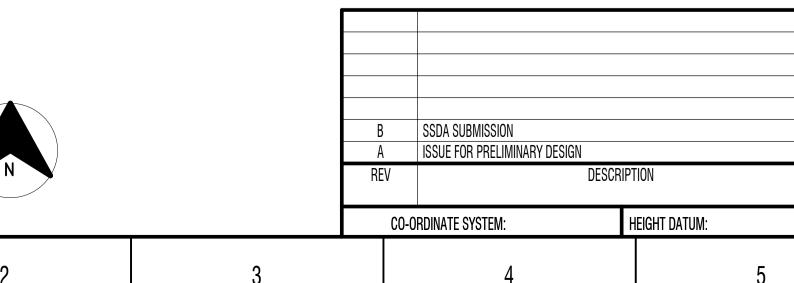
# CHIEF MECHANICAL ENGINEER'S BUILDING 505 WILSON STREET REDFERN NSW 2043 ARCHITECTURAL SSDA SUBMISSION





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LOCATION PLAN

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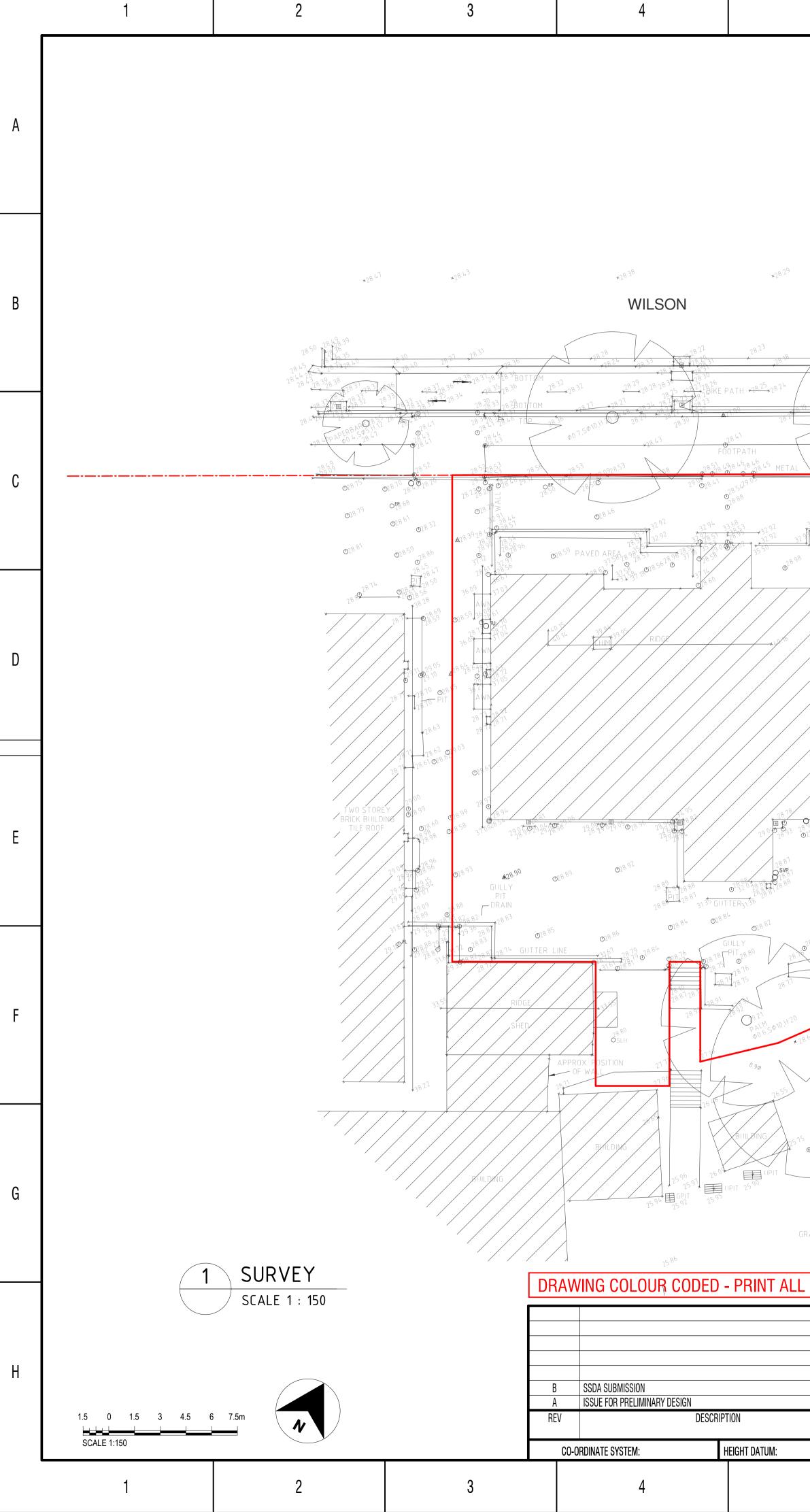
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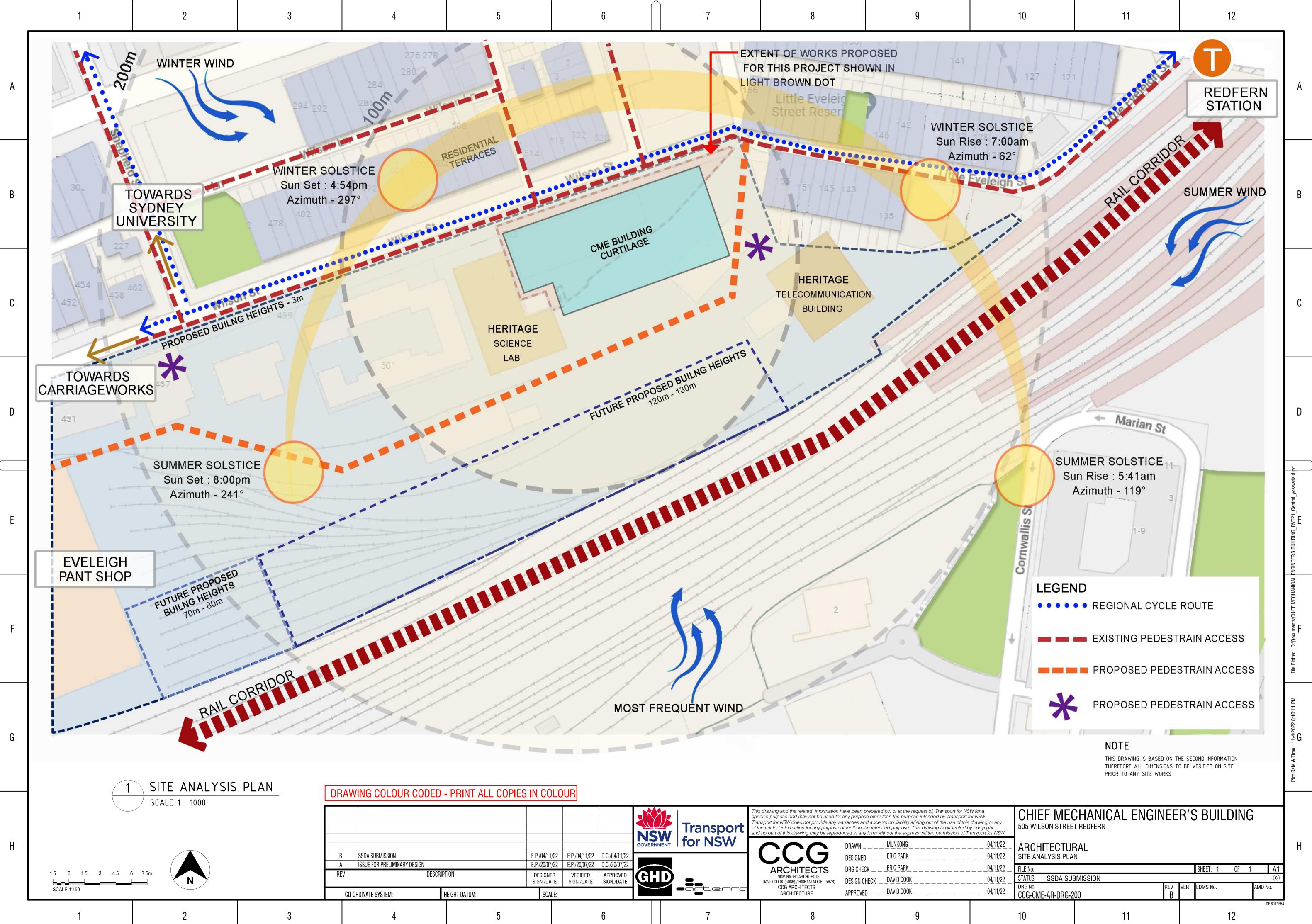
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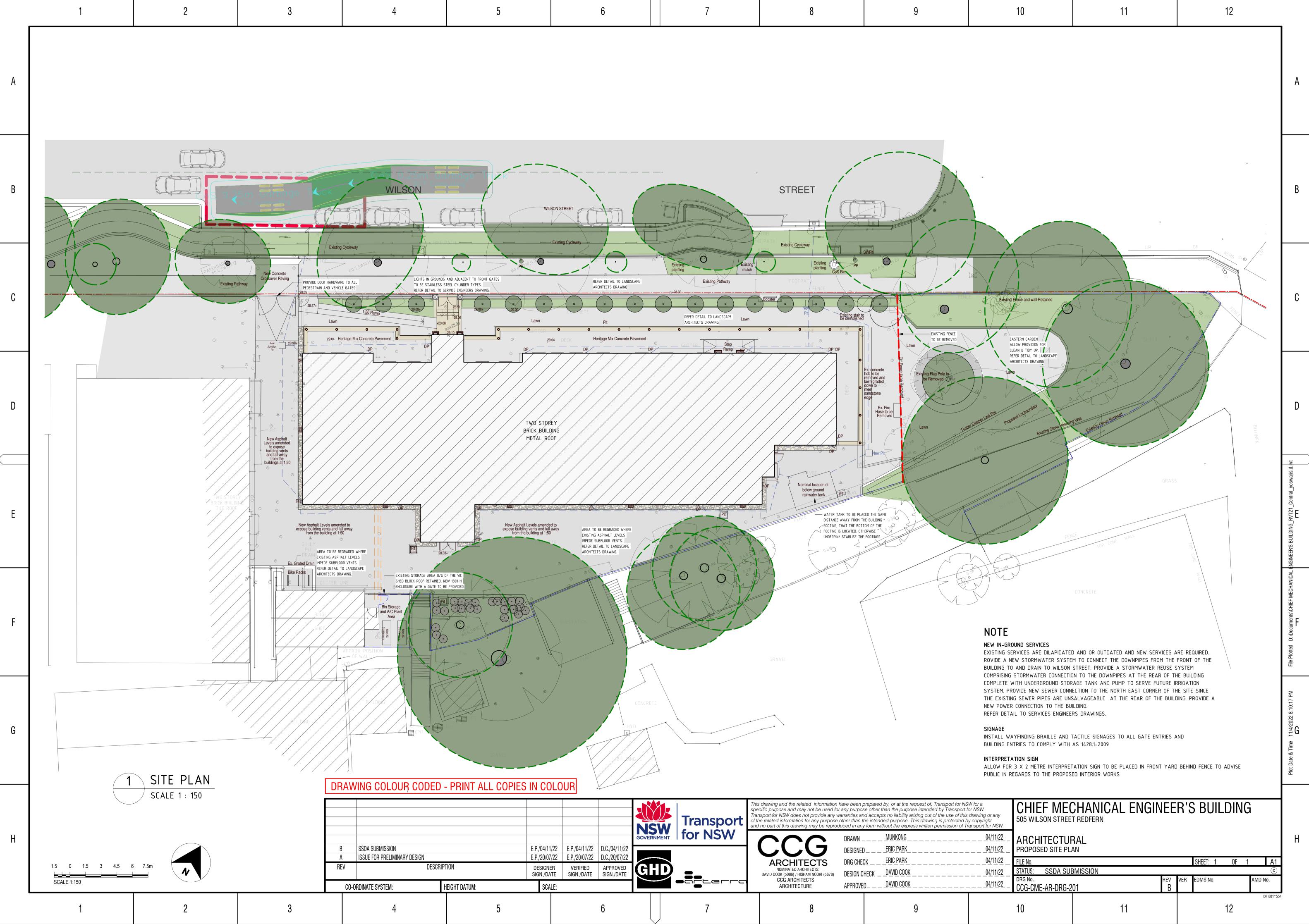
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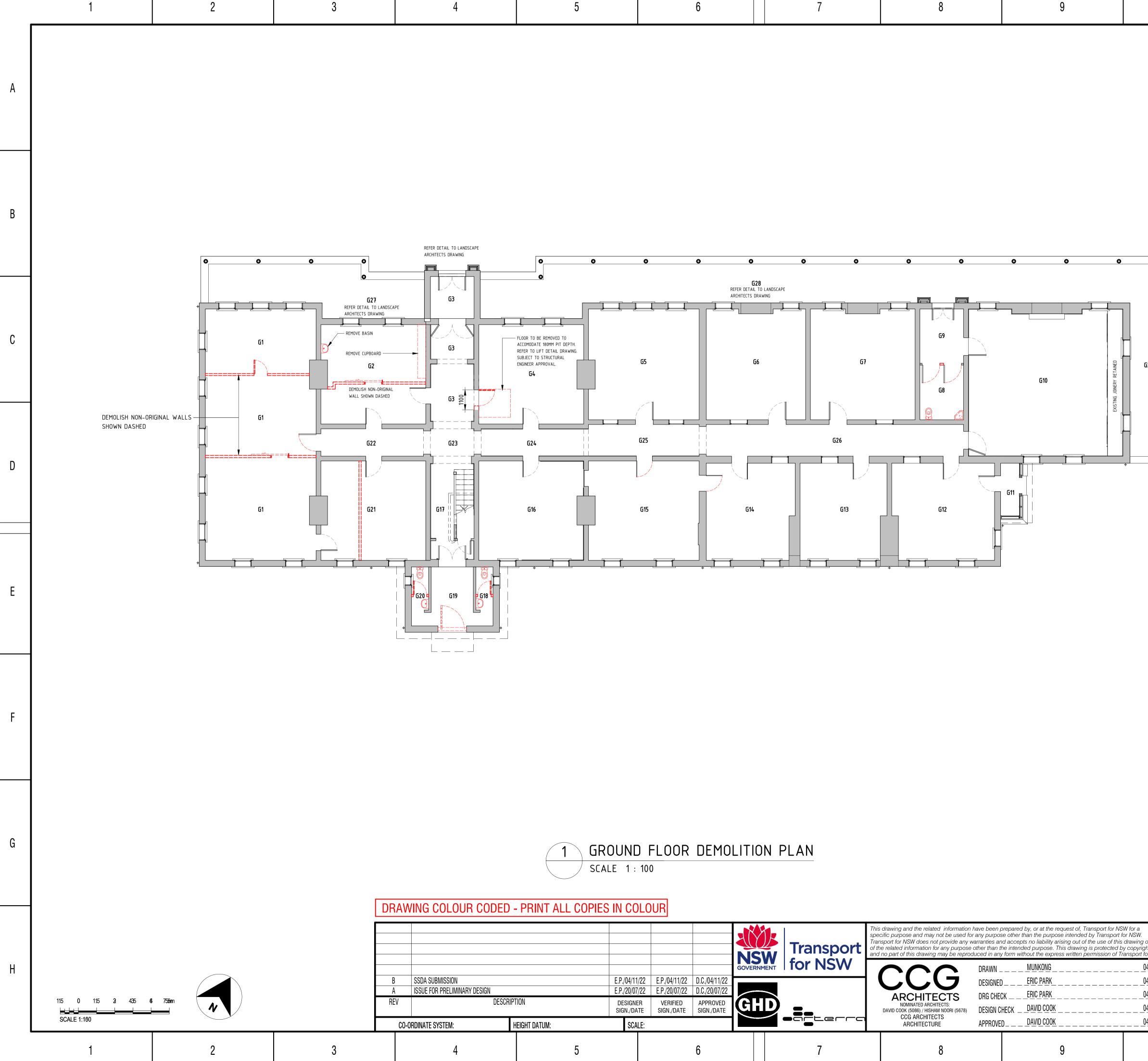
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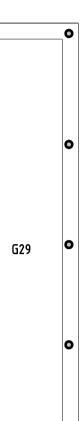
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## LEGEND

— — — EXISTING TO BE REMOVED (ALLOW PROVISION FOR MAKE GOOD TO MATCH FINISHES DIRECTLY ADJACENT TO) EXISTING WALL RETAINED

# NOTE

TO BE READ IN CONJUNCTION WITH ROOM BY ROOM SCHEDULE



ALL EXISTING REMOVED TO BE STORED AWAY IN THE NOMINATED AREA.

### DOORS

- STRIP LEAD PAINT FROM DOOR LEAFS AND REPAIR DOORS AS REQUIRED- ALLOW TO REPAIR AS Per "ROOM BY ROOM SCHEDULE". WHERE NEW TIMBER IS USED, ALLOW TO PRIME PAINT.

- ALLOW TO REMOVE ALL LOCK HARDWARE AND SERVICE AS SCHEDULED BELOW UNDER DOOR HARDWARE.

### FANLIGHTS

STRIP LEAD PAINT FROM FANLIGHT SASH AND PAINT ALL AROUND WITH THREE COATS 100% GLOSS ENAMEL. ALLOW GLAZING TO BE CLEAR 5.5 TOUGHENED GLASS FIXED WITH TRADITIONAL LINSEED PUTTY. PROVIDE TRADITIONAL BRASS FANLIGHT MECHANISMS TO ALL FANLIGHTS.

### PICTURE RAIL TO BE RETAINED

STRIP LEAD PAINT FROM PICTURE RAIL AND ALLOW TO REPLACE PICTURE RAIL AND INSTALL. 30% OF ALL ROOMS. JOINERY SHOP TO MAKE UP DETAILED MOULDED ARCHITRAVES TO MATCH EXISTING EXACTLY. PRIME AND PAINT WITH 3 COATS OF 100% GLOSS ENAMEL.

### WINDOW HARDWARE

REMOVE ANY MODERN WINDOW LOCKS AND MAKE GOOD. GENERALLY EACH DOUBLE HUNG WINDOW IS TO BE COMPLETE WITH A SASH FASTENER AND LATCH. ALLOW PRESERVE EXISTING HARDWARE IE 70% WINDOWS. STRIP EXISTING HARDWARE AND REPOLISH BRASS ELEMENTS AND REPAINT REST. REFIX USING NEW BRASS SCREWS. FOR 30 % WINDOWS ALLOW TO PROVIDE NEW HARDWARE. BRASS SASH TRADITIONAL FASTENERS AND TWO BRASS SASH LIFTS FIXED WITH BRASS SCREWS.

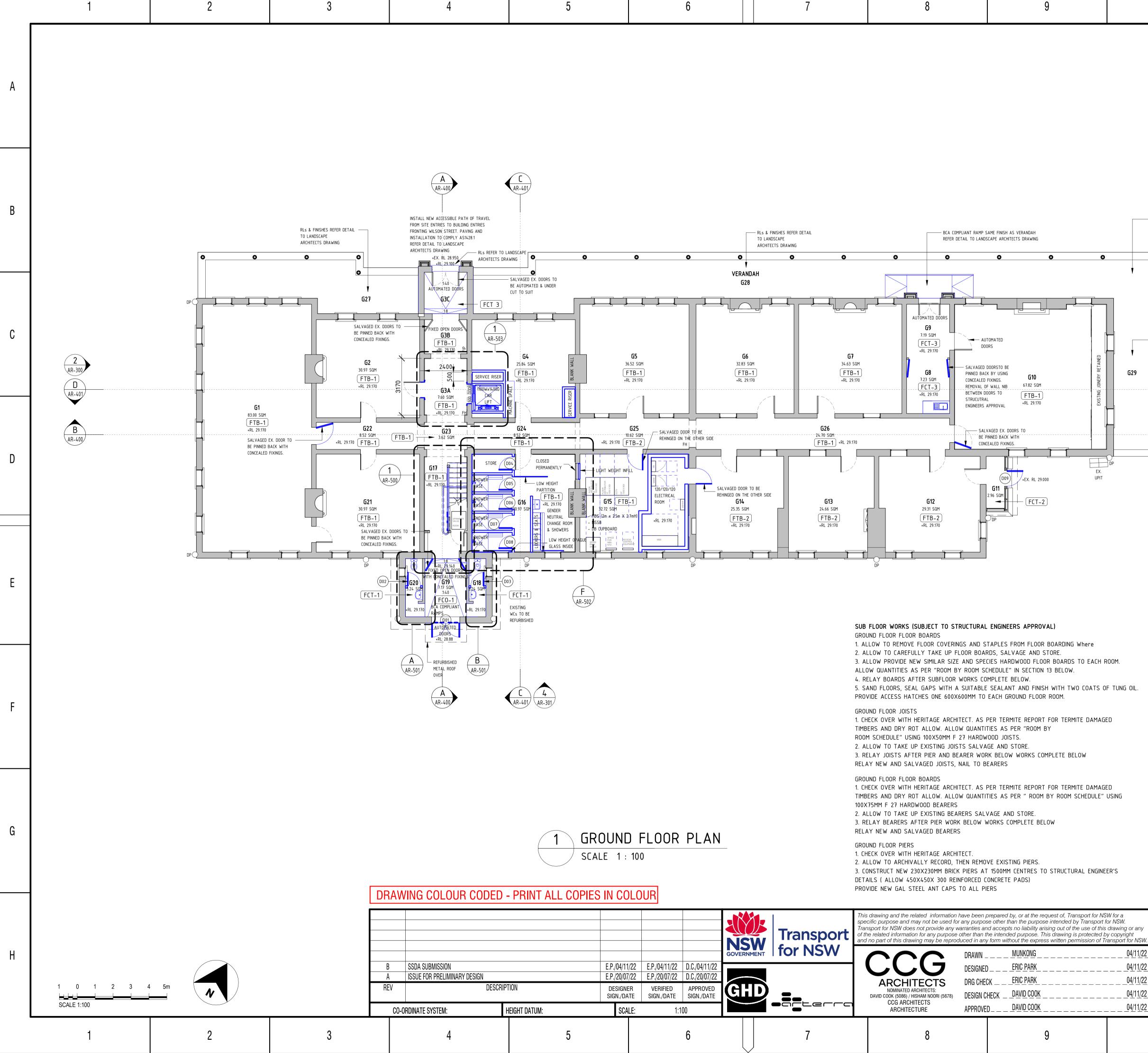
CHIEF MECHANICAL ENGINEER'S BUILDING
505 WILSON STREET REDFERN

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/22	GROUND FLOOR DEMOLITION PLAN

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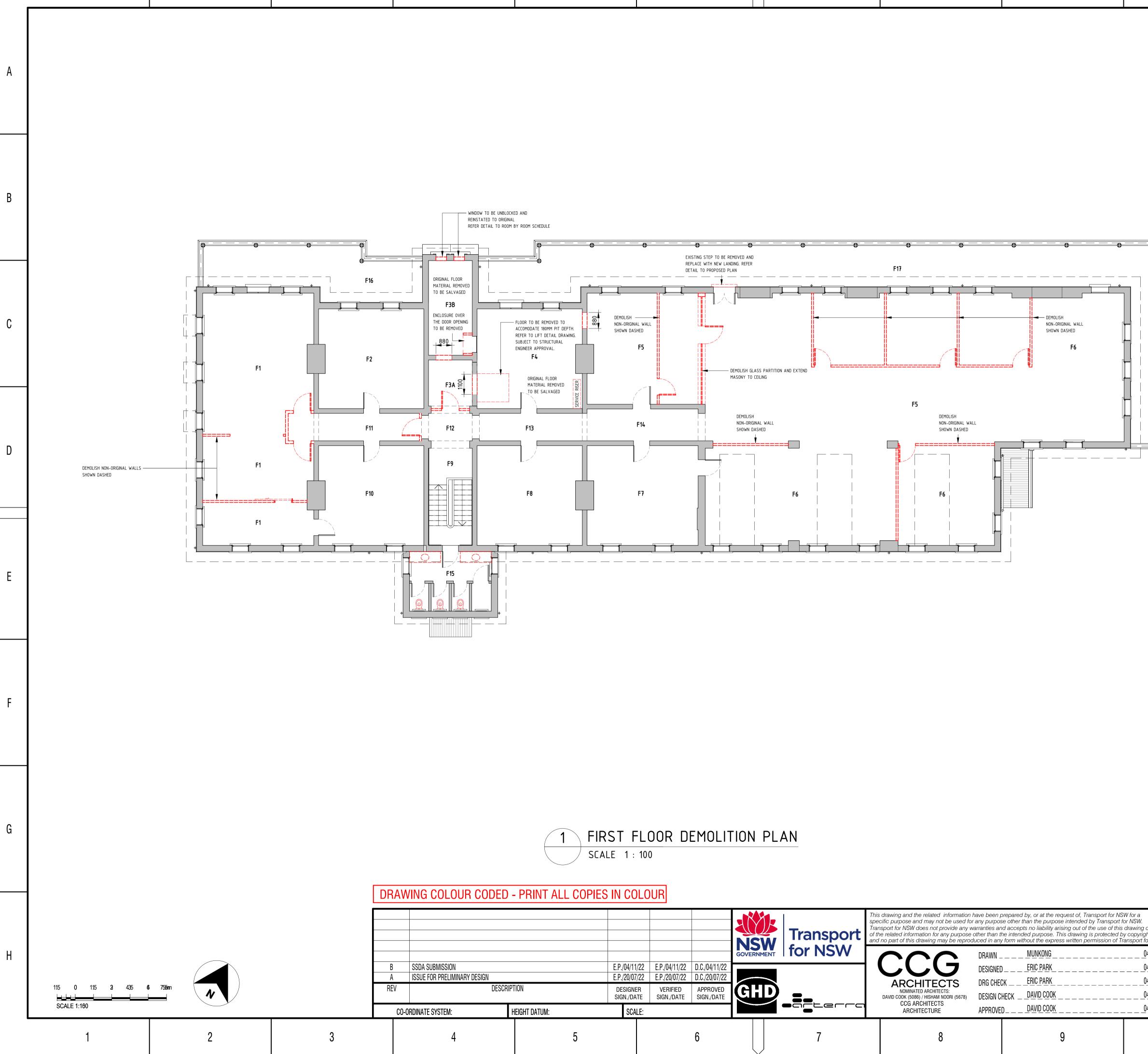
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	<ul> <li>DECOMPOSED GRANITE TO BE REN AND REPAVE WITH NEW FINISHES ALL VERANDAH AREAS. WHERE F MODIFY GROUND SURFACE FOR COMPLIANCE WITH AS1428.1 CONTINUOUS ACCESSIBLE PATH O REFER DETAIL TO LANDSCAPE AF DRAWING</li> </ul>	IOVED TO EQUIRED, F TRAVEL.	REFER DETAIL         FTB-1       FLOOR T (REFER I         FTB-2       FLOOR T (REFER I         FCT       FLOOR C	OOR FINISHES TO ROOM BY ROOM SCHEDULE IMBER BOARDS (150mm) DETAIL TO ROOM BY ROOM SCHEDULE) IMBER BOARDS (100mm) DETAIL TO ROOM BY ROOM SCHEDULE) ERAMIC TILES DETAIL TO ROOM BY ROOM SCHEDULE)	В
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	USE BLUE VAC SYSTEM ALLOW TO REPAIR LIME 1. WHERE INDIVIDUAL LAF 150mm BOTH SIDES OF CF REINFORCEMENT TO MANU THE ENGINEER'S DETAIL 2. WHERE AREAS OF DRU METHODOLOGY FOR WALL BEHIND THE PLASTER WI 3. AREAS WHERE NUMER 4. WHERE INDIVIDUAL FIN 5. WHERE LARGE HOLES CONDUITS, FOLLOW ITEM 6. EXTENT: REFER TO "R DOOR HARDWARE RECTIFY DOOR HARDWAR WITHOUT A KEY BY A SI HE FOLLOWING WORK IS ALL ORIGINAL LOCKS SH/ REMOVE ANY PAINT FROI NEW LOCKS (50% OF LOO AS JACKSON'S 5 LEVER FIREPLACES ALLOW TO CLEAN THE IN MISSING CAST IRON META OF ELEMENTS FOR EACH SPECIALIST MARBLE CON POLISHING ALL MARBLE IN SIMILAR MARBLE AS PER PAINT HEARTH AND META PAINT. PROTECT FIREPLACE MAN COMPLETION OF WORK.	S FOR AREAS UP TO 1.2 TO CEILING ON GROUND AS RECOMMENDED BY M PLASTER WALLS WITH RGE CRACKS EXIST FROM RACK AND BACK TO SUB JFACTURER'S DETAIL AN AND REPLASTER. PLAST IMMY PLASTER ARE FOM S: DRILL HOLES ABOVE TH WATER. INJECT AN A DUS CRACKS EXIST, REM E HAIRLINE CRACKS EXI EXISTING FOLLOW REMO 1 ABOVE FOR REPAIR M DOM BY ROOM SCHEDUL E SO AS THE DOORS AN NGLE HAND ACTION ON TO BE CARRIED OUT BY ALL BE REMOVED, EASE M BRASS AREAS, LIGHT IKS) ALLOW FOR SUPPL AND SOLID JACKSON'S F SIDE OF VERTICAL FLUE AND SOLID JACKSON'S F SIDE OF VERTICAL FLUE AND SOLID JACKSON'S F INFREPLACES AND RESTO "ROOM BY ROOM SCHE ALL SECTIONS OF FIREPL ITLES AND SURROUNDS	2 METRES ON GROUN FLOORS AND ALL UP IANUFACTURER. H ONE OF THE FOLL M STRUCTURAL MOV BSTRATE, INSTALL P ND SPECIFICATION AN FER OVER TO MATCH UND, REFIX BY INJEC AND BELOW DRUMN ACRYLIC RESIN BASE 10VE EXISTING PLAS 10VE EXISTING PLAS 10VE EXISTING PLAS 10VAL OF SERVICES S 10THODOLOGY. E" RE READILY OPENAB A SINGLE DEVICE (I. A REPUTABLE LOCH D AND GREASED. AL LY CLEAN WITH STE Y AND FIXING OF TH BRASS KNOBS. ES AND FIREBOXES OF ACH FIREPLACE AND RING, WITH % OF NE DULE" ACE WITH PROPRIET DURING CONSTRUCTI	D FLOOR AND 2 CYCLES PPER FIRST FLOOR WALLS. DWING PROCESSES: EMENT, CUT BACK PLASTER IELICAL STAINLESS STEEL ID IN ACCORDANCE WITH EXISTING FINISH. TING ADHESIVE. IY AREA. ALLOW TO CLEAN D ADHESIVE. TER AND REPLASTER. CH. UCH LIGHT SWITCHES AND LE FROM THE INSIDE E. LEVER). KSMITH. LOW 50% ORIGINAL LOCKS. EL WOOL. RADITIONAL MORTISE LOCKS DF ALL CHIMNEYS. REPLACE TION CENTRE TO PROVIDE % ROOM SCHEDULE" ) PROVIDE REPORT. ALLOW W INTRODUCED SECTIONS OF ARY FIREPROOF BLACK- ON. REMOVE PROTECTION ON	Plot Date & Time 11/4/2022 8:10:25 PM File Plotted D:\Documents\CHIEF MECHANICAL ENGINEER'S BUILDING_RVT21_Central_yoswaris.d.ht
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	20/07/22	E.P./20/07/22	D.C./20/07/22					ARCHITECTS	DRG CHEC	CKERIC PARK		04/11/22
	Signer N./Date	VERIFIED SIGN./DATE	APPROVED SIGN./DATE	<b>G</b>	D	=_		NOMINATED ARCHITECTS: DAVID COOK (5086) / HISHAM NOORI (5678)	DESIGN CI	HECK <u>DAVID COOK</u>		04/11/22
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## LEGEND

D



— — — EXISTING TO BE REMOVED (ALLOW PROVISION FOR MAKE GOOD TO MATCH FINISHES DIRECTLY ADJACENT TO) EXISTING WALL RETAINED

# NOTE

TO BE READ IN CONJUNCTION WITH ROOM BY ROOM SCHEDULE



# NOTE

ALL EXISTING REMOVED TO BE STORED AWAY IN THE NOMINATED AREA.

### DOORS

- STRIP LEAD PAINT FROM DOOR LEAFS AND REPAIR DOORS AS REQUIRED- ALLOW TO REPAIR AS Per "ROOM BY ROOM SCHEDULE". WHERE NEW TIMBER IS USED, ALLOW TO PRIME PAINT.

- ALLOW TO REMOVE ALL LOCK HARDWARE AND SERVICE AS SCHEDULED BELOW UNDER DOOR HARDWARE.

### FANLIGHTS

STRIP LEAD PAINT FROM FANLIGHT SASH AND PAINT ALL AROUND WITH THREE COATS 100% GLOSS ENAMEL. ALLOW GLAZING TO BE CLEAR 5.5 TOUGHENED GLASS FIXED WITH TRADITIONAL LINSEED PUTTY. PROVIDE TRADITIONAL BRASS FANLIGHT MECHANISMS TO ALL FANLIGHTS.

### PICTURE RAIL TO BE RETAINED

STRIP LEAD PAINT FROM PICTURE RAIL AND ALLOW TO REPLACE PICTURE RAIL AND INSTALL. 30% OF ALL ROOMS. JOINERY SHOP TO MAKE UP DETAILED MOULDED ARCHITRAVES TO MATCH EXISTING EXACTLY. PRIME AND PAINT WITH 3 COATS OF 100% GLOSS ENAMEL.

### WINDOW HARDWARE

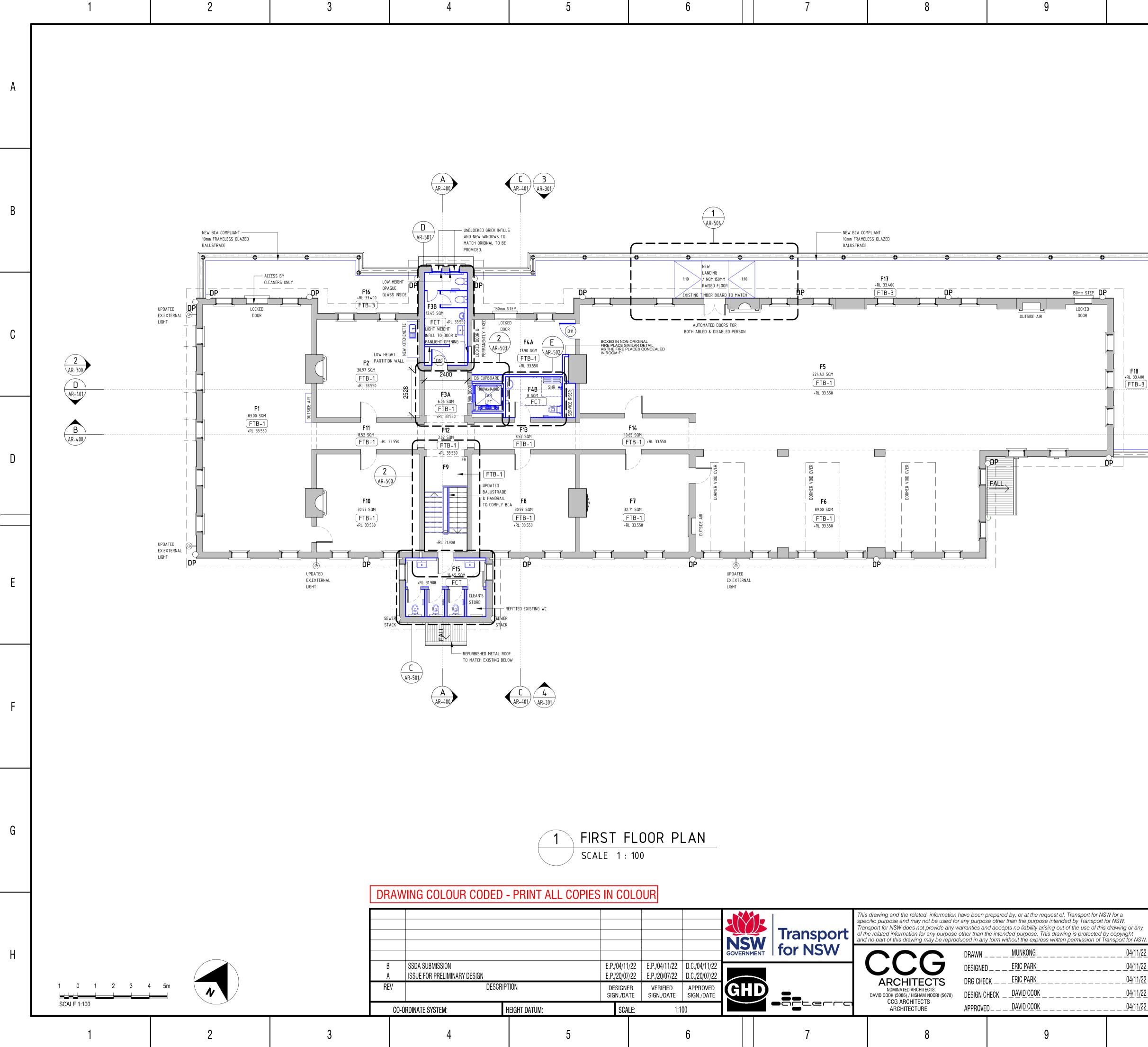
REMOVE ANY MODERN WINDOW LOCKS AND MAKE GOOD. GENERALLY EACH DOUBLE HUNG WINDOW IS TO BE COMPLETE WITH A SASH FASTENER AND LATCH. ALLOW PRESERVE EXISTING HARDWARE IE 70% WINDOWS. STRIP EXISTING HARDWARE AND REPOLISH BRASS ELEMENTS AND REPAINT REST. REFIX USING NEW BRASS SCREWS. FOR 30 % WINDOWS ALLOW TO PROVIDE NEW HARDWARE. BRASS SASH TRADITIONAL FASTENERS AND TWO BRASS SASH LIFTS FIXED WITH BRASS SCREWS.

CHIEF MECHANICAL	ENGINEER'S	BUILDING
505 WILSON STREET REDFERN		

2	ARCHITECTURAL
2	FIRST FLOOR DEMOLITION PLAN

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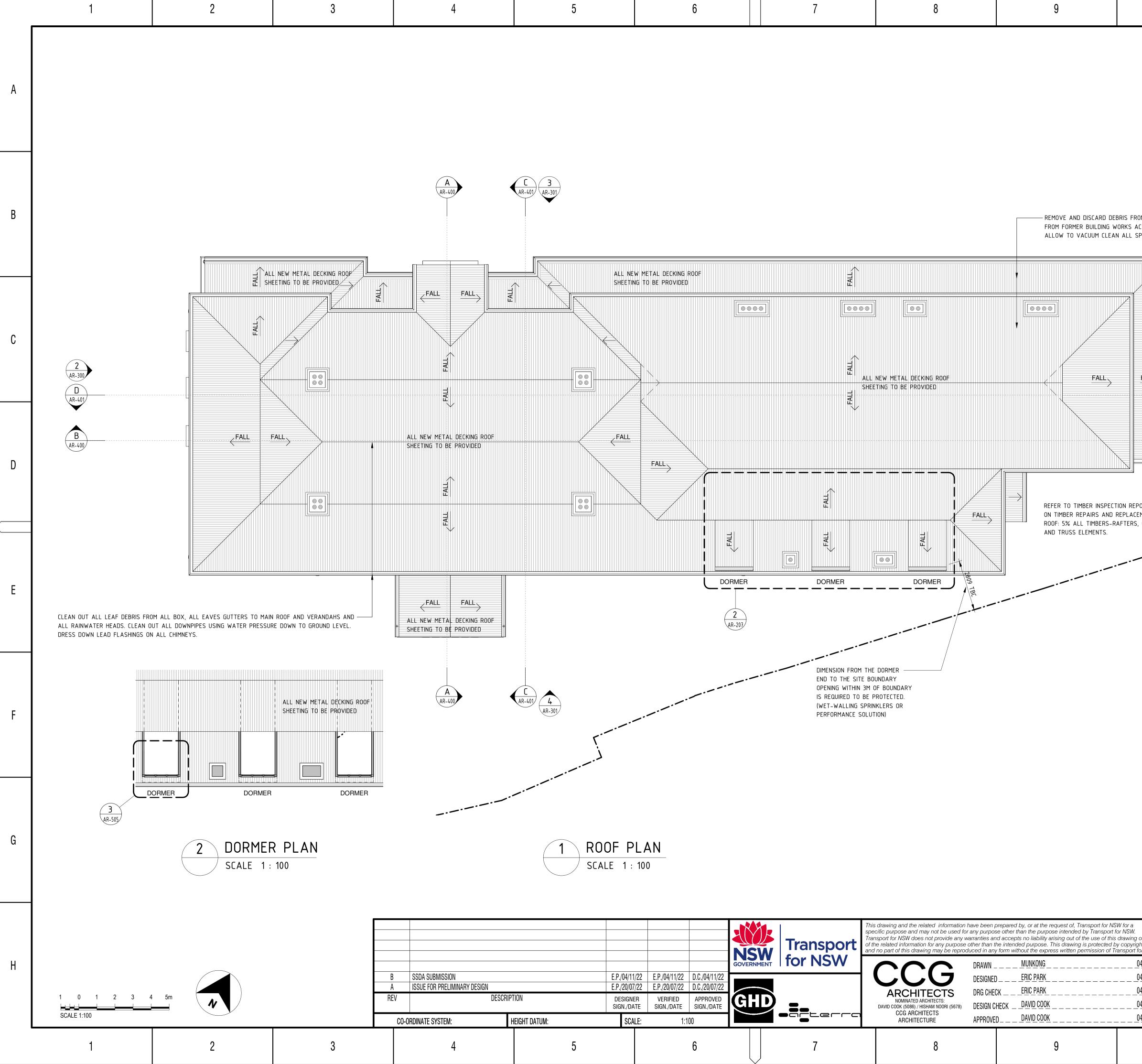
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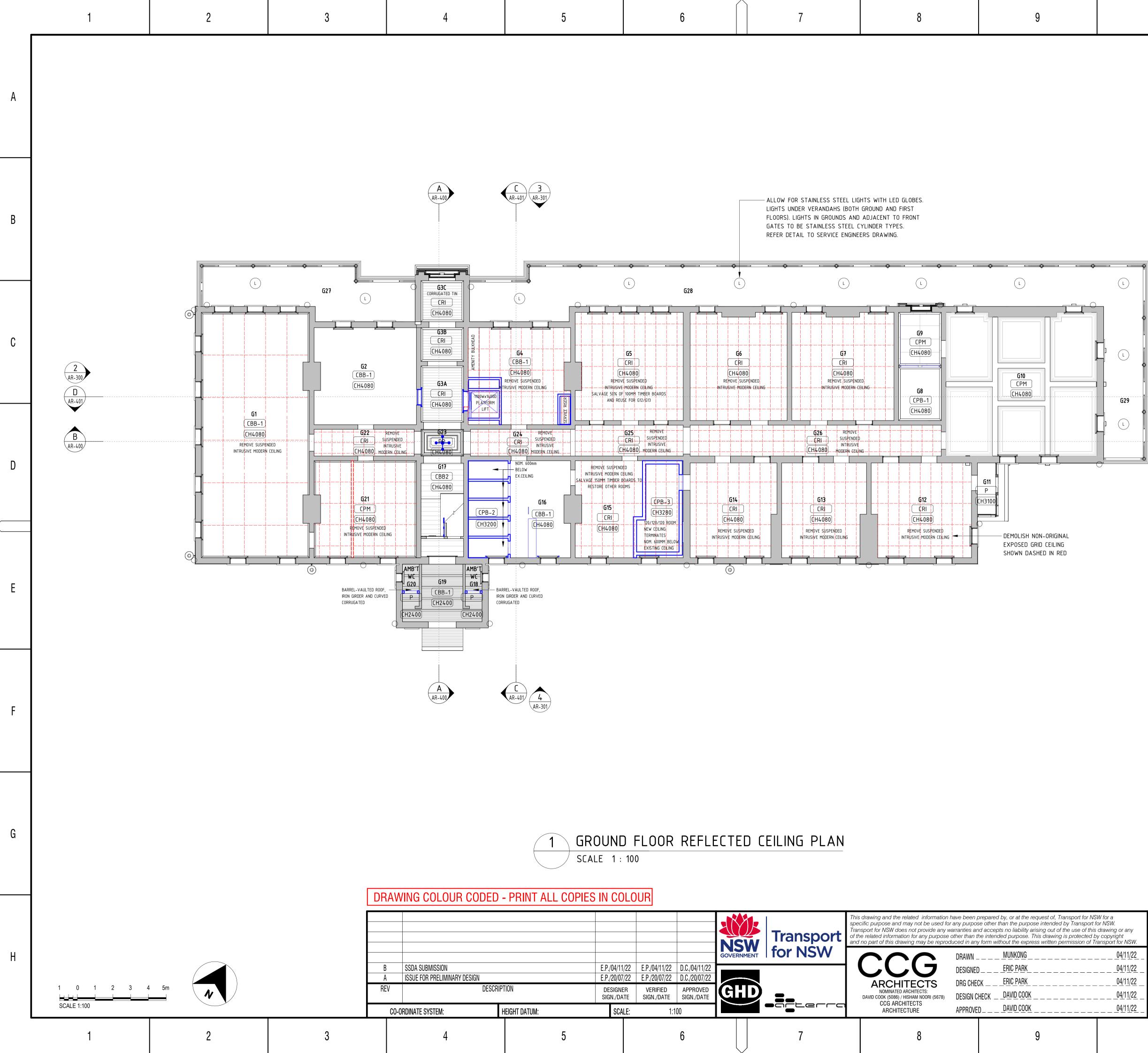
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				GOVERNMEN	TOT NSVV		DRAWN	<u>MUNKONG</u>	04/11/22
	E.P./04/11/22		D.C./04/11/22				DESIGNED _	ERIC PARK	04/11/22
	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22			ARCHITECTS	DRG CHECK	ERIC PARK	04/11/22
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FIRST FLOOR FLOOR BOA 1. ALLOW TO REMOVE FL 2. WHERE DAMAGED REST HARDWOOD FLOOR BOARD SAND FLOORS, SEAL GAP FIRST FLOOR JOISTS 1. CHECK OVER WITH HER 2. WHERE DAMAGED REST	OOR COVERINGS AND STAPLES FROM FLOOF TORE BOARDING. ALLOW PROVIDE NEW SIMIL DS TO EACH ROOM. ALLOW AS PER " ROOM PS WITH A SUITABLE SEALANT AND FINISH	BOARDING WHERE REQUIRED. AR SIZE AND SPECIES BY ROOM SCHEDULE" WITH TWO COATS OF TUNG OIL. SIZE AND SPECIES	Plot Date & Time 11/4/2022 8:10:32 PM
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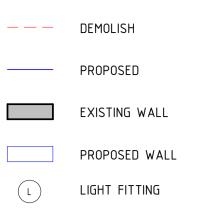
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1 ROOF F SCALE 1							ALL RAINWATER HEADS. DRESS DOWN LEAD FLAS REMOVE AND DISCARD DE FROM FORMER BUILDING N ALLOW TO VACUUM CLEA REFER TO TIMBER INSPEC REPLACEMENT THE ROOF.	TION REPORT FOR DETAILS ON TIMBER REP	PRESSURE DOWN TO GROUND LEVEL. ABLE AMOUNT OF DEBRIS BIRD DROPPINGS ), PAIRS AND	Plot Date & Time 11/4/2022 8:10:34 PM
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REFER DETAIL OF THE LIGHTING TYPES PROPOSED TO ELECTRICAL ENGINEER'S LIGHTING LAYOUT DRAWINGS

# LEGEND CEILING

REFER	DETAIL TO ROOM BY ROOM SCHEDULE
CBB-1	T&G QUIRK BEADED BOARDING (150MM) (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
CBB-2	CEILING – T&G QUIRK BEADED BOARDING (125MM) (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
CRI	CEILING RIPPLE IRON (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
CPB-1	CEILING SET PLASTERBOARD (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
CPB-2	CEILING MOISTURE RESISTANCE PLASTERBOARD (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
CPB-3	CEILING 120/120/120 FIRE RATED (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
CPM	CEILING PRESSED METAL (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
Р	PAINT FINISH (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
PP	PAINT FINISH ON LIME PLASTER (REFER DETAIL TO ROOM BY ROOM SCHEDULE)



1 AR-300 D AR-401

B AR-400

TO BE READ IN CONJUNCTION WITH ROOM BY ROOM SCHEDULE

### NOTE

PRIOR TO REMOVAL OF LEAD PAINT FROM ALL CEILINGS IN BUILDING, REDUNDANT ELEMENTS INCLUDING SECONDARY SUSPENDED GRID CEILINGS AND ASSOCIATED FITTINGS AND FIXTURES TO BE REMOVED AND DISCARDED FROM SITE.

LATH AND PLASTER REPAIR DAMAGED LATH AND PLASTER CEILINGS. METHODOLOGY: VACUUM THE TOP SIDE OF THE LATHS TO REMOVE DIRT. FLOOD ADHESIVE ONTO TOP SURFACE OR INJECT ADHESIVE THROUGH LATHS AS PER WESTOX REPAIR RECOMMENDATIONS.

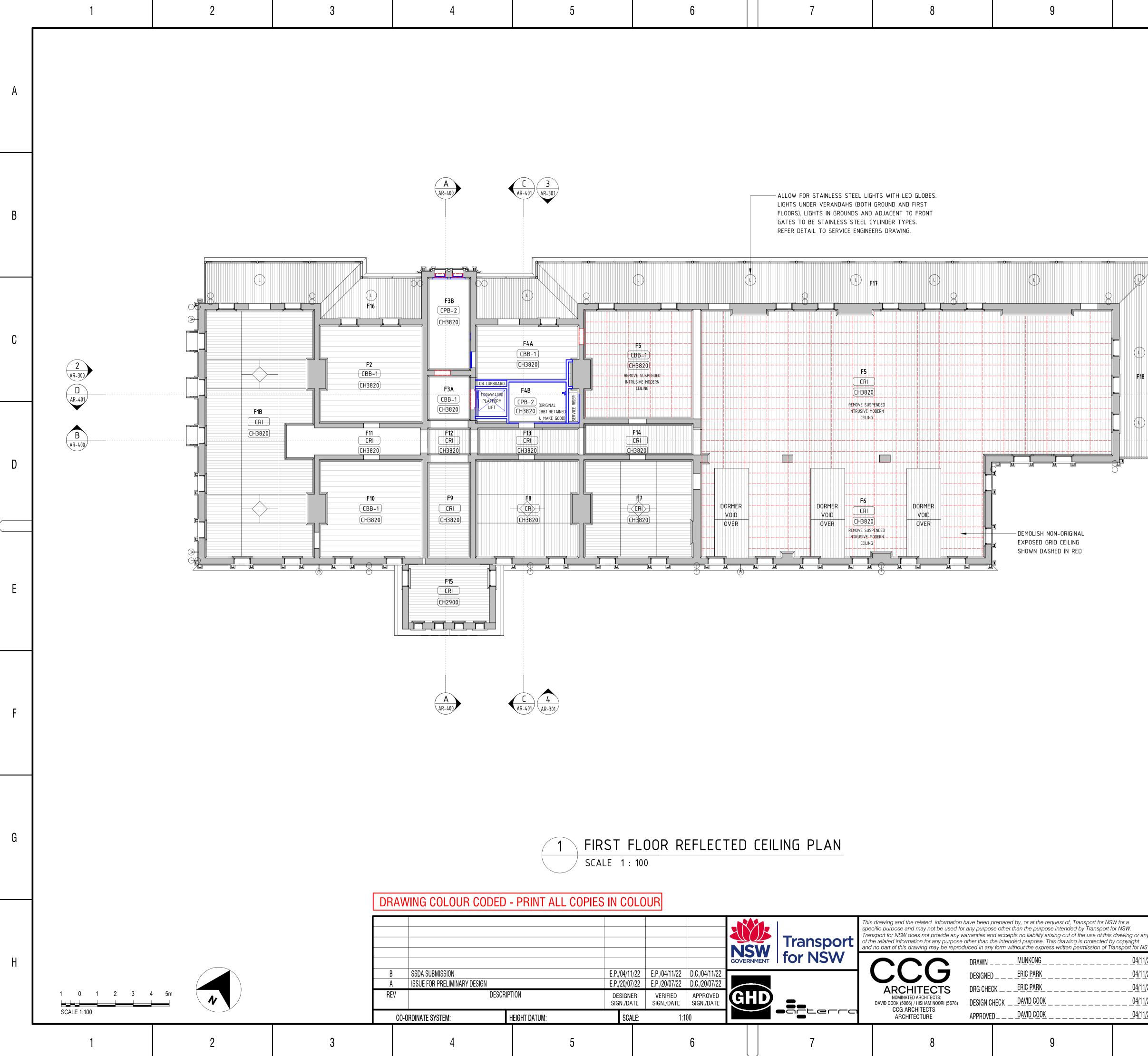
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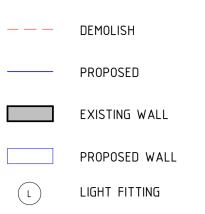
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### LEGEND



REFER DETAIL OF THE LIGHTING TYPES PROPOSED TO ELECTRICAL ENGINEER'S LIGHTING LAYOUT DRAWINGS

# LEGEND CEILING

REFER	DETAIL TO ROOM BY ROOM SCHEDULE
CBB-1	T&G QUIRK BEADED BOARDING (150MM) (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
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1 AR-300 D AR-401

B AR-400

TO BE READ IN CONJUNCTION WITH ROOM BY ROOM SCHEDULE

### NOTE

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LATH AND PLASTER REPAIR DAMAGED LATH AND PLASTER CEILINGS. METHODOLOGY: VACUUM THE TOP SIDE OF THE LATHS TO REMOVE DIRT. FLOOD ADHESIVE ONTO TOP SURFACE OR INJECT ADHESIVE THROUGH LATHS AS PER WESTOX REPAIR RECOMMENDATIONS.

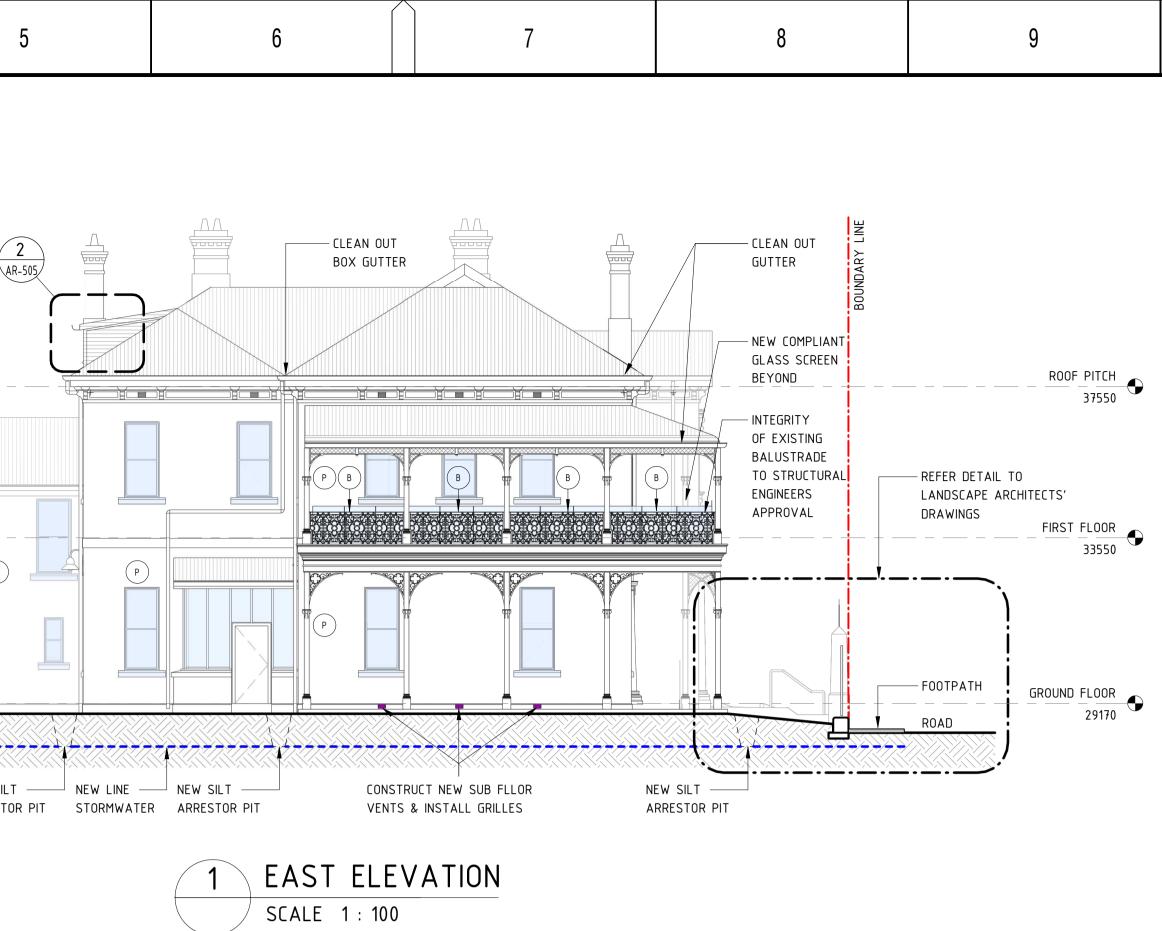
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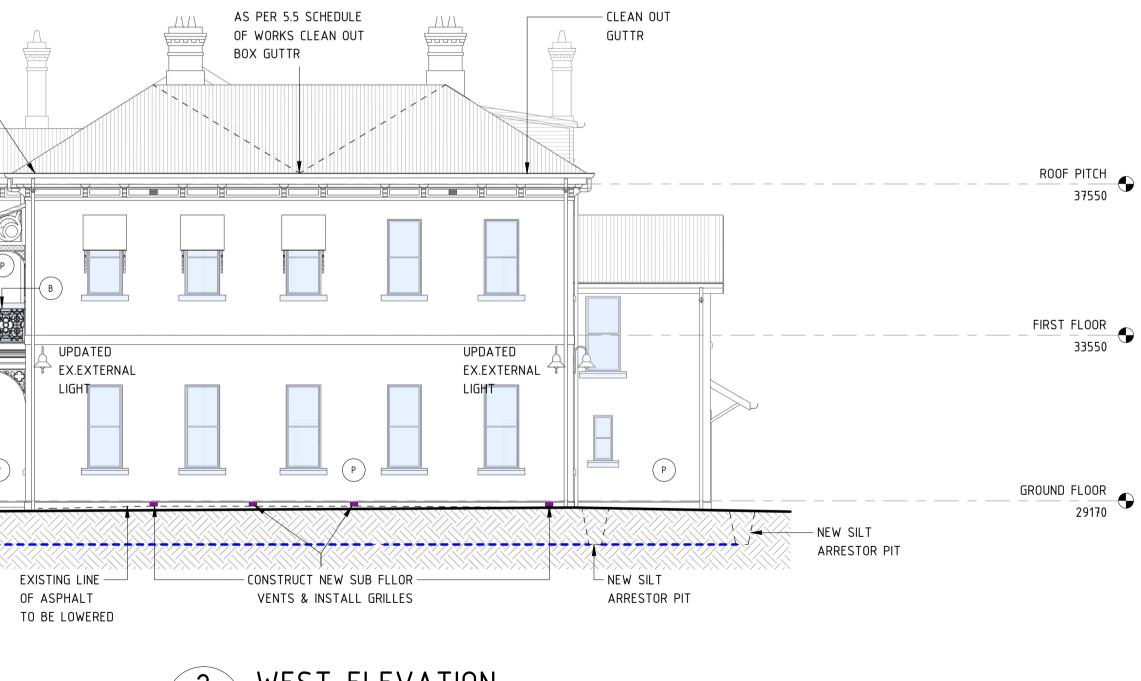
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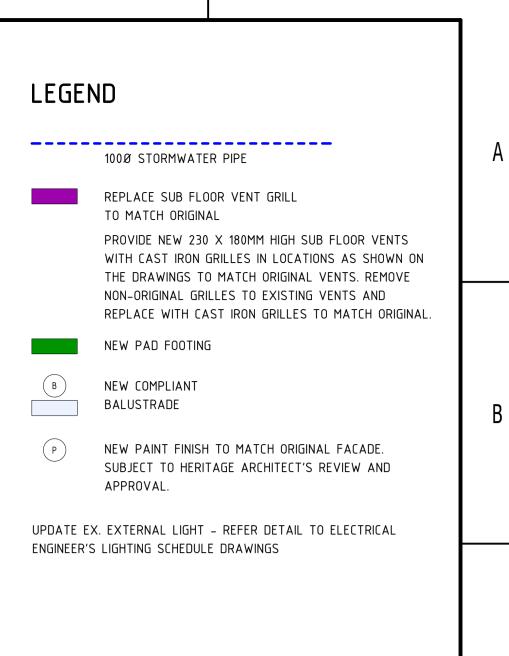
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С			-	NEW SILT ARRESTOR PIT	NEW SILT NEW LINE ARRESTOR PIT STORMWATER			EW SILT RRESTOR PIT	ROAD
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G					EXISTING LINE OF ASPHALT TO BE LOWERED	CONSTRUCT NEW SUB FLLOF VENTS & INSTALL GRILLES 2 WEST ELEV SCALE 1 : 100	ARRES	ILT TOR PIT	
Н	1 0 1 2 3 <u>1 0 1 2 3</u> SCALE 1:100	4 5m	B A REV	SSDA SUBMISSION ISSUE FOR PRELIMINARY DESIGN DESCRIPT	- PRINT ALL COPIES IN COLO PRINT ALL COPIES IN COLO E.P./04/11/22 E.P./20/07/22 TION DESIGNER SIGN./DATE IEIGHT DATUM: SCALE: 5	E.P./04/11/22 E.P./20/07/22 VERIFIED SIGN./DATE APPROVED SIGN./DATE		DRAWN DESIGNE DAVID COOK (5086) / HISHAM NOORI (5678) DESIGNE	CKERIC PARK04/11







# NOTE

UNDERFLOOR VENTILATION 1. REMOVE ALL DEBRIS FROM UNDER FLOORS (PAST WORKS HAVE LEFT BUILDING DEBRIS ON SITE) 2. ENGAGE ARCHAEOLOGIST TO BE ON CALL FOR EXCAVATION WORKS 3. AS MOST ROOMS HAVE INADEQUATE UNDERFLOOR HEIGHTS, CAREFULLY EXCAVATE UNDERFLOOR AREAS TO PROVIDE AT LEAST 350MM UNDER THE BEARERS ( ALLOW OVERALL ALL ROOMS APPROX. 300MM EXCAVATION) PROVIDE ADEQUATE OPENINGS FOR CROSS FLOW VENTILATION. ALLOW SIX 230 X 230MM OPENINGS PER ROOM AND TO REMOVE MASONRY UNDER ALL GROUND FLOOR DOORWAYS. (20 DOORWAYS)

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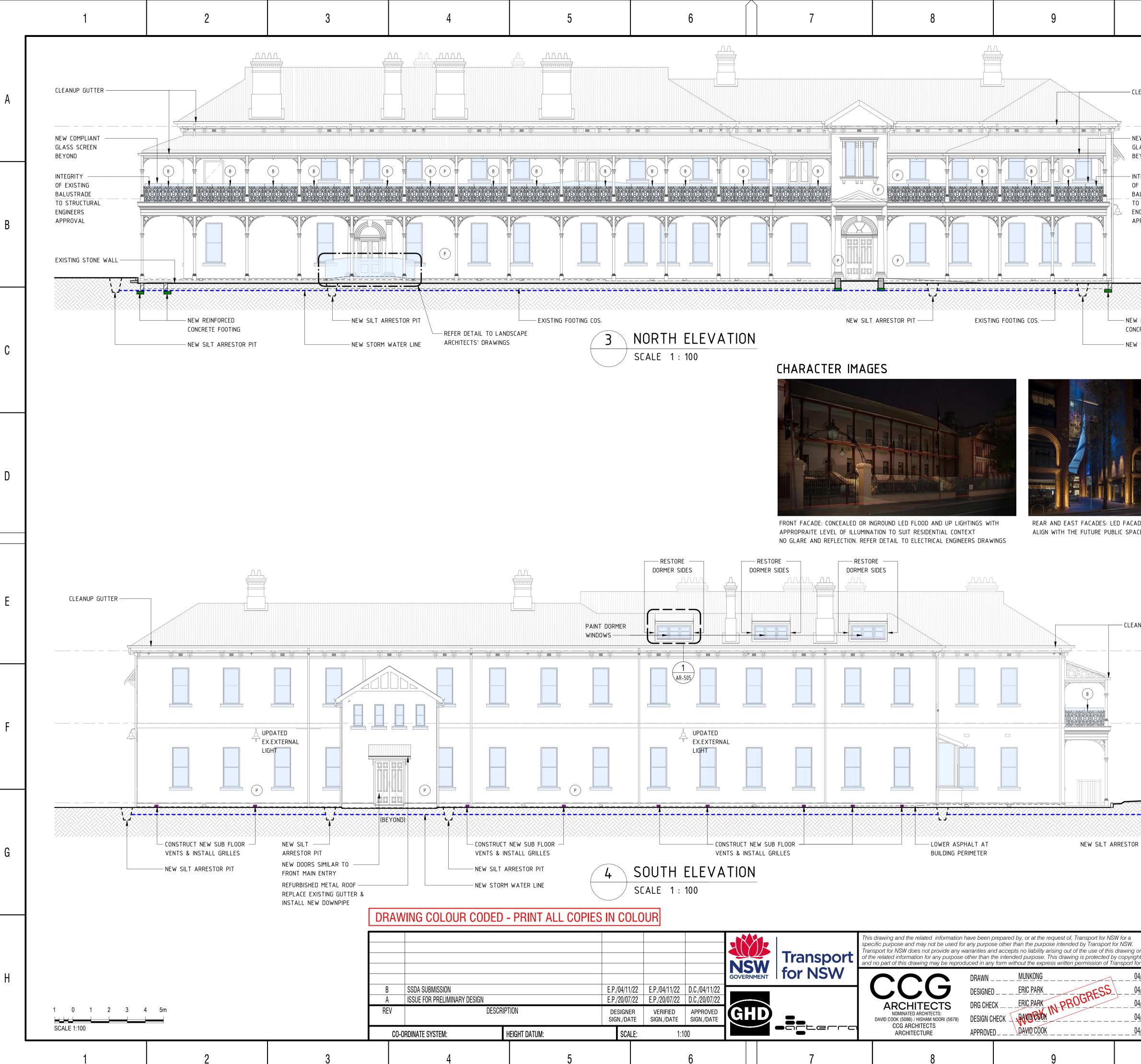
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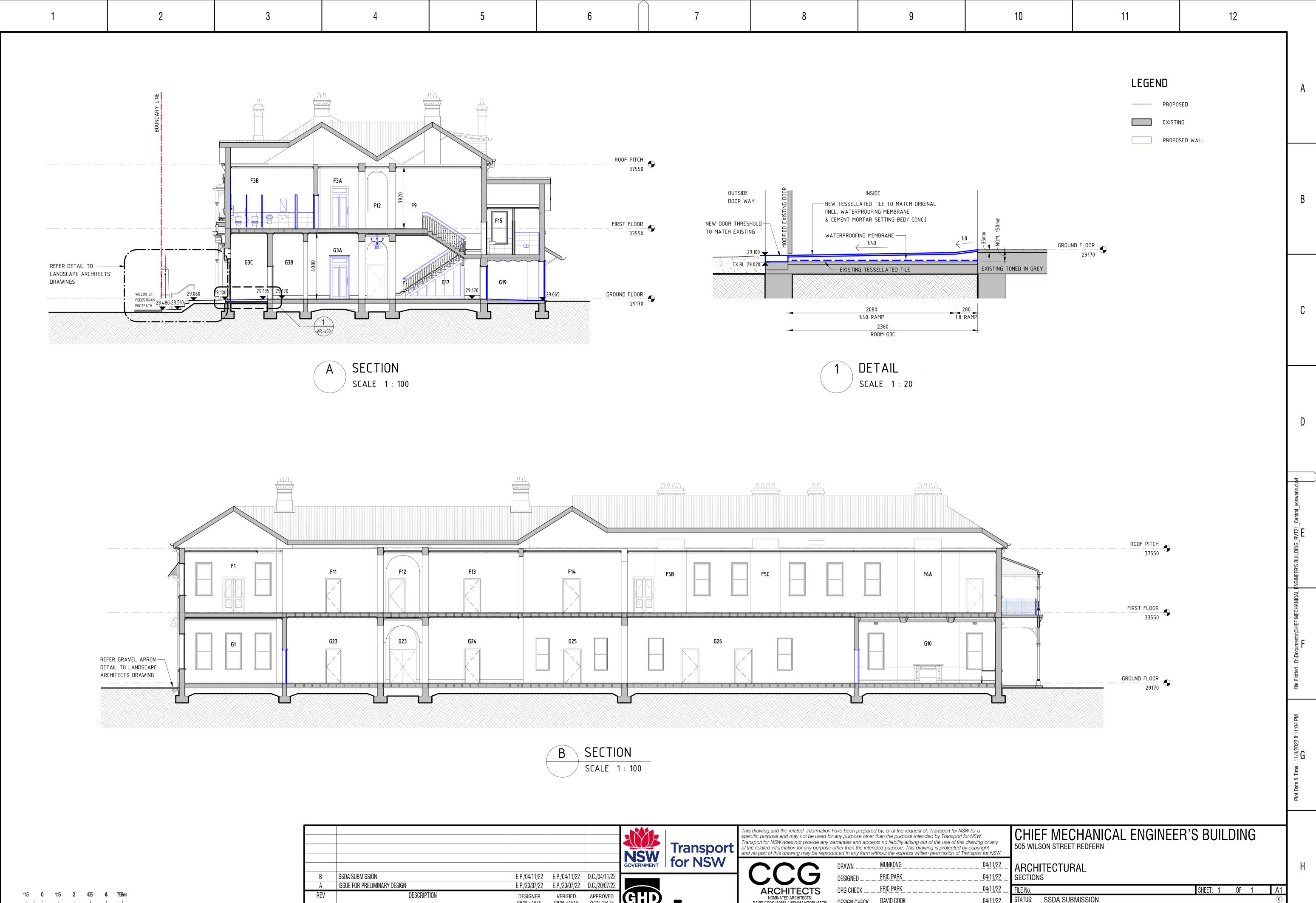
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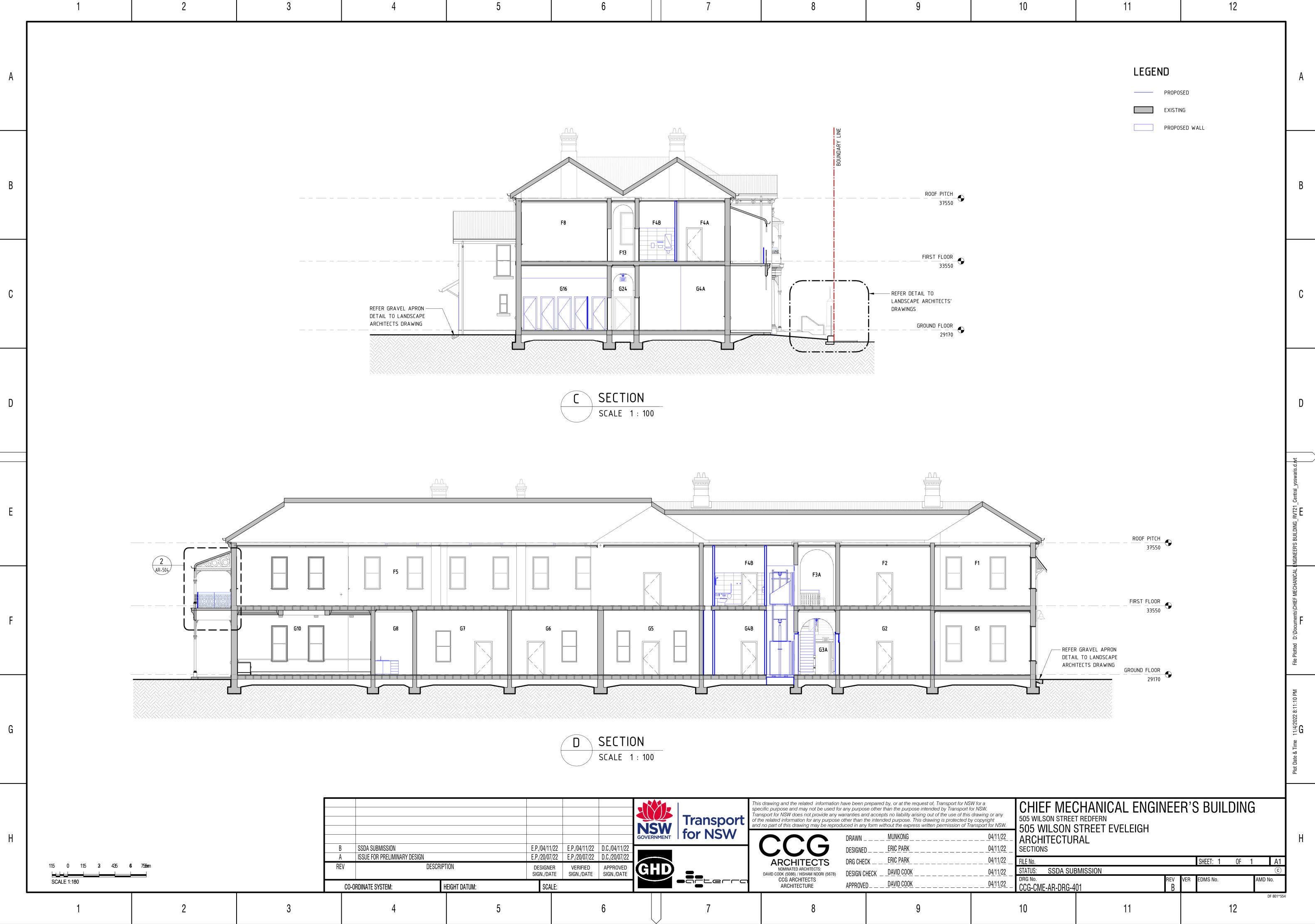
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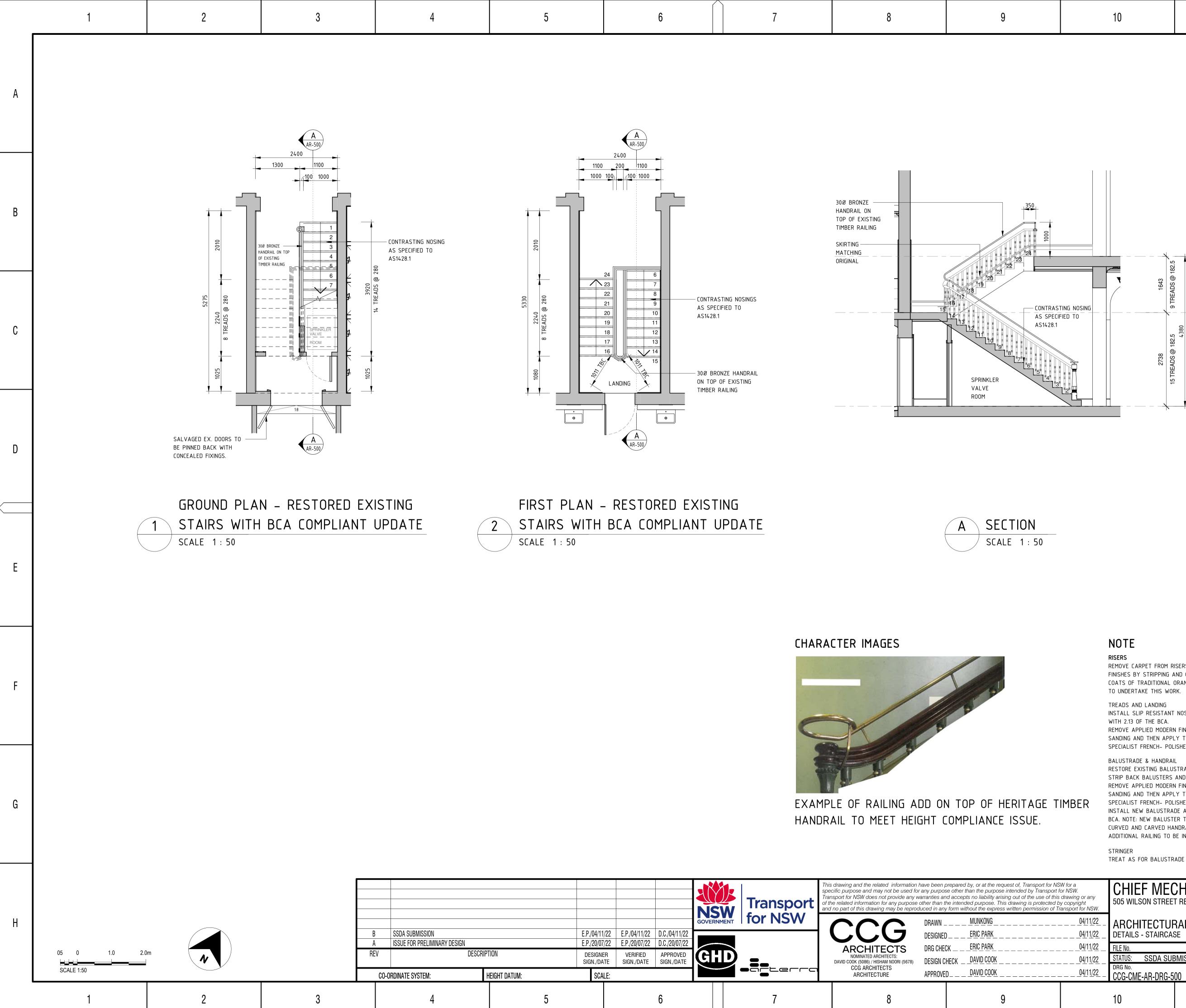
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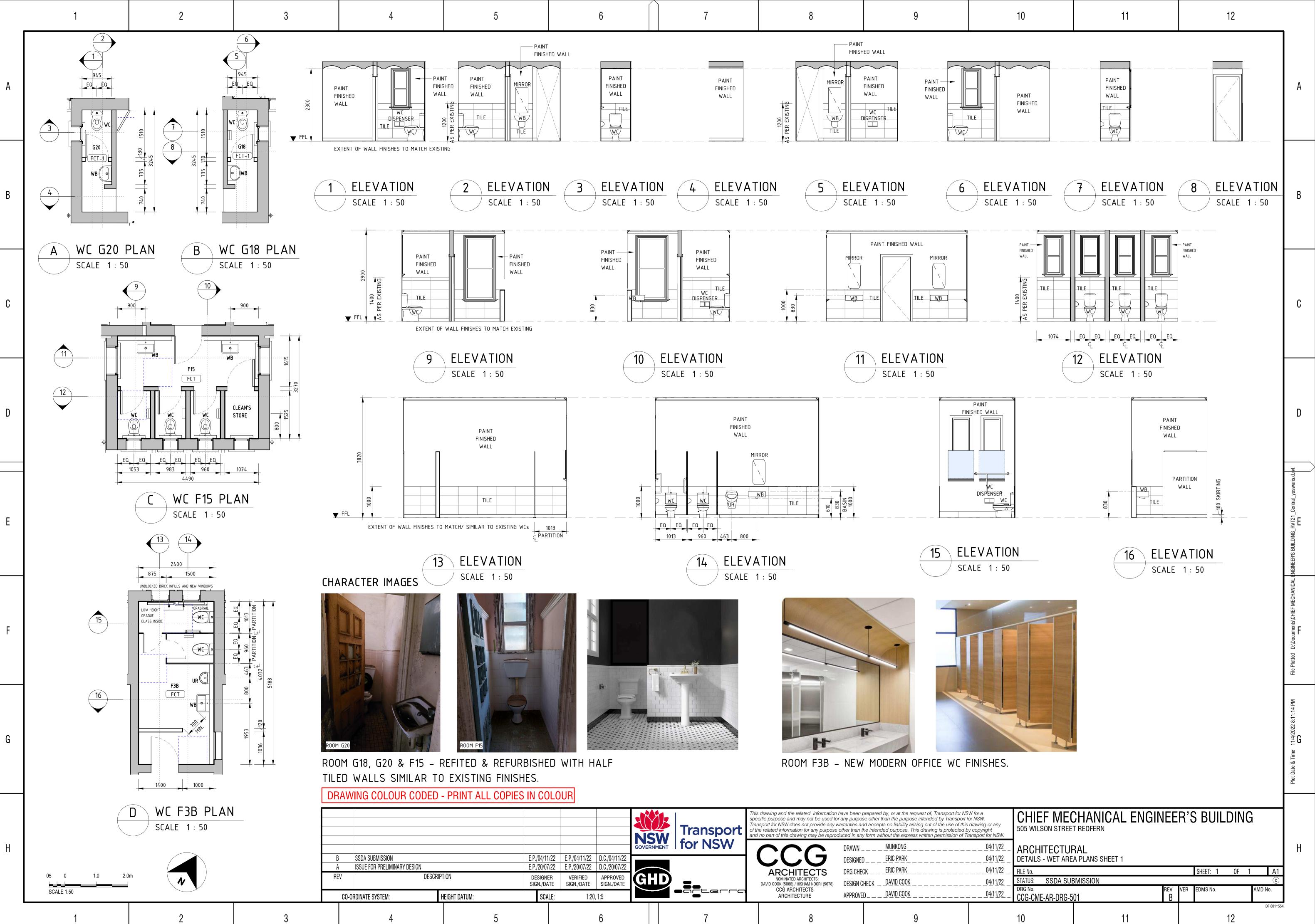
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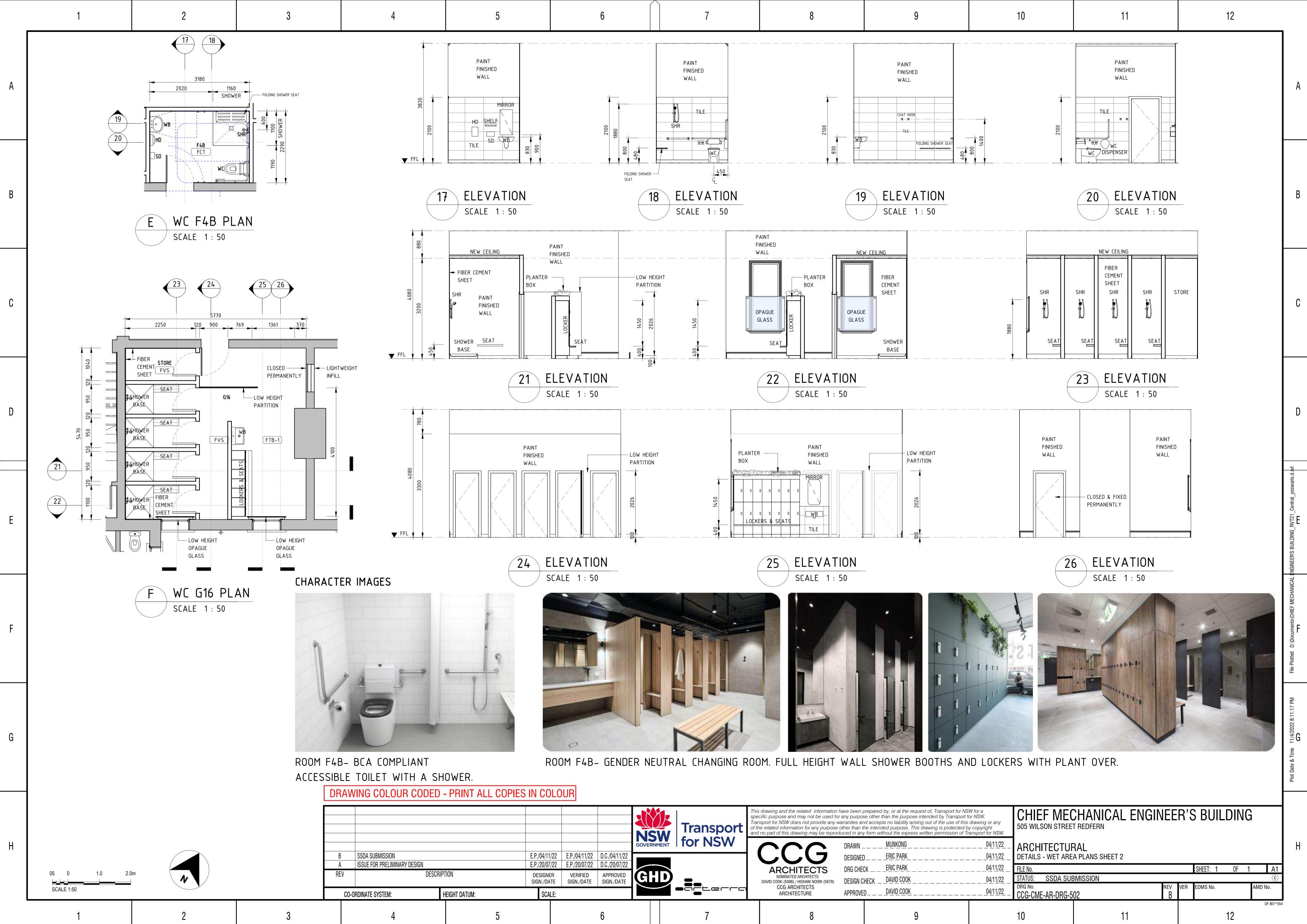


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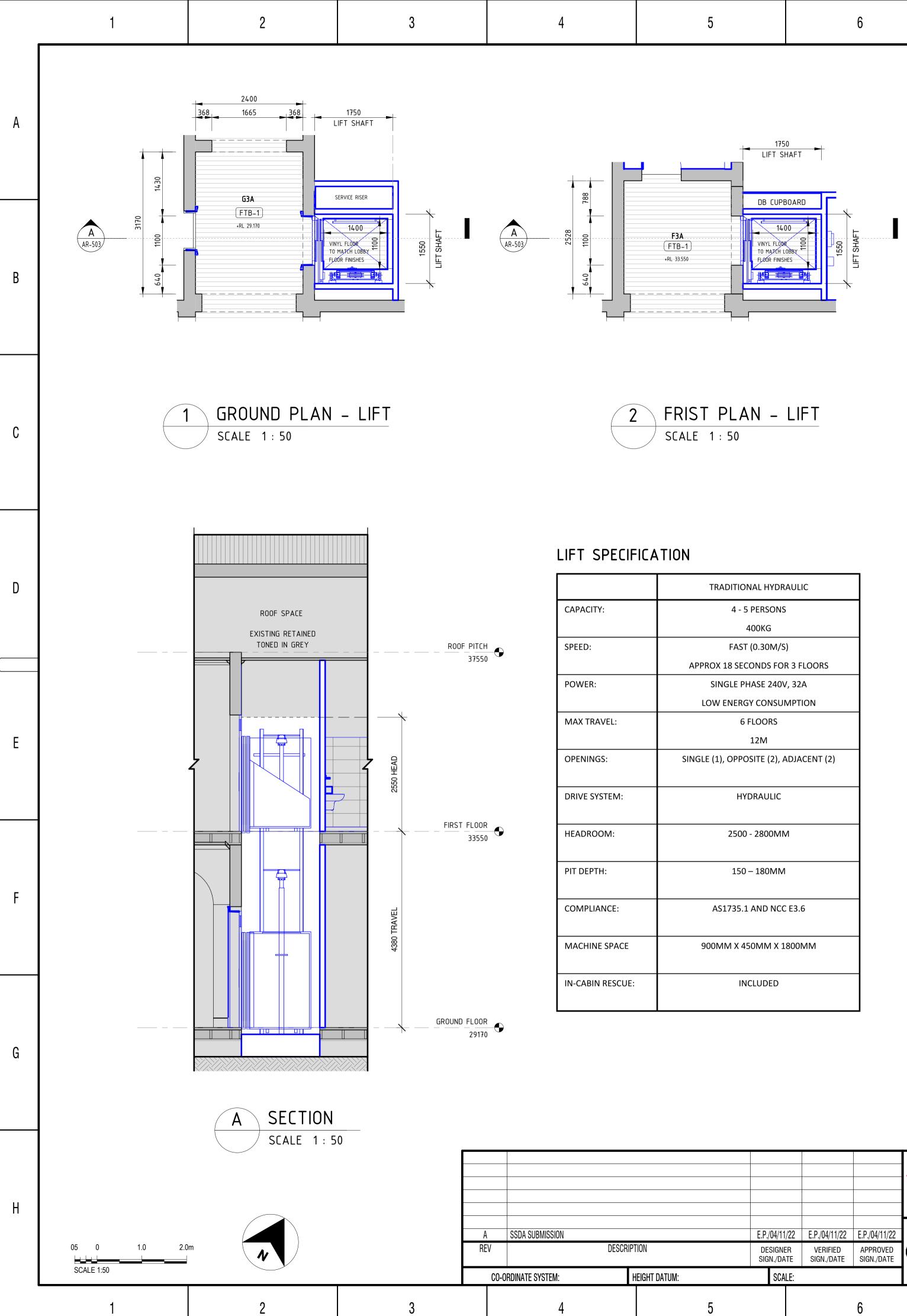
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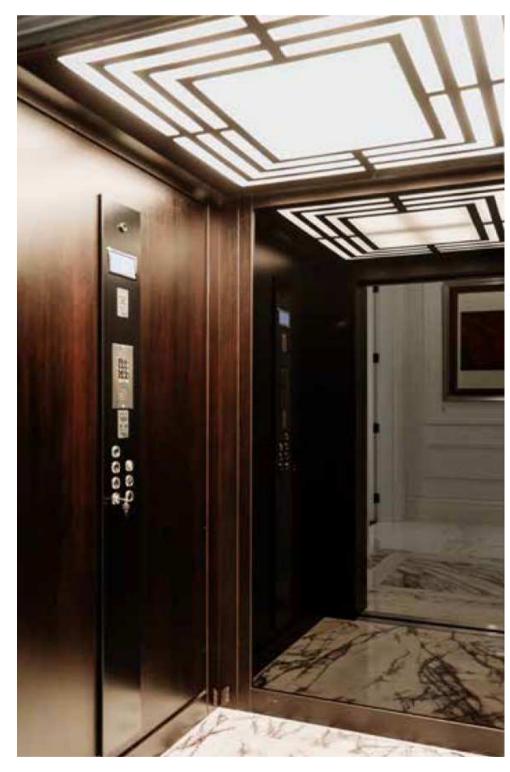




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TRADITIONAL HYDRAULIC
4 - 5 PERSONS
400KG
FAST (0.30M/S)
PROX 18 SECONDS FOR 3 FLOORS
SINGLE PHASE 240V, 32A
LOW ENERGY CONSUMPTION
6 FLOORS
12M
LE (1), OPPOSITE (2), ADJACENT (2)
HYDRAULIC
2500 - 2800MM
150 – 180MM
AS1735.1 AND NCC E3.6
900MM X 450MM X 1800MM
INCLUDED

# CHARACTER IMAGES





COHESIVE INTERNAL COLOUR FINISHES FROM EXISTING COLOUR PALETTE. (VARIOUSE STYLE AND PROFILES OF FLOOR, WALL AND CEILING LINING FINISHES ARE AVAILABLE.)

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# LEGEND

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EXISTING
PROPOSED WALL

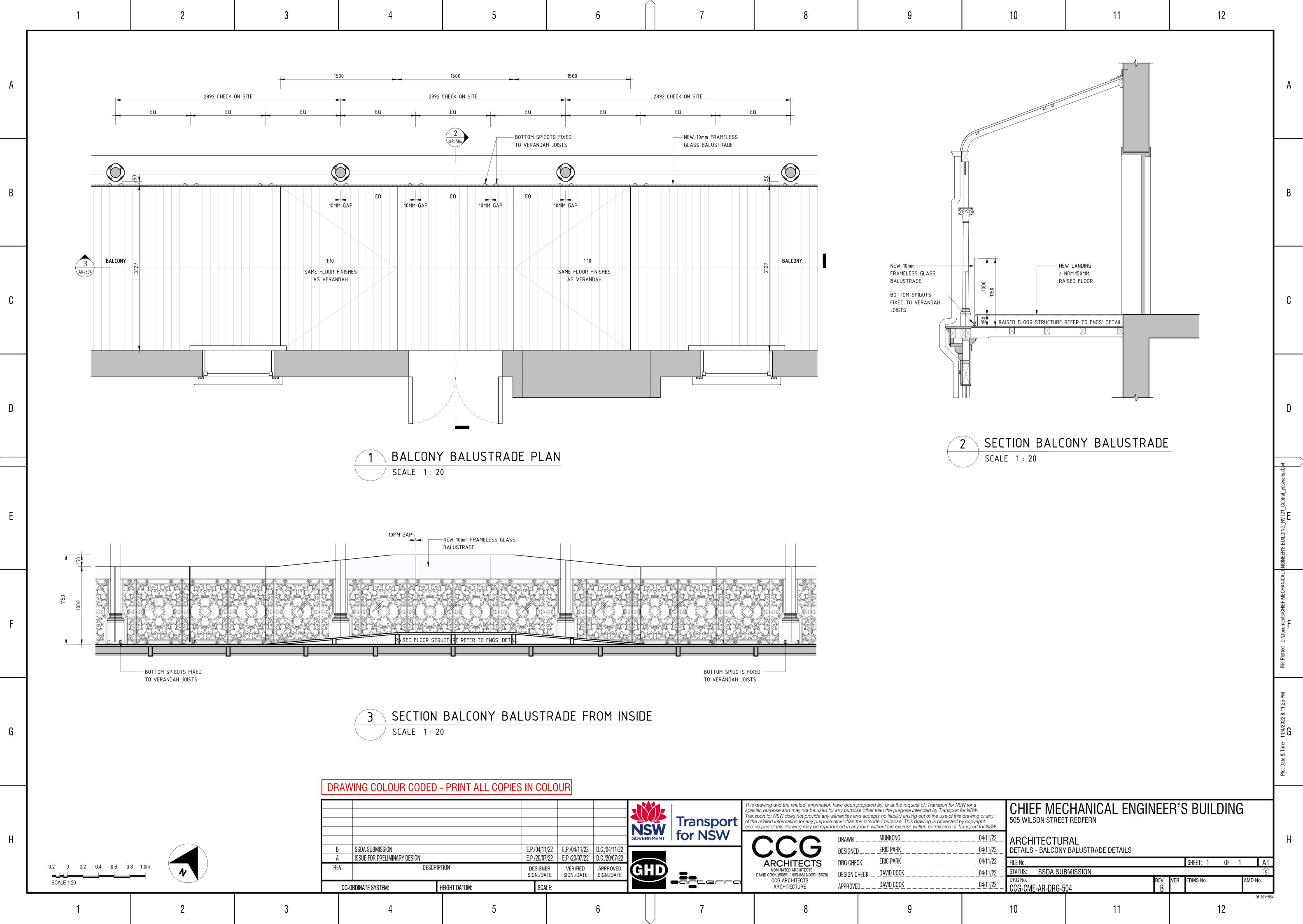
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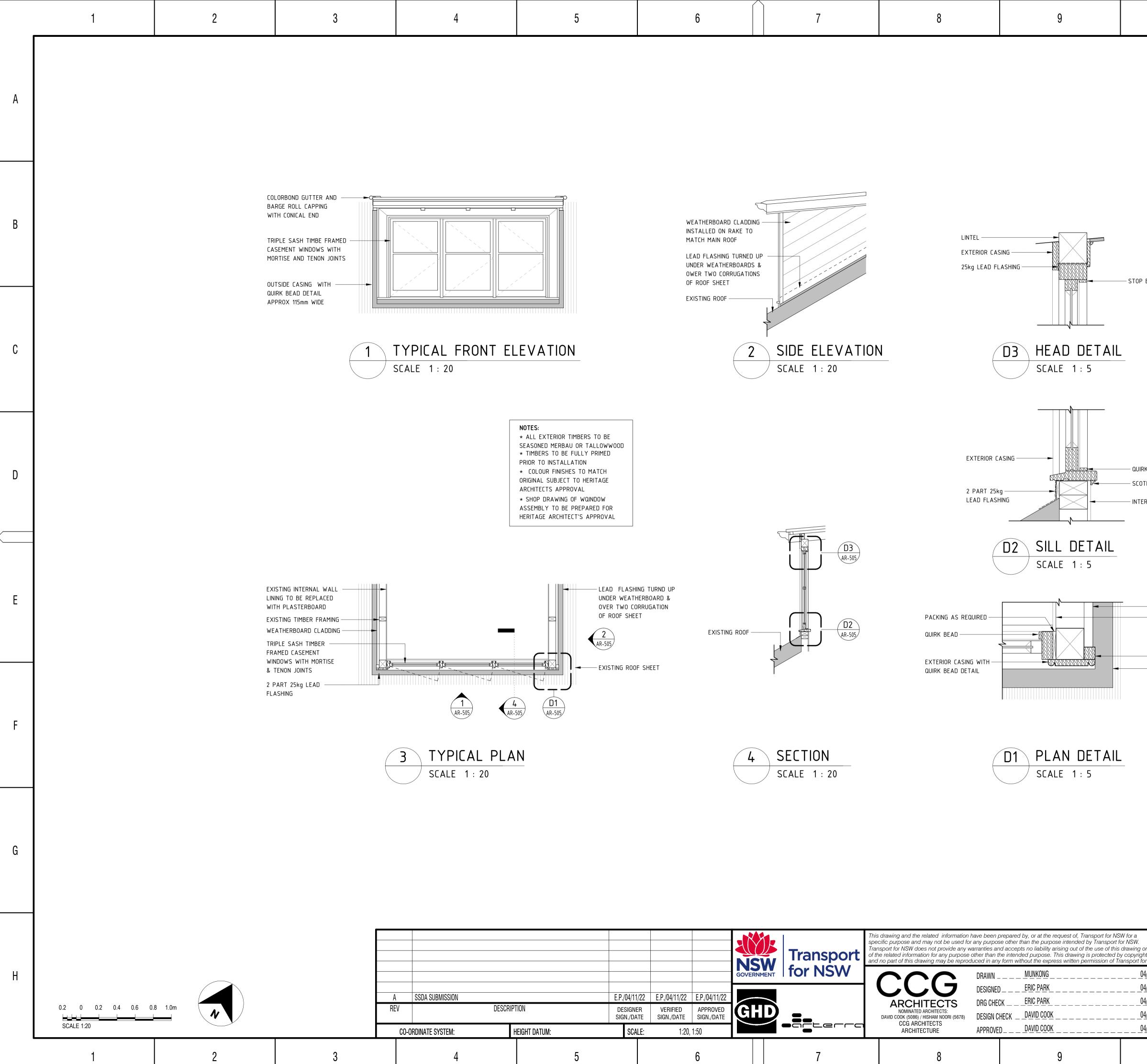
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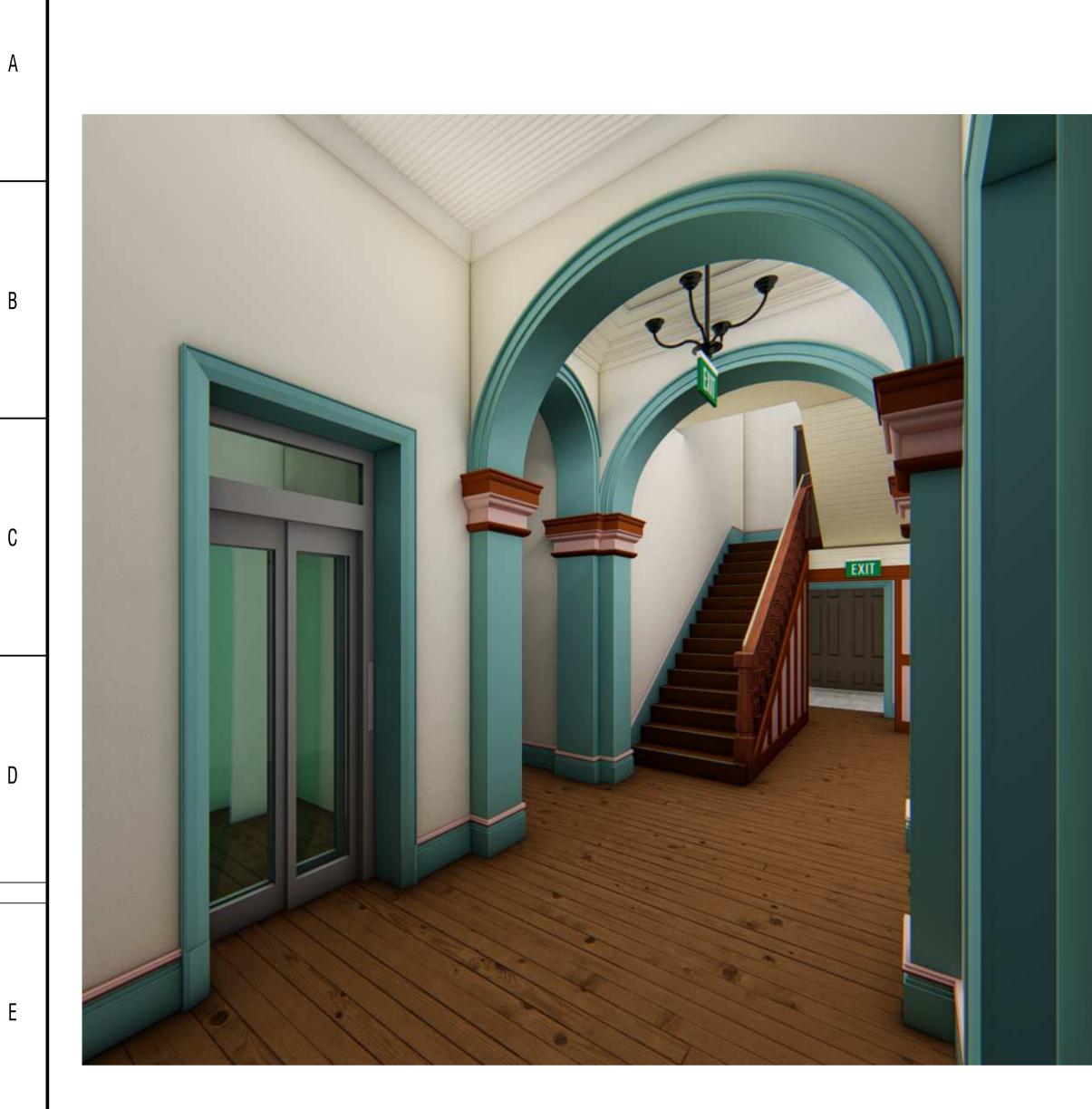


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# G3A – LIFT LOBBY ON GROUND SCALE N.T.S.

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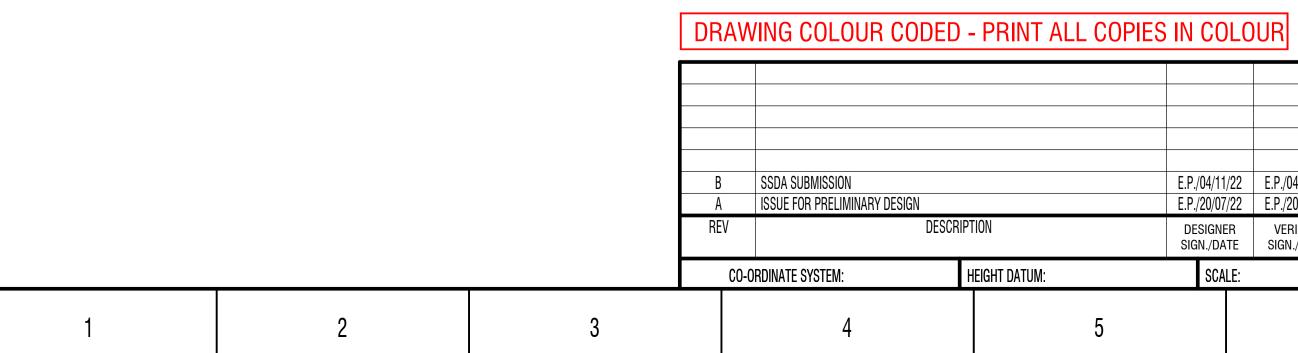
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- REFURBISHED FLOOR, WALLS AND CEILING TO MATCH ORIGINAL.
- REFURBISHED EXISTING STAIR TO MEET BCA & DDA COMPLIANCES.
- NEW MODERN INTERNAL LIFT COMPLEMENTING EXISTING HERITAGE DETAILS.



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# 2 G10 – REFURBISHED EXISTING CABINET JOINERY SCALE N.T.S

- RESTORED FINISHES AND REFURBISHED & REPURPOSED EXISTING FURNITURE.

# CHARACTER IMAGES



# INTERPRETATIVE INSTALLATION - EXAMPLES HERITAGE ARCHITECT REPORT.

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4/1/22       505 WILSON STREE         /11/22       ARCHITECTUI         /11/22       INTERNAL ARTIST II         /11/22       FILE No.	RAL MPRESSION BMISSION REV	R'S BUILDING SHEET: 1 OF 1 A1 © VER EDMS NO. AMD NO. DF 801*55-	Н