER DETAIL TO ROOM BY ROOM SCHEDULE

- FTB-1 FLOOR TIMBER BOARDS (150mm) (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- FTB-2 FLOOR TIMBER BOARDS (100mm) (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- FCT FLOOR CERAMIC TILES (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- FCT-1 MONOCOTTURA TILES (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- FCT-2 TERRACOTTA TILES (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- FCT-3 NEW TESSELLATED TILES (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- FCO-1 RAISED CONCRETE FLOOR WITH NEW TILES (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- EXISTING DOORS WITH 850 CLEAR WIDTH (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- NEW DOORS DOOR & DOOR FRAME DETAIL TO MATCH SIMILAR EXISTING LIKE FOR LIKE DOORS ON SITE (REFER DETAIL TO ROOM BY ROOM SCHEDULE)

## NOTE

TO BE READ IN CONJUNCTION WITH ROOM BY ROOM SCHEDULE

## NOTE

**DESALINATION**  
DESALINATE MASONRY AS REQUIRED WITH A DRY/WET VACUUM PROCESS. ALLOW FOR AT LEAST FIVE FULL CYCLES FOR AREAS UP TO 12 METRES ON GROUND FLOOR AND 2 CYCLES FOR ABOVE 12 METRES TO CEILING ON GROUND FLOORS AND ALL UPPER FIRST FLOOR WALLS. USE BLUE VAC SYSTEM AS RECOMMENDED BY MANUFACTURER.

**ALLOW TO REPAIR LIME PLASTER WALLS WITH ONE OF THE FOLLOWING PROCESSES:**  
1. WHERE INDIVIDUAL LARGE CRACKS EXIST FROM STRUCTURAL MOVEMENT, CUT BACK PLASTER 150mm BOTH SIDES OF CRACK AND BACK TO SUBSTRATE, INSTALL HELICAL STAINLESS STEEL REINFORCEMENT TO MANUFACTURER'S DETAIL AND SPECIFICATION AND IN ACCORDANCE WITH THE ENGINEER'S DETAIL AND REPLASTER. PLASTER OVER TO MATCH EXISTING FINISH.  
2. WHERE AREAS OF DRUMMY PLASTER ARE FOUND, REFIX BY INJECTING ADHESIVE. METHODOLOGY FOR WALLS: DRILL HOLES ABOVE AND BELOW DRUMMY AREA. ALLOW TO CLEAN BEHIND THE PLASTER WITH WATER. INJECT AN ACRYLIC RESIN BASED ADHESIVE.  
3. AREAS WHERE NUMEROUS CRACKS EXIST, REMOVE EXISTING PLASTER AND REPLASTER.  
4. WHERE INDIVIDUAL FINE HAIRLINE CRACKS EXIST, ALLOW TO PATCH.  
5. WHERE LARGE HOLES EXISTING FOLLOW REMOVAL OF SERVICES SUCH LIGHT SWITCHES AND CONDUITS, FOLLOW ITEM 1 ABOVE FOR REPAIR METHODOLOGY.  
6. EXTENT: REFER TO "ROOM BY ROOM SCHEDULE"

**DOOR HARDWARE**  
RECTIFY DOOR HARDWARE SO AS THE DOORS ARE READILY OPENABLE FROM THE INSIDE WITHOUT A KEY BY A SINGLE HAND ACTION ON A SINGLE DEVICE (I.E. LEVER). THE FOLLOWING WORK IS TO BE CARRIED OUT BY A REPUTABLE LOCKSMITH. ALL ORIGINAL LOCKS SHALL BE REMOVED, EASED AND GREASED. ALLOW 50% ORIGINAL LOCKS. REMOVE ANY PAINT FROM BRASS AREAS, LIGHTLY CLEAN WITH STEEL WOOL. NEW LOCKS (50% OF LOCKS) ALLOW FOR SUPPLY AND FIXING OF TRADITIONAL MORTISE LOCKS AS JACKSON'S S LEVER AND SOLID JACKSON'S BRASS KNOBS.

**FIREPLACES**  
ALLOW TO CLEAN THE INSIDE OF VERTICAL FLUES AND FIREBOXES OF ALL CHIMNEYS. REPLACE MISSING CAST IRON METAL COMPONENTS (ALLOW CHIMNEY RESTORATION CENTRE TO PROVIDE % OF ELEMENTS FOR EACH FIREPLACE COMPONENTS AS PER "ROOM BY ROOM SCHEDULE") SPECIALIST MARBLE CONTRACTOR TO REVIEW EACH FIREPLACE AND PROVIDE REPORT. ALLOW POLISHING ALL MARBLE FIREPLACES AND RESTORING, WITH % OF NEW INTRODUCED SECTIONS OF SIMILAR MARBLE AS PER "ROOM BY ROOM SCHEDULE" PAINT HEARTH AND METAL SECTIONS OF FIREPLACE WITH PROPRIETARY FIREPROOF BLACK-PAINT. PROTECT FIREPLACE MANTLES AND SURROUNDS DURING CONSTRUCTION. REMOVE PROTECTION ON COMPLETION OF WORK.

## SUB FLOOR WORKS (SUBJECT TO STRUCTURAL ENGINEERS APPROVAL)

**GROUND FLOOR FLOOR BOARDS**  
1. ALLOW TO REMOVE FLOOR COVERINGS AND STAPLES FROM FLOOR BOARDING Where  
2. ALLOW TO CAREFULLY TAKE UP FLOOR BOARDS, SALVAGE AND STORE.  
3. ALLOW PROVIDE NEW SIMILAR SIZE AND SPECIES HARDWOOD FLOOR BOARDS TO EACH ROOM. ALLOW QUANTITIES AS PER "ROOM BY ROOM SCHEDULE" IN SECTION 13 BELOW.  
4. RELAY BOARDS AFTER SUBFLOOR WORKS COMPLETE BELOW.  
5. SAND FLOORS, SEAL GAPS WITH A SUITABLE SEALANT AND FINISH WITH TWO COATS OF TUNG OIL. PROVIDE ACCESS HATCHES ONE 600X600MM TO EACH GROUND FLOOR ROOM.

**GROUND FLOOR JOISTS**  
1. CHECK OVER WITH HERITAGE ARCHITECT. AS PER TERMITE REPORT FOR TERMITE DAMAGED TIMBERS AND DRY ROT ALLOW. ALLOW QUANTITIES AS PER "ROOM BY ROOM SCHEDULE" USING 100X50MM F 27 HARDWOOD JOISTS.  
2. ALLOW TO TAKE UP EXISTING JOISTS SALVAGE AND STORE.  
3. RELAY JOISTS AFTER PIER AND BEARER WORK BELOW WORKS COMPLETE BELOW RELAY NEW AND SALVAGED JOISTS, NAIL TO BEARERS

**GROUND FLOOR FLOOR BOARDS**  
1. CHECK OVER WITH HERITAGE ARCHITECT. AS PER TERMITE REPORT FOR TERMITE DAMAGED TIMBERS AND DRY ROT ALLOW. ALLOW QUANTITIES AS PER "ROOM BY ROOM SCHEDULE" USING 100X75MM F 27 HARDWOOD BEARERS  
2. ALLOW TO TAKE UP EXISTING BEARERS SALVAGE AND STORE.  
3. RELAY BEARERS AFTER PIER WORK BELOW WORKS COMPLETE BELOW RELAY NEW AND SALVAGED BEARERS

**GROUND FLOOR PIERS**  
1. CHECK OVER WITH HERITAGE ARCHITECT.  
2. ALLOW TO ARCHIVALLY RECORD, THEN REMOVE EXISTING PIERS.  
3. CONSTRUCT NEW 230X230MM BRICK PIERS AT 1500MM CENTRES TO STRUCTURAL ENGINEER'S DETAILS ( ALLOW 450X450X 300 REINFORCED CONCRETE PADS) PROVIDE NEW GAL STEEL ANT CAPS TO ALL PIERS

This drawing and the related information have been prepared by, or at the request of, Transport for NSW for a specific purpose and may not be used for any purpose other than the purpose intended by Transport for NSW. Transport for NSW does not provide any warranties and accepts no liability arising out of the use of this drawing or any of the related information for any purpose other than the intended purpose. This drawing is protected by copyright and no part of this drawing may be reproduced in any form without the express written permission of Transport for NSW.

**CCG ARCHITECTS**  
NOMINATED ARCHITECTS  
DAVID COOK (S08) / HIRSHAM NODDI (S678)  
CCG ARCHITECTS  
ARCHITECTURE

DRAWN MUNKONG 04/11/22  
DESIGNED ERIC PARK 04/11/22  
DRG CHECK ERIC PARK 04/11/22  
DESIGN CHECK DAVID COOK 04/11/22  
APPROVED DAVID COOK 04/11/22

**CHIEF MECHANICAL ENGINEER'S BUILDING**  
505 WILSON STREET REDFERN

**ARCHITECTURAL**  
PROPOSED GROUND FLOOR PLAN

FILE No. SHEET: 1 OF 1 A1  
STATUS: SSDA SUBMISSION  
DRG No. CCG-CME-AR-DRG-204  
REV B VER EDMS No. AMD No.

DRAWING COLOUR CODED - PRINT ALL COPIES IN COLOUR

## 1 GROUND FLOOR PLAN

SCALE 1 : 100

REV	DESCRIPTION	DESIGNER SIGN/DATE	VERIFIED SIGN/DATE	APPROVED SIGN/DATE
B	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22
A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22
CO-ORDINATE SYSTEM:		HEIGHT DATUM:		SCALE: 1:100



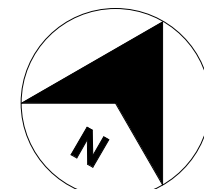
DAVID COOK (S08) / HIRSHAM NODDI (S678)  
CCG ARCHITECTS  
ARCHITECTURE

**CHIEF MECHANICAL ENGINEER'S BUILDING**  
505 WILSON STREET REDFERN

**ARCHITECTURAL**  
PROPOSED GROUND FLOOR PLAN

FILE No. SHEET: 1 OF 1 A1  
STATUS: SSDA SUBMISSION  
DRG No. CCG-CME-AR-DRG-204  
REV B VER EDMS No. AMD No.

1 0 1 2 3 4 5m  
SCALE 1:100



**1. Performance Solution**  
Doors along affected part leading to area of new works shown with green circle may not comply with door opening width, door controls, door clearances etc Justification would be kept the door fixed open or identify rooms where assistance will be required to approach those rooms i.e G2, G21, G4

**7. Performance Solution**  
We understand the existing Accessible WC is being relocated to Level 1. As an accessible WC is not provided with the GF bank of WC's a Performance Solution is required.

**6. Performance Solution**  
Non gender WC's where serving more than 10 staff to be addressed by a Performance Solution.

**5. Performance Solution**  
Handrail not provided each side. Inconsistent height with non compliant horizontal extensions and potentially other items subject to further details to be considered within the PS.

**3. Performance Solution**  
Change room considered a common area. Accessible shower and WC on L1 to be identified as accessible changing room.

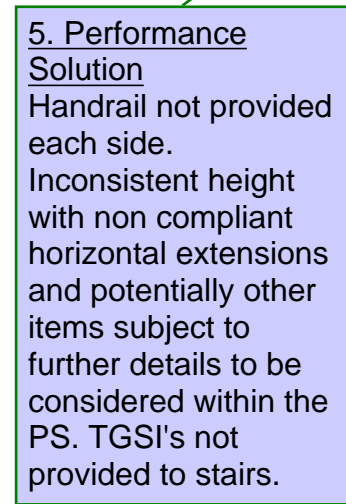
**D3.4 Exempt Spaces**  
Exemption under D3.4 of the BCA is to be sought for the areas hatched in red.

File Path: D:\Documents\CHIEF MECHANICAL ENGINEERS BUILDING\_RVT21\_Central\_joswars.dwg

Plot Date & Time: 11/4/2022 8:10:25 PM

OF 801\*554





**Luminance Contrast to doorways - AS 1428.1 Clause 13.1**  
 AS 1428.1 requires all doorways on an accessway to have a minimum luminance contrast of 30% equivalent to 50 mm wide strip between either:

- Door and jamb
- Door and adjacent wall
- Architrave and wall
- Door and architrave; or
- Jamb and adjacent wall

**Note:** Where glazed doorways are provided, two solid surfaces are required to meet AS 1428.1. This can be achieved by either:

- applying contrasting opaque frosting to glazed door panels; or
- contrasting framing to door leaf panels; or
- contrasting jamb mullions and head transoms around the door openings.

**D3.4 Exempt Spaces**

Exemption under D3.4 of the BCA is to be sought for the areas hatched in red.

1 FIRST FLOOR PLAN  
SCALE 1 : 100

DRAWING COLOUR CODED - PRINT ALL COPIES IN COLOUR

B	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22
A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22
REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE
CO-ORDINATE SYSTEM:		HEIGHT DATUM:	SCALE:	1:100



This drawing and the related information have been prepared by, or at the request of, Transport for NSW for a specific purpose and may not be used for any purpose other than the purpose intended by Transport for NSW. Transport for NSW does not provide any warranties and accepts no liability arising out of the use of this drawing or any of the related information for any purpose other than the intended purpose. This drawing is protected by copyright and no part of this drawing may be reproduced in any form without the express written permission of Transport for NSW.

<b>CCG</b> <b>ARCHITECTS</b> <small>NOMINATED ARCHITECTS: DAVID COOK (5088) / HISHAM NOORI (5678) CCG ARCHITECTS ARCHITECTURE</small>	DRAWN	MUNKONG	04/11/22
	DESIGNED	ERIC PARK	04/11/22
	DRG CHECK	ERIC PARK	04/11/22
	DESIGN CHECK	DAVID COOK	04/11/22
	APPROVED	DAVID COOK	04/11/22

1. FIRST FLOOR JOISTS  
2. CHECK OVER WITH HERITAGE ARCHITECT.  
3. WHERE DAMAGED RESTORE JOISTS. ALLOW PROVIDE NEW SIMILAR SIZE AND SPECIES  
4. HARDWOOD JOISTS TO EACH ROOM. ALLOWANCE 30% EACH ROOM ALLOW 400MM X 50 F  
5. 8 HARDWOOD JOISTS AT 450MM CENTRES.

FILE No.	SHEET: 1 OF 1			A1
STATUS: SSSA SUBMISSION				
DRG No.	REV	VER	EDMS No.	AMD No.
CCG-CME-AR-DRG-206	B			

