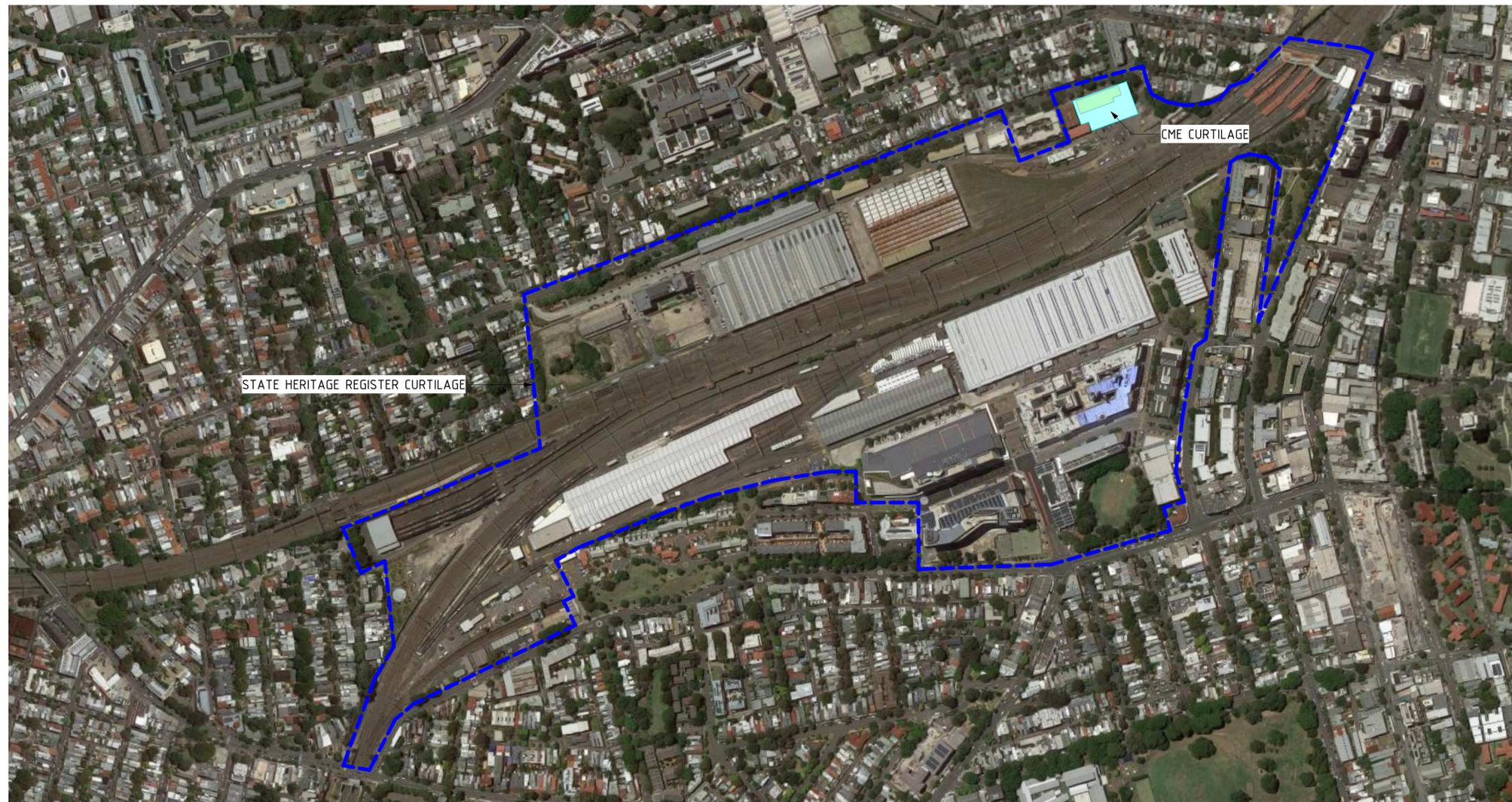


# CHIEF MECHANICAL ENGINEER'S BUILDING

505 WILSON STREET REDFERN NSW 2043

## ARCHITECTURAL SSDA SUBMISSION



LOCATION PLAN

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REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE
B	SSDA SUBMISSION		E.P./04/11/22	D.C./04/11/22
A	ISSUE FOR PRELIMINARY DESIGN		E.P./20/07/22	D.C./20/07/22

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**CCG ARCHITECTS**  
NOMINATED ARCHITECTS  
DAVID COOK (6056) / HIRSHAM NOORI (5678)  
CCG ARCHITECTS ARCHITECTURE

DRAWN	MUNKONG	04/11/22
DESIGNED	ERIC PARK	04/11/22
DRG CHECK	ERIC PARK	04/11/22
DESIGN CHECK	DAVID COOK	04/11/22
APPROVED	DAVID COOK	04/11/22

**CHIEF MECHANICAL ENGINEER'S BUILDING**  
505 WILSON STREET REDFERN

**ARCHITECTURAL COVER SHEET, LOCATION PLAN**

FILE No.	SHEET: 1 OF 1	A1
STATUS:	SSDA SUBMISSION	(C)
DRG No.	CCG-CME-AR-DRG-000	AMD No.

REV	VER	EDMS No.	AMD No.
B			

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Plot Date & Time 11/4/2022 8:10:10 PM

# CHIEF MECHANICAL ENGINEER'S BUILDING

505 WILSON STREET REDFERN NSW 2043

## ARCHITECTURAL SSDA SUBMISSION DRAWING INDEX

DRAWING NO.	EDMS NO.	TITLE
CCG-CME-AR-DRG-000		COVER SHEET, LOCATION PLAN
CCG-CME-AR-DRG-100		DRAWING INDEX
CCG-CME-AR-DRG-101		SURVEY
CCG-CME-AR-DRG-200		SITE ANALYSIS PLAN
CCG-CME-AR-DRG-201		PROPOSED SITE PLAN
CCG-CME-AR-DRG-203		GROUND FLOOR DEMOLITION PLAN
CCG-CME-AR-DRG-204		PROPOSED GROUND FLOOR PLAN
CCG-CME-AR-DRG-205		FIRST FLOOR DEMOLITION PLAN
CCG-CME-AR-DRG-206		PROPOSED FIRST FLOOR PLAN
CCG-CME-AR-DRG-207		ROOF PLAN
CCG-CME-AR-DRG-208		GROUND FLOOR REFLECTED CEILING PLAN
CCG-CME-AR-DRG-209		FIRST FLOOR REFLECTED CEILING PLAN
CCG-CME-AR-DRG-300		ELEVATIONS
CCG-CME-AR-DRG-301		ELEVATIONS
CCG-CME-AR-DRG-400		SECTIONS
CCG-CME-AR-DRG-401		SECTIONS
CCG-CME-AR-DRG-500		DETAILS - STAIRCASE
CCG-CME-AR-DRG-501		DETAILS - WET AREA PLANS SHEET 1
CCG-CME-AR-DRG-502		DETAILS - WET AREA PLANS SHEET 2
CCG-CME-AR-DRG-503		DETAILS - LIFT PLANS AND SECTION
CCG-CME-AR-DRG-504		DETAILS - BALCONY BALUSTRADE DETAILS
CCG-CME-AR-DRG-505		DETAILS - DORMER WINDOW
CCG-CME-AR-DRG-506		DETAILS - DOOR SCHEDULE
CCG-CME-AR-DRG-601		EXTERNAL ARTIST IMPRESSION
CCG-CME-AR-DRG-602		INTERNAL ARTIST IMPRESSION

**NOTE**  
TO BE READ IN CONJUNCTION WITH  
ROOM BY ROOM SCHEDULE



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**CCG ARCHITECTS**  
NOMINATED ARCHITECTS  
DAVID COOK (6085) / HRISHAM NODRI (5678)  
CCG ARCHITECTS ARCHITECTURE

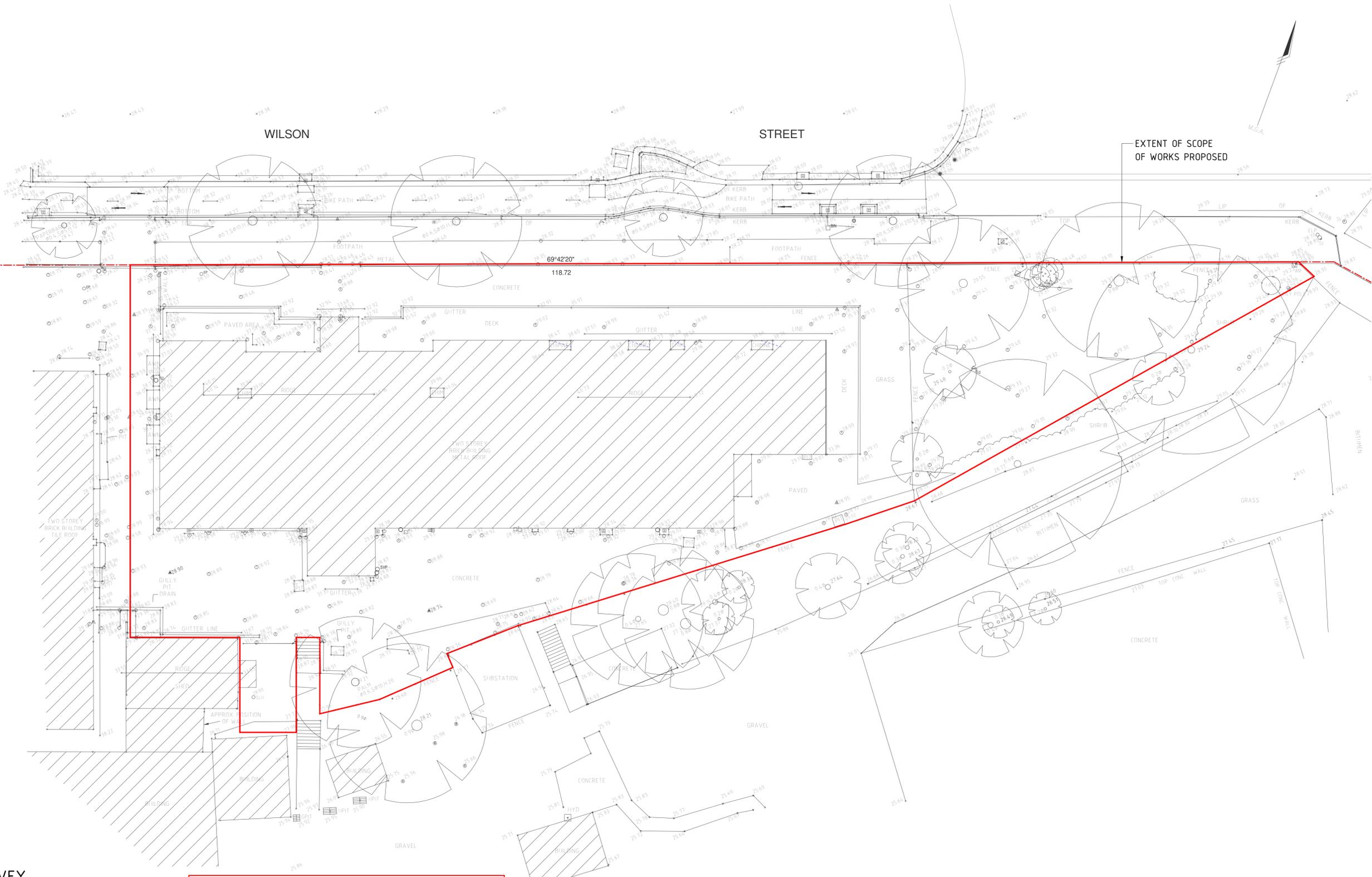
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DESIGNED	ERIC PARK	04/11/22
DRG CHECK	ERIC PARK	04/11/22
DESIGN CHECK	DAVID COOK	04/11/22
APPROVED	DAVID COOK	04/11/22

<b>CHIEF MECHANICAL ENGINEER'S BUILDING</b>			
505 WILSON STREET REDFERN			
<b>ARCHITECTURAL DRAWING INDEX</b>			
FILE No.	SHEET: 1 OF 1	A1	
STATUS: SSDA SUBMISSION			
DRG No.	REV B	VER	EDMS No.
CCG-CME-AR-DRG-100			AMD No.

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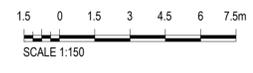
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**1 SURVEY**  
SCALE 1 : 150

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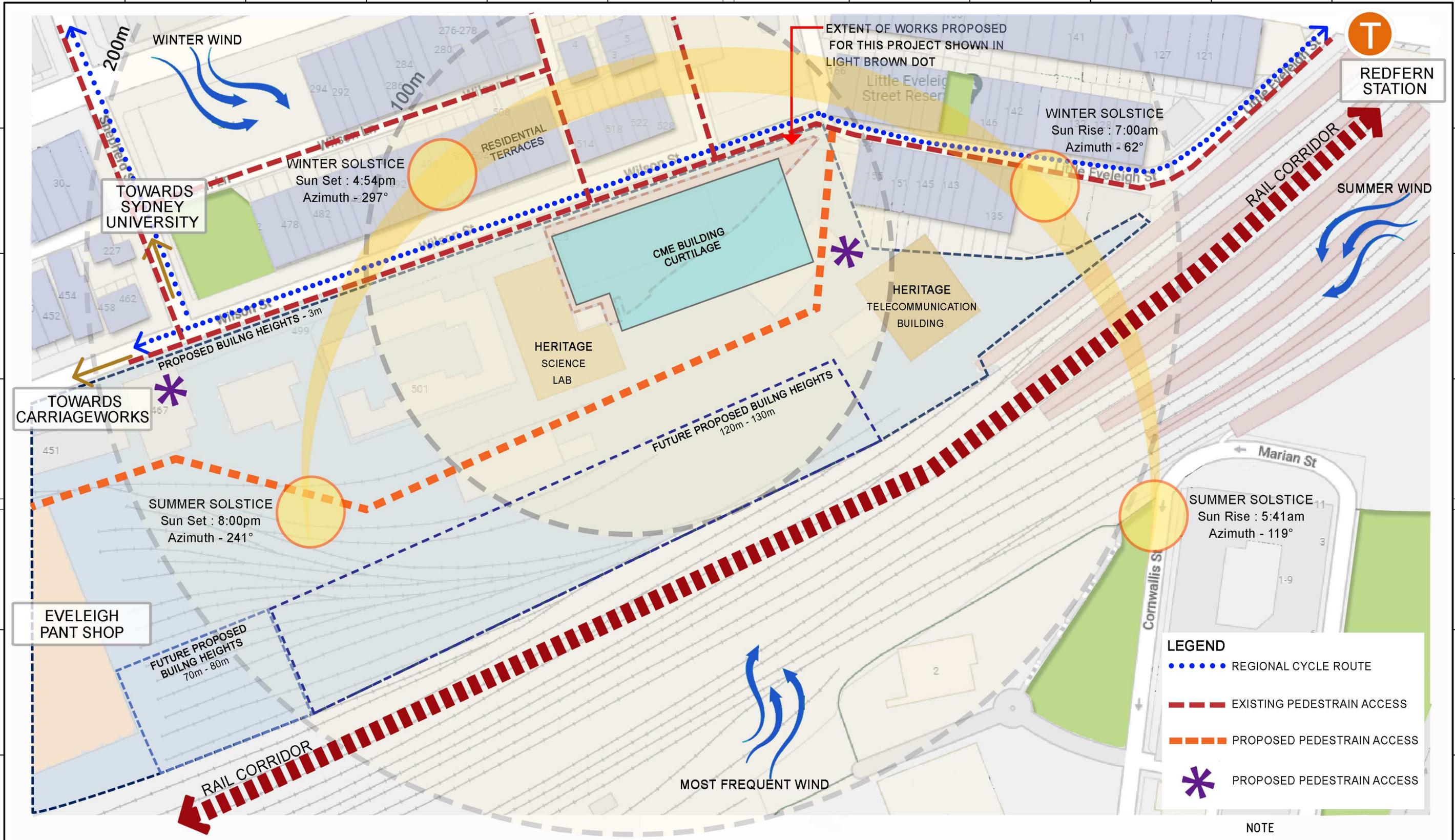


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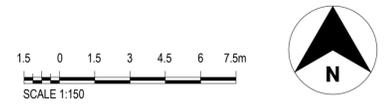
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DESIGN CHECK	DAVID COOK	04/11/22
APPROVED	DAVID COOK	04/11/22

<b>CHIEF MECHANICAL ENGINEER'S BUILDING</b>			
505 WILSON STREET REDFERN			
ARCHITECTURAL SURVEY			
FILE No.	SHEET: 1 OF 1		A1
STATUS: SSDA SUBMISSION			
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AMD No.			



1 SITE ANALYSIS PLAN  
SCALE 1 : 1000

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**CCG ARCHITECTS**  
NOMINATED ARCHITECTS  
DAVID COOK (605) / HRISHAM NOGRI (5678)  
CCG ARCHITECTS ARCHITECTURE

DRAWN	MUNKONG	04/11/22
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DRG CHECK	ERIC PARK	04/11/22
DESIGN CHECK	DAVID COOK	04/11/22
APPROVED	DAVID COOK	04/11/22

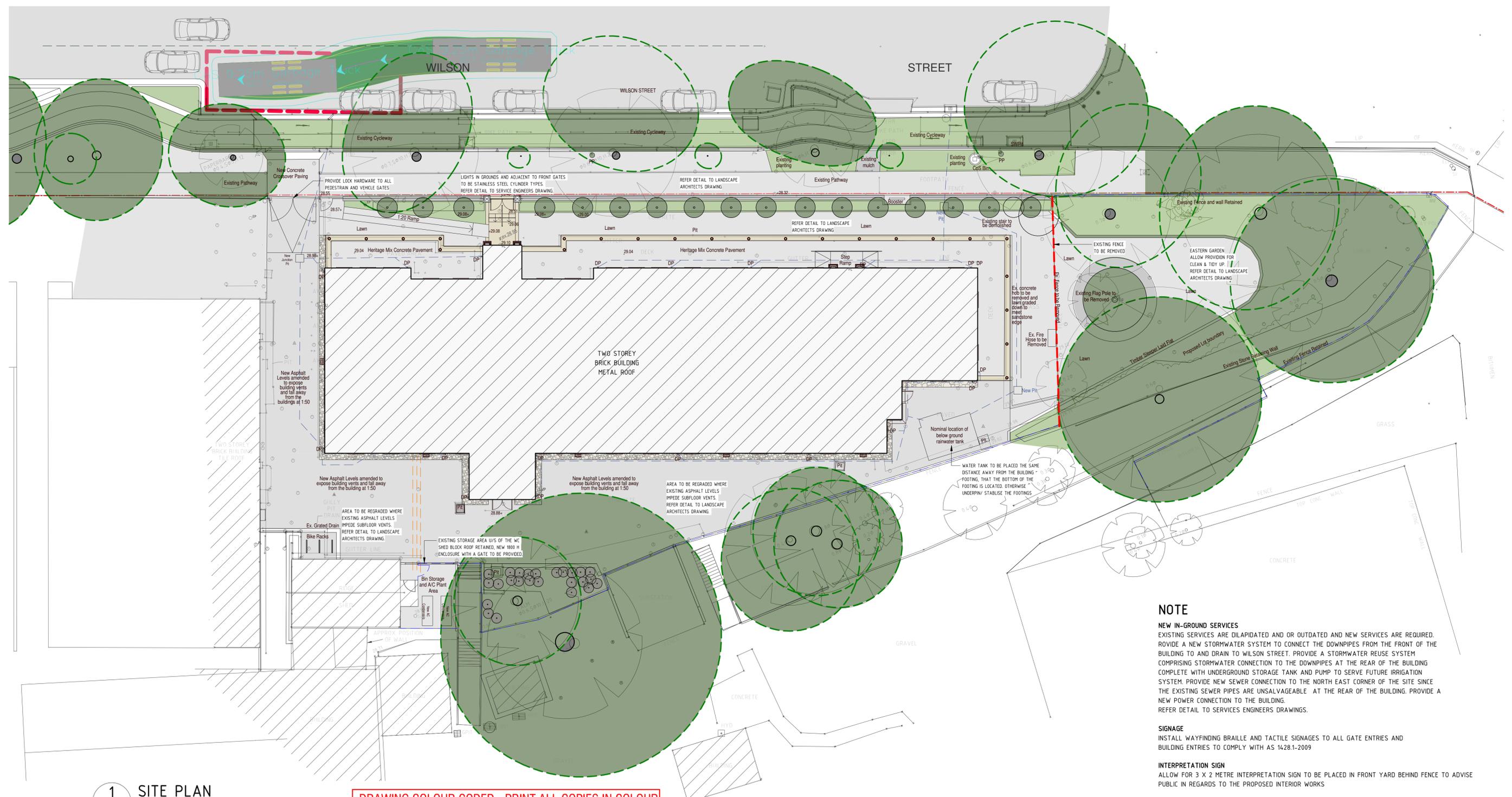
**CHIEF MECHANICAL ENGINEER'S BUILDING**  
505 WILSON STREET REDFERN

ARCHITECTURAL SITE ANALYSIS PLAN

FILE No.	SHEET: 1 OF 1	A1
STATUS:	SSDA SUBMISSION	(C)
DRG No.	CGG-CME-AR-DRG-200	AMD No.

**NOTE**  
THIS DRAWING IS BASED ON THE SECOND INFORMATION THEREFORE ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO ANY SITE WORKS

File Plotted: D:\Documents\CHIEF MECHANICAL ENGINEERS BUILDING\_RVT21\_Central\_joswans.dwg  
Plot Date & Time: 11/04/2022 8:10:11 PM



**NOTE**

**NEW IN-GROUND SERVICES**  
 EXISTING SERVICES ARE DILAPIDATED AND OR OUTDATED AND NEW SERVICES ARE REQUIRED. PROVIDE A NEW STORMWATER SYSTEM TO CONNECT THE DOWNPIPES FROM THE FRONT OF THE BUILDING TO AND DRAIN TO WILSON STREET. PROVIDE A STORMWATER REUSE SYSTEM COMPRISING STORMWATER CONNECTION TO THE DOWNPIPES AT THE REAR OF THE BUILDING COMPLETE WITH UNDERGROUND STORAGE TANK AND PUMP TO SERVE FUTURE IRRIGATION SYSTEM. PROVIDE NEW SEWER CONNECTION TO THE NORTH EAST CORNER OF THE SITE SINCE THE EXISTING SEWER PIPES ARE UNSALVAGEABLE. AT THE REAR OF THE BUILDING. PROVIDE A NEW POWER CONNECTION TO THE BUILDING. REFER DETAIL TO SERVICES ENGINEERS DRAWINGS.

**SIGNAGE**  
 INSTALL WAYFINDING BRAILLE AND TACTILE SIGNAGES TO ALL GATE ENTRIES AND BUILDING ENTRIES TO COMPLY WITH AS 1428.1-2009

**INTERPRETATION SIGN**  
 ALLOW FOR 3 X 2 METRE INTERPRETATION SIGN TO BE PLACED IN FRONT YARD BEHIND FENCE TO ADVISE PUBLIC IN REGARDS TO THE PROPOSED INTERIOR WORKS

**1 SITE PLAN**  
 SCALE 1 : 150

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 NOMINATED ARCHITECTS  
 DAVID COOK (008) / HISHAM NODRI (5678)  
 CCG ARCHITECTS ARCHITECTURE

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APPROVED	DAVID COOK	04/11/22

**CHIEF MECHANICAL ENGINEER'S BUILDING**  
 505 WILSON STREET REDFERN

**ARCHITECTURAL PROPOSED SITE PLAN**

FILE No.	SHEET: 1 OF 1	A1	
STATUS:	SSDA SUBMISSION	(C)	
DRG No.	CGG-CME-AR-DRG-201		
REV	VER	EDMS No.	AMD No.
B			

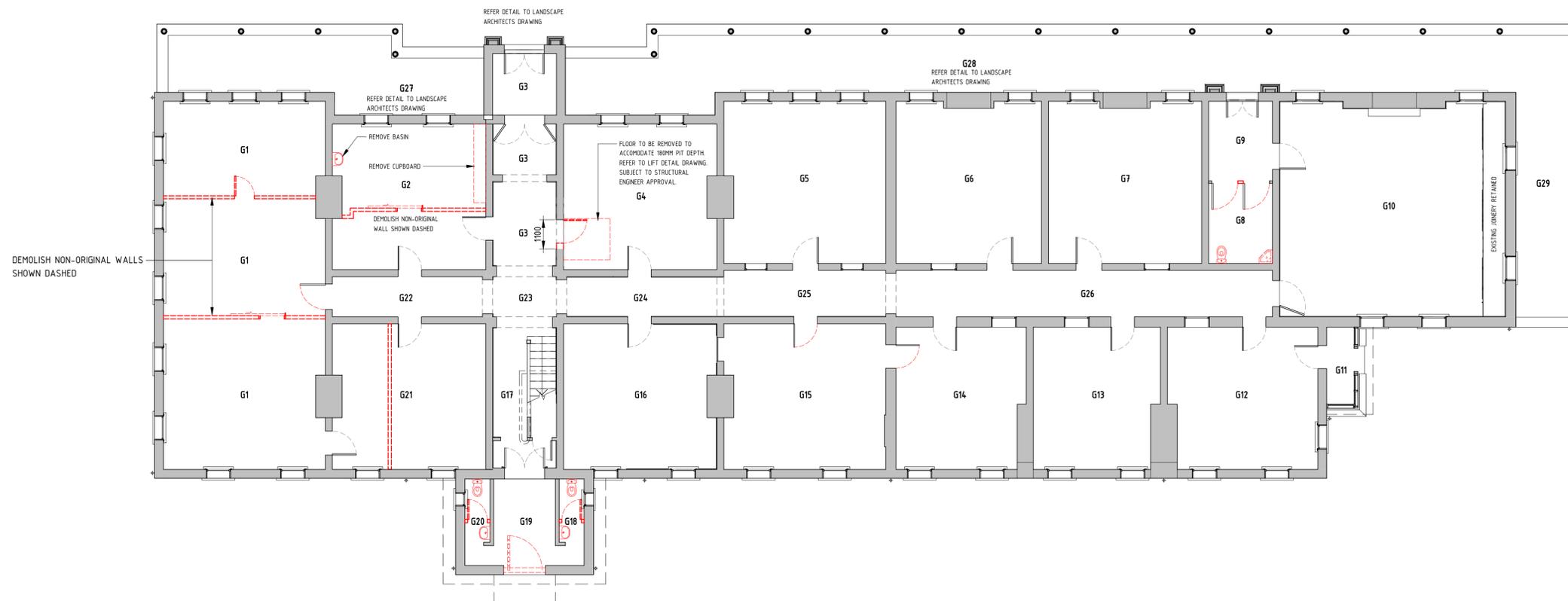
OF 801-554

**LEGEND**

- EXISTING TO BE REMOVED  
(ALLOW PROVISION FOR MAKE GOOD TO MATCH FINISHES DIRECTLY ADJACENT TO)
- EXISTING WALL RETAINED

**NOTE**

TO BE READ IN CONJUNCTION WITH ROOM BY ROOM SCHEDULE



DEMOLISH NON-ORIGINAL WALLS SHOWN DASHED

**NOTE**

ALL EXISTING REMOVED TO BE STORED AWAY IN THE NOMINATED AREA.

**DOORS**

- STRIP LEAD PAINT FROM DOOR LEAFS AND REPAIR DOORS AS REQUIRED- ALLOW TO REPAIR AS PER "ROOM BY ROOM SCHEDULE". WHERE NEW TIMBER IS USED, ALLOW TO PRIME PAINT.

- ALLOW TO REMOVE ALL LOCK HARDWARE AND SERVICE AS SCHEDULED BELOW UNDER DOOR HARDWARE.

**FANLIGHTS**

STRIP LEAD PAINT FROM FANLIGHT SASH AND PAINT ALL AROUND WITH THREE COATS 100% GLOSS ENAMEL. ALLOW GLAZING TO BE CLEAR 5.5 TOUGHENED GLASS FIXED WITH TRADITIONAL LINSEED PUTTY. PROVIDE TRADITIONAL BRASS FANLIGHT MECHANISMS TO ALL FANLIGHTS.

**PICTURE RAIL TO BE RETAINED**

STRIP LEAD PAINT FROM PICTURE RAIL AND ALLOW TO REPLACE PICTURE RAIL AND INSTALL. 30% OF ALL ROOMS. JOINERY SHOP TO MAKE UP DETAILED MOULDED ARCHITRAVES TO MATCH EXISTING EXACTLY. PRIME AND PAINT WITH 3 COATS OF 100% GLOSS ENAMEL.

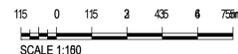
**WINDOW HARDWARE**

REMOVE ANY MODERN WINDOW LOCKS AND MAKE GOOD. GENERALLY EACH DOUBLE HUNG WINDOW IS TO BE COMPLETE WITH A SASH FASTENER AND LATCH. ALLOW PRESERVE EXISTING HARDWARE IE 70% WINDOWS. STRIP EXISTING HARDWARE AND REPOLISH BRASS ELEMENTS AND REPAINT REST. REFIX USING NEW BRASS SCREWS. FOR 30 % WINDOWS ALLOW TO PROVIDE NEW HARDWARE. BRASS SASH TRADITIONAL FASTENERS AND TWO BRASS SASH LIFTS FIXED WITH BRASS SCREWS.

**1 GROUND FLOOR DEMOLITION PLAN**

SCALE 1 : 100

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NOMINATED ARCHITECTS  
DAVID COOK (6085) / HIRSHAM NODRI (5678)  
CCG ARCHITECTS ARCHITECTURE

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DRG CHECK	ERIC PARK	04/11/22
DESIGN CHECK	DAVID COOK	04/11/22
APPROVED	DAVID COOK	04/11/22

**CHIEF MECHANICAL ENGINEER'S BUILDING**  
505 WILSON STREET REDFERN

ARCHITECTURAL  
GROUND FLOOR DEMOLITION PLAN

FILE No.	SHEET: 1 OF 1	A1
STATUS:	SSDA SUBMISSION	(C)
DRG No.	CGG-CME-AR-DRG-203	
REV	VER	EDMS No.
B		

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**LEGEND**

- DEMOLISH
- PROPOSED
- EXISTING WALL
- PROPOSED WALL

**LEGEND FLOOR FINISHES**

REFER DETAIL TO ROOM BY ROOM SCHEDULE

- FTB-1 FLOOR TIMBER BOARDS (150mm) (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- FTB-2 FLOOR TIMBER BOARDS (100mm) (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- FCT FLOOR CERAMIC TILES (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- FCT-1 MONOCOTTURA TILES (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- FCT-2 TERRACOTTA TILES (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- FCT-3 NEW TESSELLATED TILES (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- FCO-1 RAISED CONCRETE FLOOR WITH NEW TILES (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- EXISTING DOORS WITH 850 CLEAR WIDTH (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- NEW DOORS DOOR & DOOR FRAME DETAIL TO MATCH SIMILAR EXISTING LIKE FOR LIKE DOORS ON SITE (REFER DETAIL TO ROOM BY ROOM SCHEDULE)

**NOTE**

TO BE READ IN CONJUNCTION WITH ROOM BY ROOM SCHEDULE

**NOTE**

**DESALINATION**  
DESALINATE MASONRY AS REQUIRED WITH A DRY/WET VACUUM PROCESS. ALLOW FOR AT LEAST FIVE FULL CYCLES FOR AREAS UP TO 12 METRES ON GROUND FLOOR AND 2 CYCLES FOR ABOVE 12 METRES TO CEILING ON GROUND FLOORS AND ALL UPPER FIRST FLOOR WALLS. USE BLUE VAC SYSTEM AS RECOMMENDED BY MANUFACTURER.

**ALLOW TO REPAIR LIME PLASTER WALLS WITH ONE OF THE FOLLOWING PROCESSES:**

- WHERE INDIVIDUAL LARGE CRACKS EXIST FROM STRUCTURAL MOVEMENT, CUT BACK PLASTER 150MM BOTH SIDES OF CRACK AND BACK TO SUBSTRATE, INSTALL HELICAL STAINLESS STEEL REINFORCEMENT TO MANUFACTURER'S DETAIL AND SPECIFICATION AND IN ACCORDANCE WITH THE ENGINEER'S DETAIL AND REPLASTER. PLASTER OVER TO MATCH EXISTING FINISH.
- WHERE AREAS OF DRUMMY PLASTER ARE FOUND, REFIX BY INJECTING ADHESIVE. METHODOLOGY FOR WALLS: DRILL HOLES ABOVE AND BELOW DRUMMY AREA. ALLOW TO CLEAN BEHIND THE PLASTER WITH WATER. INJECT AN ACRYLIC RESIN BASED ADHESIVE.
- AREAS WHERE NUMEROUS CRACKS EXIST, REMOVE EXISTING PLASTER AND REPLASTER.
- WHERE INDIVIDUAL FINE HAIRLINE CRACKS EXIST, ALLOW TO PATCH.
- WHERE LARGE HOLES EXISTING FOLLOW REMOVAL OF SERVICES SUCH LIGHT SWITCHES AND CONDUITS, FOLLOW ITEM 1 ABOVE FOR REPAIR METHODOLOGY.
- EXTENT: REFER TO "ROOM BY ROOM SCHEDULE"

**DOOR HARDWARE**  
RECTIFY DOOR HARDWARE SO AS THE DOORS ARE READILY OPENABLE FROM THE INSIDE WITHOUT A KEY BY A SINGLE HAND ACTION ON A SINGLE DEVICE (I.E. LEVER). THE FOLLOWING WORK IS TO BE CARRIED OUT BY A REPUTABLE LOCKSMITH. ALL ORIGINAL LOCKS SHALL BE REMOVED, EASED AND GREASED. ALLOW 50% ORIGINAL LOCKS. REMOVE ANY PAINT FROM BRASS AREAS, LIGHTLY CLEAN WITH STEEL WOOL. NEW LOCKS (50% OF LOCKS) ALLOW FOR SUPPLY AND FIXING OF TRADITIONAL MORTISE LOCKS AS JACKSON'S S LEVER AND SOLID JACKSON'S BRASS KNOBS.

**FIREPLACES**  
ALLOW TO CLEAN THE INSIDE OF VERTICAL FLUES AND FIREBOXES OF ALL CHIMNEYS. REPLACE MISSING CAST IRON METAL COMPONENTS (ALLOW CHIMNEY RESTORATION CENTRE TO PROVIDE % OF ELEMENTS FOR EACH FIREPLACE COMPONENTS AS PER "ROOM BY ROOM SCHEDULE") SPECIALIST MARBLE CONTRACTOR TO REVIEW EACH FIREPLACE AND PROVIDE REPORT. ALLOW POLISHING ALL MARBLE FIREPLACES AND RESTORING, WITH % OF NEW INTRODUCED SECTIONS OF SIMILAR MARBLE AS PER "ROOM BY ROOM SCHEDULE" PAINT HEARTH AND METAL SECTIONS OF FIREPLACE WITH PROPRIETARY FIREPROOF BLACK-PAINT. PROTECT FIREPLACE MANTLES AND SURROUNDINGS DURING CONSTRUCTION. REMOVE PROTECTION ON COMPLETION OF WORK.

**SUB FLOOR WORKS (SUBJECT TO STRUCTURAL ENGINEERS APPROVAL)**

**GROUND FLOOR FLOOR BOARDS**

- ALLOW TO REMOVE FLOOR COVERINGS AND STAPLES FROM FLOOR BOARDING WHERE
- ALLOW TO CAREFULLY TAKE UP FLOOR BOARDS, SALVAGE AND STORE.
- ALLOW PROVIDE NEW SIMILAR SIZE AND SPECIES HARDWOOD FLOOR BOARDS TO EACH ROOM. ALLOW QUANTITIES AS PER "ROOM BY ROOM SCHEDULE" IN SECTION 13 BELOW.
- RELAY BOARDS AFTER SUBFLOOR WORKS COMPLETE BELOW.
- SAND FLOORS, SEAL GAPS WITH A SUITABLE SEALANT AND FINISH WITH TWO COATS OF TUNG OIL. PROVIDE ACCESS HATCHES ONE 600X600MM TO EACH GROUND FLOOR ROOM.

**GROUND FLOOR JOISTS**

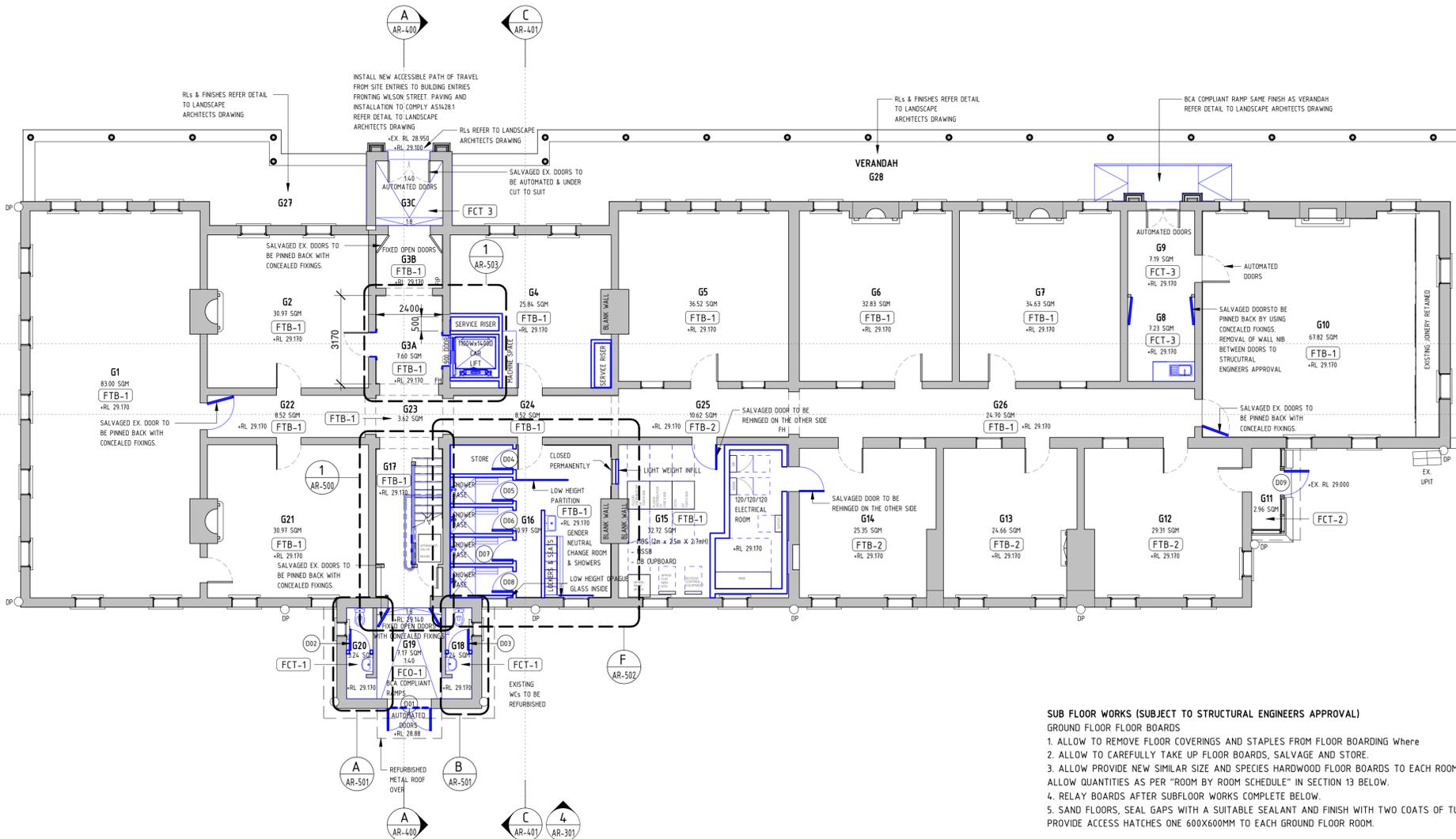
- CHECK OVER WITH HERITAGE ARCHITECT. AS PER TERMITE REPORT FOR TERMITE DAMAGED TIMBERS AND DRY ROT ALLOW. ALLOW QUANTITIES AS PER "ROOM BY ROOM SCHEDULE" USING 100X50MM F 27 HARDWOOD JOISTS.
- ALLOW TO TAKE UP EXISTING JOISTS SALVAGE AND STORE.
- RELAY JOISTS AFTER PIER AND BEARER WORK BELOW WORKS COMPLETE BELOW RELAY NEW AND SALVAGED JOISTS, NAIL TO BEARERS

**GROUND FLOOR FLOOR BOARDS**

- CHECK OVER WITH HERITAGE ARCHITECT. AS PER TERMITE REPORT FOR TERMITE DAMAGED TIMBERS AND DRY ROT ALLOW. ALLOW QUANTITIES AS PER "ROOM BY ROOM SCHEDULE" USING 100X75MM F 27 HARDWOOD BEARERS
- ALLOW TO TAKE UP EXISTING BEARERS SALVAGE AND STORE.
- RELAY BEARERS AFTER PIER WORK BELOW WORKS COMPLETE BELOW RELAY NEW AND SALVAGED BEARERS

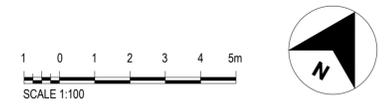
**GROUND FLOOR PIERS**

- CHECK OVER WITH HERITAGE ARCHITECT.
- ALLOW TO ARCHIVALLY RECORD, THEN REMOVE EXISTING PIERS.
- CONSTRUCT NEW 230X230MM BRICK PIERS AT 1500MM CENTRES TO STRUCTURAL ENGINEER'S DETAILS ( ALLOW 450X450X 300 REINFORCED CONCRETE PADS) PROVIDE NEW GAL STEEL ANT CAPS TO ALL PIERS



**1 GROUND FLOOR PLAN**  
SCALE 1 : 100

**DRAWING COLOUR CODED - PRINT ALL COPIES IN COLOUR**



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REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE	
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**CCG ARCHITECTS**  
NOMINATED ARCHITECTS  
DAVID COOK (008) HIRSHAM NODDI (5678)  
CCG ARCHITECTS  
ARCHITECTURE

DRAWN	MUNKONG	04/11/22
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DRG CHECK	ERIC PARK	04/11/22
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APPROVED	DAVID COOK	04/11/22

**CHIEF MECHANICAL ENGINEER'S BUILDING**  
505 WILSON STREET REDFERN

**ARCHITECTURAL**  
PROPOSED GROUND FLOOR PLAN

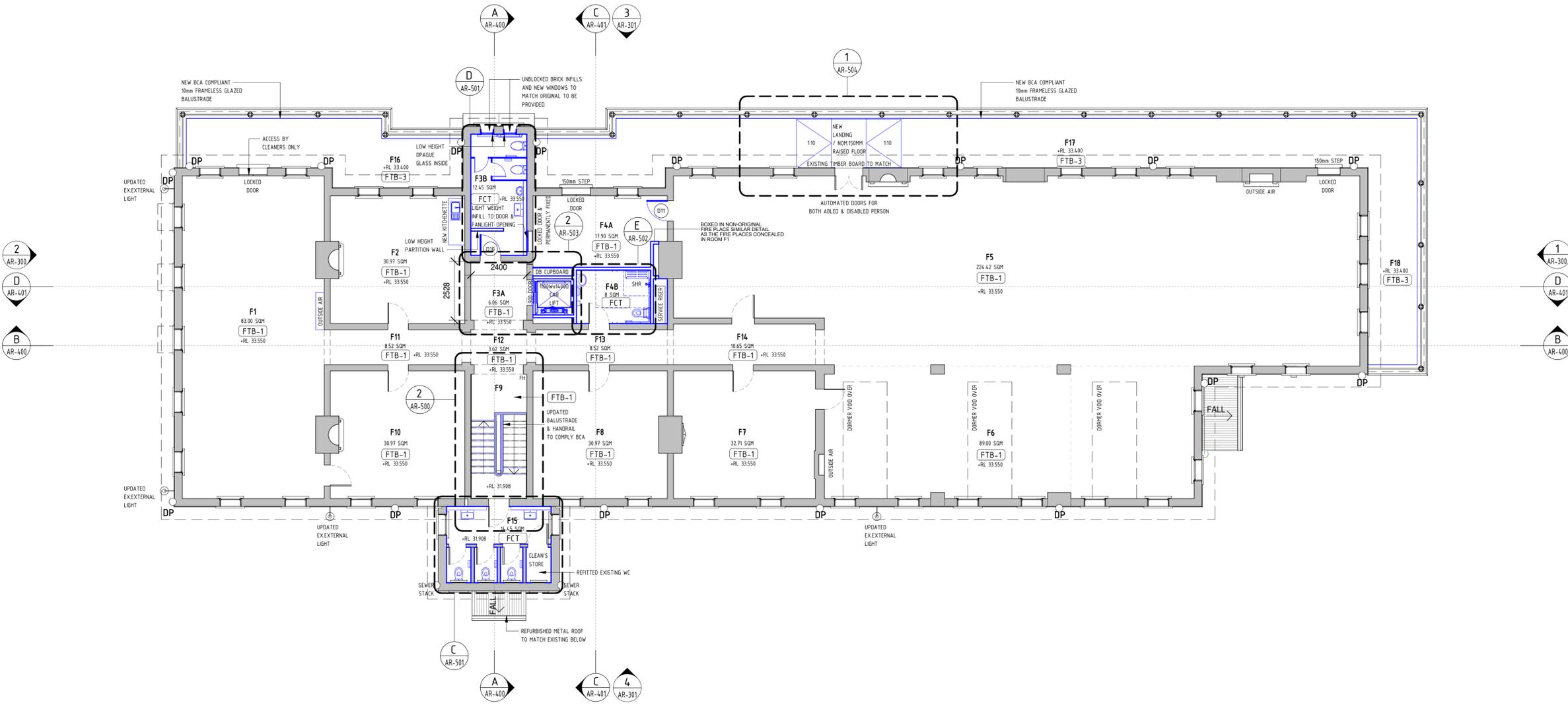
FILE No.	SHEET: 1 OF 1	A1
STATUS:	SSDA SUBMISSION	(C)
DRG No.	CGG-CME-AR-DRG-204	
REV	VER	EDMS No.
B		



- LEGEND**
- DEMOLISH
  - PROPOSED
  - EXISTING WALL
  - PROPOSED WALL

- LEGEND FLOOR FINISHES**  
REFER DETAIL TO ROOM BY ROOM SCHEDULE
- FTB-1 FLOOR TIMBER BOARDS (150mm)  
(REFER DETAIL TO ROOM BY ROOM SCHEDULE)
  - FTB-3 FLOOR TIMBER BOARDS- EXISTING REFURBISHED
  - FCT FLOOR CERAMIC TILES  
(REFER DETAIL TO ROOM BY ROOM SCHEDULE)
  - FCT-1 MONOCOTTURA TILES  
(REFER DETAIL TO ROOM BY ROOM SCHEDULE)
  - EXISTING DOORS WITH 850 CLEARANCE  
(REFER DETAIL TO ROOM BY ROOM SCHEDULE)
  - NEW DOORS  
DOOR & DOOR FRAME DETAIL TO MATCH SIMILAR  
EXISTING LIKE FOR LIKE DOORS ON SITE  
(REFER DETAIL TO ROOM BY ROOM SCHEDULE)

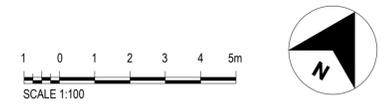
**NOTE**  
TO BE READ IN CONJUNCTION WITH  
ROOM BY ROOM SCHEDULE



**1 FIRST FLOOR PLAN**  
SCALE 1 : 100

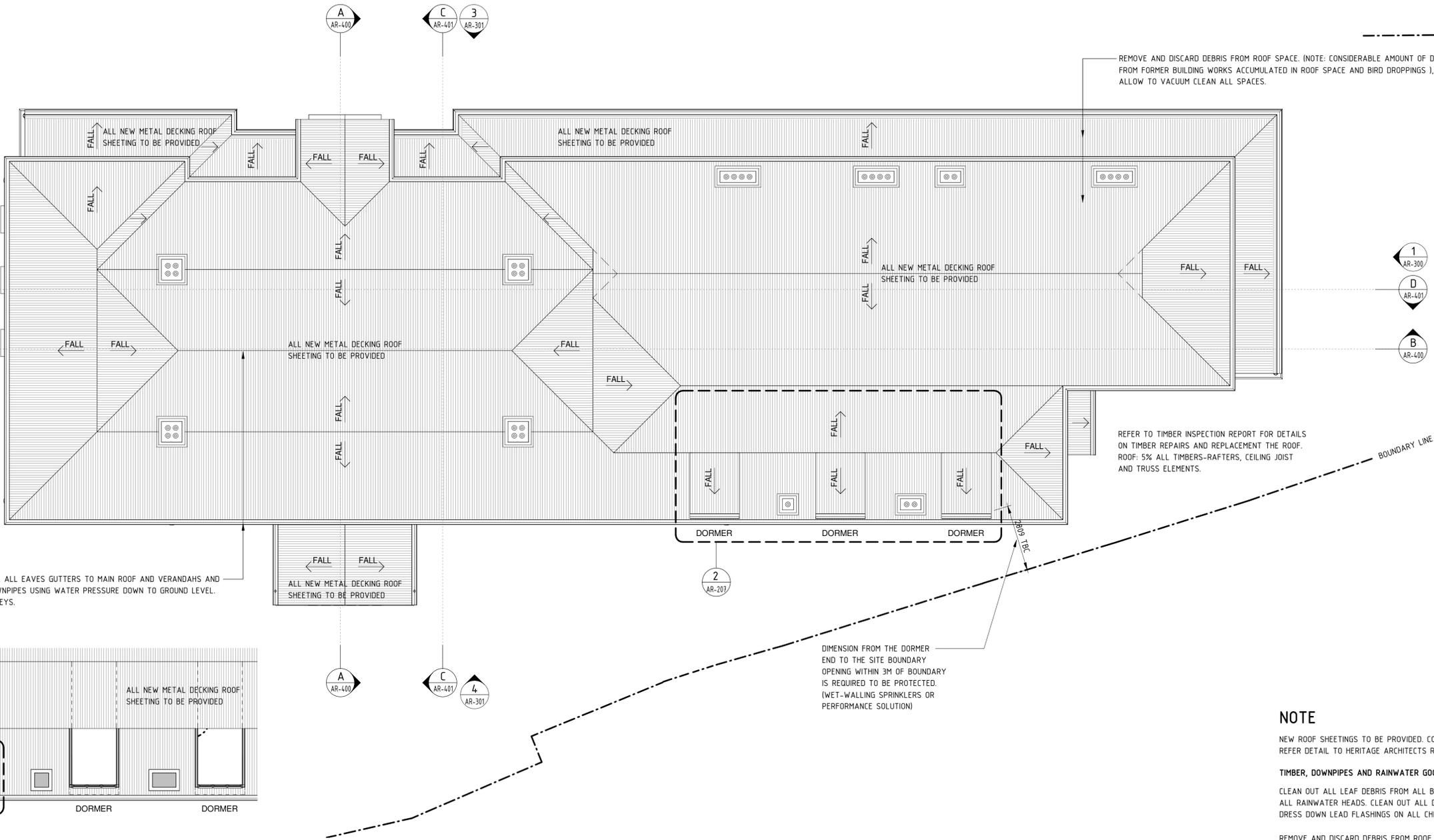
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**NOTE**  
**SUB FLOOR WORKS (SUBJECT TO STRUCTURAL ENGINEERS APPROVAL)**  
FIRST FLOOR FLOOR BOARDS  
1. ALLOW TO REMOVE FLOOR COVERINGS AND STAPLES FROM FLOOR BOARDING WHERE REQUIRED.  
2. WHERE DAMAGED RESTORE BOARDING. ALLOW PROVIDE NEW SIMILAR SIZE AND SPECIES HARDWOOD FLOOR BOARDS TO EACH ROOM. ALLOW AS PER " ROOM BY ROOM SCHEDULE"  
SAND FLOORS, SEAL GAPS WITH A SUITABLE SEALANT AND FINISH WITH TWO COATS OF TUNG OIL.  
  
FIRST FLOOR JOISTS  
1. CHECK OVER WITH HERITAGE ARCHITECT.  
2. WHERE DAMAGED RESTORE JOISTS. ALLOW PROVIDE NEW SIMILAR SIZE AND SPECIES HARDWOOD JOISTS TO EACH ROOM. ALLOWANCE 30% EACH ROOM ALLOW 400MM X 50 F 28 HARDWOOD JOISTS AT 450MM CENTRES.



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A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22
CO-ORDINATE SYSTEM:		HEIGHT DATUM:		SCALE: 1:100
				DRAWN: MUNKONG 04/11/22 DESIGNED: ERIC PARK 04/11/22 DRG CHECK: ERIC PARK 04/11/22 DESIGN CHECK: DAVID COOK 04/11/22 APPROVED: DAVID COOK 04/11/22

<b>CHIEF MECHANICAL ENGINEER'S BUILDING</b> 505 WILSON STREET REDFERN			
ARCHITECTURAL PROPOSED FIRST FLOOR PLAN			
FILE No.	SHEET: 1 OF 1		A1
STATUS: SSDA SUBMISSION			
DRG No.	REV	VER	EDMS No.
CGG-CME-AR-DRG-206	B		



2 AR-300  
D AR-401  
B AR-400

1 AR-300  
D AR-401  
B AR-400

A AR-400  
C AR-401  
3 AR-301

A AR-400  
C AR-401  
4 AR-301

2 AR-207

3 AR-505

2 DORMER PLAN  
SCALE 1 : 100

1 ROOF PLAN  
SCALE 1 : 100

CLEAN OUT ALL LEAF DEBRIS FROM ALL BOX, ALL EAVES GUTTERS TO MAIN ROOF AND VERANDAHS AND ALL RAINWATER HEADS. CLEAN OUT ALL DOWNPIPES USING WATER PRESSURE DOWN TO GROUND LEVEL. DRESS DOWN LEAD FLASHINGS ON ALL CHIMNEYS.

REMOVE AND DISCARD DEBRIS FROM ROOF SPACE. (NOTE: CONSIDERABLE AMOUNT OF DEBRIS FROM FORMER BUILDING WORKS ACCUMULATED IN ROOF SPACE AND BIRD DROPPINGS ), ALLOW TO VACUUM CLEAN ALL SPACES.

REFER TO TIMBER INSPECTION REPORT FOR DETAILS ON TIMBER REPAIRS AND REPLACEMENT THE ROOF. ROOF: 5% ALL TIMBERS-RAFTERS, CEILING JOIST AND TRUSS ELEMENTS.

DIMENSION FROM THE DORMER END TO THE SITE BOUNDARY OPENING WITHIN 3M OF BOUNDARY IS REQUIRED TO BE PROTECTED. (WET-WALLING SPRINKLERS OR PERFORMANCE SOLUTION)

**NOTE**

NEW ROOF SHEETINGS TO BE PROVIDED. COLOURS SUBJECT TO HERITAGE ARCHITECT'S APPROVAL. REFER DETAIL TO HERITAGE ARCHITECTS REPORT.

**TIMBER, DOWNPIPES AND RAINWATER GOODS**

CLEAN OUT ALL LEAF DEBRIS FROM ALL BOX, ALL EAVES GUTTERS TO MAIN ROOF AND VERANDAHS AND ALL RAINWATER HEADS. CLEAN OUT ALL DOWNPIPES USING WATER PRESSURE DOWN TO GROUND LEVEL. DRESS DOWN LEAD FLASHINGS ON ALL CHIMNEYS.

REMOVE AND DISCARD DEBRIS FROM ROOF SPACE. (NOTE: CONSIDERABLE AMOUNT OF DEBRIS FROM FORMER BUILDING WORKS ACCUMULATED IN ROOF SPACE AND BIRD DROPPINGS ), ALLOW TO VACUUM CLEAN ALL SPACES.

REFER TO TIMBER INSPECTION REPORT FOR DETAILS ON TIMBER REPAIRS AND REPLACEMENT THE ROOF. ROOF: 5% ALL TIMBERS-RAFTERS, CEILING JOIST AND TRUSS ELEMENTS.



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REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE	
	CO-ORDINATE SYSTEM:	HEIGHT DATUM:	SCALE:	1:100	

<b>CHIEF MECHANICAL ENGINEER'S BUILDING</b> 505 WILSON STREET REDFERN			
ARCHITECTURAL ROOF PLAN			
FILE No.	SHEET: 1 OF 1	A1	
STATUS: SSDA SUBMISSION			
DRG No.	REV	VER	EDMS No.
CCG-CME-AR-DRG-207	B		



**LEGEND**

- DEMOLISH
- PROPOSED
- EXISTING WALL
- PROPOSED WALL
- L LIGHT FITTING

REFER DETAIL OF THE LIGHTING TYPES PROPOSED TO ELECTRICAL ENGINEER'S LIGHTING LAYOUT DRAWINGS

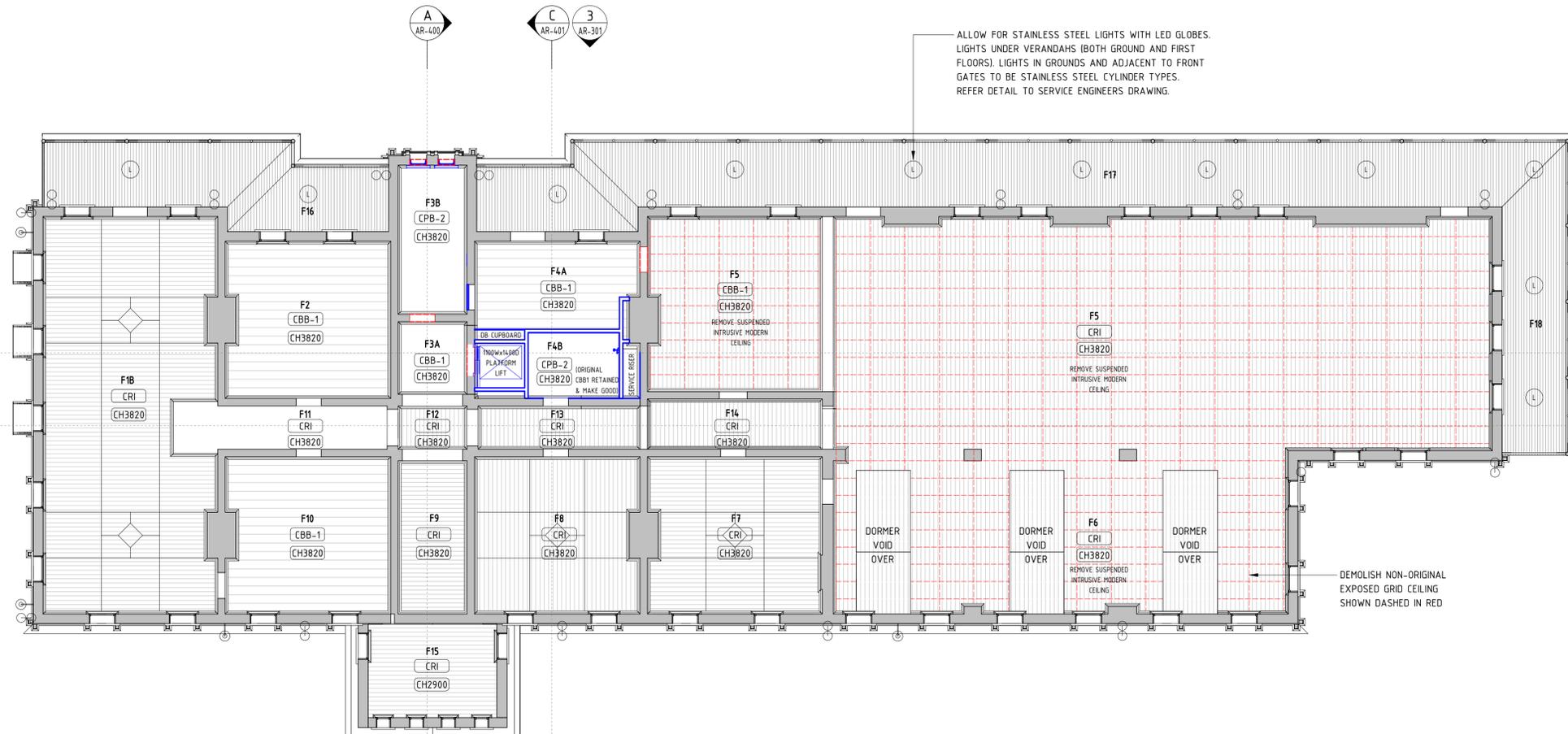
**LEGEND CEILING**

REFER DETAIL TO ROOM BY ROOM SCHEDULE

- CBB-1 T&G QUIRK BEADED BOARDING (150MM) (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- CBB-2 CEILING - T&G QUIRK BEADED BOARDING (125MM) (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- CRI CEILING RIPPLE IRON (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- CPB-1 CEILING SET PLASTERBOARD (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- CPB-2 CEILING MOISTURE RESISTANCE PLASTERBOARD (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- CPB-3 CEILING 120/120/120 FIRE RATED (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- CPM CEILING PRESSED METAL (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- P PAINT FINISH (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- PP PAINT FINISH ON LIME PLASTER (REFER DETAIL TO ROOM BY ROOM SCHEDULE)

**NOTE**

TO BE READ IN CONJUNCTION WITH ROOM BY ROOM SCHEDULE



**1 FIRST FLOOR REFLECTED CEILING PLAN**  
SCALE 1 : 100

DRAWING COLOUR CODED - PRINT ALL COPIES IN COLOUR

**NOTE**

PRIOR TO REMOVAL OF LEAD PAINT FROM ALL CEILINGS IN BUILDING, REDUNDANT ELEMENTS INCLUDING SECONDARY SUSPENDED GRID CEILINGS AND ASSOCIATED FITTINGS AND FIXTURES TO BE REMOVED AND DISCARDED FROM SITE.

LATH AND PLASTER  
REPAIR DAMAGED LATH AND PLASTER CEILINGS. METHODOLOGY: VACUUM THE TOP SIDE OF THE LATHS TO REMOVE DIRT. FLOOD ADHESIVE ONTO TOP SURFACE OR INJECT ADHESIVE THROUGH LATHS AS PER WESTOX REPAIR RECOMMENDATIONS.



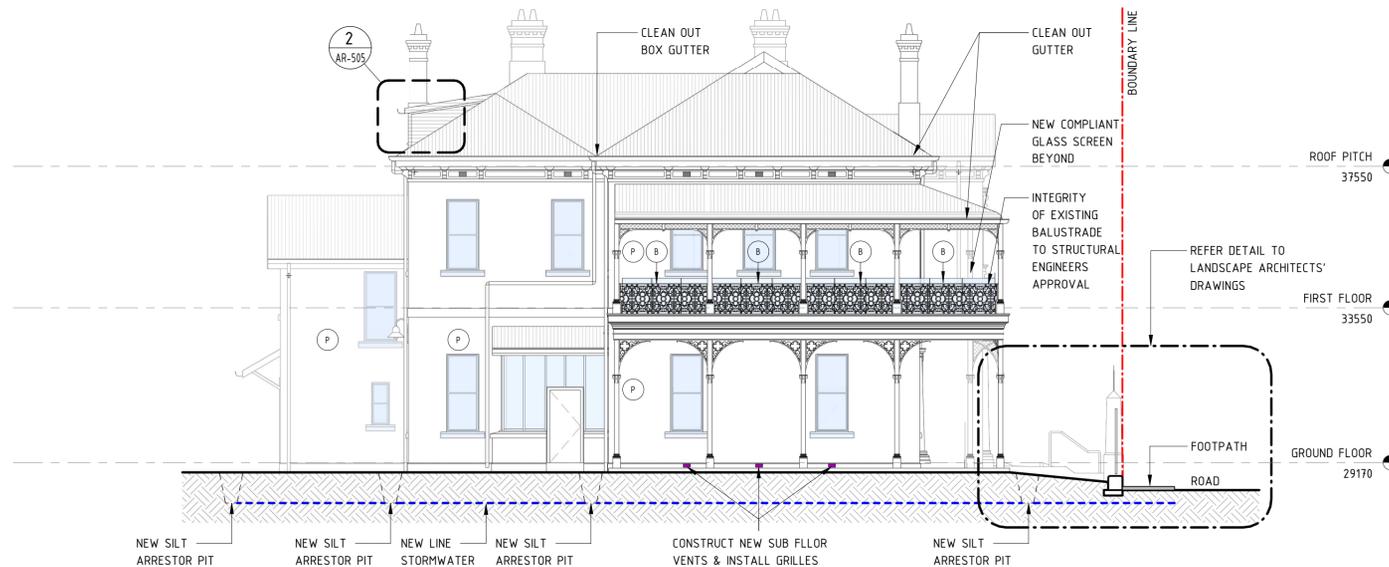
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		APPROVED SIGN./DATE	D.C./04/11/22
			D.C./20/07/22
CO-ORDINATE SYSTEM:		HEIGHT DATUM:	SCALE: 1:100

<b>CHIEF MECHANICAL ENGINEER'S BUILDING</b> 505 WILSON STREET REDFERN			
ARCHITECTURAL FIRST FLOOR REFLECTED CEILING PLAN			
FILE No.	SHEET: 1 OF 1		A1
STATUS: SSDA SUBMISSION			
DRG No.	REV	VER	EDMS No.
CGG-CME-AR-DRG-209	B		

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Plot Date & Time 11/4/2022 8:10:38 PM  
DR 801-554

**LEGEND**

-  100Ø STORMWATER PIPE
  -  REPLACE SUB FLOOR VENT GRILL TO MATCH ORIGINAL  
PROVIDE NEW 230 X 180MM HIGH SUB FLOOR VENTS WITH CAST IRON GRILLES IN LOCATIONS AS SHOWN ON THE DRAWINGS TO MATCH ORIGINAL VENTS. REMOVE NON-ORIGINAL GRILLES TO EXISTING VENTS AND REPLACE WITH CAST IRON GRILLES TO MATCH ORIGINAL.
  -  NEW PAD FOOTING
  -  NEW COMPLIANT BALUSTRADE
  -  NEW PAINT FINISH TO MATCH ORIGINAL FACADE. SUBJECT TO HERITAGE ARCHITECT'S REVIEW AND APPROVAL.
- UPDATE EX. EXTERNAL LIGHT - REFER DETAIL TO ELECTRICAL ENGINEER'S LIGHTING SCHEDULE DRAWINGS



**1 EAST ELEVATION**  
SCALE 1 : 100

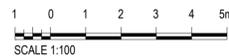


**2 WEST ELEVATION**  
SCALE 1 : 100

**NOTE**

- UNDERFLOOR VENTILATION**
1. REMOVE ALL DEBRIS FROM UNDER FLOORS (PAST WORKS HAVE LEFT BUILDING DEBRIS ON SITE)
  2. ENGAGE ARCHAEOLOGIST TO BE ON CALL FOR EXCAVATION WORKS
  3. AS MOST ROOMS HAVE INADEQUATE UNDERFLOOR HEIGHTS, CAREFULLY EXCAVATE UNDERFLOOR AREAS TO PROVIDE AT LEAST 350MM UNDER THE BEARERS ( ALLOW OVERALL ALL ROOMS APPROX. 300MM EXCAVATION)
- PROVIDE ADEQUATE OPENINGS FOR CROSS FLOW VENTILATION. ALLOW SIX 230 X 230MM OPENINGS PER ROOM AND TO REMOVE MASONRY UNDER ALL GROUND FLOOR DOORWAYS. ( 20 DOORWAYS )

**DRAWING COLOUR CODED - PRINT ALL COPIES IN COLOUR**



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		DRAWN - MUNKONG 04/11/22 DESIGNED - ERIC PARK 04/11/22 DRG CHECK - ERIC PARK 04/11/22 DESIGN CHECK - DAVID COOK 04/11/22 APPROVED - DAVID COOK 04/11/22		 			
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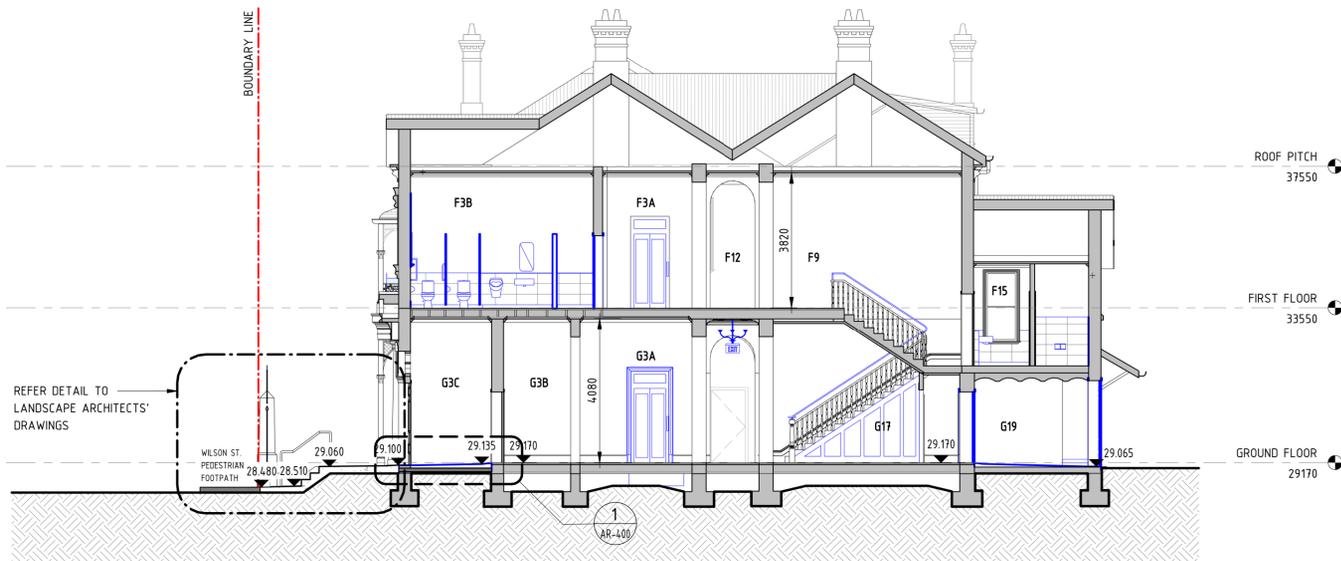
<b>CHIEF MECHANICAL ENGINEER'S BUILDING</b> 505 WILSON STREET REDFERN			
ARCHITECTURAL ELEVATIONS			
FILE No.	SHEET: 1 OF 1	A1	
STATUS: SSDA SUBMISSION			
DRG No.	REV	VER	EDMS No.
CCG-CME-AR-DRG-300	A		

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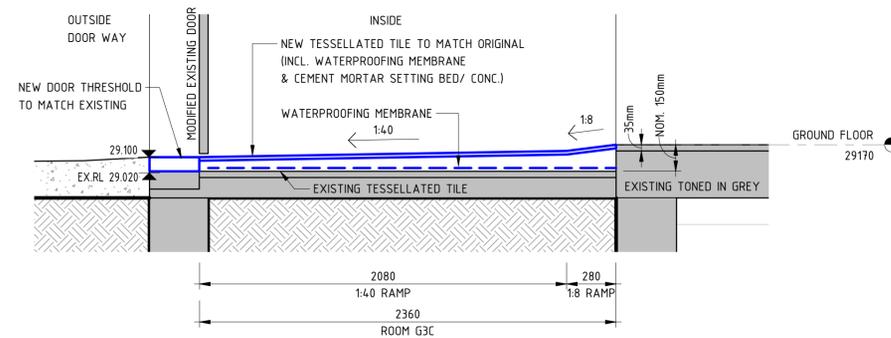


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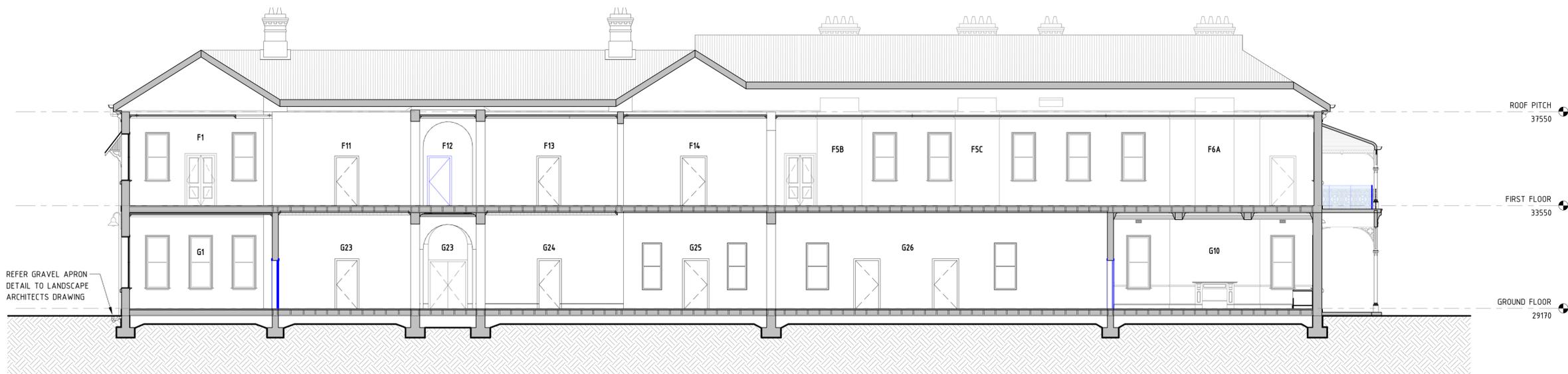
- PROPOSED
- EXISTING
- PROPOSED WALL



**A SECTION**  
SCALE 1 : 100



**1 DETAIL**  
SCALE 1 : 20



**B SECTION**  
SCALE 1 : 100

115 0 115 2 435 6 750m  
SCALE 1:100

REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE
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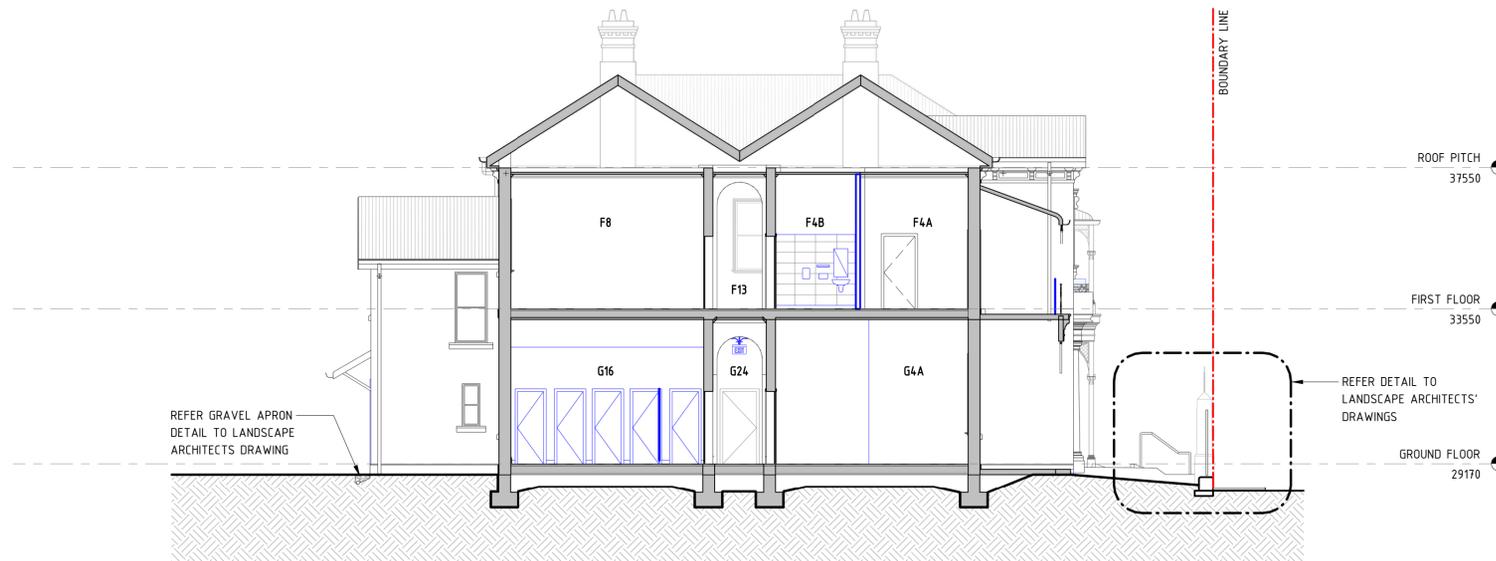
**CCG ARCHITECTS**  
NOMINATED ARCHITECTS  
DAVID COOK (5678) / HISHAM NOGRI (5678)  
CCG ARCHITECTS ARCHITECTURE

DRAWN: MUNKONG 04/11/22  
DESIGNED: ERIC PARK 04/11/22  
DRG CHECK: ERIC PARK 04/11/22  
DESIGN CHECK: DAVID COOK 04/11/22  
APPROVED: DAVID COOK 04/11/22

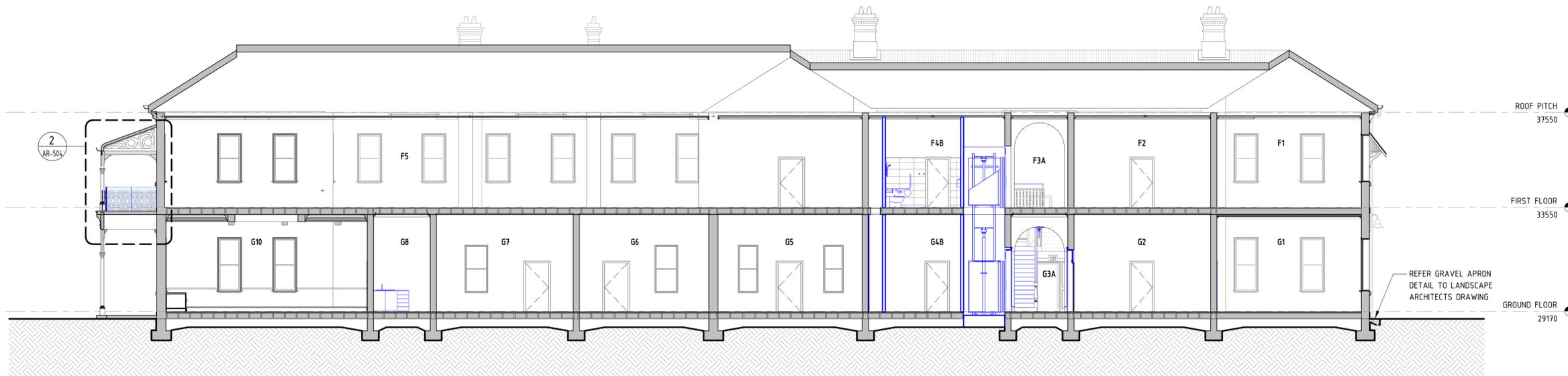
<b>CHIEF MECHANICAL ENGINEER'S BUILDING</b> 505 WILSON STREET REDFERN			
ARCHITECTURAL SECTIONS			
FILE No.	SHEET: 1 OF 1	A1	
STATUS: SSDA SUBMISSION			
DRG No.	REV B	VER	AMD No.
CCG-CME-AR-DRG-400			

**LEGEND**

- PROPOSED
- EXISTING
- PROPOSED WALL



**C SECTION**  
SCALE 1 : 100



**D SECTION**  
SCALE 1 : 100



REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE
B	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22
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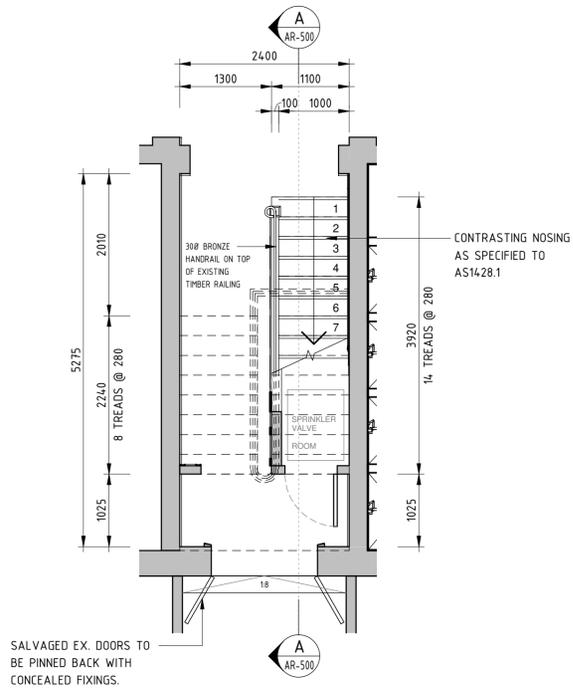
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**CCG ARCHITECTS**  
NOMINATED ARCHITECTS  
DAVID COOK (6065) / HIRSHAM NODRI (5678)  
CCG ARCHITECTS ARCHITECTURE

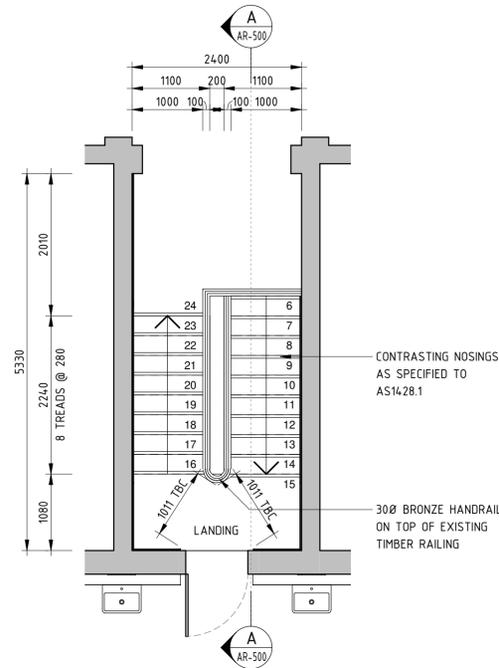
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DESIGNED	ERIC PARK	04/11/22
DRG CHECK	ERIC PARK	04/11/22
DESIGN CHECK	DAVID COOK	04/11/22
APPROVED	DAVID COOK	04/11/22

**CHIEF MECHANICAL ENGINEER'S BUILDING**  
505 WILSON STREET REDFERN  
505 WILSON STREET EVELEIGH  
ARCHITECTURAL SECTIONS

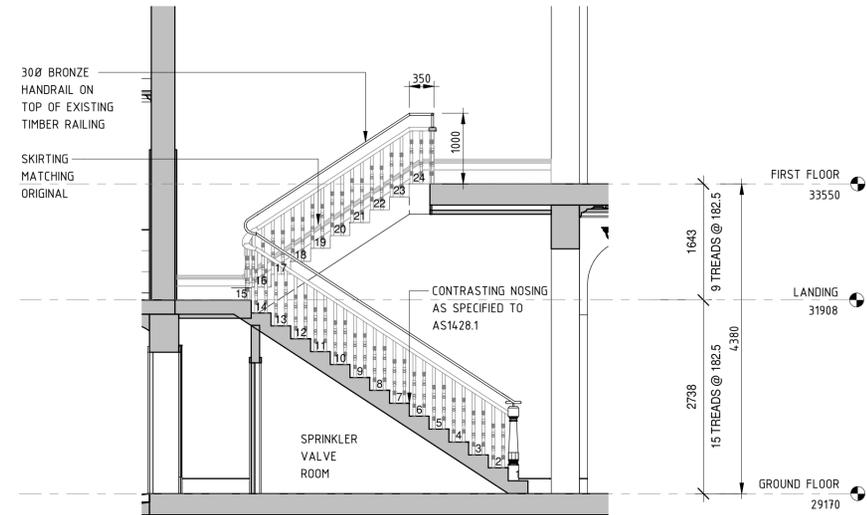
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STATUS:	SSDA SUBMISSION	(C)
DRG No.	CCG-CME-AR-DRG-401	REV B
VER	EDMS No.	AMD No.



**1** GROUND PLAN - RESTORED EXISTING STAIRS WITH BCA COMPLIANT UPDATE  
SCALE 1 : 50



**2** FIRST PLAN - RESTORED EXISTING STAIRS WITH BCA COMPLIANT UPDATE  
SCALE 1 : 50



**A** SECTION  
SCALE 1 : 50

**CHARACTER IMAGES**



EXAMPLE OF RAILING ADD ON TOP OF HERITAGE TIMBER HANDRAIL TO MEET HEIGHT COMPLIANCE ISSUE.

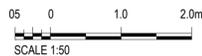
**NOTE**

**RISERS**  
REMOVE CARPET FROM RISERS. MAKE GOOD SURFACE BELOW. REMOVE APPLIED MODERN FINISHES BY STRIPPING AND OR BY METHYLATED SPIRITS, SANDING AND THEN APPLY TWO COATS OF TRADITIONAL ORANGE SHELLAC AND BEESWAX. SPECIALIST FRENCH- POLISHER TO UNDERTAKE THIS WORK.

**TREADS AND LANDING**  
INSTALL SLIP RESISTANT NOSING STRIPS TO STAIR TREADS AND LANDING IN ACCORDANCE WITH 2.13 OF THE BCA.  
REMOVE APPLIED MODERN FINISHES BY STRIPPING AND OR BY METHYLATED SPIRITS, SANDING AND THEN APPLY TWO COATS OF TRADITIONAL ORANGE SHELLAC AND BEESWAX. SPECIALIST FRENCH- POLISHER TO UNDERTAKE THIS WORK.

**BALUSTRADE & HANDRAIL**  
RESTORE EXISTING BALUSTRADE AND INSTALL NEW BCA COMPLIANT STRIP BACK BALUSTERS AND HANDRAILS USING LEAD PAINT REMOVAL  
REMOVE APPLIED MODERN FINISHES BY STRIPPING AND OR BY METHYLATED SPIRITS, SANDING AND THEN APPLY TWO COATS OF TRADITIONAL ORANGE SHELLAC AND BEESWAX. SPECIALIST FRENCH- POLISHER TO UNDERTAKE THIS WORK.  
INSTALL NEW BALUSTRADE AND CONTINUOUS HANDRAIL TO COMPLY WITH D2.16 OF THE BCA. NOTE: NEW BALUSTER TO BE SPECIALLY MADE UP BY SKILLED JOINERY SHOP WITH CURVED AND CARVED HANDRAILS AND FRENCH POLISHED.  
ADDITIONAL RAILING TO BE INSTALLED ON TOP OF EXISTING HANDRAIL RESTORED

**STRINGER**  
TREAT AS FOR BALUSTRADE & HANDRAIL ABOVE.



REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE
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**GHD**

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**CCG ARCHITECTS**  
NOMINATED ARCHITECTS  
DAVID COOK (5085) | HIRSHAM NODRI (5678)  
CCG ARCHITECTS  
ARCHITECTURE

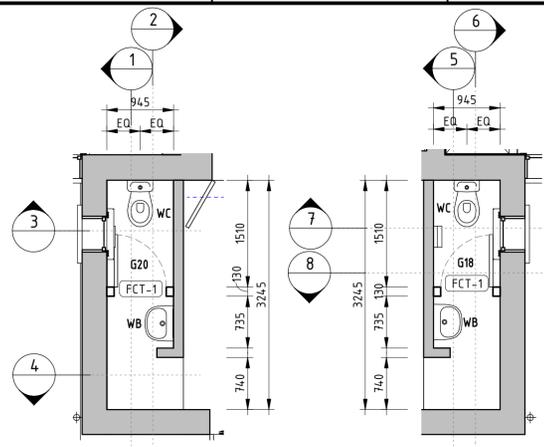
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DESIGNED	ERIC PARK	04/11/22
DRG CHECK	ERIC PARK	04/11/22
DESIGN CHECK	DAVID COOK	04/11/22
APPROVED	DAVID COOK	04/11/22

**CHIEF MECHANICAL ENGINEER'S BUILDING**  
505 WILSON STREET REDFERN

**ARCHITECTURAL DETAILS - STAIRCASE**

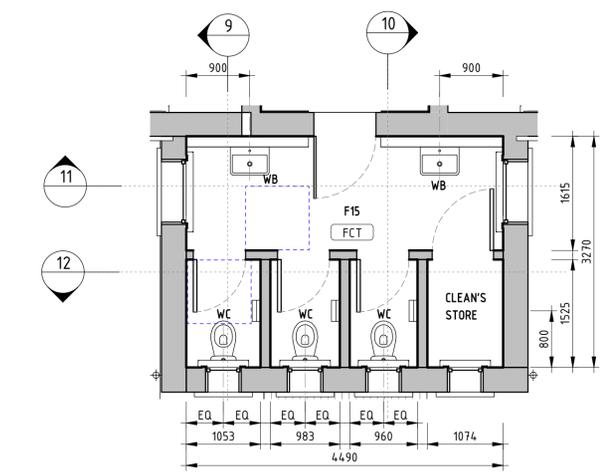
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REV	VER	EDMS No.
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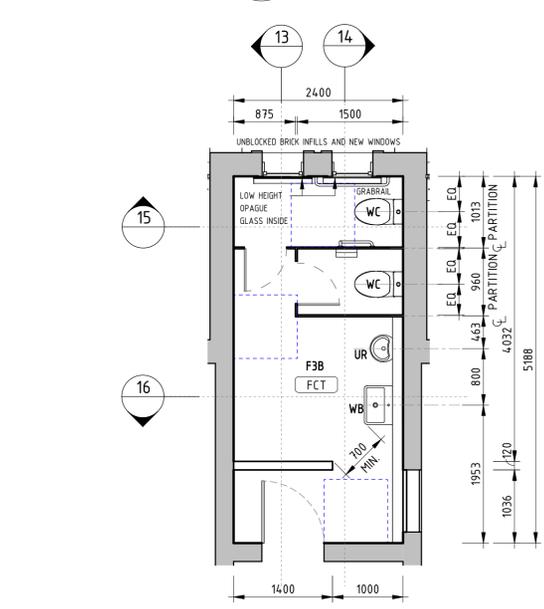


**A WC G20 PLAN**  
SCALE 1 : 50

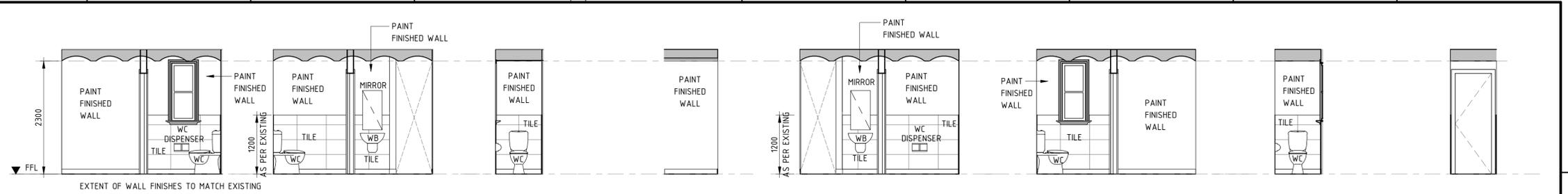
**B WC G18 PLAN**  
SCALE 1 : 50



**C WC F15 PLAN**  
SCALE 1 : 50



**D WC F3B PLAN**  
SCALE 1 : 50



**1 ELEVATION** SCALE 1 : 50

**2 ELEVATION** SCALE 1 : 50

**3 ELEVATION** SCALE 1 : 50

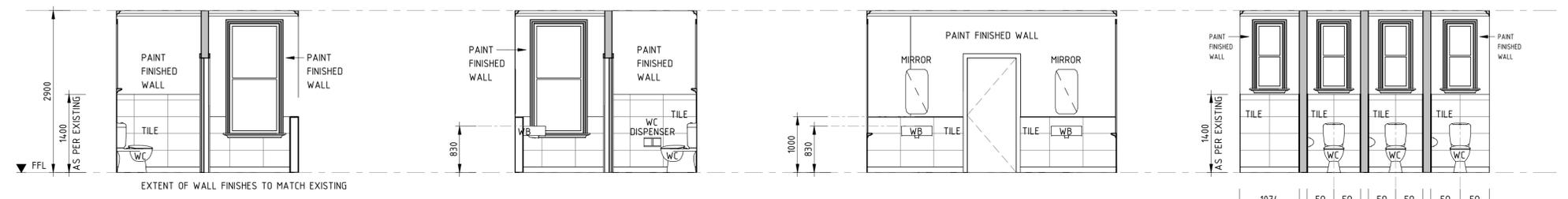
**4 ELEVATION** SCALE 1 : 50

**5 ELEVATION** SCALE 1 : 50

**6 ELEVATION** SCALE 1 : 50

**7 ELEVATION** SCALE 1 : 50

**8 ELEVATION** SCALE 1 : 50

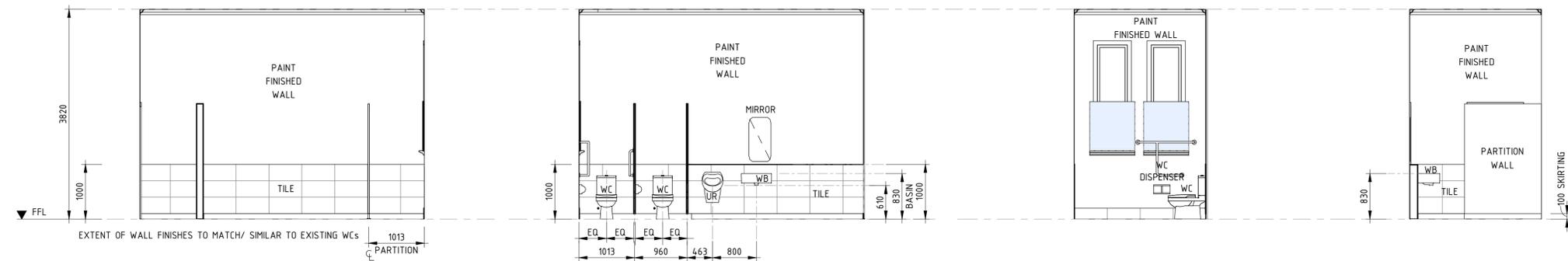


**9 ELEVATION** SCALE 1 : 50

**10 ELEVATION** SCALE 1 : 50

**11 ELEVATION** SCALE 1 : 50

**12 ELEVATION** SCALE 1 : 50



**13 ELEVATION** SCALE 1 : 50

**14 ELEVATION** SCALE 1 : 50

**15 ELEVATION** SCALE 1 : 50

**16 ELEVATION** SCALE 1 : 50

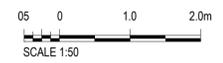
**CHARACTER IMAGES**



ROOM G18, G20 & F15 - REFITTED & REFURBISHED WITH HALF TILED WALLS SIMILAR TO EXISTING FINISHES.

ROOM F3B - NEW MODERN OFFICE WC FINISHES.

**DRAWING COLOUR CODED - PRINT ALL COPIES IN COLOUR**



CO-ORDINATE SYSTEM:		HEIGHT DATUM:		SCALE:	
				1:20, 1:5	
REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE	
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A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22	

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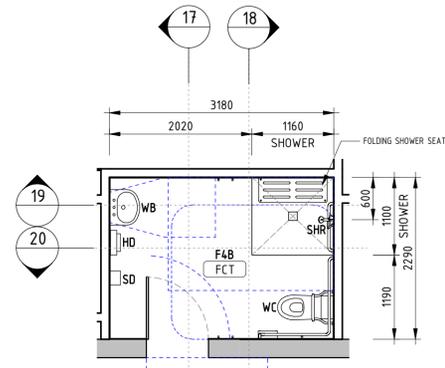
DRAWN	MUNKONG	04/11/22
DESIGNED	ERIC PARK	04/11/22
DRG CHECK	ERIC PARK	04/11/22
DESIGN CHECK	DAVID COOK	04/11/22
APPROVED	DAVID COOK	04/11/22

**CHIEF MECHANICAL ENGINEER'S BUILDING**  
505 WILSON STREET REDFERN

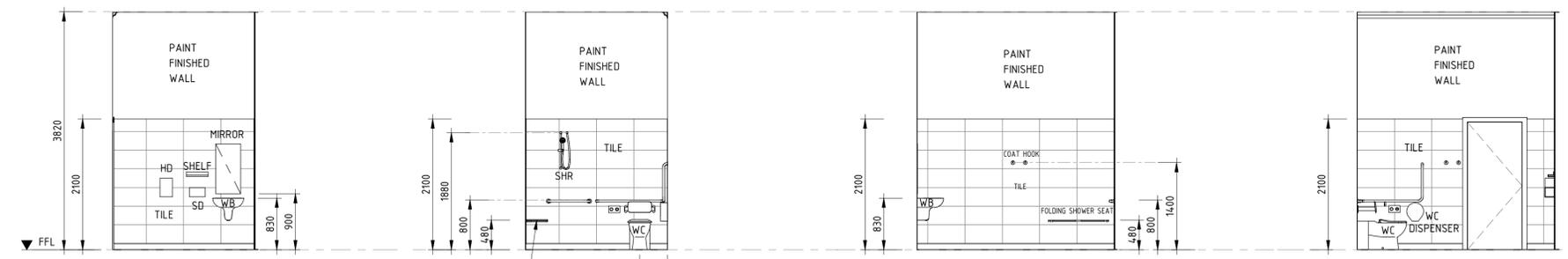
**ARCHITECTURAL**  
DETAILS - WET AREA PLANS SHEET 1

FILE No.	SHEET: 1 OF 1	A1
STATUS:	SSDA SUBMISSION	(C)
DRG No.	CGG-CME-AR-DRG-501	
REV	VER	EDMS No.
B		

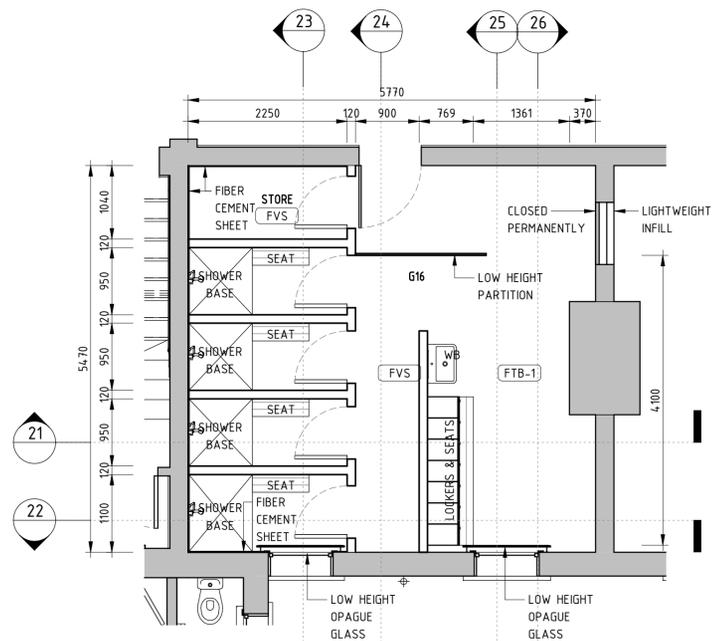
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Plot Date & Time: 11/04/2022 8:11:14 PM  
DR 801-554



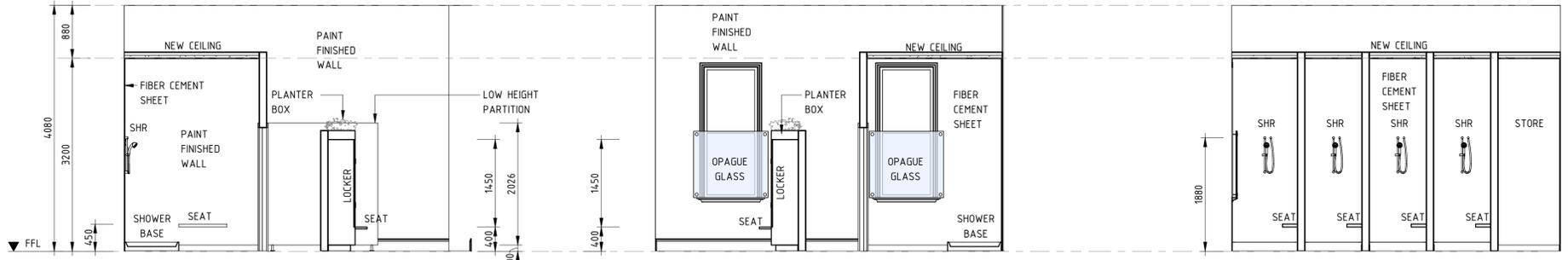
**E WC F4B PLAN**  
SCALE 1 : 50



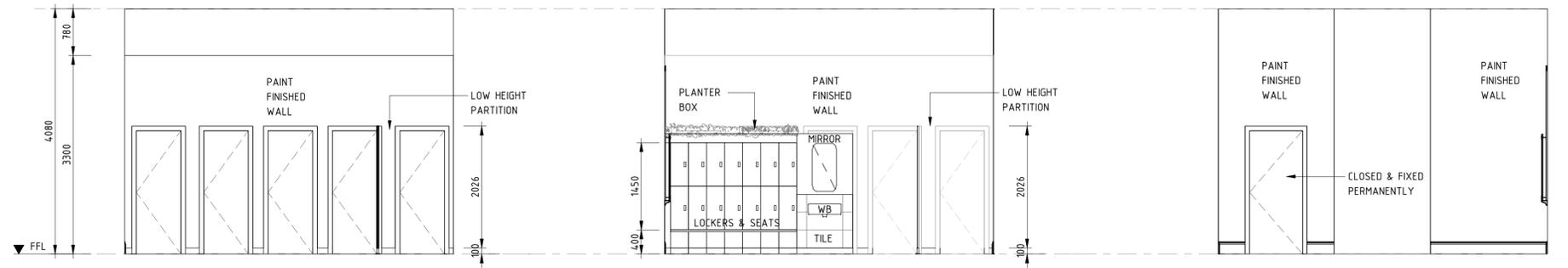
**17 ELEVATION** SCALE 1 : 50  
**18 ELEVATION** SCALE 1 : 50  
**19 ELEVATION** SCALE 1 : 50  
**20 ELEVATION** SCALE 1 : 50



**F WC G16 PLAN**  
SCALE 1 : 50



**21 ELEVATION** SCALE 1 : 50  
**22 ELEVATION** SCALE 1 : 50



**23 ELEVATION** SCALE 1 : 50  
**24 ELEVATION** SCALE 1 : 50  
**25 ELEVATION** SCALE 1 : 50  
**26 ELEVATION** SCALE 1 : 50

**CHARACTER IMAGES**

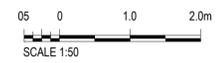


ROOM F4B- BCA COMPLIANT ACCESSIBLE TOILET WITH A SHOWER.



ROOM F4B- GENDER NEUTRAL CHANGING ROOM. FULL HEIGHT WALL SHOWER BOOTHS AND LOCKERS WITH PLANT OVER.

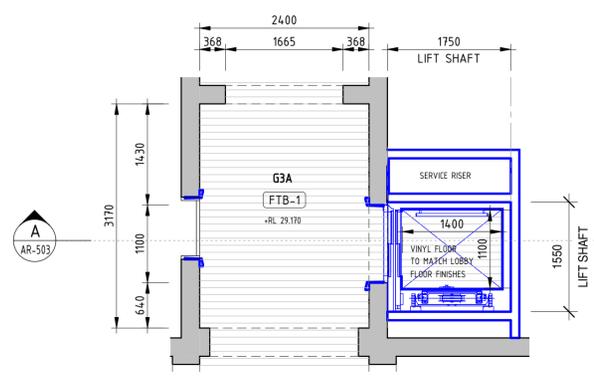
**DRAWING COLOUR CODED - PRINT ALL COPIES IN COLOUR**



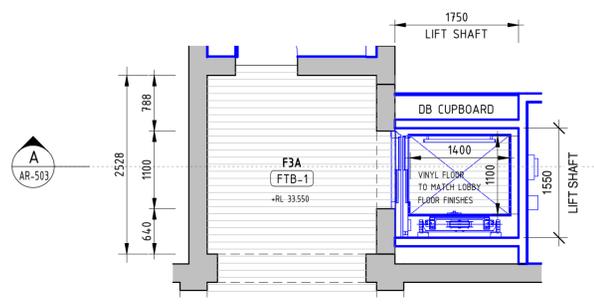
				<small>This drawing and the related information have been prepared by, or at the request of, Transport for NSW for a specific purpose and may not be used for any purpose other than the purpose intended by Transport for NSW. Transport for NSW does not provide any warranties and accepts no liability arising out of the use of this drawing or any of the related information for any purpose other than the intended purpose. This drawing is protected by copyright and no part of this drawing may be reproduced in any form without the express written permission of Transport for NSW.</small>	
B	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22	
A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22	
REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE	
	CO-ORDINATE SYSTEM:	HEIGHT DATUM:	SCALE:		
				DRAWN - MUNKONG 04/11/22 DESIGNED - ERIC PARK 04/11/22 DRG CHECK - ERIC PARK 04/11/22 DESIGN CHECK - DAVID COOK 04/11/22 APPROVED - DAVID COOK 04/11/22	

<b>CHIEF MECHANICAL ENGINEER'S BUILDING</b> 505 WILSON STREET REDFERN			
<b>ARCHITECTURAL</b> DETAILS - WET AREA PLANS SHEET 2			
FILE No.	SHEET: 1 OF 1	A1	
STATUS: SSDA SUBMISSION			
DRG No.	REV	VER	EDMS No.
CCG-CME-AR-DRG-502	B		

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 OF 801/554

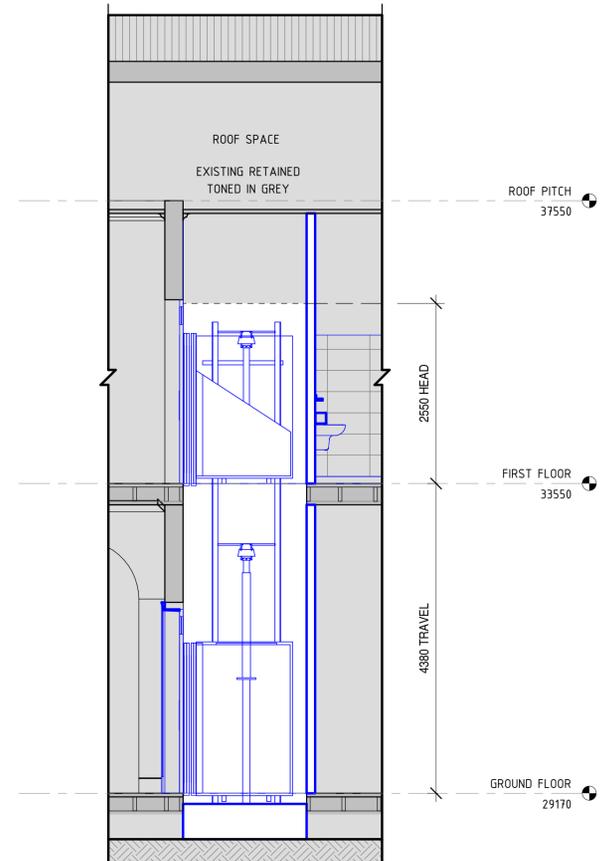


1 GROUND PLAN - LIFT  
SCALE 1 : 50



2 FIRST PLAN - LIFT  
SCALE 1 : 50

**LEGEND**  
 — PROPOSED  
 — EXISTING  
 — PROPOSED WALL

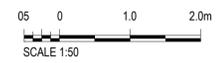
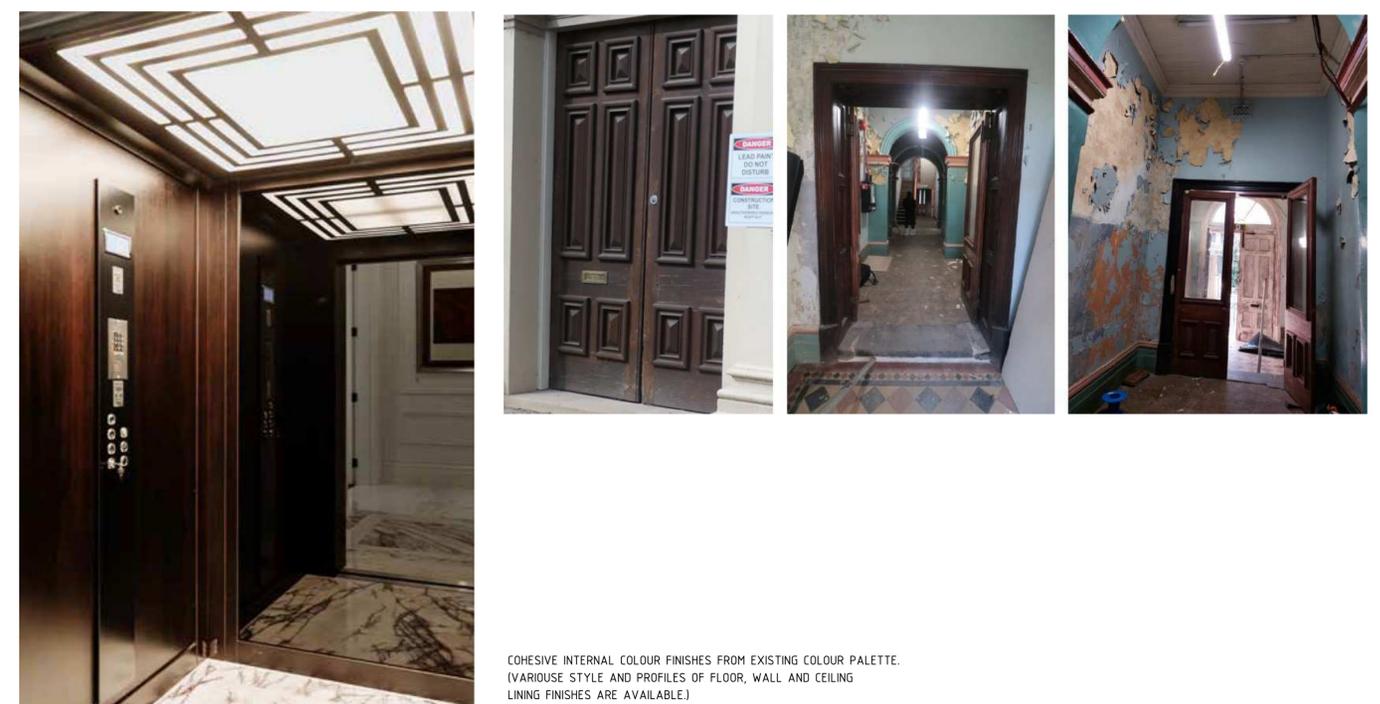


A SECTION  
SCALE 1 : 50

**LIFT SPECIFICATION**

	TRADITIONAL HYDRAULIC
CAPACITY:	4 - 5 PERSONS 400KG
SPEED:	FAST (0.30M/S) APPROX 18 SECONDS FOR 3 FLOORS
POWER:	SINGLE PHASE 240V, 32A LOW ENERGY CONSUMPTION
MAX TRAVEL:	6 FLOORS 12M
OPENINGS:	SINGLE (1), OPPOSITE (2), ADJACENT (2)
DRIVE SYSTEM:	HYDRAULIC
HEADROOM:	2500 - 2800MM
PIT DEPTH:	150 - 180MM
COMPLIANCE:	AS1735.1 AND NCC E3.6
MACHINE SPACE	900MM X 450MM X 1800MM
IN-CABIN RESCUE:	INCLUDED

**CHARACTER IMAGES**



REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE
A	SSDA SUBMISSION			

CO-ORDINATE SYSTEM: HEIGHT DATUM: SCALE:



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**CCG ARCHITECTS**  
 NOMINATED ARCHITECTS  
 DAVID COOK (5678) / HISHAM NOORJI (5678)  
 CCG ARCHITECTS ARCHITECTURE

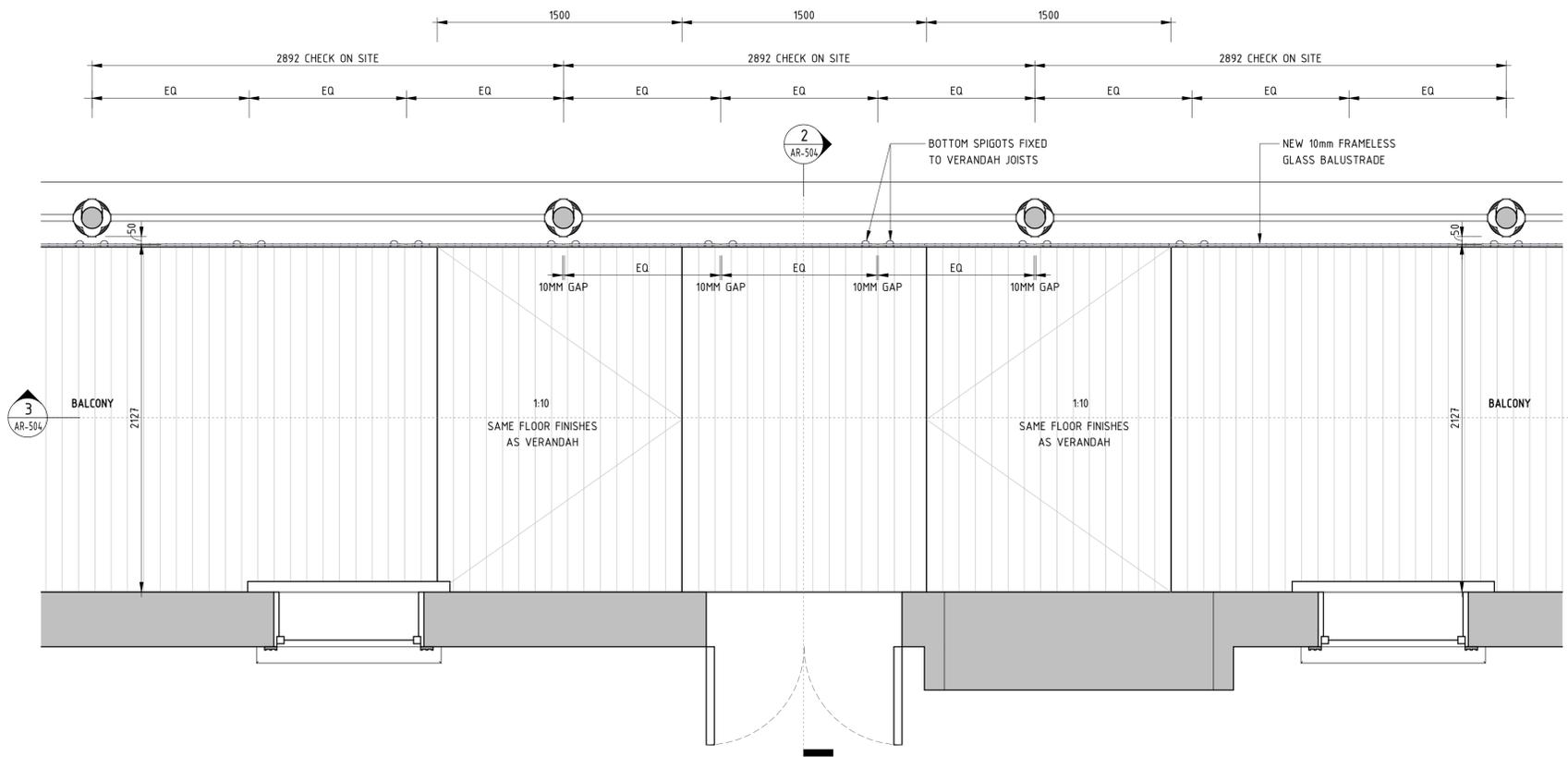
DRAWN - MUNKONG 04/11/22  
 DESIGNED - ERIC PARK 04/11/22  
 DRG CHECK - ERIC PARK 04/11/22  
 DESIGN CHECK - DAVID COOK 04/11/22  
 APPROVED - DAVID COOK 04/11/22

**CHIEF MECHANICAL ENGINEER'S BUILDING**  
 505 WILSON STREET REDFERN

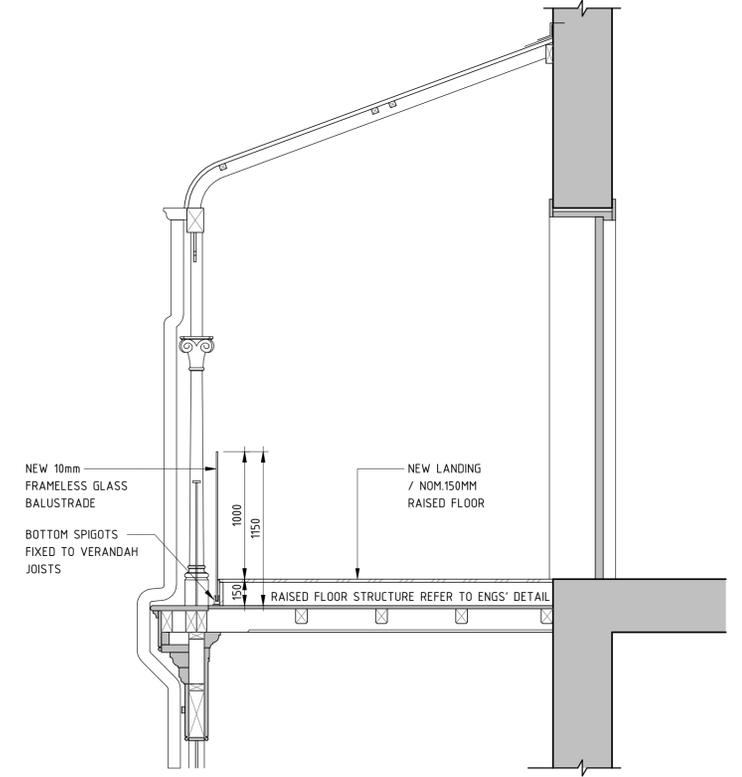
ARCHITECTURAL  
 DETAILS - LIFT PLANS AND SECTION

FILE No. SHEET: 1 OF 1 A1  
 STATUS: SSDA SUBMISSION  
 DRG No. CCG-CME-AR-DRG-503  
 REV A VER EDMS No. AMD No.

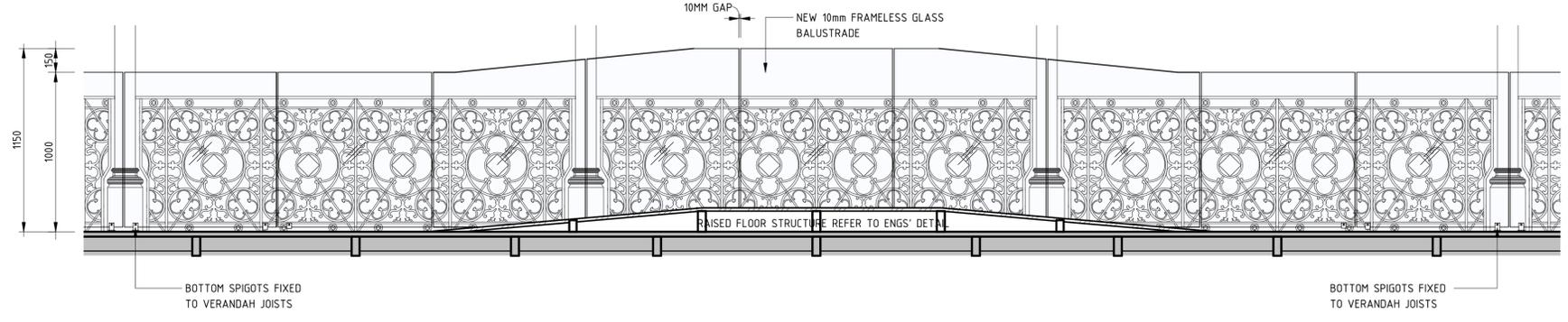
File Plotted: D:\Documents\CHIEF MECHANICAL ENGINEERS BUILDING\_RVT21\_Central\_joswatts.dwg  
 Plot Date & Time: 11/04/2022 8:11:18 PM  
 DR 801-554



1 BALCONY BALUSTRADE PLAN  
SCALE 1 : 20



2 SECTION BALCONY BALUSTRADE  
SCALE 1 : 20



3 SECTION BALCONY BALUSTRADE FROM INSIDE  
SCALE 1 : 20

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REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE
B	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22
A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22
CO-ORDINATE SYSTEM:	HEIGHT DATUM:	SCALE:		

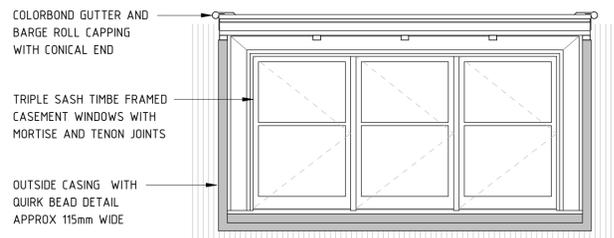


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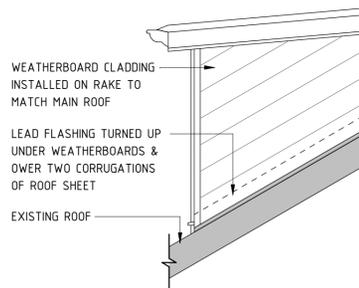
**CCG ARCHITECTS**  
NOMINATED ARCHITECTS  
DAVID COOK (6085) / HIRSHAM NODRI (5678)  
CCG ARCHITECTS ARCHITECTURE

DRAWN --- MUNKONG --- 04/11/22  
DESIGNED --- ERIC PARK --- 04/11/22  
DRG CHECK --- ERIC PARK --- 04/11/22  
DESIGN CHECK --- DAVID COOK --- 04/11/22  
APPROVED --- DAVID COOK --- 04/11/22

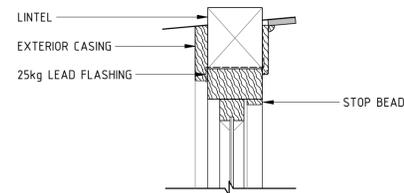
<b>CHIEF MECHANICAL ENGINEER'S BUILDING</b> 505 WILSON STREET REDFERN			
ARCHITECTURAL DETAILS - BALCONY BALUSTRADE DETAILS			
FILE No.	SHEET: 1 OF 1	A1	
STATUS: SSDA SUBMISSION			
DRG No.	REV	VER	EDMS No.
CCG-CME-AR-DRG-504	B		



1 TYPICAL FRONT ELEVATION  
SCALE 1 : 20

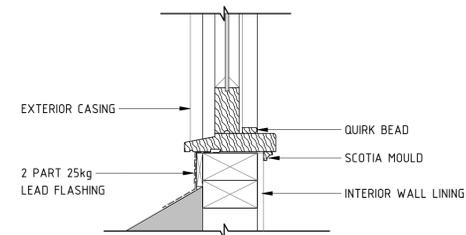


2 SIDE ELEVATION  
SCALE 1 : 20

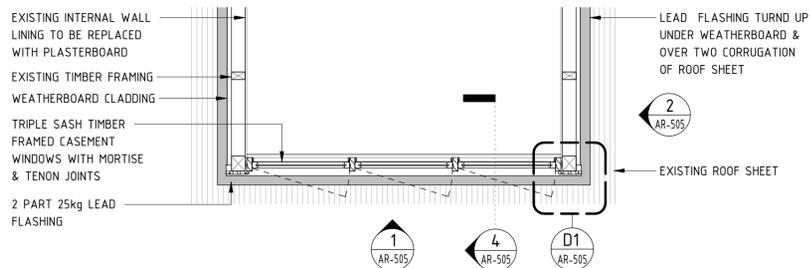


D3 HEAD DETAIL  
SCALE 1 : 5

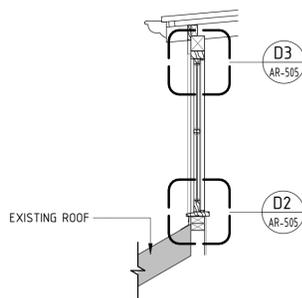
**NOTES:**  
 \* ALL EXTERIOR TIMBERS TO BE SEASONED MERBAU OR TALLOWWOOD  
 \* TIMBERS TO BE FULLY PRIMED PRIOR TO INSTALLATION  
 \* COLOUR FINISHES TO MATCH ORIGINAL SUBJECT TO HERITAGE ARCHITECTS APPROVAL  
 \* SHOP DRAWING OF WINDOW ASSEMBLY TO BE PREPARED FOR HERITAGE ARCHITECT'S APPROVAL



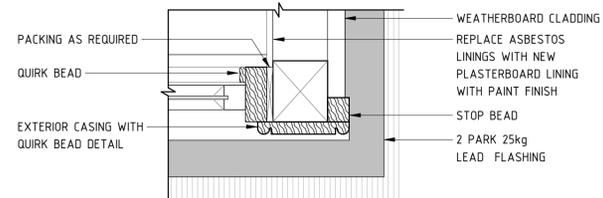
D2 SILL DETAIL  
SCALE 1 : 5



3 TYPICAL PLAN  
SCALE 1 : 20



4 SECTION  
SCALE 1 : 20



D1 PLAN DETAIL  
SCALE 1 : 5



REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE
A	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	E.P./04/11/22

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**CCG ARCHITECTS**  
 NOMINATED ARCHITECTS  
 DAVID COOK (5065) / HISHAM NODRI (5678)  
 CCG ARCHITECTS  
 ARCHITECTURE

DRAWN	MUNKONG	04/11/22
DESIGNED	ERIC PARK	04/11/22
DRG CHECK	ERIC PARK	04/11/22
DESIGN CHECK	DAVID COOK	04/11/22
APPROVED	DAVID COOK	04/11/22

**CHIEF MECHANICAL ENGINEER'S BUILDING**  
 505 WILSON STREET REDFERN

ARCHITECTURAL  
 DETAILS - DORMER WINDOW

FILE No.	SHEET: 1 OF 1	A1
STATUS:	SSDA SUBMISSION	(C)
DRG No.	CGG-CME-AR-DRG-505	REV A

DR 801-554

A

B

C

D

E

F

G

H

A

B

C

D

E

F

G

H



1 EXTERNAL ARTIST IMPRESSION - NORTH  
SCALE N.T.S.



2 EXTERNAL ARTIST IMPRESSION - SOUTH  
SCALE N.T.S.

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REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE
B	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22
A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22

CO-ORDINATE SYSTEM:	HEIGHT DATUM:	SCALE:
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**CCG ARCHITECTS**  
NOMINATED ARCHITECTS  
DAVID COOK (6055) | HISHAM NOGRI (5678)  
CCG ARCHITECTS ARCHITECTURE

DRAWN	MUNKONG	04/11/22
DESIGNED	ERIC PARK	04/11/22
DRG CHECK	ERIC PARK	04/11/22
DESIGN CHECK	DAVID COOK	04/11/22
APPROVED	DAVID COOK	04/11/22

**CHIEF MECHANICAL ENGINEER'S BUILDING**  
505 WILSON STREET REDFERN

ARCHITECTURAL  
EXTERNAL ARTIST IMPRESSION

FILE No.	SHEET: 1 OF 1	A1
STATUS:	SSDA SUBMISSION	(C)
DRG No.	CCG-CME-AR-DRG-601	AMD No.
REV B	VER	EDMS No.

File Plotted: D:\Documents\CHIEF\_MECHANICAL\_ENGINEERS\_BUILDING\_RVT21\_Central\_joswatts.dwg  
Plot Date & Time: 11/04/2022 8:11:25 PM  
DR 801-554



1 G3A - LIFT LOBBY ON GROUND  
SCALE N.T.S.

2 G10 - REFURBISHED EXISTING CABINET JOINERY  
SCALE N.T.S.

- REFURBISHED FLOOR, WALLS AND CEILING TO MATCH ORIGINAL.
- REFURBISHED EXISTING STAIR TO MEET BCA & DDA COMPLIANCES.
- NEW MODERN INTERNAL LIFT COMPLEMENTING EXISTING HERITAGE DETAILS.

- RESTORED FINISHES AND REFURBISHED & REPURPOSED EXISTING FURNITURE.

CHARACTER IMAGES



INTERPRETATIVE INSTALLATION - EXAMPLES OF REFURBISHED JOINERY. REFER DETAIL TO HERITAGE ARCHITECT REPORT.

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B	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22	
A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22	
REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE	
CO-ORDINATE SYSTEM:		HEIGHT DATUM:	SCALE:		



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**CCG ARCHITECTS**  
NOMINATED ARCHITECTS  
DAVID COOK (6055) / HIRSHAM NODRI (5678)  
CCG ARCHITECTS  
ARCHITECTURE

DRAWN	MUNKONG	04/11/22
DESIGNED	ERIC PARK	04/11/22
DRG CHECK	ERIC PARK	04/11/22
DESIGN CHECK	DAVID COOK	04/11/22
APPROVED	DAVID COOK	04/11/22

<b>CHIEF MECHANICAL ENGINEER'S BUILDING</b>			
505 WILSON STREET REDFERN			
ARCHITECTURAL INTERNAL ARTIST IMPRESSION			
FILE No.	SHEET: 1 OF 1	A1	
STATUS: SSDA SUBMISSION			
DRG No.	REV B	VER	EDMS No.
CCG-CME-AR-DRG-602			AMD No.

A B C D E F G H  
File Plotted: D:\Documents\CHIEF MECHANICAL ENGINEERS BUILDING\_RVT21\_Central\_joswans.dwg  
Plot Date & Time: 11/4/2022 8:11:26 PM  
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