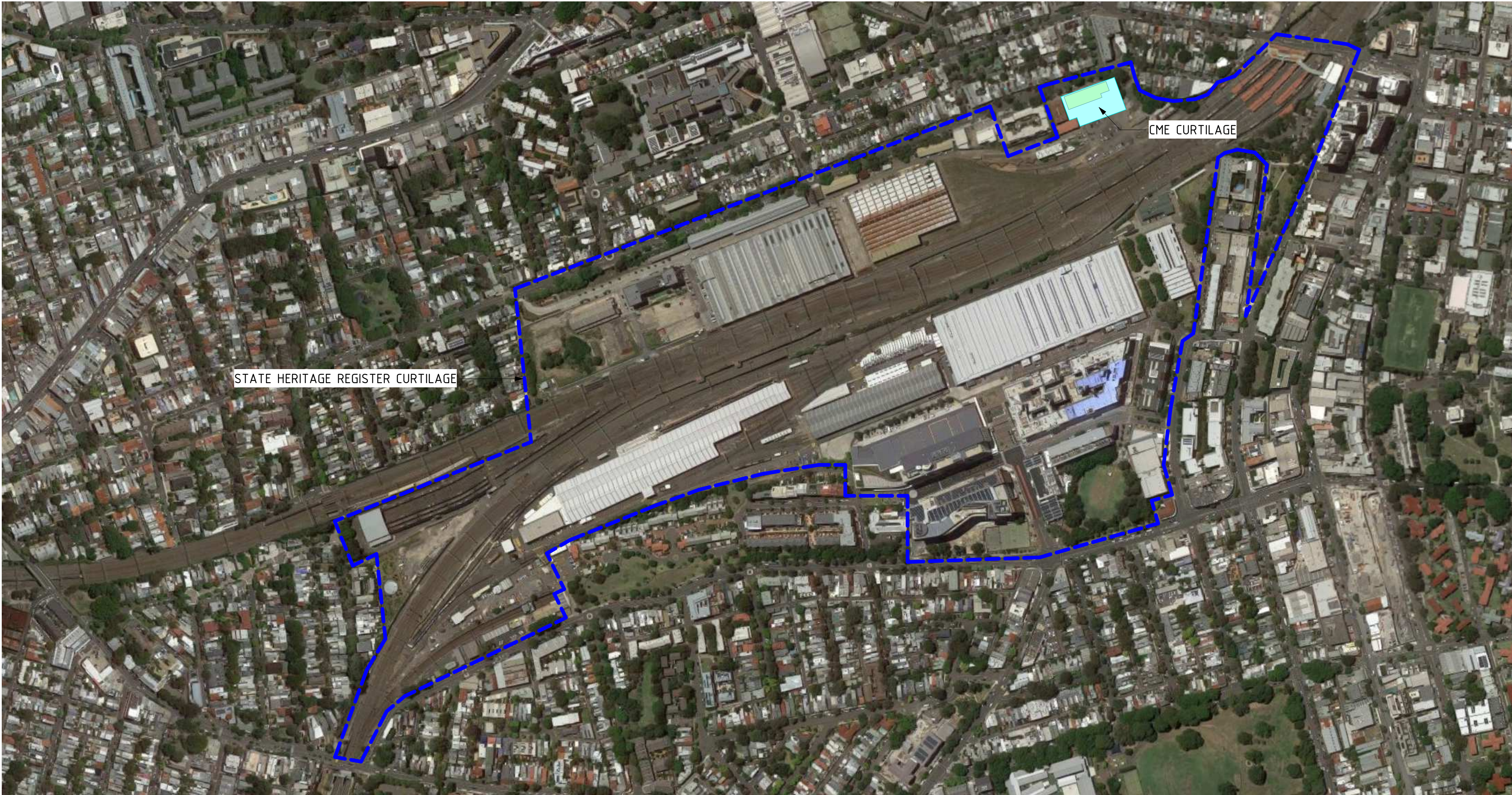


CHIEF MECHANICAL ENGINEER'S BUILDING

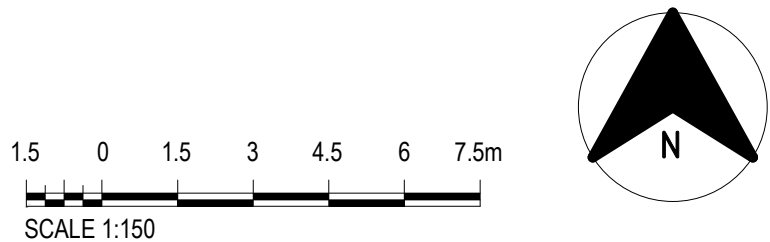
505 WILSON STREET REDFERN NSW 2043

ARCHITECTURAL
SSDA SUBMISSION



LOCATION PLAN

DRAWING COLOUR CODED - PRINT ALL COPIES IN COLOUR



B	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22	
A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22	
REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE	
CO-ORDINATE SYSTEM:		HEIGHT DATUM:		SCALE:	NTS



<small>This drawing and the related information have been prepared by, or at the request of, Transport for NSW for a specific purpose and may not be used for any purpose other than the purpose intended by Transport for NSW. Transport for NSW does not provide any warranties and accepts no liability arising out of the use of this drawing or any of the related information for any purpose other than the intended purpose. This drawing is protected by copyright and no part of this drawing may be reproduced in any form without the express written permission of Transport for NSW.</small>			
CCG ARCHITECTS		DRAWN	MUNKONG
DAVID COOK (5056) / HISHAM NOORI (5678) CCG ARCHITECTS ARCHITECTURE		DESIGNED	ERIC PARK
		DRG CHECK	ERIC PARK
		DESIGN CHECK	DAVID COOK
		APPROVED	DAVID COOK
			04/11/22

CHIEF MECHANICAL ENGINEER'S BUILDING 505 WILSON STREET REDFERN			
ARCHITECTURAL COVER SHEET, LOCATION PLAN			
FILE No.	SHEET: 1 OF 1		A1
STATUS:	SSDA SUBMISSION		(C)
DRG No.	CCG-CME-AR-DRG-000		
REV	VER	EDMS No.	AMD No.
B			

CHIEF MECHANICAL ENGINEER'S BUILDING

505 WILSON STREET REDFERN NSW 2043

ARCHITECTURAL

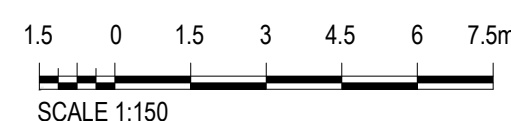
SSDA SUBMISSION




DRAWING INDEX

DRAWING NO.	EDMS NO.	TITLE
CCG-CME-AR-ORG-000		COVER SHEET, LOCATION PLAN
CCG-CME-AR-ORG-100		DRAWING INDEX
CCG-CME-AR-ORG-101		SURVEY
CCG-CME-AR-ORG-200		SITE ANALYSIS PLAN
CCG-CME-AR-ORG-201		PROPOSED SITE PLAN
CCG-CME-AR-ORG-203		GROUND FLOOR DEMOLITION PLAN
CCG-CME-AR-ORG-204		PROPOSED GROUND FLOOR PLAN
CCG-CME-AR-ORG-205		FIRST FLOOR DEMOLITION PLAN
CCG-CME-AR-ORG-206		PROPOSED FIRST FLOOR PLAN
CCG-CME-AR-ORG-207		ROOF PLAN
CCG-CME-AR-ORG-208		GROUND FLOOR REFLECTED CEILING PLAN
CCG-CME-AR-ORG-209		FIRST FLOOR REFLECTED CEILING PLAN
CCG-CME-AR-ORG-300		ELEVATIONS
CCG-CME-AR-ORG-301		ELEVATIONS
CCG-CME-AR-ORG-400		SECTIONS
CCG-CME-AR-ORG-401		SECTIONS
CCG-CME-AR-ORG-500		DETAILS - STAIRCASE
CCG-CME-AR-ORG-501		DETAILS - WET AREA PLANS SHEET 1
CCG-CME-AR-ORG-502		DETAILS - WET AREA PLANS SHEET 2
CCG-CME-AR-ORG-503		DETAILS - LIFT PLANS AND SECTION
CCG-CME-AR-ORG-504		DETAILS - BALCONY BALUSTRADE DETAILS
CCG-CME-AR-ORG-505		DETAILS - DOORMER WINDOW
CCG-CME-AR-ORG-506		DETAILS - DOOR SCHEDULE
CCG-CME-AR-ORG-601		EXTERNAL ARTIST IMPRESSION
CCG-CME-AR-ORG-602		INTERNAL ARTIST IMPRESSION

NOTE

TO BE READ IN CONJUNCTION WITH
ROOM BY ROOM SCHEDULE



					 <div>Transport for NSW</div>		<div>This drawing and the related information have been prepared by, or at the request of, Transport for NSW for a specific purpose and may not be used for any purpose other than the purpose intended by Transport for NSW. Transport for NSW does not provide any warranties and accepts no liability arising out of the use of this drawing or any of the related information for any purpose other than the intended purposes. This drawing is protected by copyright and no part of this drawing may be reproduced in any form without the express written permission of Transport for NSW.</div>		<div>CHIEF MECHANICAL ENGINEER'S BUILDING</div> <div>505 WILSON STREET REDFERN</div>			
B	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22	 		<div>CCG</div> <div>ARCHITECTS</div> <div>NOMINATED ARCHITECTS: DAVID COOK (5086) / HISHAM NOORI (5678) CCG ARCHITECTS ARCHITECTURE</div>		<div>DRAWN _ _ _ MUNKONG _ _ _ 04/11/22</div> <div>DESIGNED _ _ _ ERIC PARK _ _ _ 04/11/22</div> <div>DRG CHECK _ _ _ ERIC PARK _ _ _ 04/11/22</div> <div>DESIGN CHECK _ _ _ DAVID COOK _ _ _ 04/11/22</div> <div>APPROVED _ _ _ DAVID COOK _ _ _ 04/11/22</div>		<div>ARCHITECTURAL DRAWING INDEX</div>	
A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22			<div>FILE No. _____ SHEET: 1 OF 1 A1</div> <div>STATUS: SSDA SUBMISSION ©</div> <div>DRG No. _____ CCG-CME-AR-DRG-100</div> <div>REV B VER EDMS No. AMD No.</div>					
REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE								
CO-ORDINATE SYSTEM:		HEIGHT DATUM:		SCALE:	NTS							

A

B

C

D

E

F

G

H

A

B

C

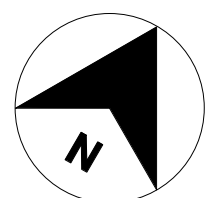
D

E

F

G

H



1 SURVEY
SCALE 1 : 150

DRAWING COLOUR CODED - PRINT ALL COPIES IN COLOUR

B	SSDA SUBMISSION		E.P./04/11/22	E.P./04/11/22
A	ISSUE FOR PRELIMINARY DESIGN		E.P./20/07/22	E.P./20/07/22
REV	DESCRIPTION		DESIGNER SIGN./DATE	VERIFIED SIGN./DATE
CO-ORDINATE SYSTEM:		HEIGHT DATUM:	SCALE:	



Transport
for NSW



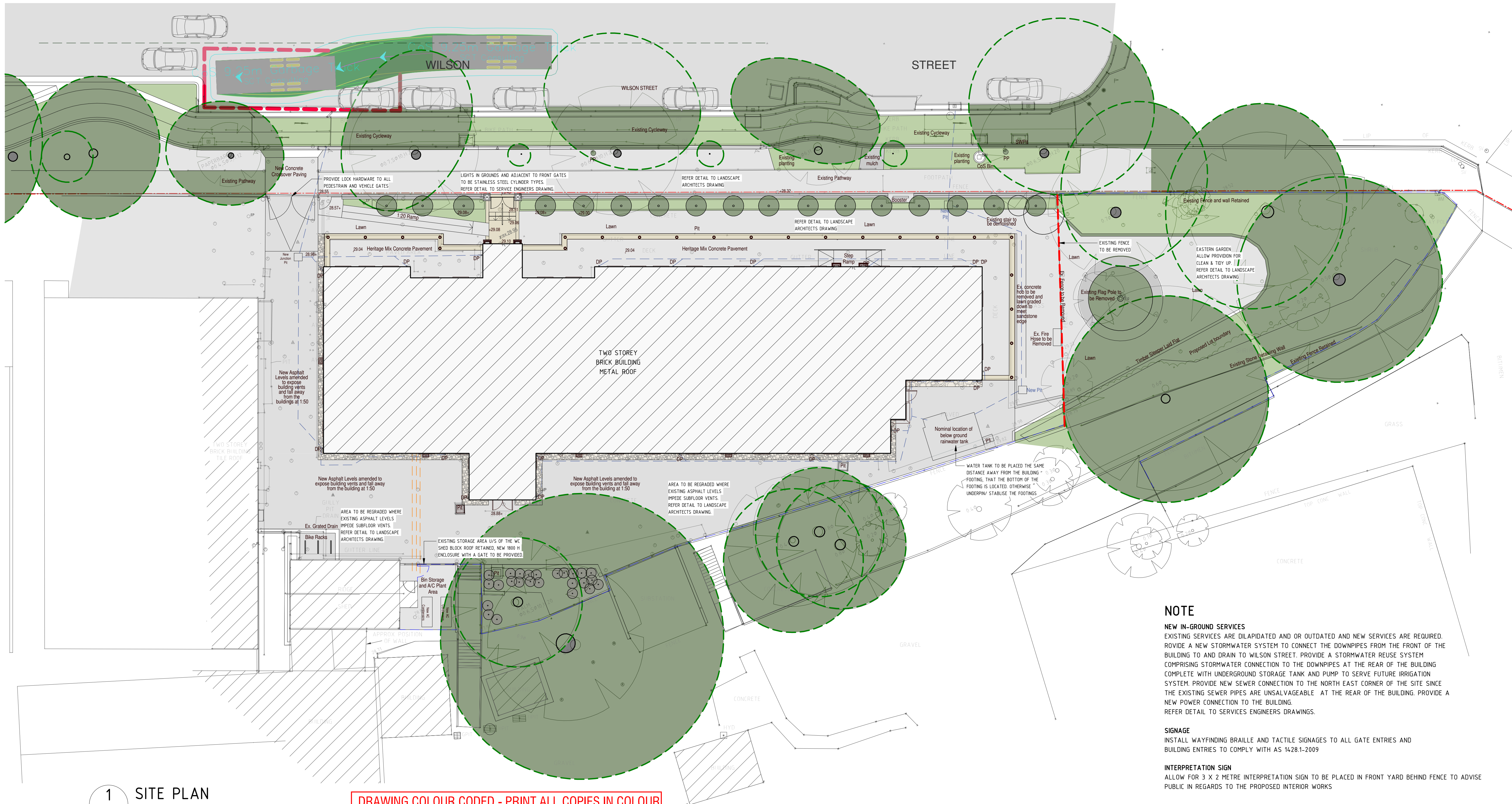
This drawing and the related information have been prepared by, or at the request of, Transport for NSW for a specific purpose and may not be used for any purpose other than the purpose intended by Transport for NSW. Transport for NSW does not provide any warranties and accepts no liability arising out of the use of this drawing or any of the related information for any purpose other than the intended purpose. This drawing is protected by copyright and no part of this drawing may be reproduced in any form without the express written permission of Transport for NSW.					
CCG ARCHITECTS		DRAWN - MUNKONG 04/11/22			
NOMINATED ARCHITECTS		DESIGNED - ERIC PARK 04/11/22			
DAVID COOK (5058) / HISHAM NOORI (5678)		DRG CHECK - ERIC PARK 04/11/22			
CCG ARCHITECTS		DESIGN CHECK - DAVID COOK 04/11/22			
ARCHITECTURE		APPROVED - DAVID COOK 04/11/22			

CHIEF MECHANICAL ENGINEER'S BUILDING
505 WILSON STREET REDFERN

ARCHITECTURAL
SURVEY

FILE No.	SHEET: 1 OF 1	A1
STATUS: SSDA SUBMISSION		
DRG No.	REV B	VER
CGG-CME-AR-DRG-101	EDMS No.	AMD No.

OF 801-1554



NOTE

NEW IN-GROUND SERVICES

EXISTING SERVICES ARE DILAPIDATED AND OR OUTDATED AND NEW SERVICES ARE REQUIRED. PROVIDE A NEW STORMWATER SYSTEM TO CONNECT THE DOWNPIPES FROM THE FRONT OF THE BUILDING TO AND DRAIN TO WILSON STREET. PROVIDE A STORMWATER REUSE SYSTEM COMPRISING STORMWATER CONNECTION TO THE DOWNPIPES AT THE REAR OF THE BUILDING COMPLETE WITH UNDERGROUND STORAGE TANK AND PUMP TO SERVE FUTURE IRRIGATION SYSTEM. PROVIDE NEW SEWER CONNECTION TO THE NORTH EAST CORNER OF THE SITE SINCE THE EXISTING SEWER PIPES ARE UNSALVAGEABLE AT THE REAR OF THE BUILDING. PROVIDE A NEW POWER CONNECTION TO THE BUILDING. REFER DETAIL TO SERVICES ENGINEERS DRAWINGS.

SIGNAGE

INSTALL WAYFINDING BRAILLE AND TACTILE SIGNAGES TO ALL GATE ENTRIES AND BUILDING ENTRIES TO COMPLY WITH AS 1428.1-2009

INTERPRETATION SIGN

ALLOW FOR 3 X 2 METRE INTERPRETATION SIGN TO BE PLACED IN FRONT YARD BEHIND FENCE TO ADVISE PUBLIC IN REGARDS TO THE PROPOSED INTERIOR WORKS

1 SITE PLAN
SCALE 1 : 150

DRAWING COLOUR CODED - PRINT ALL COPIES IN COLOUR

REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE
B	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22
A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22
CO-ORDINATE SYSTEM:	HEIGHT DATUM:	SCALE:		



This drawing and the related information have been prepared by, or at the request of, Transport for NSW for a specific purpose and may not be used for any purpose other than the purpose intended by Transport for NSW. Transport for NSW does not provide any warranties and accepts no liability arising out of the use of this drawing or any of the related information for any purpose other than the intended purpose. This drawing is protected by copyright and no part of this drawing may be reproduced in any form without the express written permission of Transport for NSW.

CCG ARCHITECTS
NOMINATED ARCHITECTS
DAVID COOK (5678) / HISHAM NOORI (5678)
CCG ARCHITECTS
ARCHITECTURE

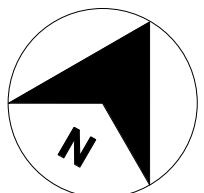
DRAWN	MUNKONG	04/11/22
DESIGNED	ERIC PARK	04/11/22
DRG CHECK	ERIC PARK	04/11/22
DESIGN CHECK	DAVID COOK	04/11/22
APPROVED	DAVID COOK	04/11/22

CHIEF MECHANICAL ENGINEER'S BUILDING
505 WILSON STREET REDFERN

ARCHITECTURAL
PROPOSED SITE PLAN

FILE No.	SHEET: 1 OF 1	A1
STATUS:	SSDA SUBMISSION	(C)
DRG No.	CCG-CME-AR-DRG-201	
REV	B	
VER		
EDMS No.		
AMD No.		

1.5 0 1.5 3 4.5 6 7.5m
SCALE 1:150



A

B

C

D

E

F

G

H

A

B

C

D

E

F

G

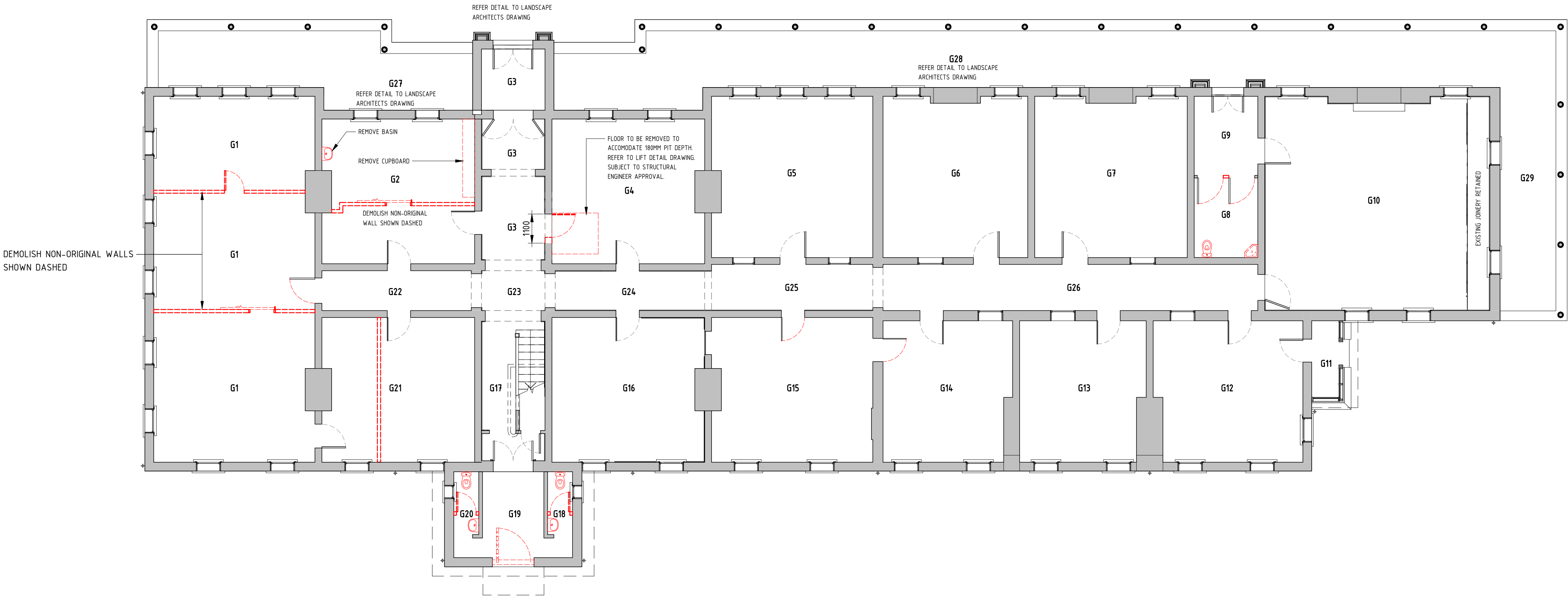
H

LEGEND

- EXISTING TO BE REMOVED
(ALLOW PROVISION FOR MAKE GOOD TO MATCH
FINISHES DIRECTLY ADJACENT TO)
- EXISTING WALL RETAINED

NOTE

TO BE READ IN CONJUNCTION WITH
ROOM BY ROOM SCHEDULE



1 GROUND FLOOR DEMOLITION PLAN
SCALE 1 : 100

NOTE

ALL EXISTING REMOVED TO BE STORED AWAY IN THE NOMINATED AREA.

DOORS

- STRIP LEAD PAINT FROM DOOR LEAFS AND REPAIR DOORS AS REQUIRED- ALLOW TO REPAIR AS Per "ROOM BY ROOM SCHEDULE". WHERE NEW TIMBER IS USED, ALLOW TO PRIME PAINT.

- ALLOW TO REMOVE ALL LOCK HARDWARE AND SERVICE AS SCHEDULED BELOW UNDER DOOR HARDWARE.

FANLIGHTS

STRIP LEAD PAINT FROM FANLIGHT SASH AND PAINT ALL AROUND WITH THREE COATS 100% GLOSS ENAMEL. ALLOW GLAZING TO BE CLEAR 5.5 TOUGHENED GLASS FIXED WITH TRADITIONAL LINSEED PUTTY. PROVIDE TRADITIONAL BRASS FANLIGHT MECHANISMS TO ALL FANLIGHTS.

PICTURE RAIL TO BE RETAINED

STRIP LEAD PAINT FROM PICTURE RAIL AND ALLOW TO REPLACE PICTURE RAIL AND INSTALL. 30% OF ALL ROOMS. JOINERY SHOP TO MAKE UP DETAILED MOULDED ARCHITRAVES TO MATCH EXISTING EXACTLY. PRIME AND PAINT WITH 3 COATS OF 100% GLOSS ENAMEL.

WINDOW HARDWARE

REMOVE ANY MODERN WINDOW LOCKS AND MAKE GOOD. GENERALLY EACH DOUBLE HUNG WINDOW IS TO BE COMPLETE WITH A SASH FASTENER AND LATCH. ALLOW PRESERVE EXISTING HARDWARE IE 70% WINDOWS. STRIP EXISTING HARDWARE AND REPOLISH BRASS ELEMENTS AND REPAINT REST. REFIX USING NEW BRASS SCREWS. FOR 30 % WINDOWS ALLOW TO PROVIDE NEW HARDWARE. BRASS SASH TRADITIONAL FASTENERS AND TWO BRASS SASH LIFTS FIXED WITH BRASS SCREWS.

DRAWING COLOUR CODED - PRINT ALL COPIES IN COLOUR

REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE
B	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22
A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22

CO-ORDINATE SYSTEM:	HEIGHT DATUM:	SCALE:
---------------------	---------------	--------



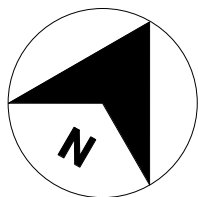
This drawing and the related information have been prepared by, or at the request of, Transport for NSW for a specific purpose and may not be used for any purpose other than the purpose intended by Transport for NSW. Transport for NSW does not provide any warranties and accepts no liability arising out of the use of this drawing or any of the related information for any purpose other than the intended purpose. This drawing is protected by copyright and no part of this drawing may be reproduced in any form without the express written permission of Transport for NSW.			
CCG ARCHITECTS NOMINATED ARCHITECTS DAVID COOK (5055) / HISHAM NOORI (5678) CCG ARCHITECTS ARCHITECTURE	DRAWN	MUNKONG	04/11/22
	DESIGNED	ERIC PARK	04/11/22
	DRG CHECK	ERIC PARK	04/11/22
	DESIGN CHECK	DAVID COOK	04/11/22
	APPROVED	DAVID COOK	04/11/22

CHIEF MECHANICAL ENGINEER'S BUILDING
505 WILSON STREET REDFERN

ARCHITECTURAL
GROUND FLOOR DEMOLITION PLAN

FILE No.	SHEET: 1 OF 1	A1
STATUS:	SSDA SUBMISSION	(C)
DRG No.	CCG-CME-AR-DRG-203	
REV	B	
VER		
EDMS No.		
AMD No.		

115 0 115 2 435 6 725m
SCALE 1:100



A

B

C

D

E

F

G

H

A

B

C

D

E

F

G

H

LEGEND

- DEMOLISH
- PROPOSED
- EXISTING WALL
- PROPOSED WALL

LEGEND FLOOR FINISHES

REFER DETAIL TO ROOM BY ROOM SCHEDULE

- FLOOR TIMBER BOARDS (150mm) (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- FLOOR TIMBER BOARDS (100mm) (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- FLOOR CERAMIC TILES (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- MONOCOTTURA TILES (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- TERRACOTTA TILES (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- NEW TESSELLATED TILES (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- RAISED CONCRETE FLOOR WITH NEW TILES (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- EXISTING DOORS WITH 850 CLEAR WIDTH (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- NEW DOORS DOOR & DOOR FRAME DETAIL TO MATCH SIMILAR EXISTING LIKE FOR LIKE DOORS ON SITE (REFER DETAIL TO ROOM BY ROOM SCHEDULE)

NOTE

TO BE READ IN CONJUNCTION WITH ROOM BY ROOM SCHEDULE

NOTE

DESALINATION
DESALINATE MASONRY AS REQUIRED WITH A DRY/WET VACUUM PROCESS. ALLOW FOR AT LEAST FIVE FULL CYCLES FOR AREAS UP TO 12 METRES ON GROUND FLOOR AND 2 CYCLES FOR ABOVE 12 METRES TO CEILING ON GROUND FLOORS AND ALL UPPER FIRST FLOOR WALLS. USE BLUE VAC SYSTEM AS RECOMMENDED BY MANUFACTURER.

ALLOW TO REPAIR LIME PLASTER WALLS WITH ONE OF THE FOLLOWING PROCESSES:
1. WHERE INDIVIDUAL LARGE CRACKS EXIST FROM STRUCTURAL MOVEMENT, CUT BACK PLASTER 150mm BOTH SIDES OF CRACK AND BACK TO SUBSTRATE, INSTALL HELICAL STAINLESS STEEL REINFORCEMENT TO MANUFACTURER'S DETAIL AND SPECIFICATION AND IN ACCORDANCE WITH THE ENGINEER'S DETAIL AND REPLASTER. PLASTER OVER TO MATCH EXISTING FINISH.
2. WHERE AREAS OF DRUMMY PLASTER ARE FOUND, REFIX BY INJECTING ADHESIVE. METHODOLOGY FOR WALLS: DRILL HOLES ABOVE AND BELOW DRUMMY AREA. ALLOW TO CLEAN BEHIND THE PLASTER WITH WATER. INJECT AN ACRYLIC RESIN BASED ADHESIVE.
3. AREAS WHERE NUMEROUS CRACKS EXIST, REMOVE EXISTING PLASTER AND REPLASTER.
4. WHERE INDIVIDUAL FINE HAIRLINE CRACKS EXIST, ALLOW TO PATCH.
5. WHERE LARGE HOLES EXISTING FOLLOW REMOVAL OF SERVICES SUCH LIGHT SWITCHES AND CONDUITS, FOLLOW ITEM 1 ABOVE FOR REPAIR METHODOLOGY.
6. EXTENT: REFER TO "ROOM BY ROOM SCHEDULE"

DOOR HARDWARE
RECTIFY DOOR HARDWARE SO AS THE DOORS ARE READILY OPENABLE FROM THE INSIDE WITHOUT A KEY BY A SINGLE HAND ACTION ON A SINGLE DEVICE (I.E. LEVER). THE FOLLOWING WORK IS TO BE CARRIED OUT BY A REPUTABLE LOCKSMITH. ALL ORIGINAL LOCKS SHALL BE REMOVED, EASED AND GREASED. ALLOW 50% ORIGINAL LOCKS. REMOVE ANY PAINT FROM BRASS AREAS, LIGHTLY CLEAN WITH STEEL WOOL. NEW LOCKS (50% OF LOCKS) ALLOW FOR SUPPLY AND FIXING OF TRADITIONAL MORTISE LOCKS AS JACKSON'S S LEVER AND SOLID JACKSON'S BRASS KNOBS.

FIREPLACES
ALLOW TO CLEAN THE INSIDE OF VERTICAL FLUES AND FIREBOXES OF ALL CHIMNEYS. REPLACE MISSING CAST IRON METAL COMPONENTS (ALLOW CHIMNEY RESTORATION CENTRE TO PROVIDE % OF ELEMENTS FOR EACH FIREPLACE COMPONENTS AS PER "ROOM BY ROOM SCHEDULE") SPECIALIST MARBLE CONTRACTOR TO REVIEW EACH FIREPLACE AND PROVIDE REPORT. ALLOW POLISHING ALL MARBLE FIREPLACES AND RESTORING, WITH % OF NEW INTRODUCED SECTIONS OF SIMILAR MARBLE AS PER "ROOM BY ROOM SCHEDULE" PAINT HEARTH AND METAL SECTIONS OF FIREPLACE WITH PROPRIETARY FIREPROOF BLACK-PAINT. PROTECT FIREPLACE MANTLES AND SURROUNDS DURING CONSTRUCTION. REMOVE PROTECTION ON COMPLETION OF WORK.

1 GROUND FLOOR PLAN

SCALE 1 : 100

DRAWING COLOUR CODED - PRINT ALL COPIES IN COLOUR

REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE
B	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22
A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22
CO-ORDINATE SYSTEM:	HEIGHT DATUM:	SCALE:	1:100	



This drawing and the related information have been prepared by, or at the request of, Transport for NSW for a specific purpose and may not be used for any purpose other than the purpose intended by Transport for NSW. Transport for NSW does not provide any warranties and accepts no liability arising out of the use of this drawing or any of the related information for any purpose other than the intended purpose. This drawing is protected by copyright and no part of this drawing may be reproduced in any form without the express written permission of Transport for NSW.			
CCG ARCHITECTS NOMINATED ARCHITECTS DAVID COOK (S085) / HISHAM NODRI (S678) CCG ARCHITECTS ARCHITECTURE		DRAWN - MUNKONG DESIGNED - ERIC PARK DRG CHECK - ERIC PARK DESIGN CHECK - DAVID COOK APPROVED - DAVID COOK	04/11/22 04/11/22 04/11/22 04/11/22 04/11/22

CHIEF MECHANICAL ENGINEER'S BUILDING 505 WILSON STREET REDFERN			
ARCHITECTURAL PROPOSED GROUND FLOOR PLAN			
FILE No.	SHEET: 1 OF 1		A1
STATUS:	SSDA SUBMISSION		
DRG No.	CGG-CME-AR-DRG-204	REV B	EDMS No.
AMD No.			

A

B

C

D

E

F

G

H

A

B

C

D

E

F

G

H

LEGEND

- DEMOLISH
- PROPOSED
- EXISTING WALL
- PROPOSED WALL

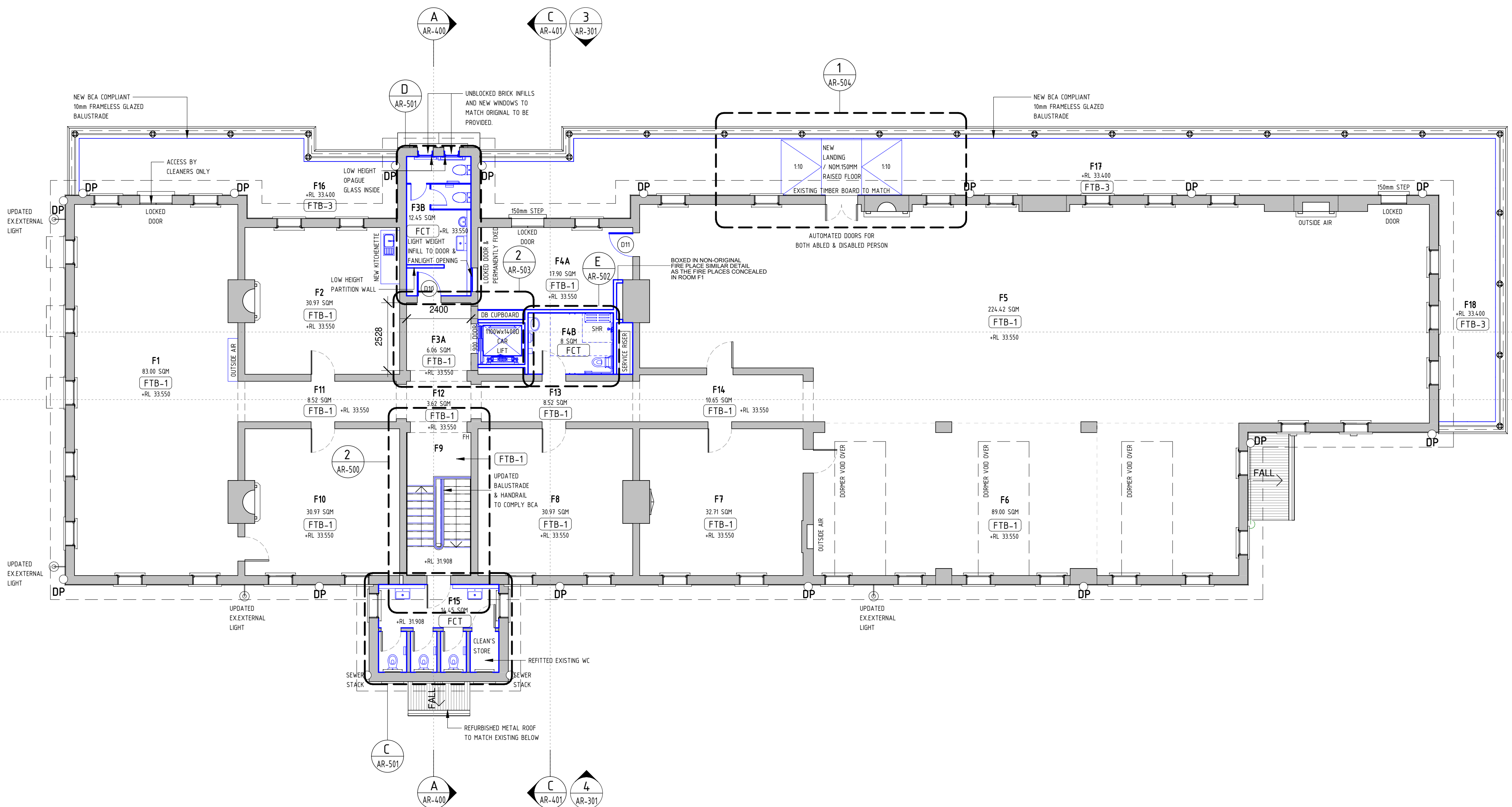
LEGEND FLOOR FINISHES

REFER DETAIL TO ROOM BY ROOM SCHEDULE

- FLOOR TIMBER BOARDS (150mm) (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- FLOOR TIMBER BOARDS- EXISTING REFURBISHED
- FLOOR CERAMIC TILES (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- MONOCOTTURA TILES (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- EXISTING DOORS WITH 850 CLEARANCE (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- NEW DOORS DOOR & DOOR FRAME DETAIL TO MATCH SIMILAR EXISTING LIKE FOR LIKE DOORS ON SITE (REFER DETAIL TO ROOM BY ROOM SCHEDULE)

NOTE

TO BE READ IN CONJUNCTION WITH ROOM BY ROOM SCHEDULE

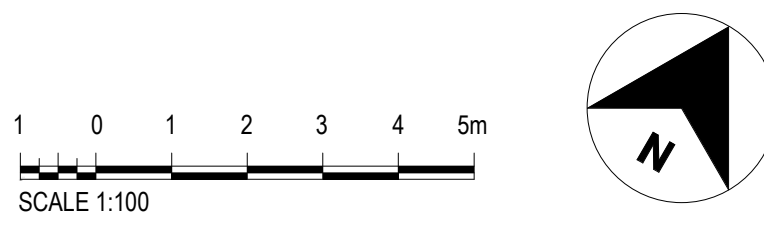


1 FIRST FLOOR PLAN
SCALE 1 : 100

DRAWING COLOUR CODED - PRINT ALL COPIES IN COLOUR

NOTE

SUB FLOOR WORKS (SUBJECT TO STRUCTURAL ENGINEERS APPROVAL)
FIRST FLOOR FLOOR BOARDS
1. ALLOW TO REMOVE FLOOR COVERINGS AND STAPLES FROM FLOOR BOARDING WHERE REQUIRED.
2. WHERE DAMAGED RESTORE BOARDING. ALLOW PROVIDE NEW SIMILAR SIZE AND SPECIES HARDWOOD FLOOR BOARDS TO EACH ROOM. ALLOW AS PER " ROOM BY ROOM SCHEDULE"
SAND FLOORS, SEAL GAPS WITH A SUITABLE SEALANT AND FINISH WITH TWO COATS OF TUNG OIL.
FIRST FLOOR JOISTS
1. CHECK OVER WITH HERITAGE ARCHITECT.
2. WHERE DAMAGED RESTORE JOISTS. ALLOW PROVIDE NEW SIMILAR SIZE AND SPECIES HARDWOOD JOISTS TO EACH ROOM. ALLOWANCE 30% EACH ROOM ALLOW 400MM X 50 F 28 HARDWOOD JOISTS AT 450MM CENTRES.



				 Transport for NSW		<small>This drawing and the related information have been prepared by, or at the request of, Transport for NSW for a specific purpose and may not be used for any purpose other than the purpose intended by Transport for NSW. Transport for NSW does not provide any warranties and accepts no liability arising out of the use of this drawing or any of the related information for any purpose other than the intended purpose. This drawing is protected by copyright and no part of this drawing may be reproduced in any form without the express written permission of Transport for NSW.</small>	
				 GHD		 CCG ARCHITECTS NOMINATED ARCHITECTS DAVID COOK (5058) / HISHAM NOORI (5678) CCG ARCHITECTS ARCHITECTURE	
B	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22	DRAWN	MUNKONG	04/11/22
A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22	DESIGNED	ERIC PARK	04/11/22
REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE	DRG CHECK	ERIC PARK	04/11/22
					DESIGN CHECK	DAVID COOK	04/11/22
					APPROVED	DAVID COOK	04/11/22
CO-ORDINATE SYSTEM:		HEIGHT DATUM:		SCALE:		1:100	

CHIEF MECHANICAL ENGINEER'S BUILDING				
505 WILSON STREET REDFERN				
ARCHITECTURAL				
PROPOSED FIRST FLOOR PLAN				
FILE No.			SHEET: 1	OF 1
STATUS: SSDA SUBMISSION				
DRG No.	REV	VER	EDMS No.	A
CCG-CME-AR-DRG-206	B			
AMD No.				

LEGEND

- DEMOLISH
- PROPOSED
- EXISTING WALL
- PROPOSED WALL
- L LIGHT FITTING

REFER DETAIL OF THE LIGHTING TYPES PROPOSED TO ELECTRICAL ENGINEER'S LIGHTING LAYOUT DRAWINGS

LEGEND CEILING

REFER DETAIL TO ROOM BY ROOM SCHEDULE

- CBB-1 T&G QUIRK BEADED BOARDING (150MM)
(REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- CBB-2 CEILING - T&G QUIRK BEADED BOARDING (125MM)
(REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- CRI CEILING RIPPLE IRON
(REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- CPB-1 CEILING SET PLASTERBOARD
(REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- CPB-2 CEILING MOISTURE RESISTANCE PLASTERBOARD
(REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- CPB-3 CEILING 120/120/120 FIRE RATED
(REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- CPM CEILING PRESSED METAL
(REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- P PAINT FINISH
(REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- PP PAINT FINISH ON LIME PLASTER
(REFER DETAIL TO ROOM BY ROOM SCHEDULE)

NOTE

TO BE READ IN CONJUNCTION WITH ROOM BY ROOM SCHEDULE

1 GROUND FLOOR REFLECTED CEILING PLAN
SCALE 1 : 100

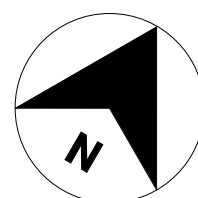
DRAWING COLOUR CODED - PRINT ALL COPIES IN COLOUR

NOTE

PRIOR TO REMOVAL OF LEAD PAINT FROM ALL CEILINGS IN BUILDING, REDUNDANT ELEMENTS INCLUDING SECONDARY SUSPENDED GRID CEILINGS AND ASSOCIATED FITTINGS AND FIXTURES TO BE REMOVED AND DISCARDED FROM SITE.

LATH AND PLASTER
REPAIR DAMAGED LATH AND PLASTER CEILINGS. METHODOLOGY: VACUUM THE TOP SIDE OF THE LATHS TO REMOVE DIRT. FLOOD ADHESIVE ONTO TOP SURFACE OR INJECT ADHESIVE THROUGH LATHS AS PER WESTOX REPAIR RECOMMENDATIONS.

1 0 1 2 3 4 5m
SCALE 1:100



REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE
B	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22
A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22
CO-ORDINATE SYSTEM:	HEIGHT DATUM:	SCALE:	1:100	



This drawing and the related information have been prepared by, or at the request of, Transport for NSW for a specific purpose and may not be used for any purpose other than the purpose intended by Transport for NSW. Transport for NSW does not provide any warranties and accepts no liability arising out of the use of this drawing or any of the related information for any purpose other than the intended purpose. This drawing is protected by copyright and no part of this drawing may be reproduced in any form without the express written permission of Transport for NSW.			
CCG ARCHITECTS NOMINATED ARCHITECTS DAVID COOK (5085) HISHAM NODRI (5678) CCG ARCHITECTS ARCHITECTURE		DRAWN --- MUNKONG	04/11/22
		DESIGNED --- ERIC PARK	04/11/22
		DRG CHECK --- ERIC PARK	04/11/22
		DESIGN CHECK --- DAVID COOK	04/11/22
		APPROVED --- DAVID COOK	04/11/22

CHIEF MECHANICAL ENGINEER'S BUILDING 505 WILSON STREET REDFERN			
ARCHITECTURAL GROUND FLOOR REFLECTED CEILING PLAN			
FILE No.	SHEET: 1 OF 1		A1
STATUS: SSDA SUBMISSION	(C)		
DRG No. CCG-CME-AR-DRG-208	REV B	VER	EDMS No. AMD No.

OF 801*554

A

B

C

D

E

F

G

H

A

B

C

D

E

F

G

H

LEGEND

- DEMOLISH
- PROPOSED
- EXISTING WALL
- PROPOSED WALL
- LIGHT FITTING

REFER DETAIL OF THE LIGHTING TYPES PROPOSED TO ELECTRICAL ENGINEER'S LIGHTING LAYOUT DRAWINGS

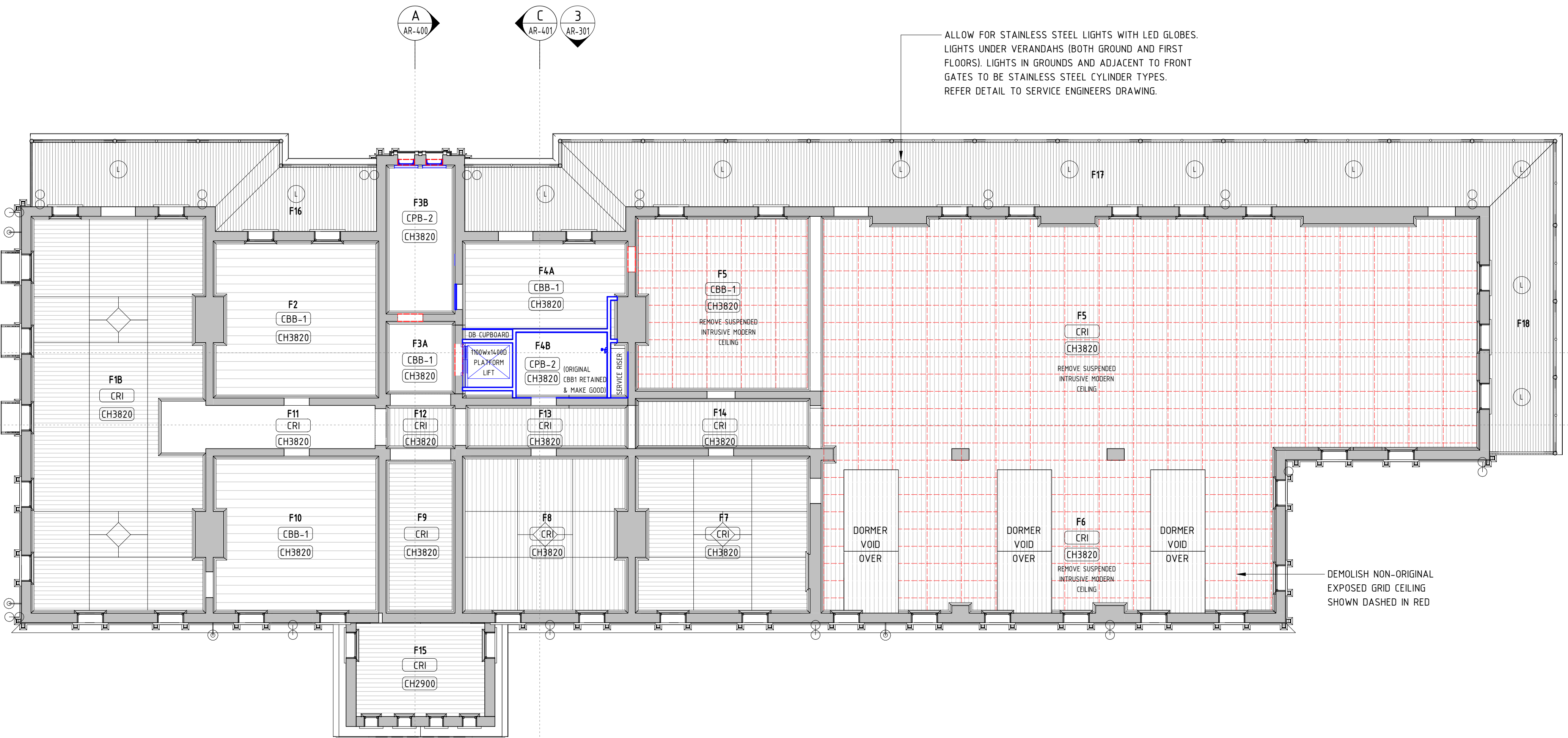
LEGEND CEILING

REFER DETAIL TO ROOM BY ROOM SCHEDULE

- CBB-1 T&G QUIRK BEADED BOARDING (150MM) (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- CBB-2 CEILING - T&G QUIRK BEADED BOARDING (125MM) (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- CRI CEILING RIPPLE IRON (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- CPB-1 CEILING SET PLASTERBOARD (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- CPB-2 CEILING MOISTURE RESISTANCE PLASTERBOARD (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- CPB-3 CEILING 120/120/120 FIRE RATED (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- CPM CEILING PRESSED METAL (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- P PAINT FINISH (REFER DETAIL TO ROOM BY ROOM SCHEDULE)
- PP PAINT FINISH ON LIME PLASTER (REFER DETAIL TO ROOM BY ROOM SCHEDULE)

NOTE

TO BE READ IN CONJUNCTION WITH ROOM BY ROOM SCHEDULE



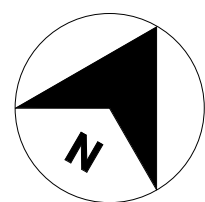
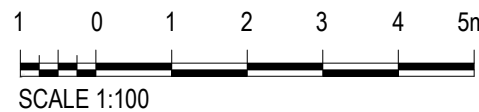
1 FIRST FLOOR REFLECTED CEILING PLAN
SCALE 1 : 100

DRAWING COLOUR CODED - PRINT ALL COPIES IN COLOUR

NOTE

PRIOR TO REMOVAL OF LEAD PAINT FROM ALL CEILINGS IN BUILDING, REDUNDANT ELEMENTS INCLUDING SECONDARY SUSPENDED GRID CEILINGS AND ASSOCIATED FITTINGS AND FIXTURES TO BE REMOVED AND DISCARDED FROM SITE.

LATH AND PLASTER
REPAIR DAMAGED LATH AND PLASTER CEILINGS. METHODOLOGY: VACUUM THE TOP SIDE OF THE LATHS TO REMOVE DIRT. FLOOD ADHESIVE ONTO TOP SURFACE OR INJECT ADHESIVE THROUGH LATHS AS PER WESTOX REPAIR RECOMMENDATIONS.



REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE
B	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22
A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22

CO-ORDINATE SYSTEM:	HEIGHT DATUM:	SCALE:	1:100
---------------------	---------------	--------	-------



This drawing and the related information have been prepared by, or at the request of, Transport for NSW for a specific purpose and may not be used for any purpose other than the purpose intended by Transport for NSW. Transport for NSW does not provide any warranties and accepts no liability arising out of the use of this drawing or any of the related information for any purpose other than the intended purpose. This drawing is protected by copyright and no part of this drawing may be reproduced in any form without the express written permission of Transport for NSW.			
CCG ARCHITECTS NOMINATED ARCHITECTS DAVID COOK (5055) / HISHAM NOORI (5678) CCG ARCHITECTS ARCHITECTURE			
DRAWN	MUNKONG	04/11/22	
DESIGNED	ERIC PARK	04/11/22	
DRG CHECK	ERIC PARK	04/11/22	
DESIGN CHECK	DAVID COOK	04/11/22	
APPROVED	DAVID COOK	04/11/22	

CHIEF MECHANICAL ENGINEER'S BUILDING 505 WILSON STREET REDFERN			
ARCHITECTURAL FIRST FLOOR REFLECTED CEILING PLAN			
FILE No.	SHEET: 1 OF 1		A1
STATUS:	SSDA SUBMISSION		
DRG No.	CGG-CME-AR-DRG-209	REV B	VER
EDMS No.		AMD No.	

A

B

C

D

E

F

G

H

A

B

C

D

E

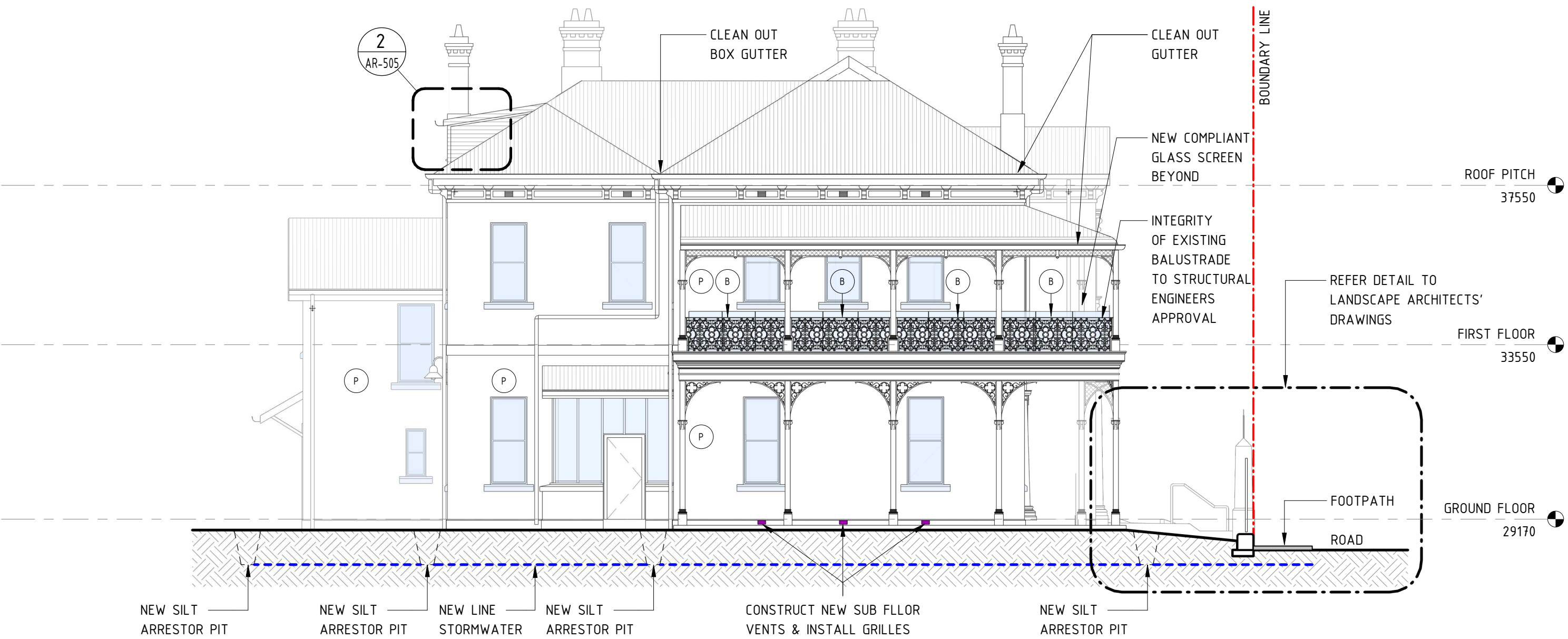
F

G

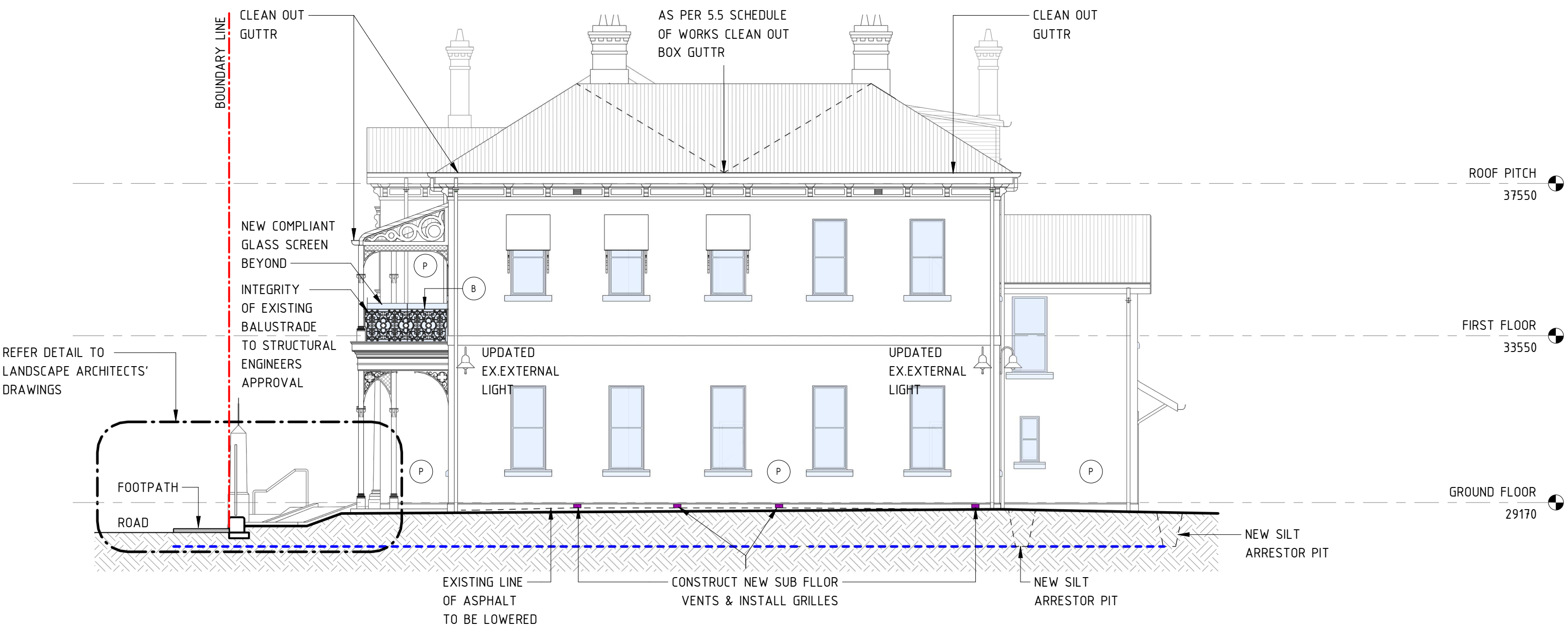
H

LEGEND

- 100Ø STORMWATER PIPE
- REPLACE SUB FLOOR VENT GRILL TO MATCH ORIGINAL
- PROVIDE NEW 230 X 180MM HIGH SUB FLOOR VENTS WITH CAST IRON GRILLES IN LOCATIONS AS SHOWN ON THE DRAWINGS TO MATCH ORIGINAL VENTS. REMOVE NON-ORIGINAL GRILLES TO EXISTING VENTS AND REPLACE WITH CAST IRON GRILLES TO MATCH ORIGINAL.
- NEW PAD FOOTING
- NEW COMPLIANT BALUSTRADE
- NEW PAINT FINISH TO MATCH ORIGINAL FACADE. SUBJECT TO HERITAGE ARCHITECT'S REVIEW AND APPROVAL.
- UPDATE EX. EXTERNAL LIGHT - REFER DETAIL TO ELECTRICAL ENGINEER'S LIGHTING SCHEDULE DRAWINGS



1 EAST ELEVATION
SCALE 1 : 100



2 WEST ELEVATION
SCALE 1 : 100

NOTE

UNDERFLOOR VENTILATION

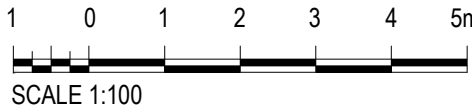
1. REMOVE ALL DEBRIS FROM UNDER FLOORS (PAST WORKS HAVE LEFT BUILDING DEBRIS ON SITE)

2. ENGAGE ARCHAEOLOGIST TO BE ON CALL FOR EXCAVATION WORKS

3. AS MOST ROOMS HAVE INADEQUATE UNDERFLOOR HEIGHTS, CAREFULLY EXCAVATE UNDERFLOOR AREAS TO PROVIDE AT LEAST 350MM UNDER THE BEARERS (ALLOW OVERALL ALL ROOMS APPROX. 300MM EXCAVATION)

PROVIDE ADEQUATE OPENINGS FOR CROSS FLOW VENTILATION. ALLOW SIX 230 X 230MM OPENINGS PER ROOM AND TO REMOVE MASONRY UNDER ALL GROUND FLOOR DOORWAYS. (20 DOORWAYS)

DRAWING COLOUR CODED - PRINT ALL COPIES IN COLOUR



REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE
B	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22
A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22

CO-ORDINATE SYSTEM:	HEIGHT DATUM:	SCALE:	1:100
---------------------	---------------	--------	-------

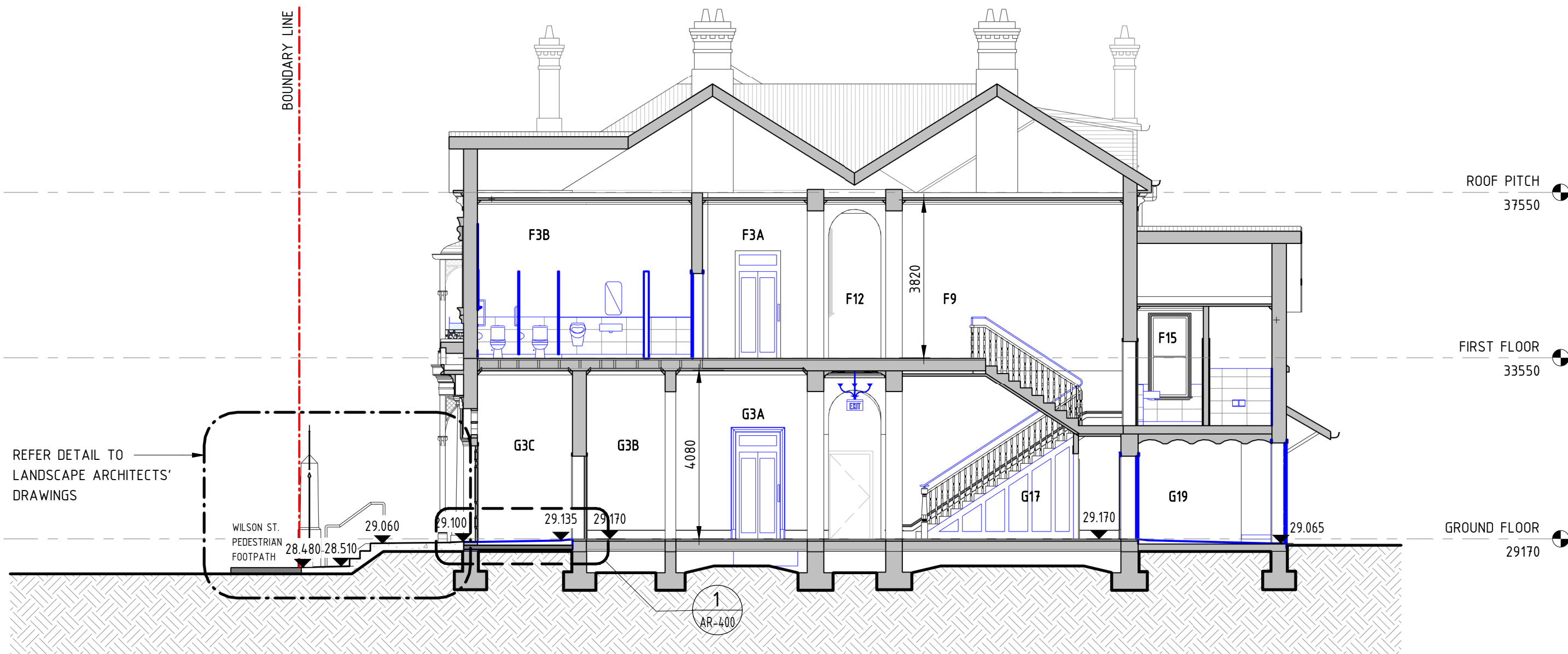


This drawing and the related information have been prepared by, or at the request of, Transport for NSW for a specific purpose and may not be used for any purpose other than the purpose intended by Transport for NSW. Transport for NSW does not provide any warranties and accepts no liability arising out of the use of this drawing or any of the related information for any purpose other than the intended purpose. This drawing is protected by copyright and no part of this drawing may be reproduced in any form without the express written permission of Transport for NSW.			
CCG ARCHITECTS NOMINATED ARCHITECTS DAVID COOK (5085) / HISHAM NOORI (5678) CCG ARCHITECTS ARCHITECTURE		DRAWN: MUNKONG	04/11/22
		DESIGNED: ERIC PARK	04/11/22
		DRG CHECK: ERIC PARK	04/11/22
		DESIGN CHECK: DAVID COOK	04/11/22
		APPROVED: DAVID COOK	04/11/22

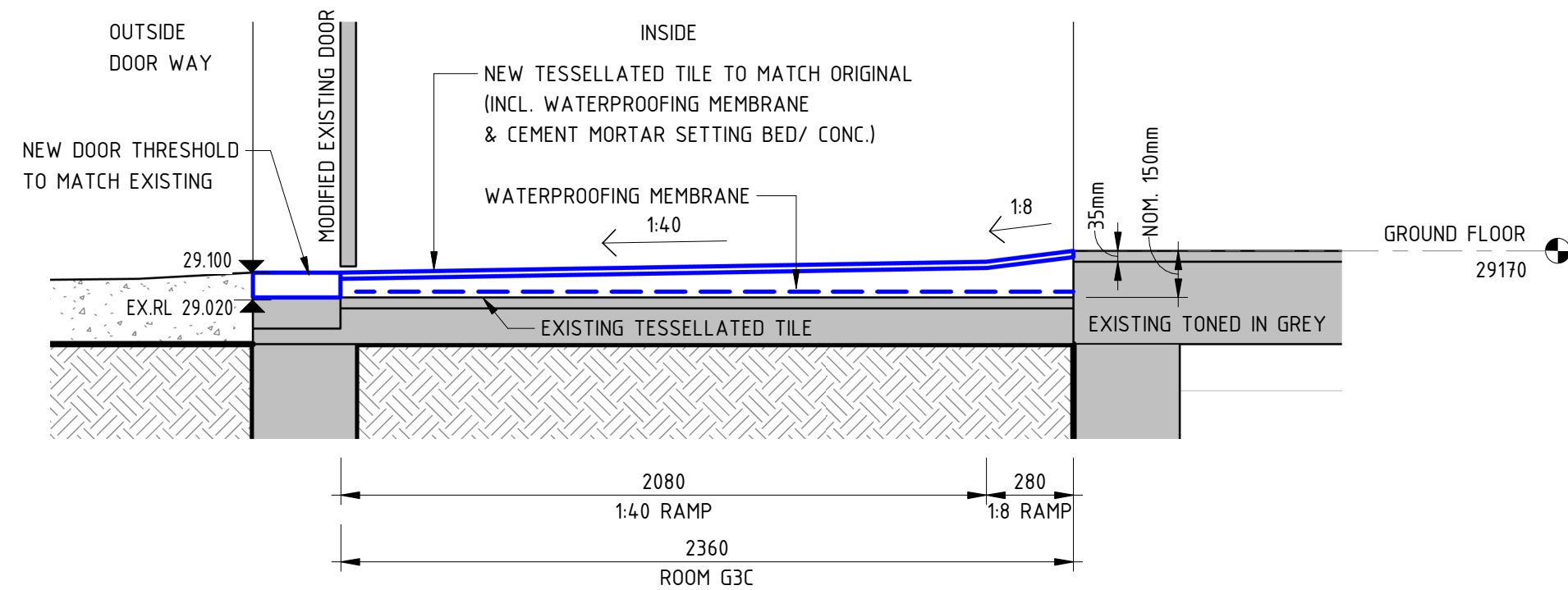
CHIEF MECHANICAL ENGINEER'S BUILDING 505 WILSON STREET REDFERN			
ARCHITECTURAL ELEVATIONS			
FILE No.	SHEET: 1 OF 1		A1
STATUS: SSDA SUBMISSION			
DRG No.	REV	VER	EDMS No.
CCG-CME-AR-DRG-300	A		

A
B
C
D
E
F
G
H

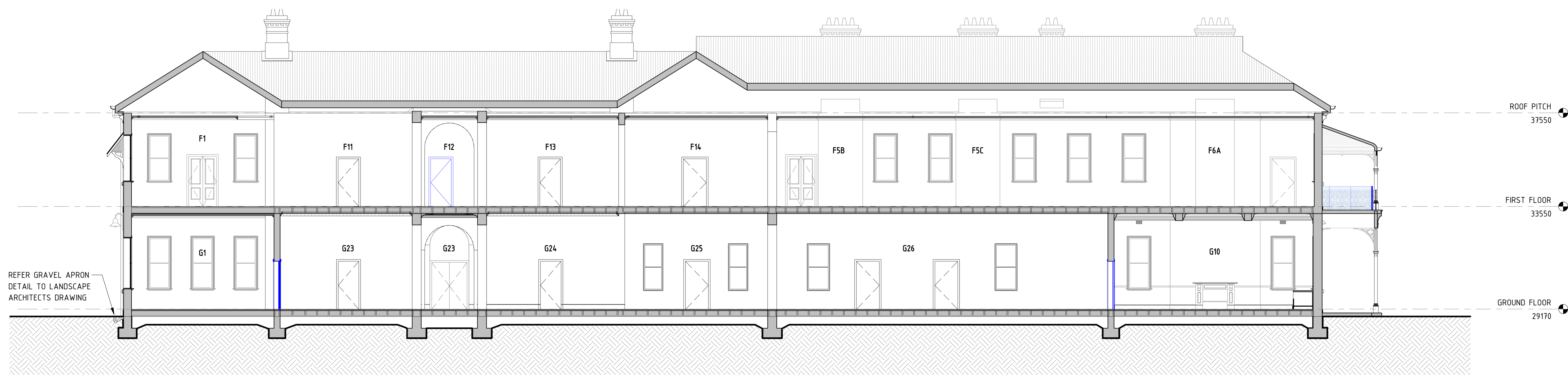
A
B
C
D
E
F
G
H



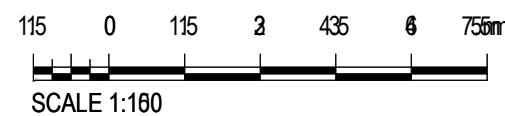
A SECTION
SCALE 1 : 100





1 DETAIL
SCALE 1 : 20



B SECTION
SCALE 1 : 100



				 Transport for NSW	
				 CGG ARCHITECTS	
B	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22	
A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22	
REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE	
CO-ORDINATE SYSTEM:		HEIGHT DATUM:		SCALE: 1:100	

<small>This drawing and the related information have been prepared by, or at the request of, Transport for NSW for a specific purpose and may not be used for any purpose other than the purpose intended by Transport for NSW. Transport for NSW does not provide any warranties and accepts no liability arising out of the use of this drawing or any of the related information for any purpose other than the intended purpose. This drawing is protected by copyright and no part of this drawing may be reproduced in any form without the express written permission of Transport for NSW.</small>					
DRAWN	MUNKONG	04/11/22			
DESIGNED	ERIC PARK	04/11/22			
DRG CHECK	ERIC PARK	04/11/22			
DESIGN CHECK	DAVID COOK	04/11/22			
APPROVED	DAVID COOK	04/11/22			

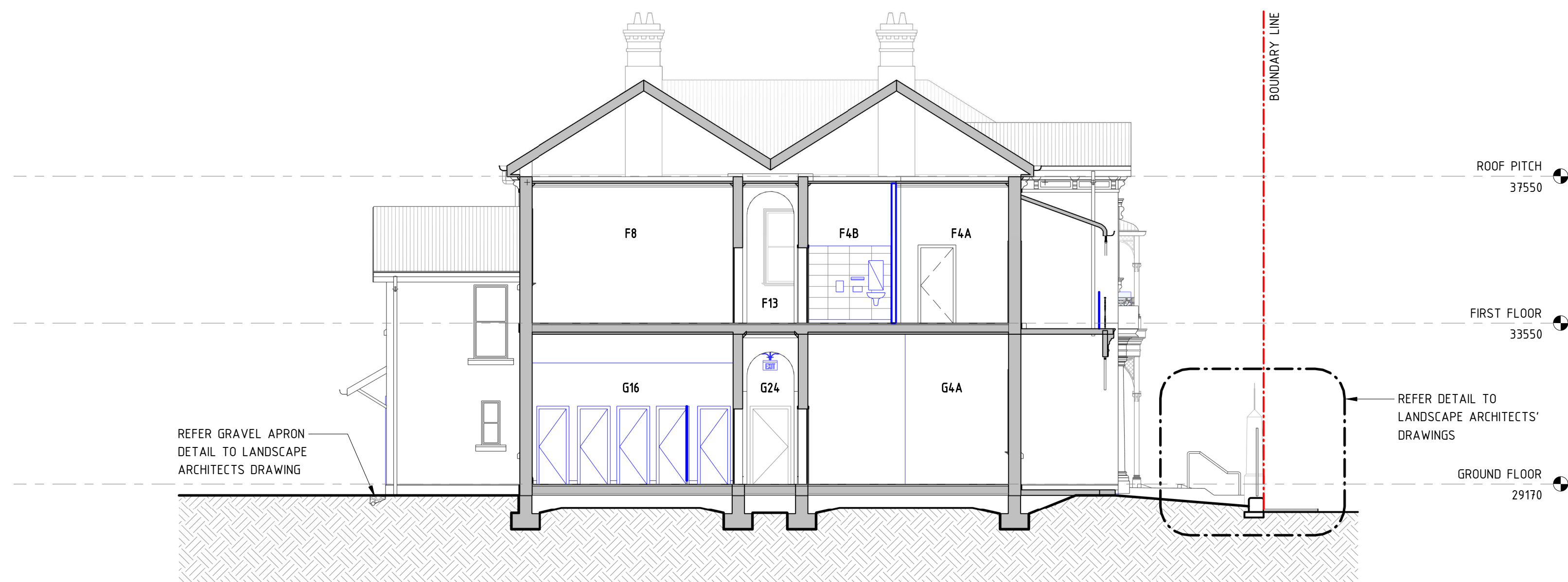
CHIEF MECHANICAL ENGINEER'S BUILDING 505 WILSON STREET REDFERN					
ARCHITECTURAL SECTIONS					
FILE No.				SHEET: 1 OF 1	A1
STATUS: SSDA SUBMISSION					
DRG No. CCG-CME-AR-DRG-400				REV B	VER
				EDMS No.	AMD No.

LEGEND

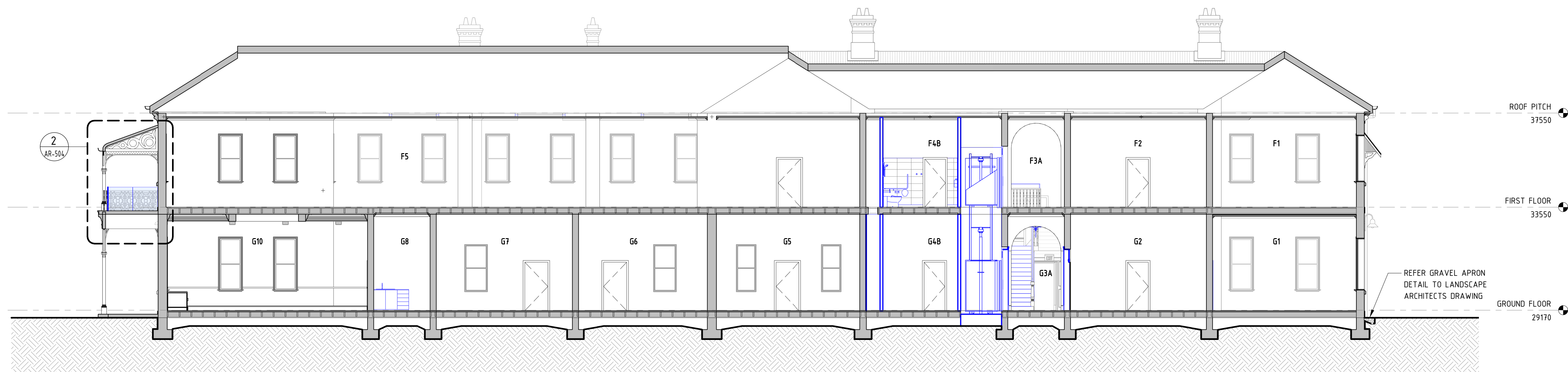
PROPOSED

 EXISTING

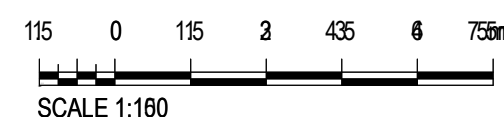
☐ PROPOSED WALL



C SECTION
SCALE 1 : 100



D SECTION
SCALE 1 : 100



B	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22
A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22
REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE
CO-ORDINATE SYSTEM:		HEIGHT DATUM:	SCALE:	



This drawing and the related information have been prepared by, or at the request of, Transport for NSW for a specific purpose and may not be used for any purpose other than the purpose intended by Transport for NSW. Transport for NSW does not provide any warranties and accepts no liability arising out of the use of this drawing or any of the related information for any purpose other than the intended purpose. This drawing is protected by copyright and no part of this drawing may be reproduced in any form without the express written permission of Transport for NSW.

CCG
ARCHITECTS
NOMINATED ARCHITECTS:
DAVID COOK (5086) / HISHAM NOORI (51)
CCG ARCHITECTS
ARCHITECTURE

DRAWN	MUNKONG	04/11/22
DESIGNED	ERIC PARK	04/11/22
DRG CHECK	ERIC PARK	04/11/22
DESIGN CHECK	DAVID COOK	04/11/22
APPROVED	DAVID COOK	04/11/22

CHIEF MECHANICAL ENGINEER'S BUILDING
505 WILSON STREET REDFERN
505 WILSON STREET EVELEIGH
ARCHITECTURAL
SECTIONS

FILE No.		SHEET: 1		OF 1	A1
STATUS: SSSA SUBMISSION					(C)
DRG No.	REV	VER	EDMS No.	AMD No.	
CCG-CME-AR-DRG-401	B				

A

B

C

D

E

F

G

H

A

B

C

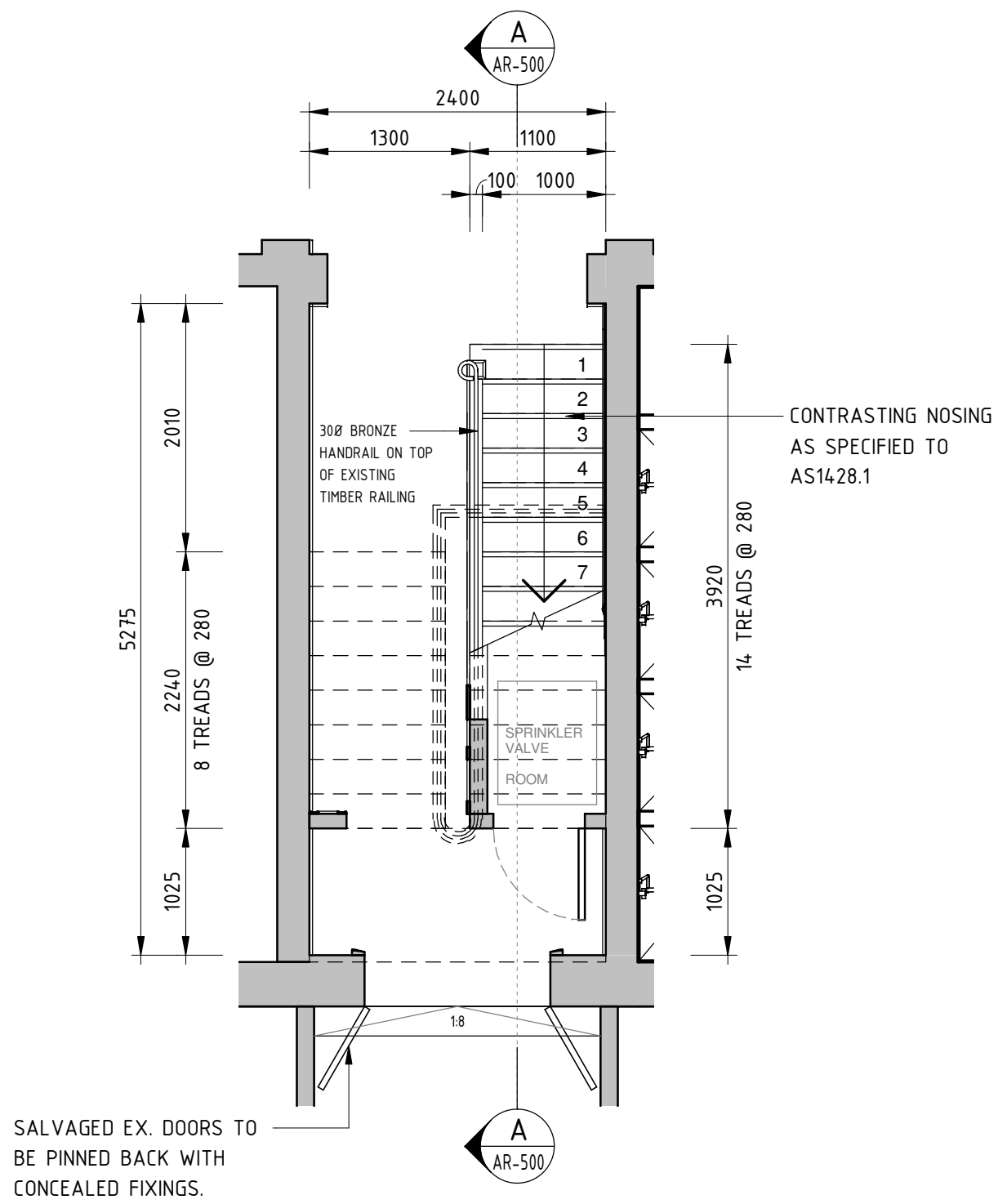
D

E

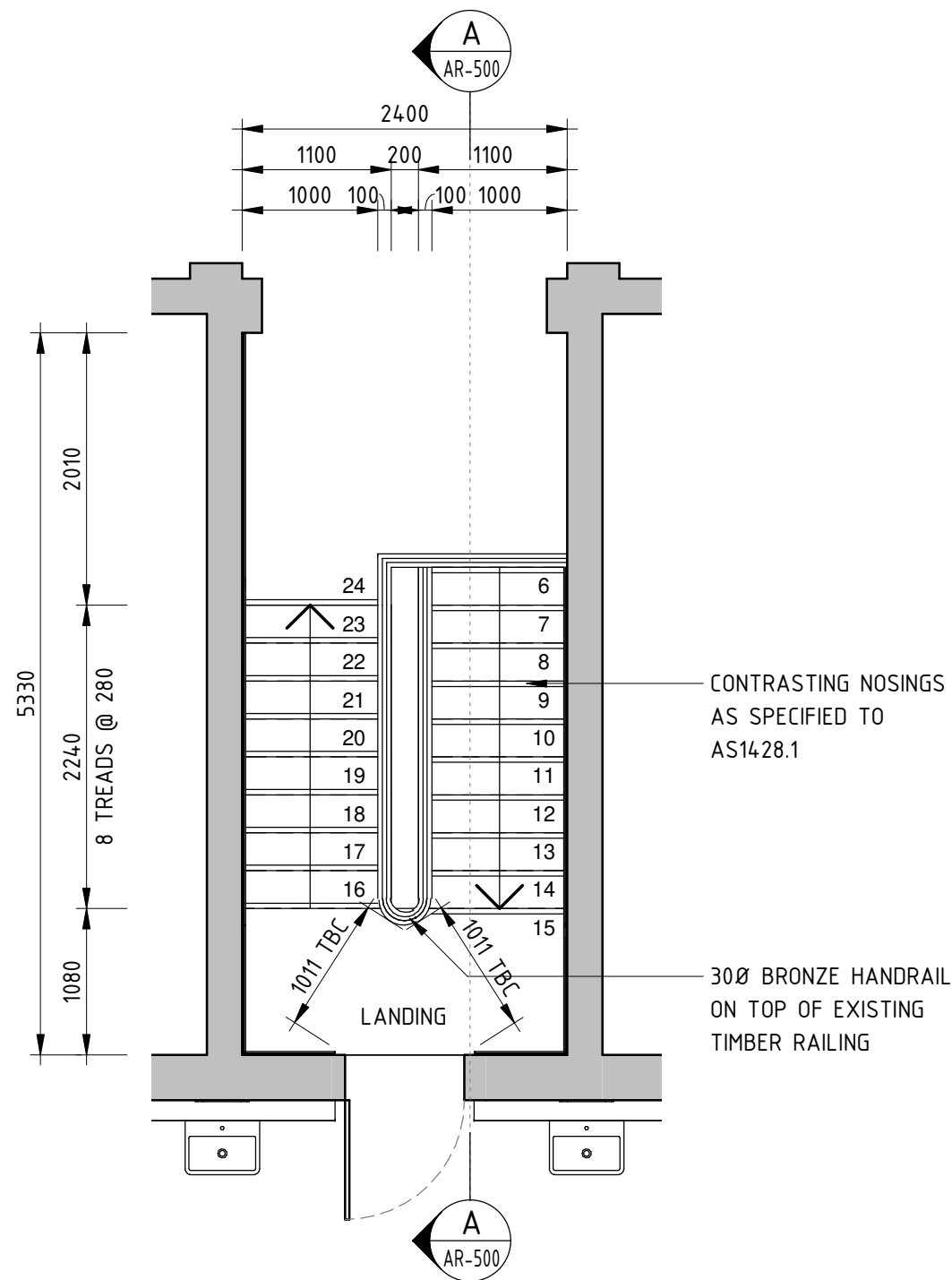
F

G

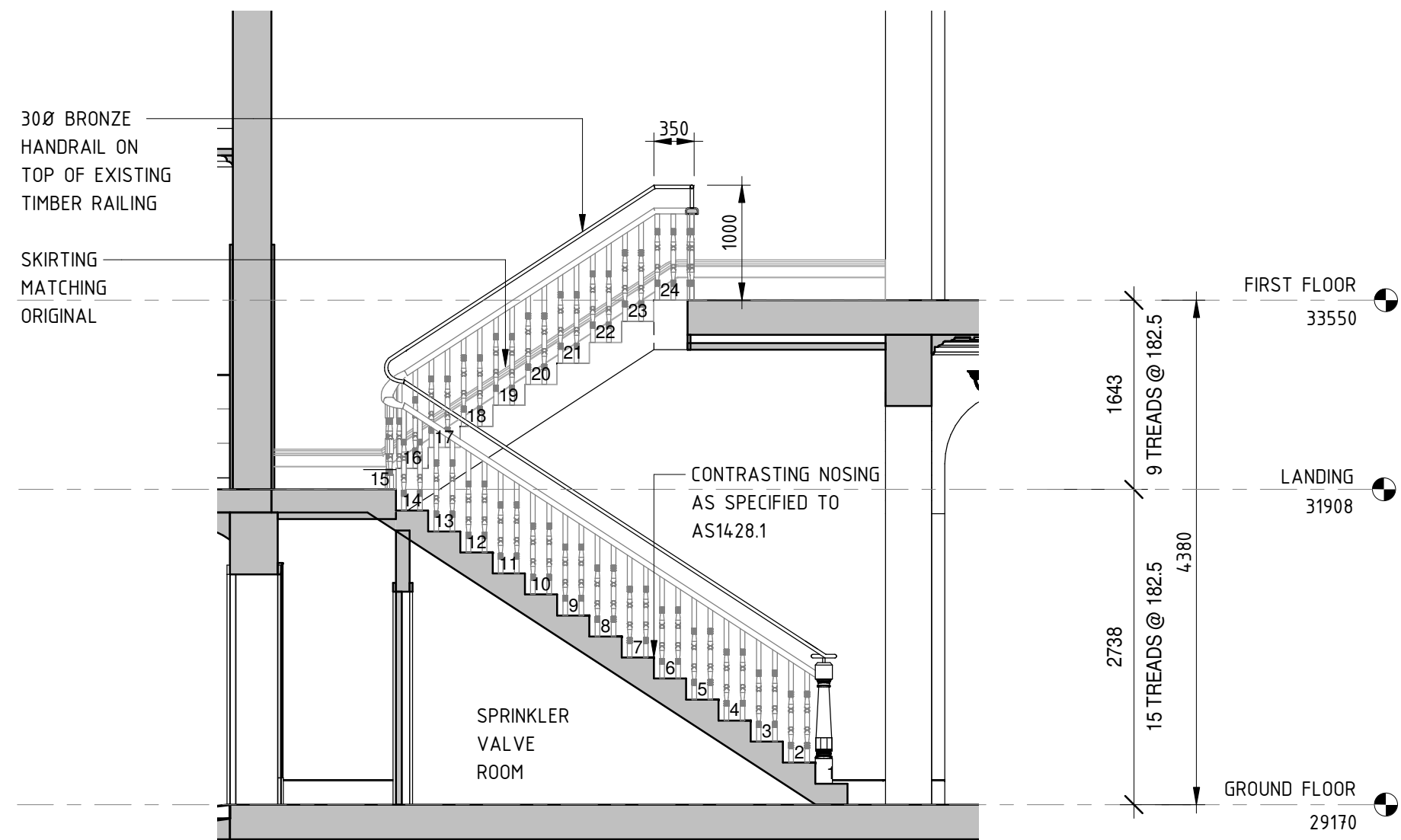
H



1 GROUND PLAN - RESTORED EXISTING STAIRS WITH BCA COMPLIANT UPDATE
SCALE 1 : 50

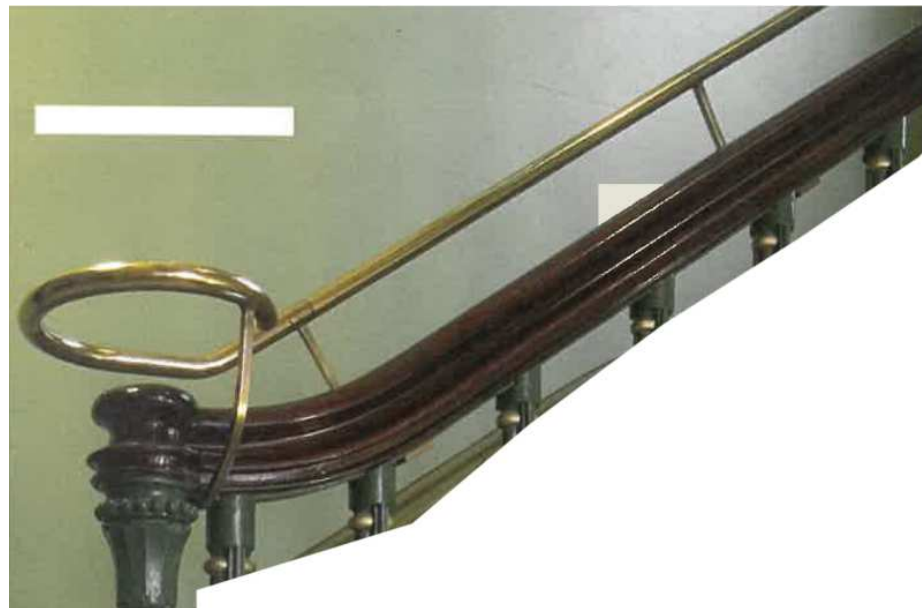


2 FIRST PLAN - RESTORED EXISTING STAIRS WITH BCA COMPLIANT UPDATE
SCALE 1 : 50



A SECTION
SCALE 1 : 50

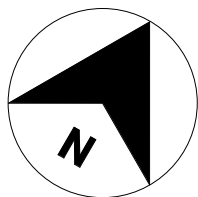
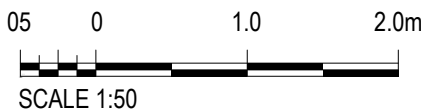
CHARACTER IMAGES



EXAMPLE OF RAILING ADD ON TOP OF HERITAGE TIMBER HANDRAIL TO MEET HEIGHT COMPLIANCE ISSUE.

NOTE

- RISERS**
REMOVE CARPET FROM RISERS. MAKE GOOD SURFACE BELOW. REMOVE APPLIED MODERN FINISHES BY STRIPPING AND OR BY METHYLATED SPIRITS, SANDING AND THEN APPLY TWO COATS OF TRADITIONAL ORANGE SHELLAC AND BEESWAX. SPECIALIST FRENCH- POLISHER TO UNDERTAKE THIS WORK.
- TREADS AND LANDING**
INSTALL SLIP RESISTANT NOSING STRIPS TO STAIR TREADS AND LANDING IN ACCORDANCE WITH 2.13 OF THE BCA.
REMOVE APPLIED MODERN FINISHES BY STRIPPING AND OR BY METHYLATED SPIRITS, SANDING AND THEN APPLY TWO COATS OF TRADITIONAL ORANGE SHELLAC AND BEESWAX. SPECIALIST FRENCH- POLISHER TO UNDERTAKE THIS WORK.
- BALUSTRADE & HANDRAIL**
RESTORE EXISTING BALUSTRADE AND INSTALL NEW BCA COMPLIANT STRIP BACK BALUSTERS AND HANDRAILS USING LEAD PAINT REMOVAL
REMOVE APPLIED MODERN FINISHES BY STRIPPING AND OR BY METHYLATED SPIRITS, SANDING AND THEN APPLY TWO COATS OF TRADITIONAL ORANGE SHELLAC AND BEESWAX. SPECIALIST FRENCH- POLISHER TO UNDERTAKE THIS WORK.
INSTALL NEW BALUSTRADE AND CONTINUOUS HANDRAIL TO COMPLY WITH D2.16 OF THE BCA. NOTE: NEW BALUSTER TO BE SPECIALLY MADE UP BY SKILLED JOINERY SHOP WITH CURVED AND CARVED HANDRAILS AND FRENCH POLISHED.
ADDITIONAL RAILING TO BE INSTALLED ON TOP OF EXISTING HANDRAIL RESTORED
- STRINGER**
TREAT AS FOR BALUSTRADE & HANDRAIL ABOVE.



B	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22	
A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22	
REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE	
CO-ORDINATE SYSTEM:		HEIGHT DATUM:	SCALE:		



This drawing and the related information have been prepared by, or at the request of, Transport for NSW for a specific purpose and may not be used for any purpose other than the purpose intended by Transport for NSW. Transport for NSW does not provide any warranties and accepts no liability arising out of the use of this drawing or any of the related information for any purpose other than the intended purpose. This drawing is protected by copyright and no part of this drawing may be reproduced in any form without the express written permission of Transport for NSW.			
CCG ARCHITECTS NOMINATED ARCHITECTS DAVID COOK (5085) / HISHAM NOORI (5678) CCG ARCHITECTS ARCHITECTURE		DRAWN	MUNKONG 04/11/22
		DESIGNED	ERIC PARK 04/11/22
		DRG CHECK	ERIC PARK 04/11/22
		DESIGN CHECK	DAVID COOK 04/11/22
		APPROVED	DAVID COOK 04/11/22

CHIEF MECHANICAL ENGINEER'S BUILDING

505 WILSON STREET REDFERN

ARCHITECTURAL

DETAILS - STAIRCASE

FILE No.

SHEET: 1 OF 1

A1

STATUS: SSDA SUBMISSION

DRG No.

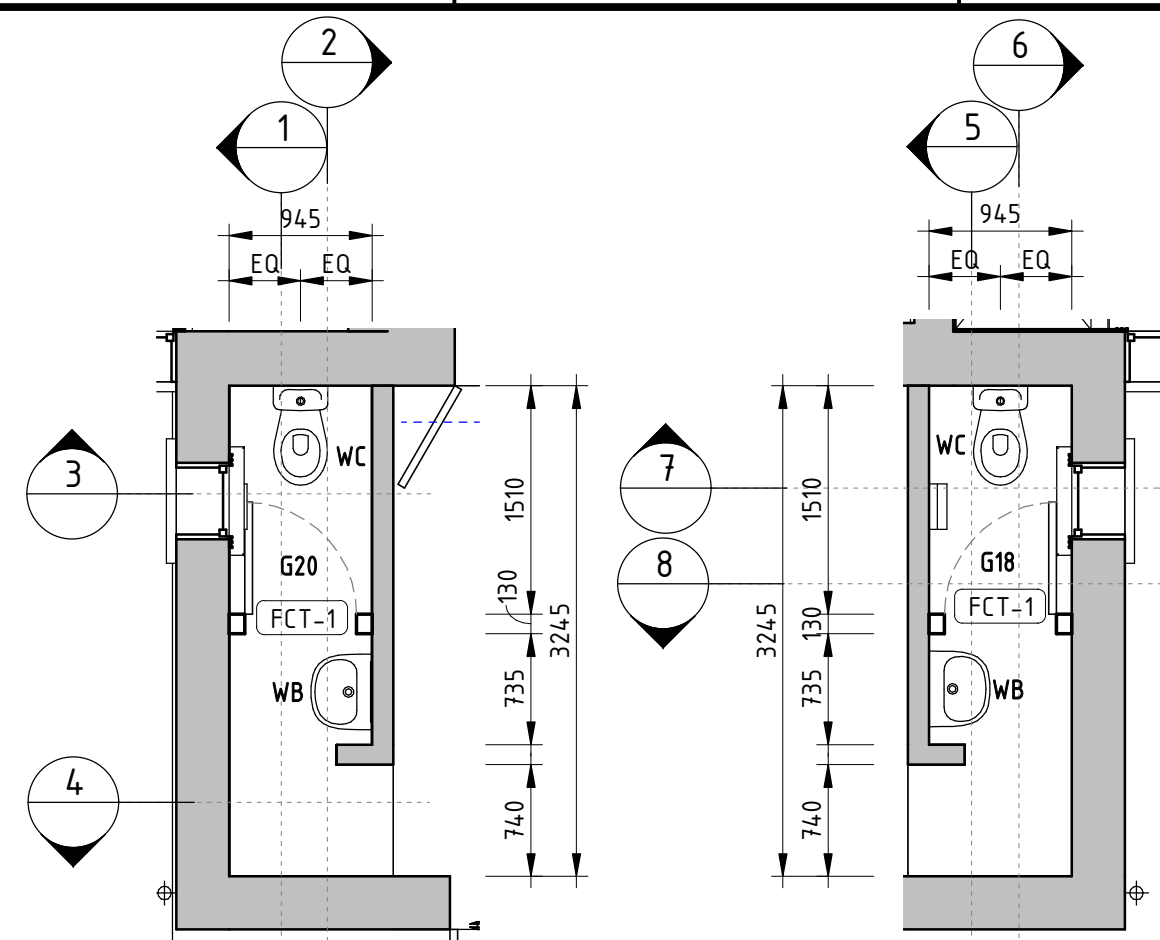
CGG-CME-AR-DRG-500

REV B

VER

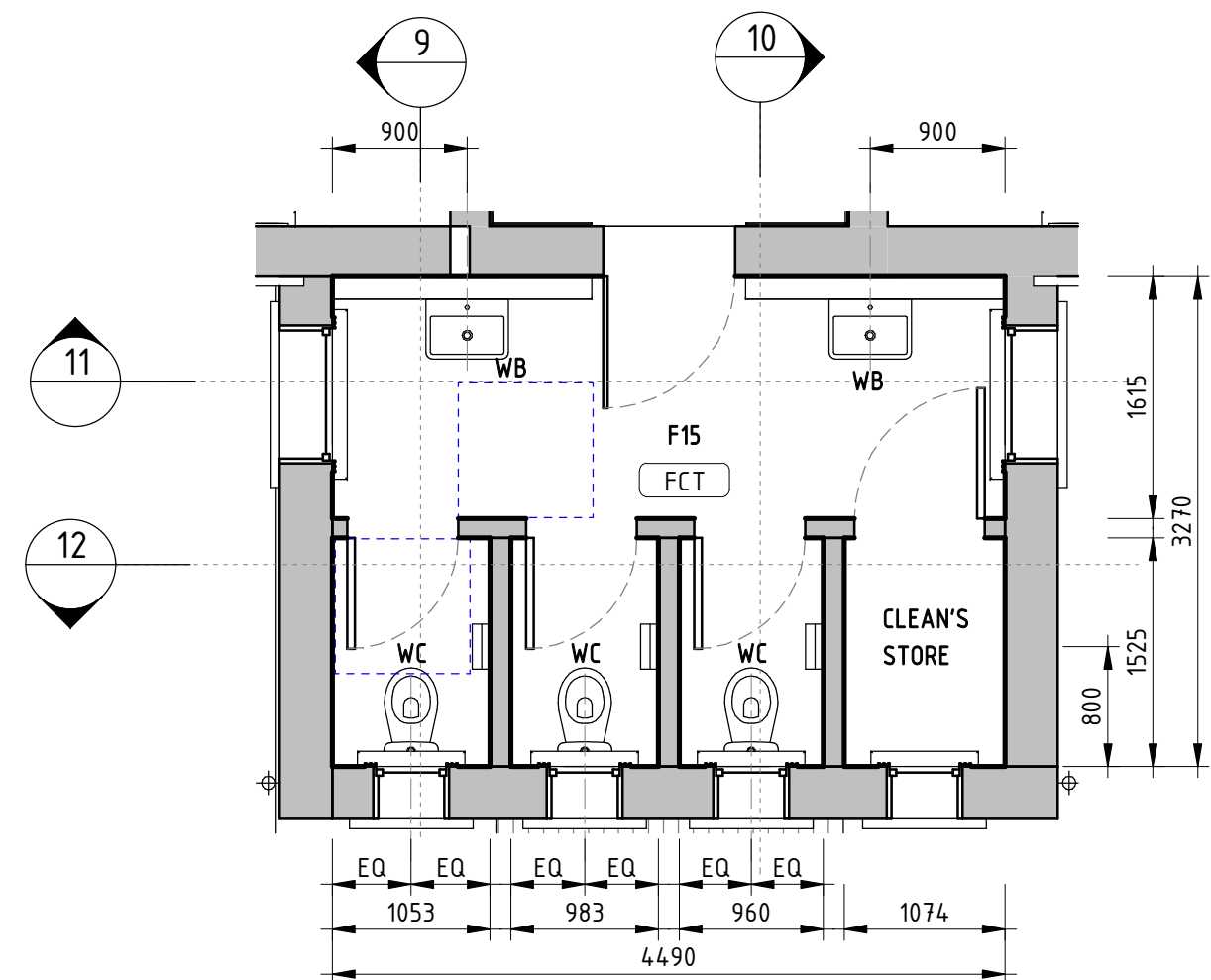
EDMS No.

AMD No.

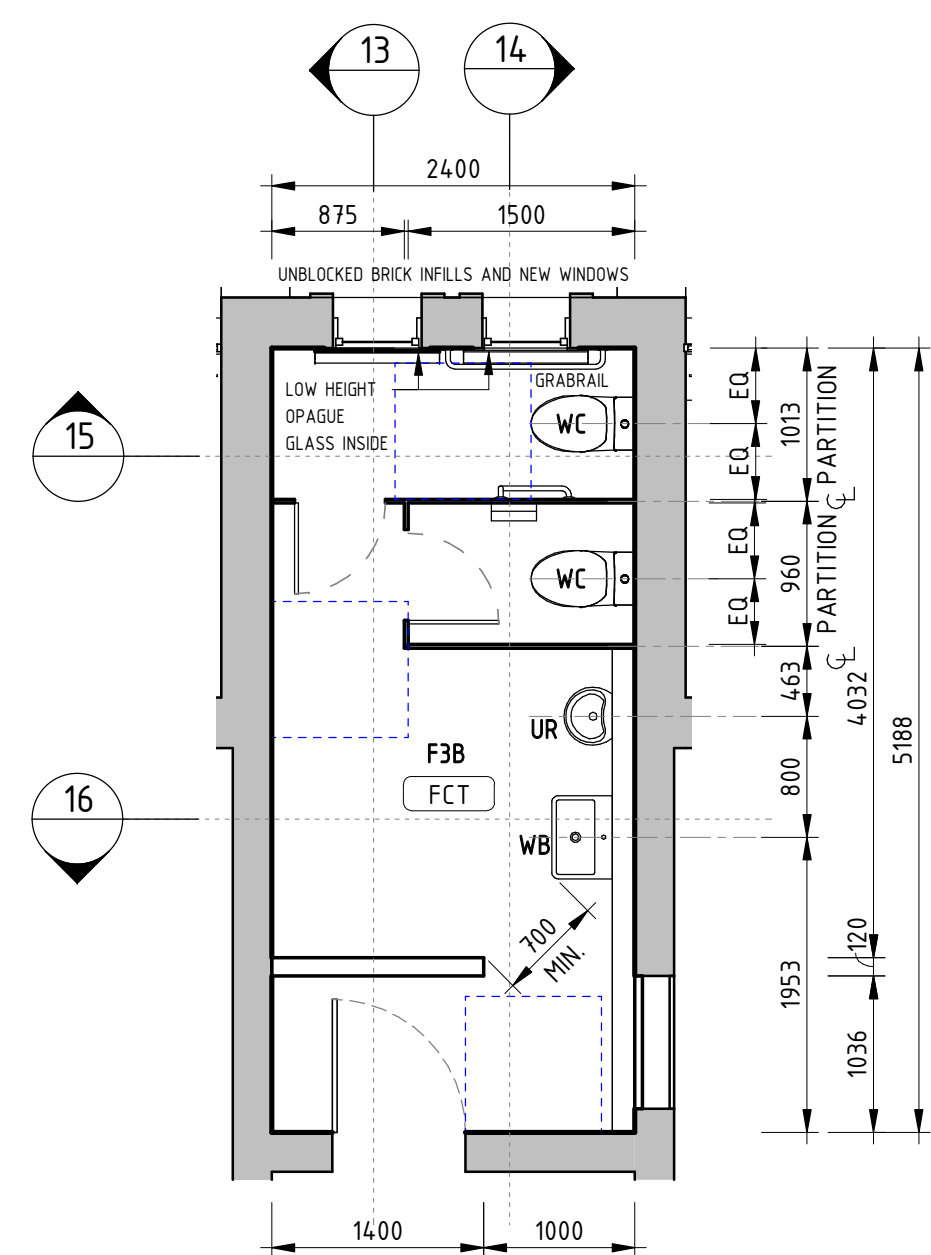


A WC G20 PLAN
SCALE 1 : 50

B WC G18 PLAN
SCALE 1 : 50

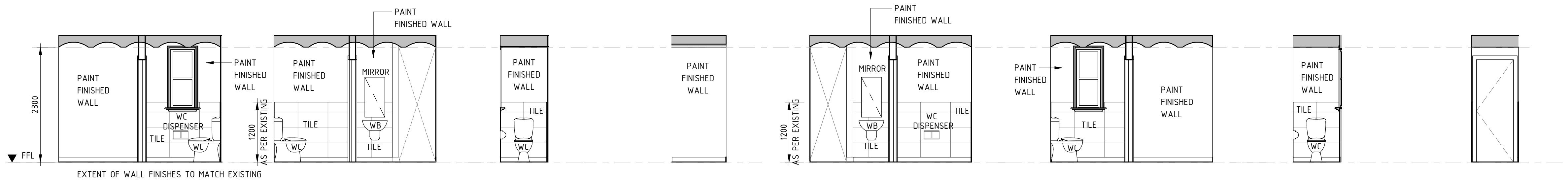
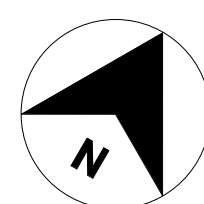


C WC F15 PLAN
SCALE 1 : 50



D WC F3B PLAN
SCALE 1 : 50

05 0 1.0 2.0m
SCALE 1:50



1 ELEVATION SCALE 1 : 50

2 ELEVATION SCALE 1 : 50

3 ELEVATION SCALE 1 : 50

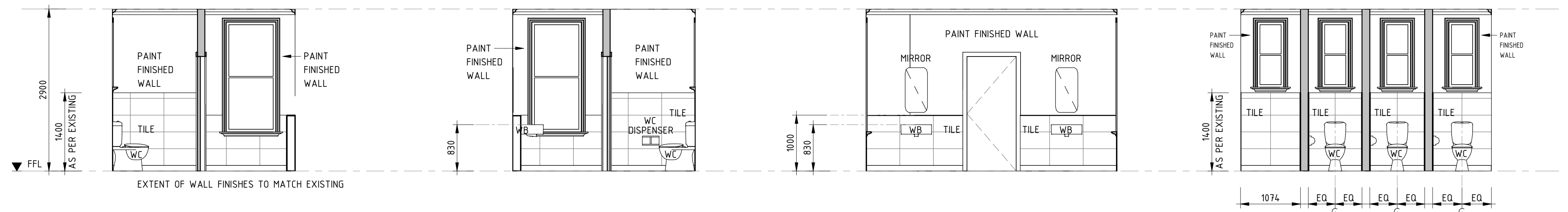
4 ELEVATION SCALE 1 : 50

5 ELEVATION SCALE 1 : 50

6 ELEVATION SCALE 1 : 50

7 ELEVATION SCALE 1 : 50

8 ELEVATION SCALE 1 : 50

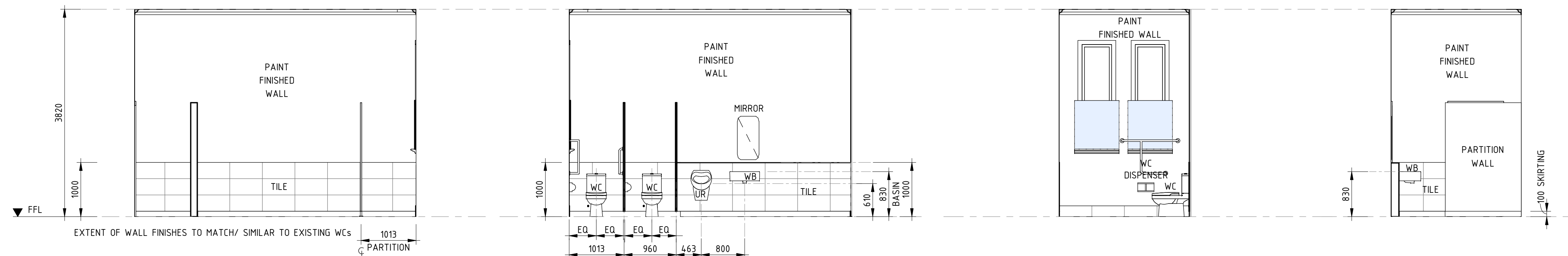


9 ELEVATION SCALE 1 : 50

10 ELEVATION SCALE 1 : 50

11 ELEVATION SCALE 1 : 50

12 ELEVATION SCALE 1 : 50



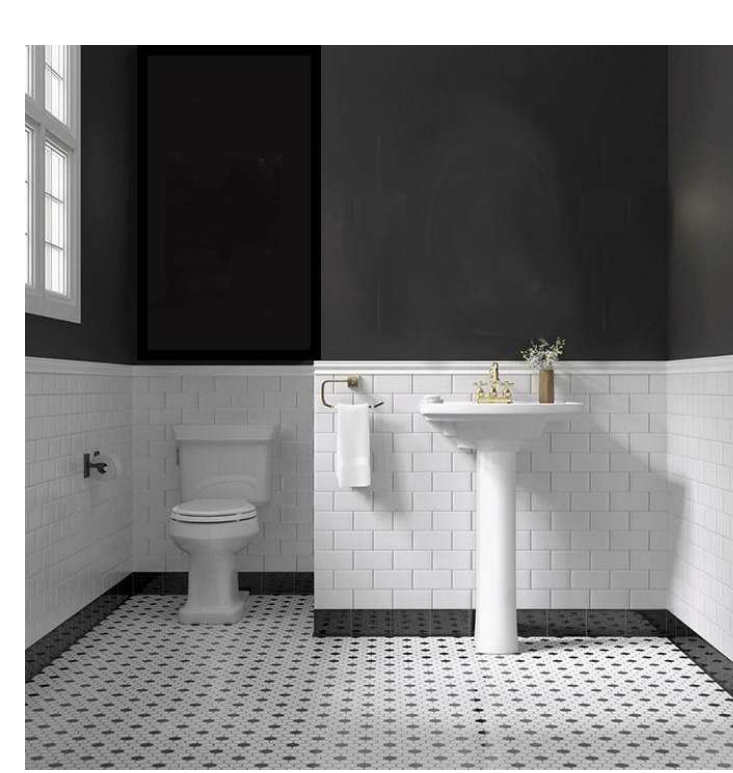
13 ELEVATION SCALE 1 : 50

14 ELEVATION SCALE 1 : 50

15 ELEVATION SCALE 1 : 50

16 ELEVATION SCALE 1 : 50

CHARACTER IMAGES



ROOM G18, G20 & F15 - REFITED & REFURBISHED WITH HALF
TILED WALLS SIMILAR TO EXISTING FINISHES.

DRAWING COLOUR CODED - PRINT ALL COPIES IN COLOUR

ROOM F3B - NEW MODERN OFFICE WC FINISHES.

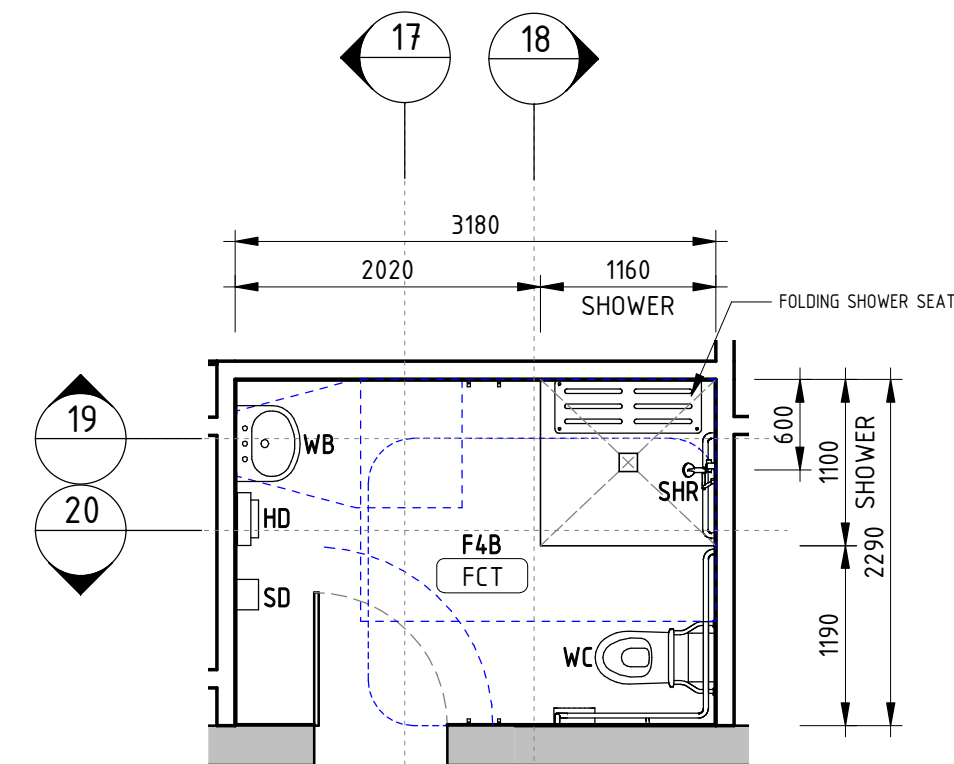
REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE
B	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22
A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22
CO-ORDINATE SYSTEM:	HEIGHT DATUM:	SCALE:	1:20, 1:5	



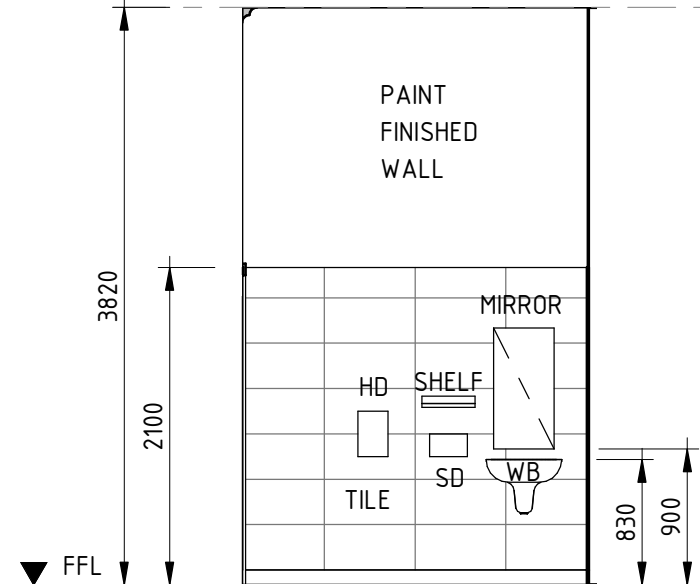
This drawing and the related information have been prepared by, or at the request of, Transport for NSW for a specific purpose and may not be used for any purpose other than the purpose intended by Transport for NSW. Transport for NSW does not provide any warranties and accepts no liability arising out of the use of this drawing or any of the related information for any purpose other than the intended purpose. This drawing is protected by copyright and no part of this drawing may be reproduced in any form without the express written permission of Transport for NSW.	
CCG ARCHITECTS NOMINATED ARCHITECTS DAVID COOK (508) / HISHAM NOORI (5678) CCG ARCHITECTS ARCHITECTURE	DRAWN - MUNKONG DESIGNED - ERIC PARK DRG CHECK - ERIC PARK DESIGN CHECK - DAVID COOK APPROVED - DAVID COOK
	04/11/22 04/11/22 04/11/22 04/11/22 04/11/22

CHIEF MECHANICAL ENGINEER'S BUILDING 505 WILSON STREET REDFERN			
ARCHITECTURAL DETAILS - WET AREA PLANS SHEET 1			
FILE No.	SHEET: 1 OF 1	A1	
STATUS: SSDA SUBMISSION			
DRG No. CCG-CME-AR-DRG-501	REV B	VER	EDMS No.
			AMD No.

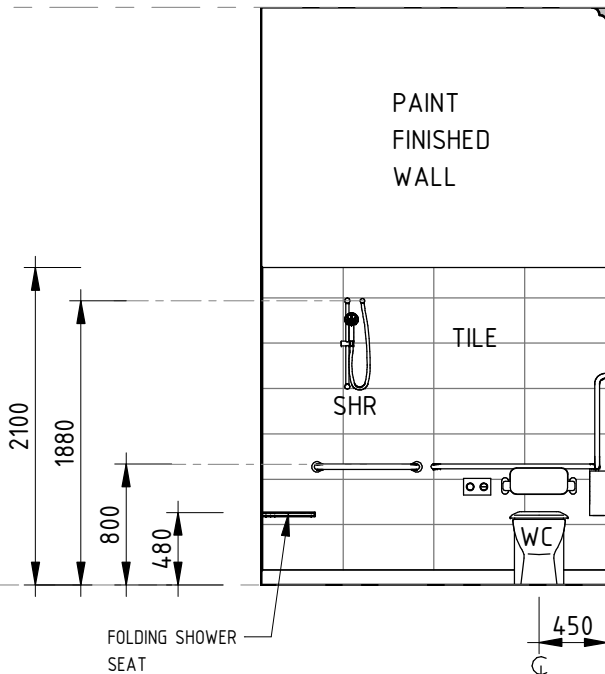
A



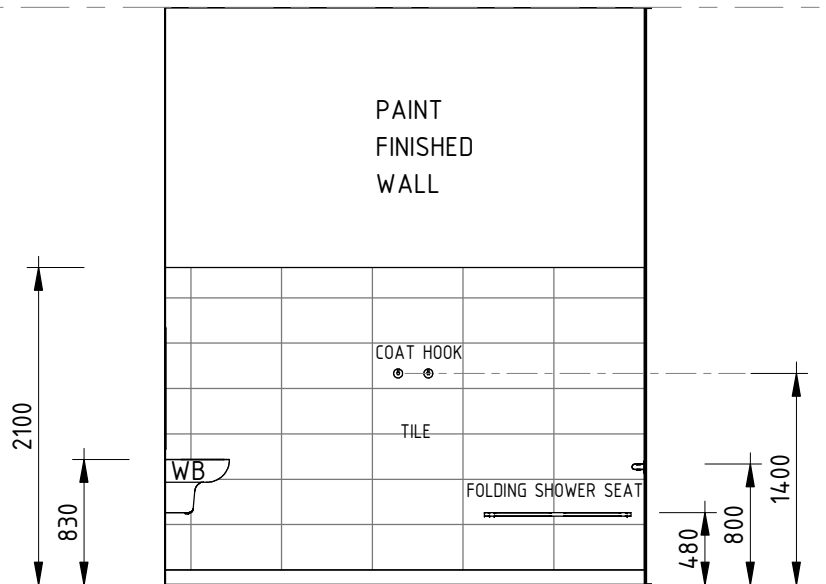
E WC F4B PLAN
SCALE 1 : 50



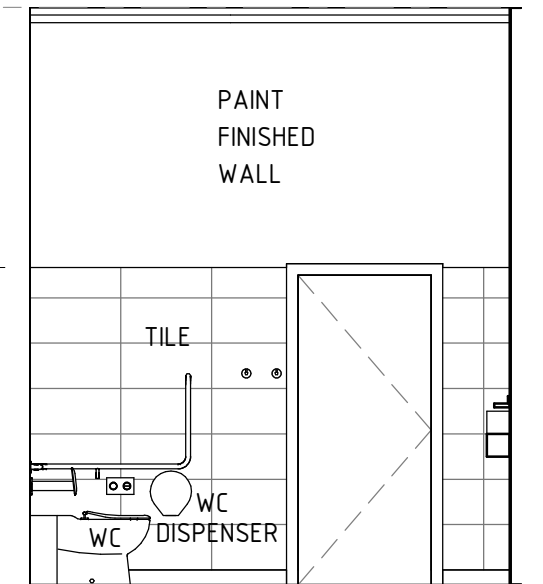
17 ELEVATION
SCALE 1 : 50



18 ELEVATION
SCALE 1 : 50



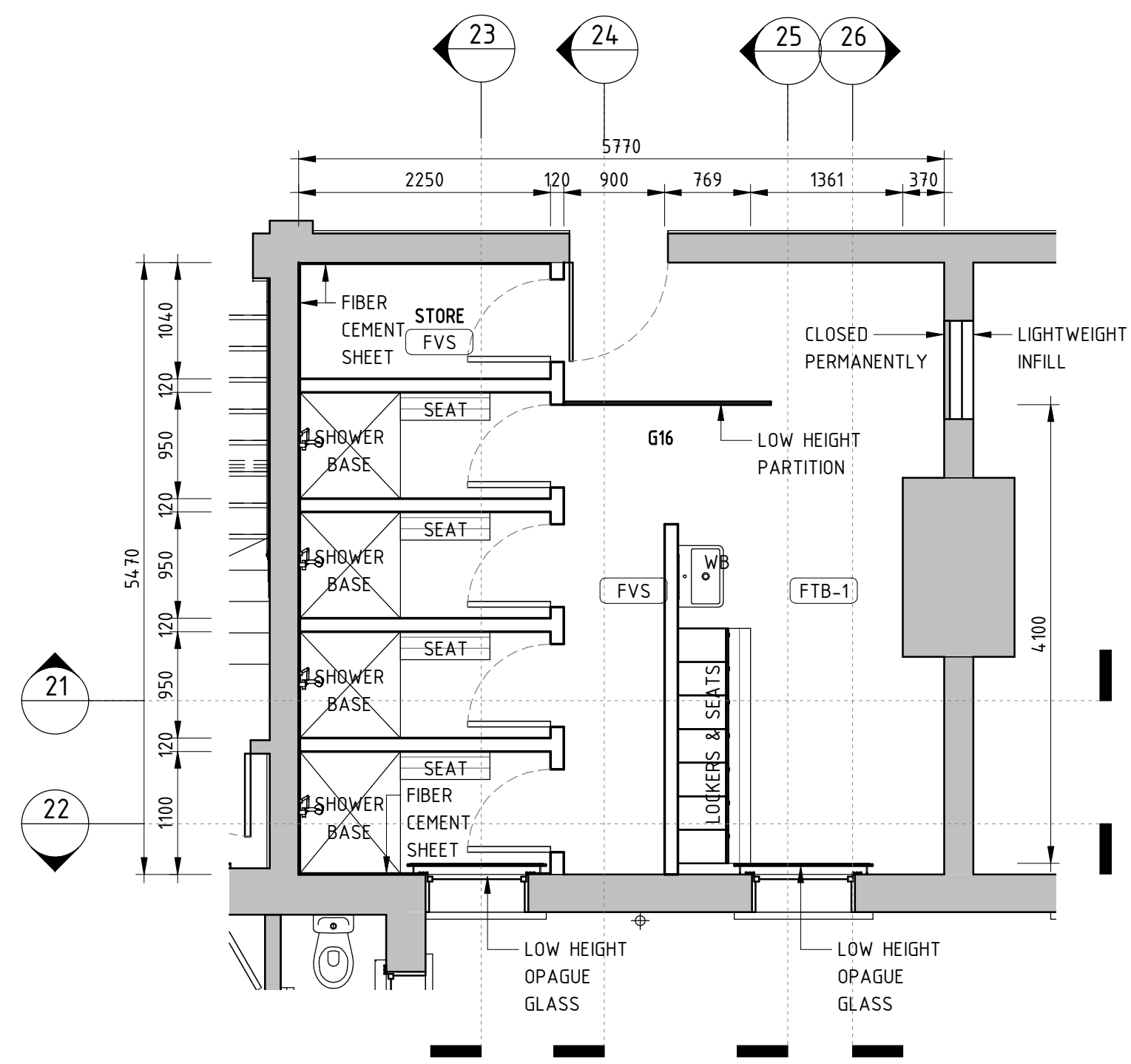
19 ELEVATION
SCALE 1 : 50



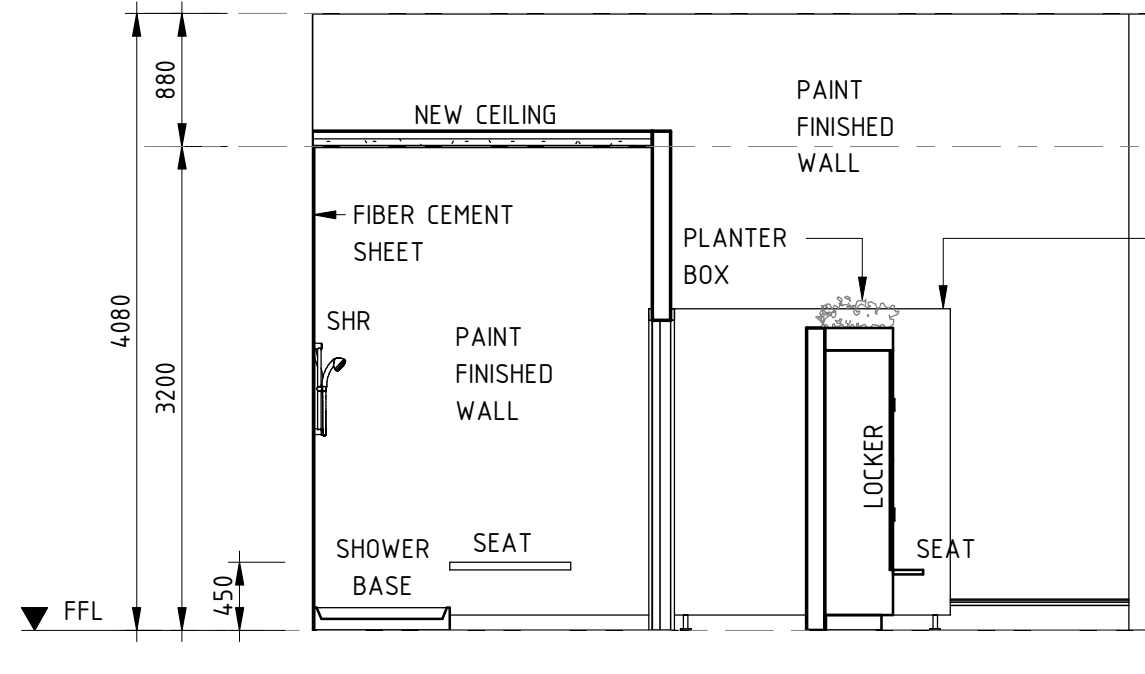
20 ELEVATION
SCALE 1 : 50

B

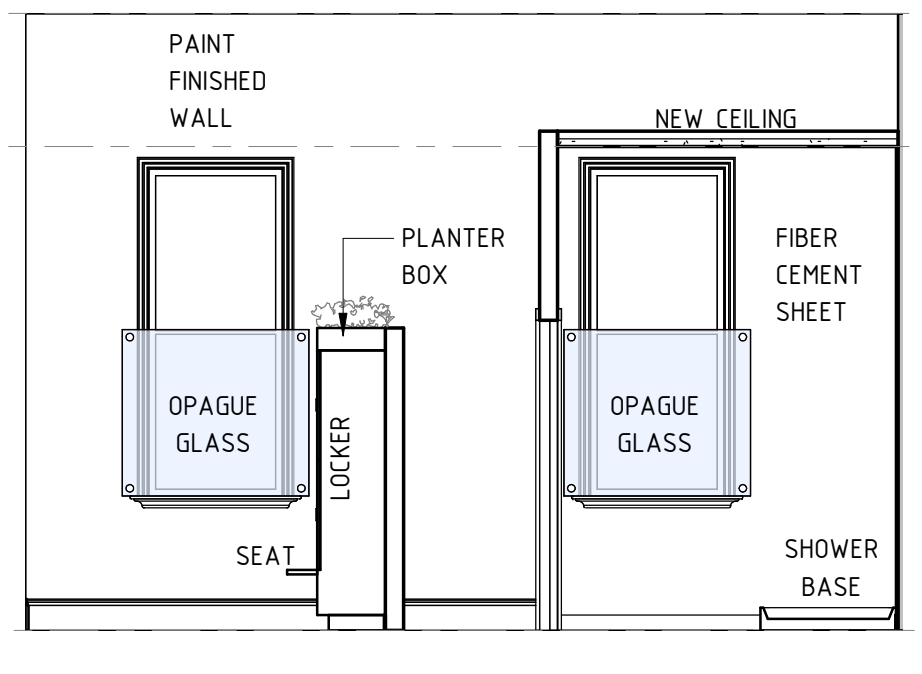
C



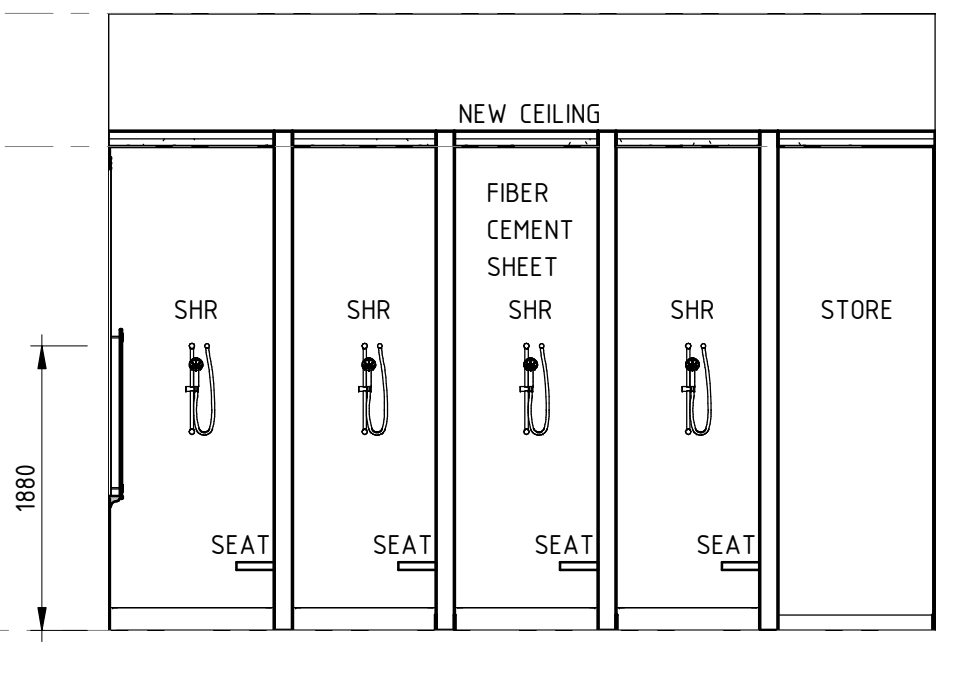
F WC G16 PLAN
SCALE 1 : 50



21 ELEVATION
SCALE 1 : 50



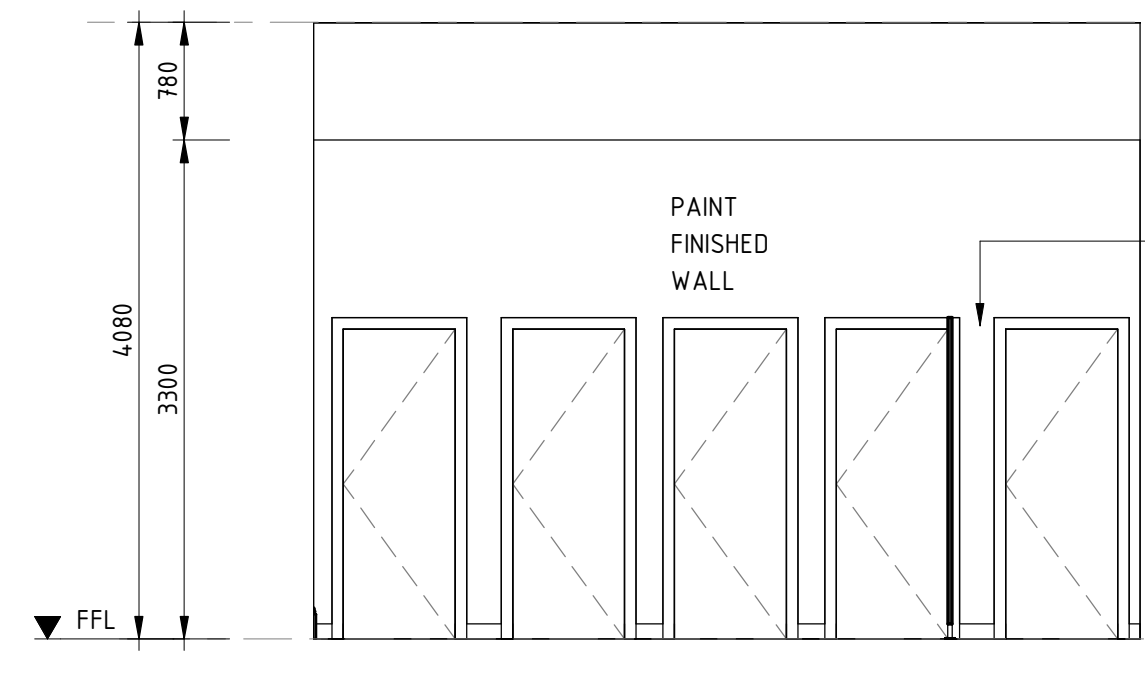
22 ELEVATION
SCALE 1 : 50



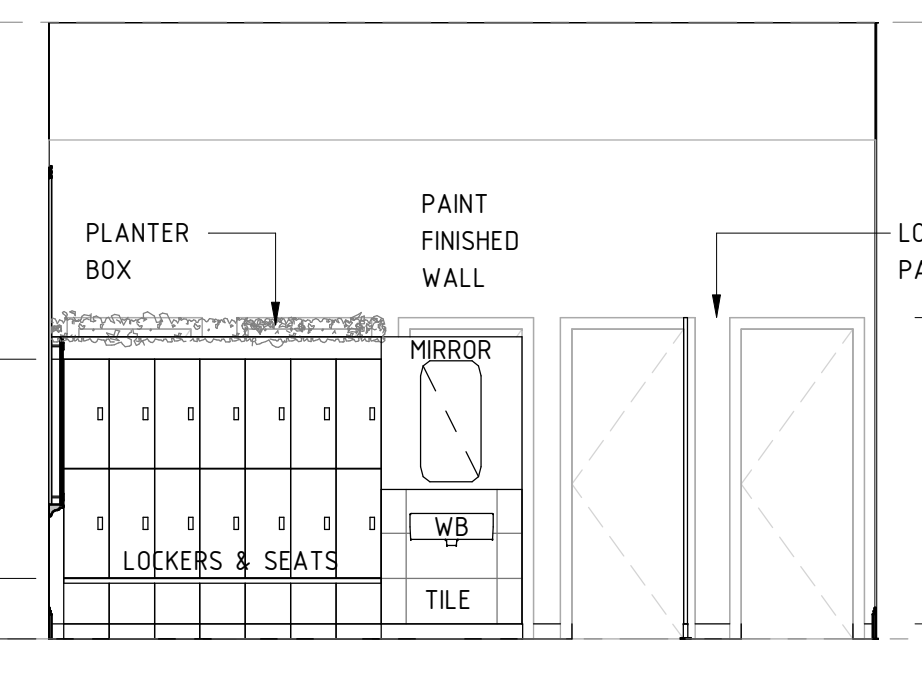
23 ELEVATION
SCALE 1 : 50

D

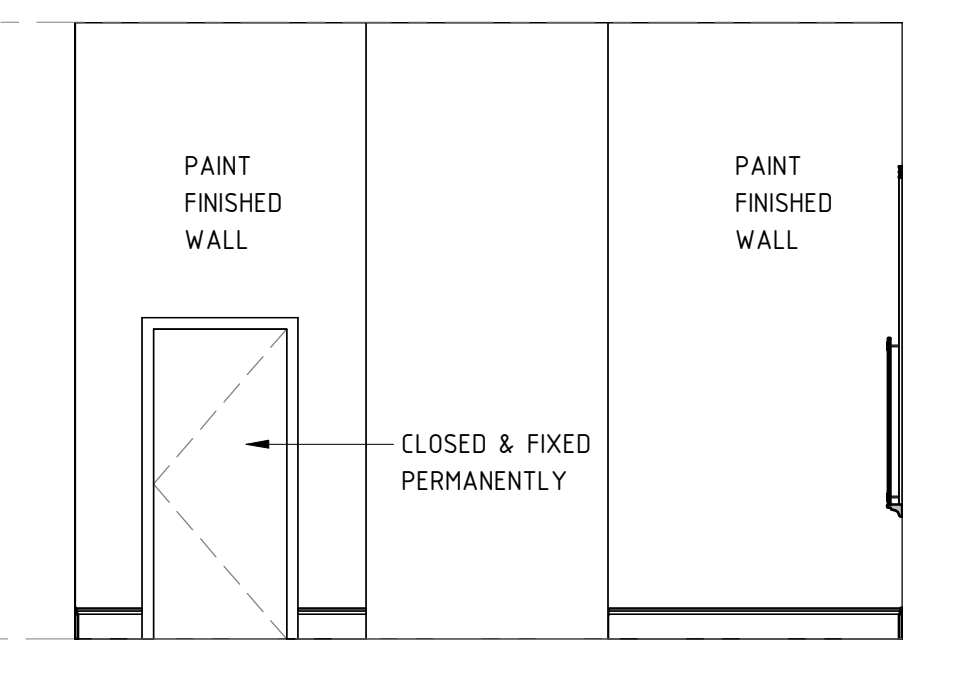
E



24 ELEVATION
SCALE 1 : 50



25 ELEVATION
SCALE 1 : 50



26 ELEVATION
SCALE 1 : 50

F

G

CHARACTER IMAGES



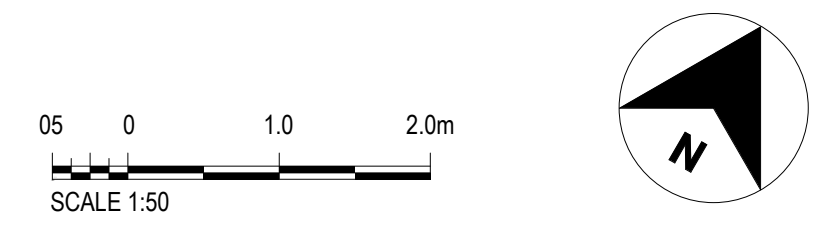
ROOM F4B- BCA COMPLIANT
ACCESSIBLE TOILET WITH A SHOWER.



ROOM F4B- GENDER NEUTRAL CHANGING ROOM. FULL HEIGHT WALL SHOWER BOOTHS AND LOCKERS WITH PLANT OVER.



H



B		SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22
A		ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22
REV		DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE
CO-ORDINATE SYSTEM:		HEIGHT DATUM:	SCALE:		



This drawing and the related information have been prepared by, or at the request of, Transport for NSW for a specific purpose and may not be used for any purpose other than the purpose intended by Transport for NSW. Transport for NSW does not provide any warranties and accepts no liability arising out of the use of this drawing or any of the related information for any purpose other than the intended purpose. This drawing is protected by copyright and no part of this drawing may be reproduced in any form without the express written permission of Transport for NSW.					
DRAWN		MUNKONG	04/11/22		
DESIGNED		ERIC PARK	04/11/22		
DRG CHECK		ERIC PARK	04/11/22		
DESIGN CHECK		DAVID COOK	04/11/22		
APPROVED		DAVID COOK	04/11/22		

CHIEF MECHANICAL ENGINEER'S BUILDING

505 WILSON STREET REDFERN

ARCHITECTURAL

DETAILS - WET AREA PLANS SHEET 2

FILE No.

SHEET: 1 OF 1

A1

STATUS: SSDA SUBMISSION

DRG No.

CCG-CME-AR-DRG-502

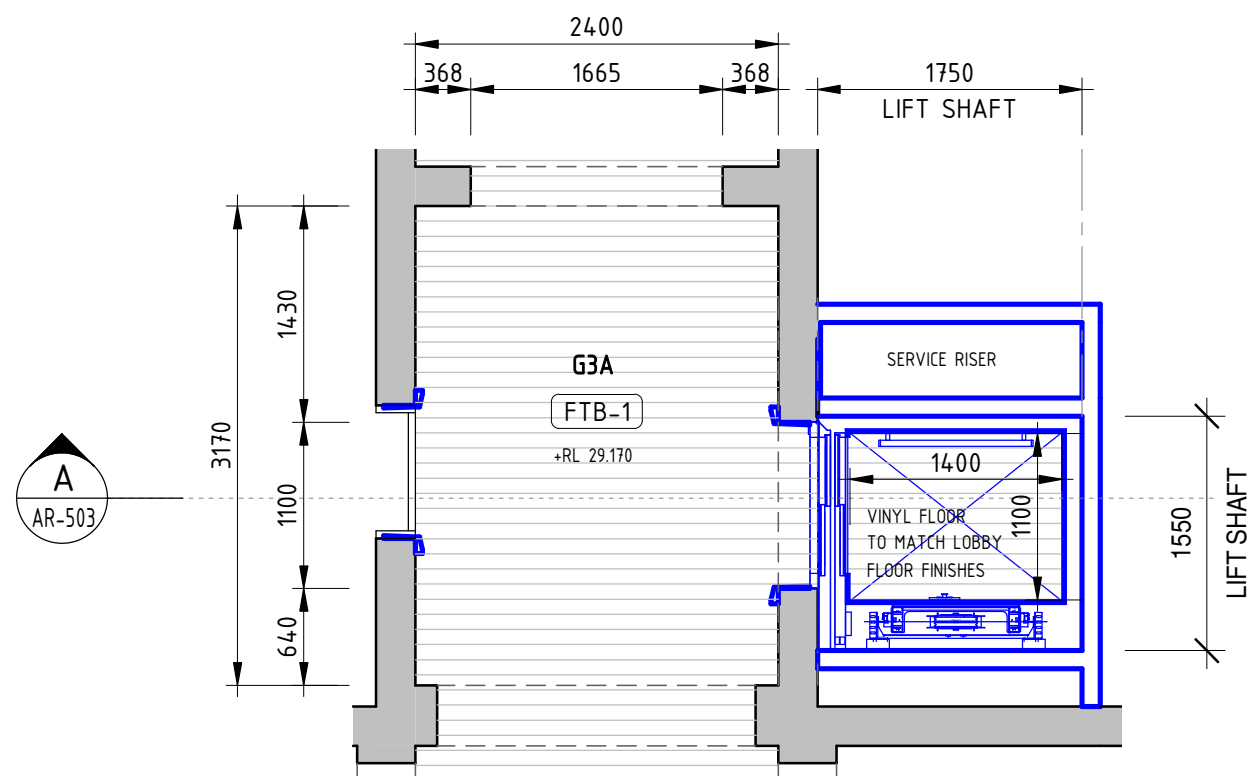
REV

B

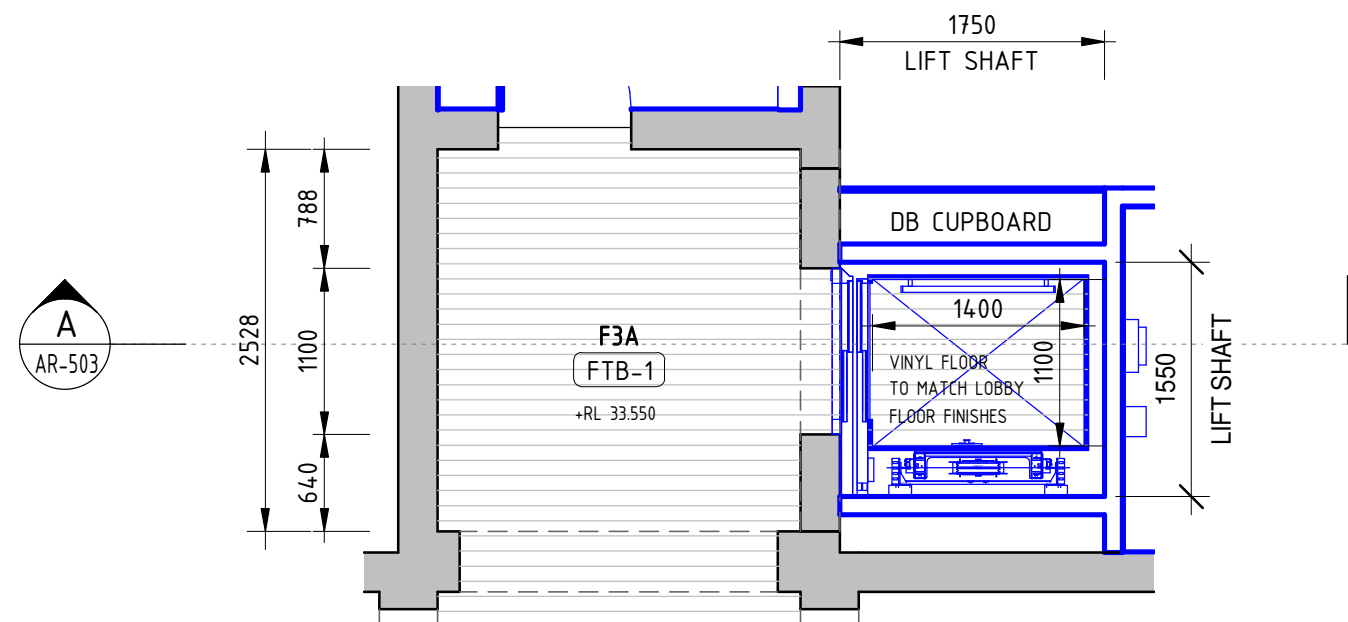
VER

EDMS No.

AMD No.



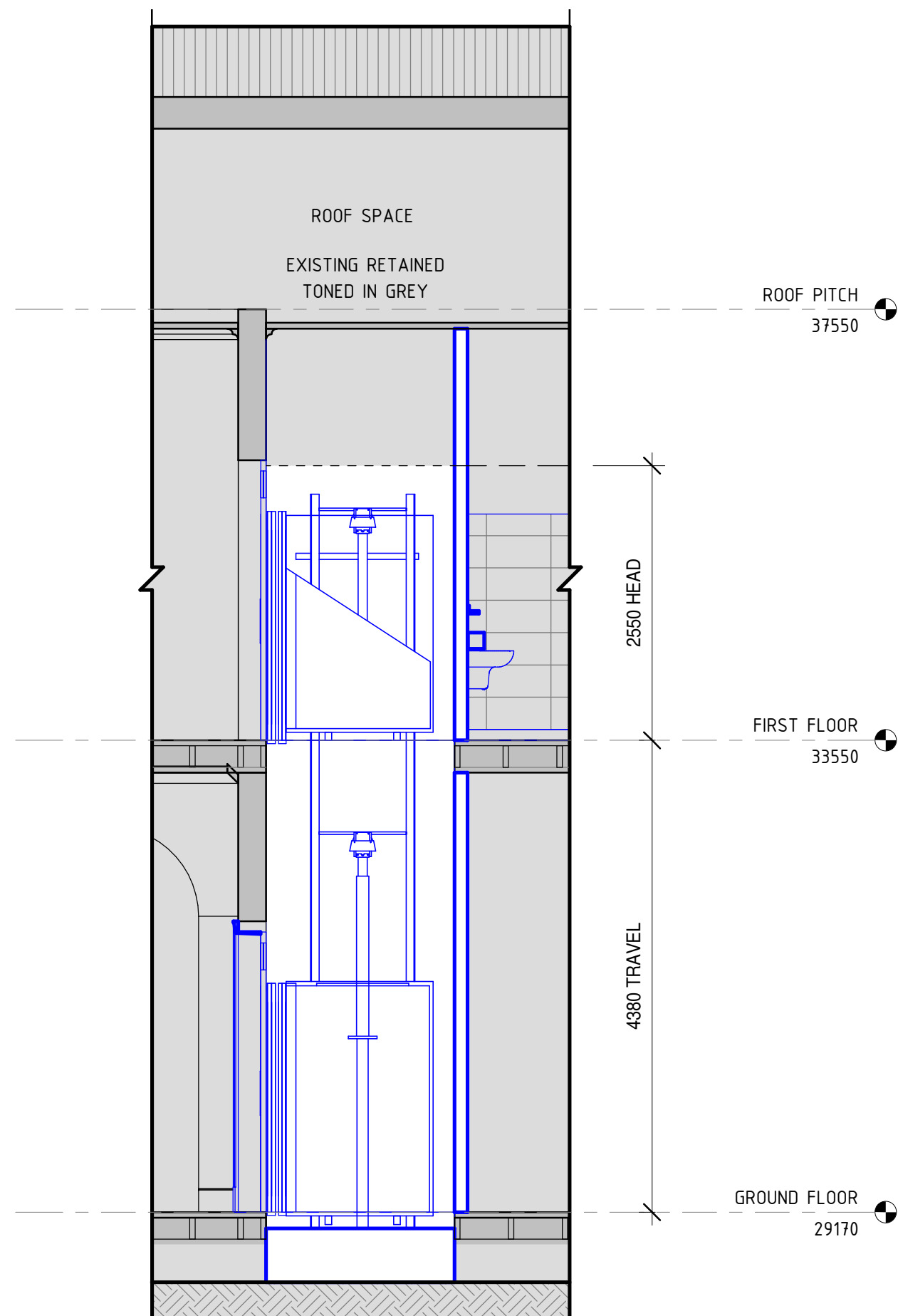
1 GROUND PLAN - LIFT
SCALE 1 : 50



2 FRIST PLAN - LIFT
SCALE 1 : 50

LEGEND

- PROPOSED
- EXISTING
- PROPOSED WALL

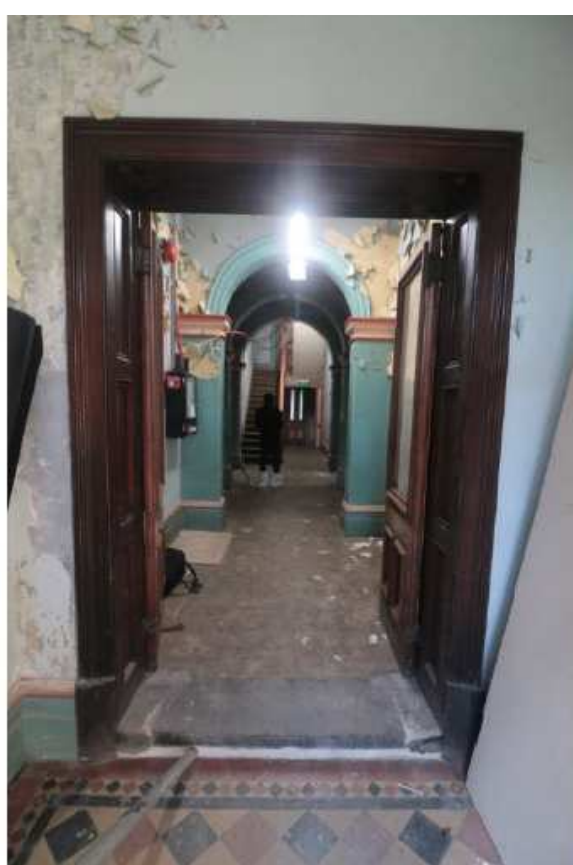


A SECTION
SCALE 1 : 50

LIFT SPECIFICATION

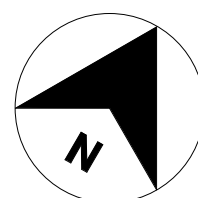
	TRADITIONAL HYDRAULIC
CAPACITY:	4 - 5 PERSONS 400KG
SPEED:	FAST (0.30M/S) APPROX 18 SECONDS FOR 3 FLOORS
POWER:	SINGLE PHASE 240V, 32A LOW ENERGY CONSUMPTION
MAX TRAVEL:	6 FLOORS 12M
OPENINGS:	SINGLE (1), OPPOSITE (2), ADJACENT (2)
DRIVE SYSTEM:	HYDRAULIC
HEADROOM:	2500 - 2800MM
PIT DEPTH:	150 - 180MM
COMPLIANCE:	AS1735.1 AND NCC E3.6
MACHINE SPACE	900MM X 450MM X 1800MM
IN-CABIN RESCUE:	INCLUDED

CHARACTER IMAGES



COHESIVE INTERNAL COLOUR FINISHES FROM EXISTING COLOUR PALETTE.
(VARIOUS STYLE AND PROFILES OF FLOOR, WALL AND CEILING
LINING FINISHES ARE AVAILABLE.)

05 0 1.0 2.0m
SCALE 1:50



REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE
A	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	E.P./04/11/22
CO-ORDINATE SYSTEM:	HEIGHT DATUM:	SCALE:		



This drawing and the related information have been prepared by, or at the request of, Transport for NSW for a specific purpose and may not be used for any purpose other than the purpose intended by Transport for NSW. Transport for NSW does not provide any warranties and accepts no liability arising out of the use of this drawing or any of the related information for any purpose other than the intended purpose. This drawing is protected by copyright and no part of this drawing may be reproduced in any form without the express written permission of Transport for NSW.	
CCG ARCHITECTS	
NOMINATED ARCHITECTS	
DAVID COOK (5085) / HISHAM NOORI (5678)	
CCG ARCHITECTS	
ARCHITECTURE	
DRAWN	MUNKONG
DESIGNED	ERIC PARK
DRG CHECK	ERIC PARK
DESIGN CHECK	DAVID COOK
APPROVED	DAVID COOK

CHIEF MECHANICAL ENGINEER'S BUILDING 505 WILSON STREET REDFERN			
ARCHITECTURAL DETAILS - LIFT PLANS AND SECTION			
FILE No.	SHEET: 1 OF 1	A1	
STATUS: SSDA SUBMISSION			
DRG No.	CGG-CME-AR-DRG-503	REV A	VER
EDMS No.		AMD No.	

A

B

C

D

E

F

G

H

A

B

C

D

E

F

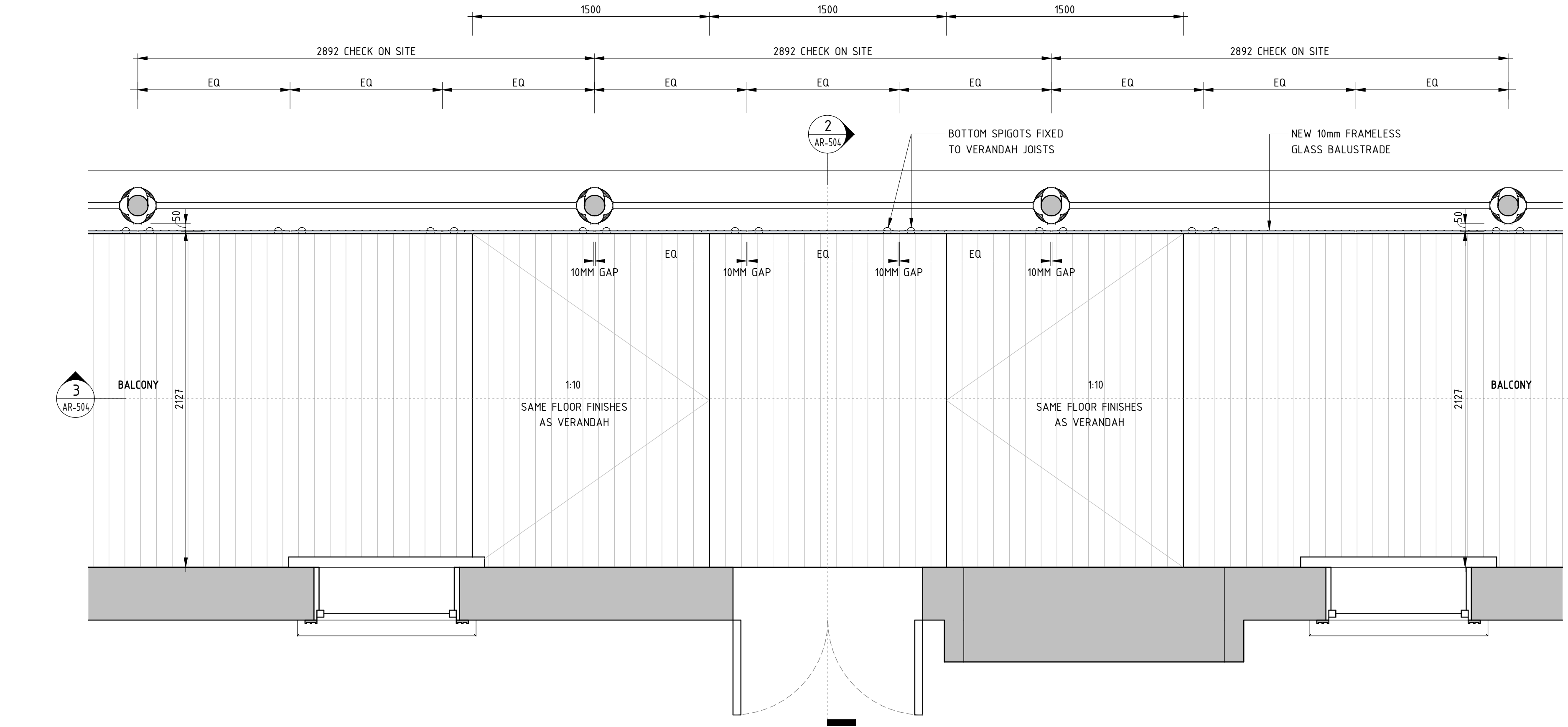
G

H

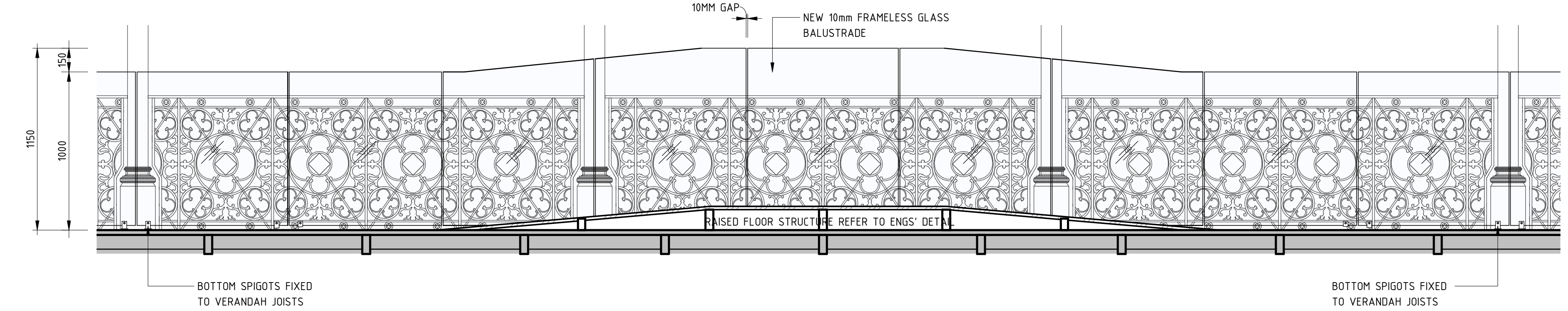
File Plotted D:\Documents\CHIEF MECHANICAL ENGINEERS BUILDING_RVT21_Central_yswars.dwt

Plot Date & Time 11/4/2022 8:11:25 PM

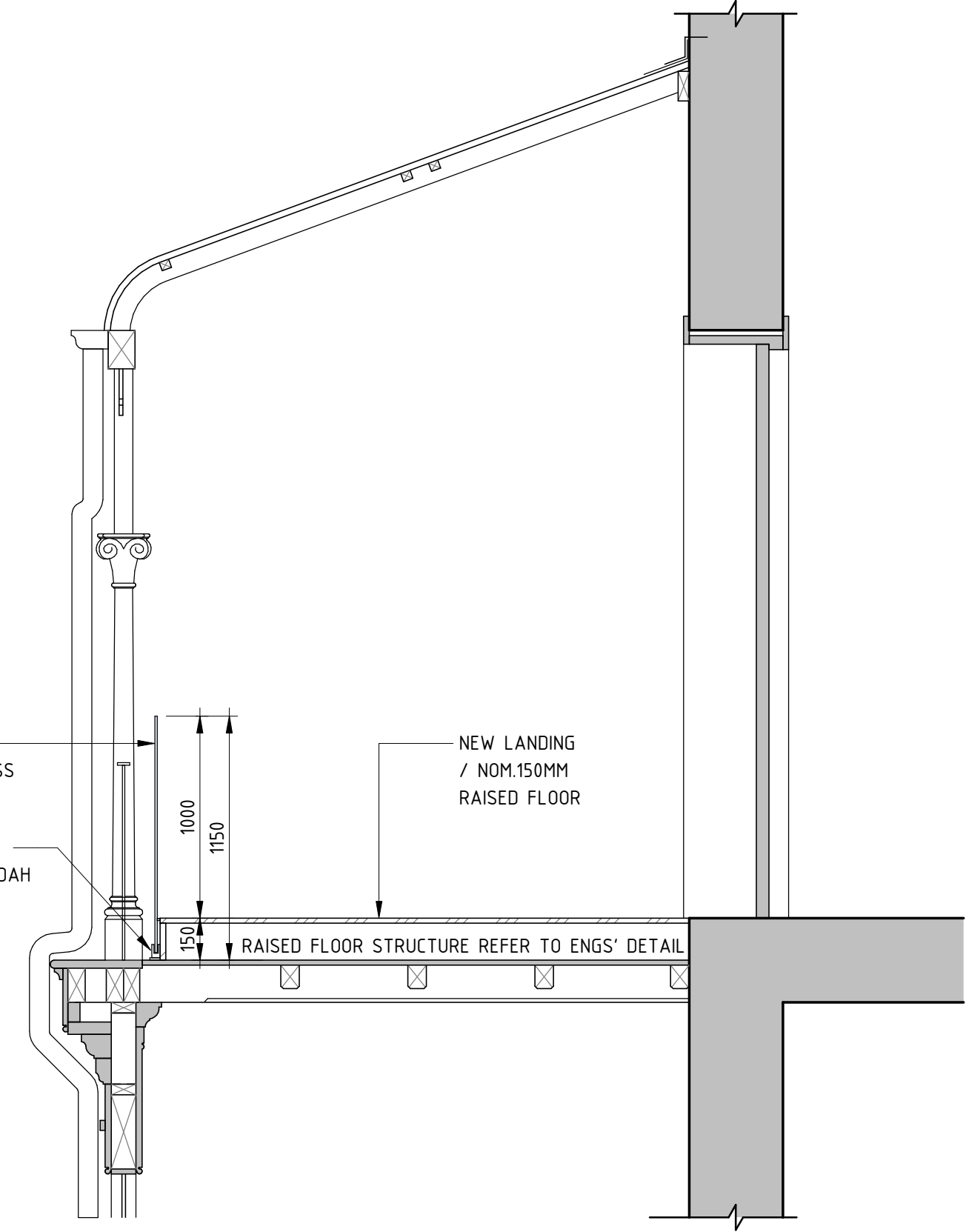
OF 801*554



1 BALCONY BALUSTRADE PLAN
SCALE 1 : 20

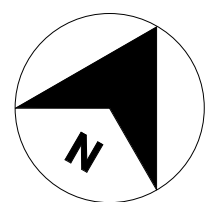
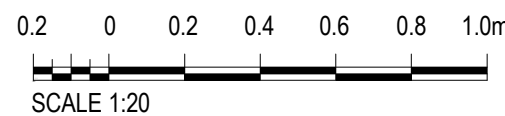


3 SECTION BALCONY BALUSTRADE FROM INSIDE
SCALE 1 : 20



2 SECTION BALCONY BALUSTRADE
SCALE 1 : 20

DRAWING COLOUR CODED - PRINT ALL COPIES IN COLOUR



REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE
B	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22
A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22
CO-ORDINATE SYSTEM:	HEIGHT DATUM:	SCALE:		



This drawing and the related information have been prepared by, or at the request of, Transport for NSW for a specific purpose and may not be used for any purpose other than the purpose intended by Transport for NSW. Transport for NSW does not provide any warranties and accepts no liability arising out of the use of this drawing or any of the related information for any purpose other than the intended purpose. This drawing is protected by copyright and no part of this drawing may be reproduced in any form without the express written permission of Transport for NSW.			
DRAWN	MUNKONG	04/11/22	
DESIGNED	ERIC PARK	04/11/22	
DRG CHECK	ERIC PARK	04/11/22	
DESIGN CHECK	DAVID COOK	04/11/22	
APPROVED	DAVID COOK	04/11/22	

CHIEF MECHANICAL ENGINEER'S BUILDING 505 WILSON STREET REDFERN			
ARCHITECTURAL DETAILS - BALCONY BALUSTRADE DETAILS			
FILE No.	SHEET: 1	OF 1	A1
STATUS:	SSDA SUBMISSION		
DRG No.	CCG-CME-AR-DRG-504	REV B	VER
		EDMS No.	AMD No.



CHIEF MECHANICAL ENGINEER'S BUILDING			
505 WILSON STREET REDFERN			
ARCHITECTURAL			
EXTERNAL ARTIST IMPRESSION			
FILE No.		SHEET: 1 OF 1	
STATUS: SSSA SUBMISSION			
DRG No.	REV	VER	EDMS No.
CGG-CME-AR-DRG-601			



1 G3A - LIFT LOBBY ON GROUND
SCALE N.T.S.

2 G10 - REFURBISHED EXISTING CABINET JOINERY
SCALE N.T.S.

- REFURBISHED FLOOR, WALLS AND CEILING TO MATCH ORIGINAL.
- REFURBISHED EXISTING STAIR TO MEET BCA & DDA COMPLIANCES.
- NEW MODERN INTERNAL LIFT COMPLEMENTING EXISTING HERITAGE DETAILS.



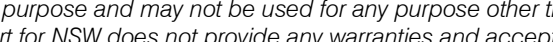
- RESTORED FINISHES AND REFURBISHED & REPURPOSED EXISTING FURNITURE.

CHARACTER IMAGES



INTERPRETATIVE INSTALLATION - EXAMPLES OF REFURBISHED JOINERY. REFER DETAIL TO HERITAGE ARCHITECT REPORT.

DRAWING COLOUR CODED - PRINT ALL COPIES IN COLOUR

						 Transport for NSW		<small>This drawing and the related information have been prepared by, or at the request of, Transport for NSW for a specific purpose and may not be used for any purpose other than the purpose intended by Transport for NSW. Transport for NSW does not provide any warranties and accepts no liability arising out of the use of this drawing or any of the related information for any purpose other than the intended purpose. This drawing is protected by copyright and no part of this drawing may be reproduced in any form without the express written permission of Transport for NSW.</small>		CHIEF MECHANICAL ENGINEER'S BUILDING 505 WILSON STREET REDFERN				
						 GHD		 CCG ARCHITECTS <small>NOMINATED ARCHITECTS: DAVID COOK (5086) / HISHAM NOORI (5678) CCG ARCHITECTS ARCHITECTURE</small>		DRAWN _____ MUNKONG _____ 04/11/22		ARCHITECTURAL INTERNAL ARTIST IMPRESSION		
B	SSDA SUBMISSION	E.P./04/11/22	E.P./04/11/22	D.C./04/11/22					DESIGNED _____ ERIC PARK _____ 04/11/22		FILE No. _____ SHEET: 1 OF 1 A1			
A	ISSUE FOR PRELIMINARY DESIGN	E.P./20/07/22	E.P./20/07/22	D.C./20/07/22					DRG CHECK _____ ERIC PARK _____ 04/11/22		STATUS: SSDA SUBMISSION			
REV	DESCRIPTION	DESIGNER SIGN./DATE	VERIFIED SIGN./DATE	APPROVED SIGN./DATE					DESIGN CHECK _____ DAVID COOK _____ 04/11/22		DRG No. CCG-CME-AR-DRG-602			
CO-ORDINATE SYSTEM:		HEIGHT DATUM:		SCALE:					APPROVED _____ DAVID COOK _____ 04/11/22		REV B	VER	EDMS No.	AMD No.