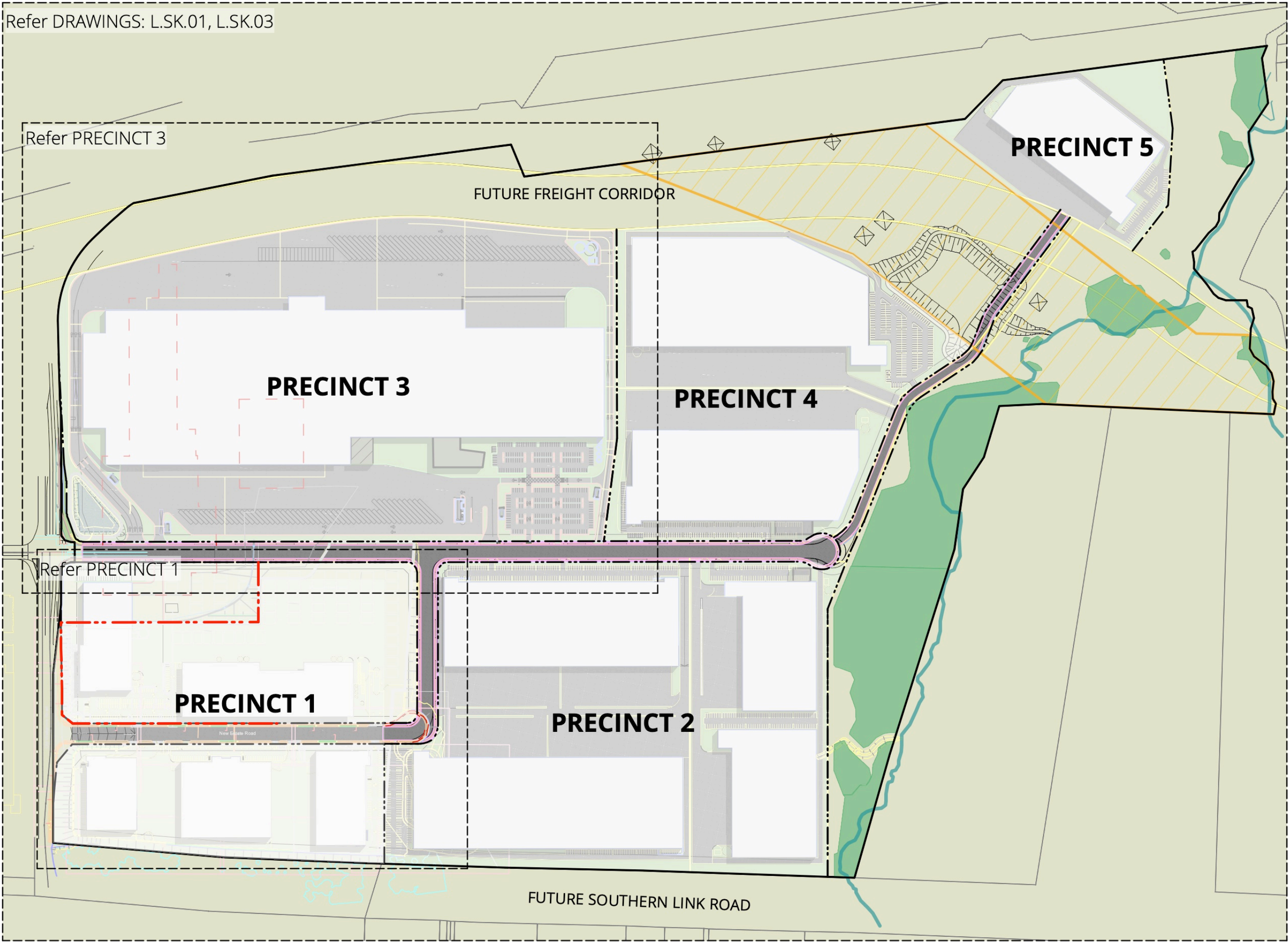


KEY MAP



DRAWINGS BY



LANDSCAPE ARCHITECTURE

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Phone 02 9976 0756
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Web www.scapedesign.com.au

PROJECT

Oakdale East Estate - Masterplan
Horsely Park, NSW

DRAWING NAME

Cover Sheet

CLIENT

Goodman Property Services (AUST) PTY LTD

PHASE

Development Application
Landscape Drawing Set

DRAWING REGISTER

DRAWING NUMBER	DRAWING NAME	REVISION	DATE
L.SK.00	Coversheet		
L.SK.01	Landscape Sketch Plan	B	21/4/22
L.SK.02	Street Tree & Planting Plan	B	21/4/22
L.SK.03	Planting Schedule	B	21/4/22
L.SK.04	Materials & Character	B	21/4/22
L.SK.04	Canopy Cover Analysis	B	21/4/22
L.SK.200	Sections - Sheet 1	B	21/4/22
L.SK.200	Sections - Sheet 2	B	21/4/22
L.SK.300	Details - Sheet 1	B	21/4/22
L.SK.301	Details Sheet 2	B	21/4/22

SSDA

CLIENT



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Rosebery, NSW, 2018
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Civil Engineer



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Ph: 02 9439 1777

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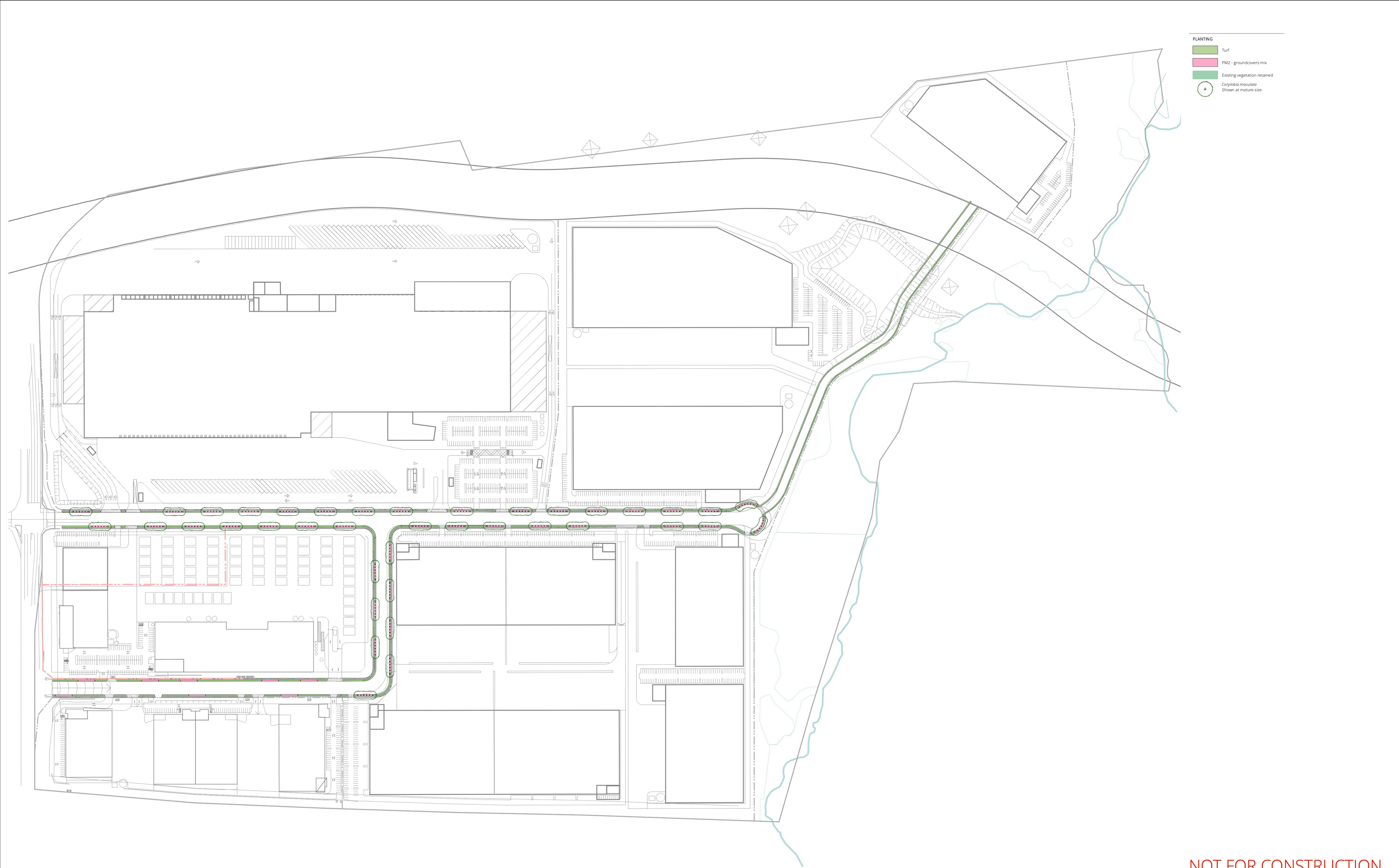


Legend	
PROGRAMME	CE Car entry/exit
	CP Carparking
	TE Truck entry/exit
BOUNDARIES	Site boundary
	Extent of stage 1
	Structure below
	Structure above
GENERAL	Building
	Demolition
	Drainage - Swale
WALLS & EDGES	Retaining wall
	Steel edge
	Proposed flush concrete kerb
RAILS AND FENCING	Proposed raised concrete kerb
	Fencing - general Refer ARCH DWG
PAVEMENTS	
Existing road	
Existing concrete pavement	
Instu concrete vehicular	
Instu concrete pedestrian	
Asphaltic concrete	
Deco granite	
Bassalt ballast	
Sandstone ballast	
FURNITURE AND FITTINGS	
Sandstone block	
Proposed seating	
Gate	
Bike hoop	
PLANTING	
Turf	
PM2 - grass mix shade	
PM3A - shrubs & groundcovers mix sun	
PM3B - shrubs & groundcovers mix shade	
PM6A - screen hedge tall sun	
PM7A - feature planting sun	
PM11 - rain garden mix	
Existing vegetation retained	
Proposed landscape area	
TREES	
Existing tree	
To be protected and retained Refer ARBORISTS REPORT	
Proposed canopy tree Refer PLANTING PLAN	
Proposed carpark tree Refer PLANTING PLAN	
Proposed feature tree Refer PLANTING PLAN	

- NOTES
- Should any plant species not be available at the time of plant ordering, it should be brought to the landscape architects attention immediately.
 - Supplementary species should be recommended by contractor for approval by landscape architect.
 - Communal areas and walkways are to be designed and constructed in accordance with AS1428 and NCC requirements.
 - Pool fencing and gates are to be designed and constructed in accordance with AS1926.
 - All planting and turf areas are to be irrigated.
 - All planting areas are to be mulched as specified.
 - Tree species are to be sourced in accordance with AS2303 and to the minimum pot sizes shown.
 - Feature pots are to include reservoir for drainage to prevent leaking on pavement areas.

NOT FOR CONSTRUCTION

DRAWING NUMBER		DRAWING NAME		REVISION		PROJECT NAME AND ADDRESS		CONSULTANTS		DRAWINGS BY	
L.SK.01		Landscape Sketch Plan		B		Oakdale East Estate - Masterplan Horsely Park, NSW		Architect SBA ARCHITECTS Suite 702 / 83 Mount St, North Sydney NSW 2060 Ph: +61 2 9929 9988		Civil Engineer at&I Level 7, 153 Walker Street, North Sydney, NSW 2060 Ph: 02 9439 1777	
PROJECT NUMBER SD-222-22		DRAWING DATE 7/3/22		SCALE 1:2000		STATUS SSDA		CLIENT NAME Goodman Propoerty Services (AUST) PTY LTD		LANDSCAPE ARCHITECTURE Suite 5 / 15 The Corso Manly NSW 2095 www.sapedesign.com.au	
SCALE BAR 0 20 40 60 80 100 M		DRAWN BY TS		CHECKED BY CH		REPRODUCTION OF THIS DOCUMENT REQUIRES THE WRITTEN CONSENT OF SCAPE DESIGN PTY. LTD. Do not scale from this drawing. Refer to 'Dial Before You Dig' documents, design drawings and survey for locations of all services. Verify services locations prior to commencement. Verify all dimensions on site prior to construction. © copyright. Scape Design Pty. Ltd. ABN 79 568 162 276					



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DRAWING NUMBER

L.SK.02

PROJECT NUMBER

SD-222-22

DRAWING DATE

7/3/22

DRAWING NAME

Street Tree & Planting Plan

SCALE

1:2000

SCALE BAR

0 1 2 3 4 5 M

STATUS

SSDA

REVISION

B

NP

PROJECT NAME AND ADDRESS

Oakdale East Estate - Masterplan
Horsely Park, NSW

CLIENT NAME

Goodman Propoerty Services (AUST) PTY LTD

DRAWN BY

TS

CHECKED BY

CH

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PLANT SCHEDULE - PUBLIC DOMAIN

BOTANICAL NAME	COMMON NAME	HEIGHT (m)	SPREAD (m)	POT SIZE	RATE (per m2)	QUANTITY
Proposed trees						
<i>Corymbia maculata</i>	Spotted Gum	30	10	75L	As Shown	234
PM2 - grass mix						0 sq.m
<i>Myoporum parvifolium</i>	Creeping boobialla	0.5	1	140mm	5	
Turf					Area =	0 sq.m

MATERIALS SCHEDULE - PUBLIC DOMAIN

Description	Area/ Qty/ Length
HARDSCAPE	
Type 1 - insitu concrete broom finish	0 m2
Type 2 - decomposed granite	0 m2
Type 3 - blue metal ballast	0 m2
Type 4 - sandstone ballast	0 m2
SOFTWORKS	
Turfing - New topsoil and irrigation	0 m2
Planting - new topsoil, irrigation and mulch	0 m2
WALLING AND EDGING	
Wall Type 1 - rendered and painted block	0 l.m
Kerb - insitu concrete	0 l.m
FURNITURE AND MISCELLANEOUS	
Recycled hardwood mullions	0 item

Proposed Trees



Proposed Groundcovers



PM2

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DRAWING NUMBER	DRAWING NAME	REVISION
L.SK.03	Planting Schedule	B
PROJECT NUMBER	DRAWING DATE	SCALE
SD-222-22	7/3/22	NA
		SCALE BAR
		STATUS
		SSDA
		NP

PROJECT NAME AND ADDRESS	
Oakdale East Estate - Masterplan	
Horsely Park, NSW	
CLIENT NAME	DRAWN BY
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Estate Character



Materials & Finishes



Sandstone ballast



Rail ballast



Decomposed granite



Concrete Kerbs



Recycled hardwood mullions



Keystone concrete retaining wall blocks



Sandstone blocks

Landscape Design Statement

Landscape Design Statement - Oakdale East, Horsley Park – SCAPE Design

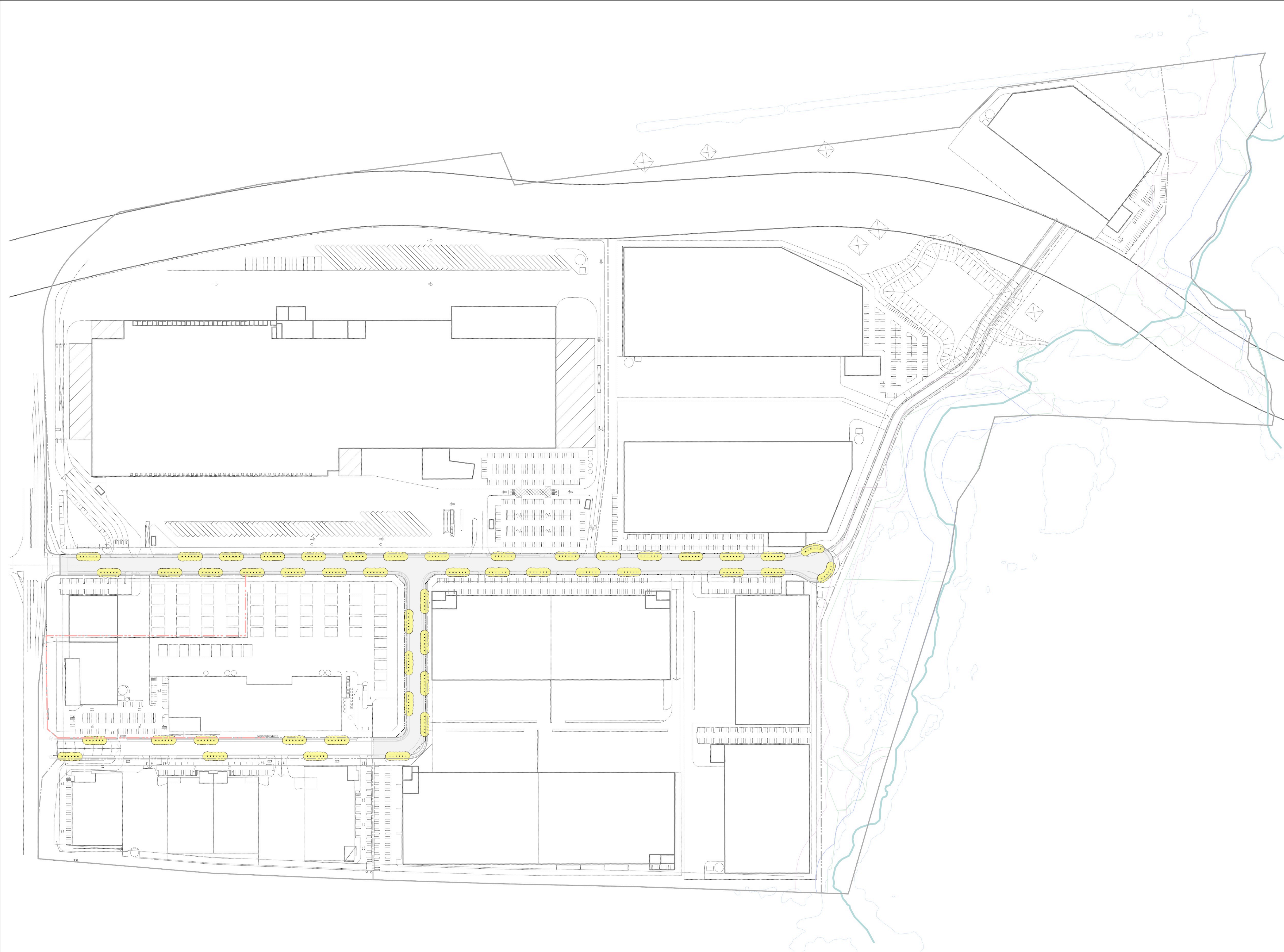
The landscape masterplan prepared for Oakdale East Estate aims to provide an aesthetic landscape treatment, conforming with the existing design language established in the constructed portions of Precinct 1, while addressing the key objectives as outlined in the NSW Planning *Greener Places* and *Urban Tree Canopy* guidelines, and relevant Fairfield City Council guidelines. Primarily these documents aim to maximise opportunities for dense tree canopy cover to mitigate the urban heat island effect caused by large paved surface areas and provide screening for the large built form.

Strategies to combat varying climatic conditions have been implemented through the inclusion of permeable surfaces such as turf, deco granite and large planting areas with a variety of planting typologies to reduce stormwater run-off. Planting species are chosen to be low maintenance drought tolerant to perform well in the south western Sydney climate.

Dense tree planting creates a visual screening between the precinct and neighbouring blocks, as well as users of common paths and internal roads. It is recognised that vegetative screening has limitations for developments of this scale, so we have employed a massed/clustering approach to increase tree densities and to focus attention on more robust areas of planting. This also has the potential to increase small bird habitat as opposed to standalone trees. There are opportunities of way finding proposed with feature planting of low hedges and mass planting. Feature trees with bright, long lasting floral displays are located within the precinct to create entry and exit points for pedestrians and vehicles, assisting in wayfinding .

Oakdale East Estate intends to align with the planting palette proposed by council environmental and planning requirements to ensure a high-quality landscape character similarly reflected in other Oakdale precincts and more broadly western Sydney projects. Goodman will be responsible for the landscape implementation of healthy and functional planting in the establishment period and on-going maintenance of high quality and robust landscape outcome.

DRAWING NUMBER		DRAWING NAME		REVISION		PROJECT NAME AND ADDRESS		CONSULTANTS		DRAWINGS BY	
L.SK.04		Materials & Character		B		Oakdale East Estate - Masterplan Horsely Park, NSW		<div>Architect</div> <div>SBA ARCHITECTS</div> <div>Suite 702 / 83 Mount St, North Sydney NSW 2060 Ph: +61 2 9929 9988</div> <div>Civil Engineer</div> <div>at&I</div> <div>Level 7, 153 Walker Street, North Sydney, NSW 2060 Ph: 02 9439 1777</div>		<div>LANDSCAPE ARCHITECTURE</div> <div>Suite 5 / 15 The Corso Manly NSW 2095 www.sapedesign.com.au</div>	
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SD-222-22	7/3/22	NA		SSDA		Goodman Propoerty Services (AUST) PTY LTD	CHECKED BY	CH			



CANOPY COVER

Area	Size
Proposed site boundary	25,509 sq m
Proposed mature canopy	9,124 sq m

Percentage cover

35.77%

Area	Size
Existing site boundary	9,671 sq m
Existing mature canopy	1,869 sq m

Percentage cover

19.32%

Methodology

1. Calculate the area (sq m) within the site boundary
2. Calculate the area of this site covered by the expected mature canopy.
3. Divide the mature canopy area by the site boundary area and convert to a percentage.

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DRAWING NUMBER

L.SK.05

PROJECT NUMBER
SD-222-22

DRAWING DATE
7/3/22

DRAWING NAME

Canopy Cover Analysis

SCALE
1:100

SCALE BAR
0 1 2 3 4 5 M

STATUS
SSDA

REVISION

B

NP

PROJECT NAME AND ADDRESS

Oakdale East Estate - Masterplan
Horsely Park, NSW

CLIENT NAME

Goodman Propoerty Services (AUST) PTY LTD

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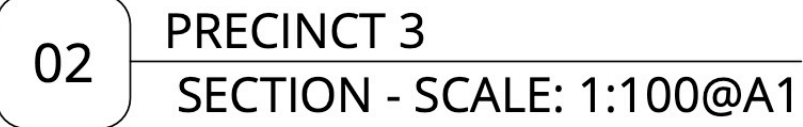
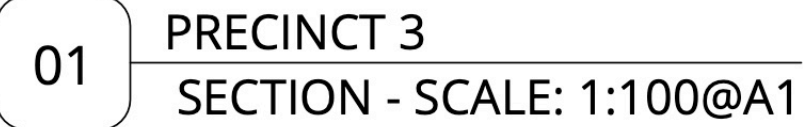
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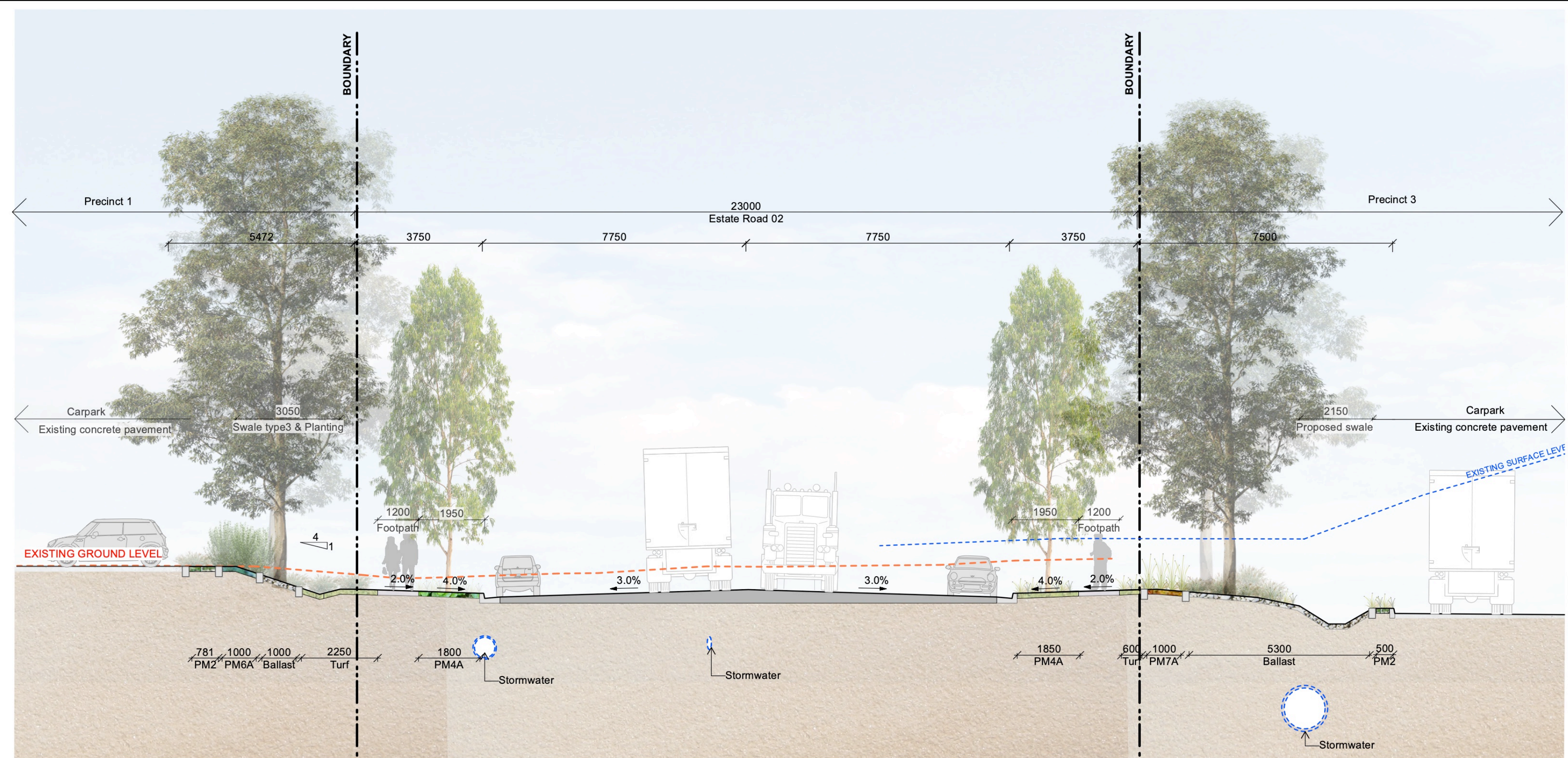
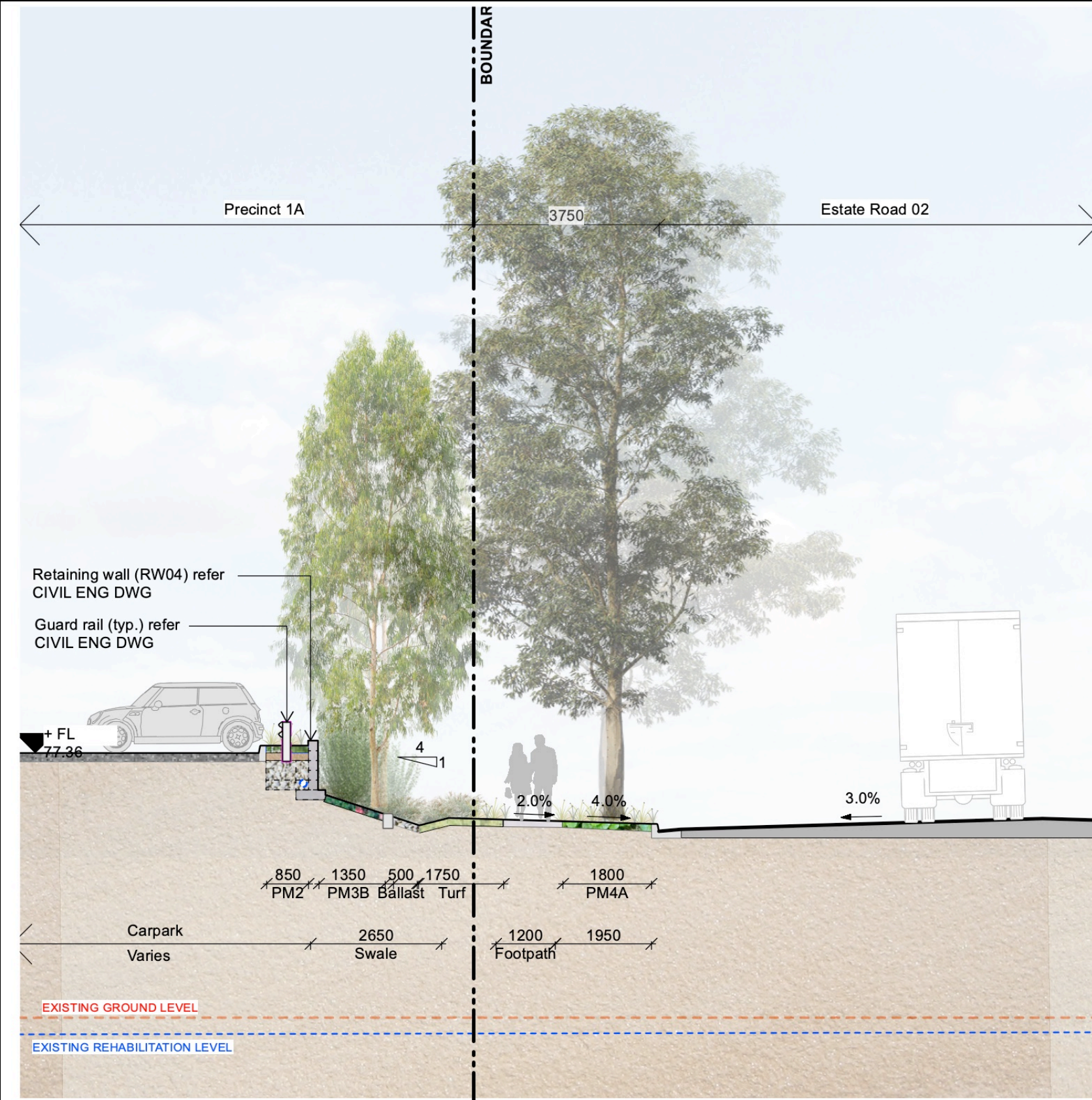
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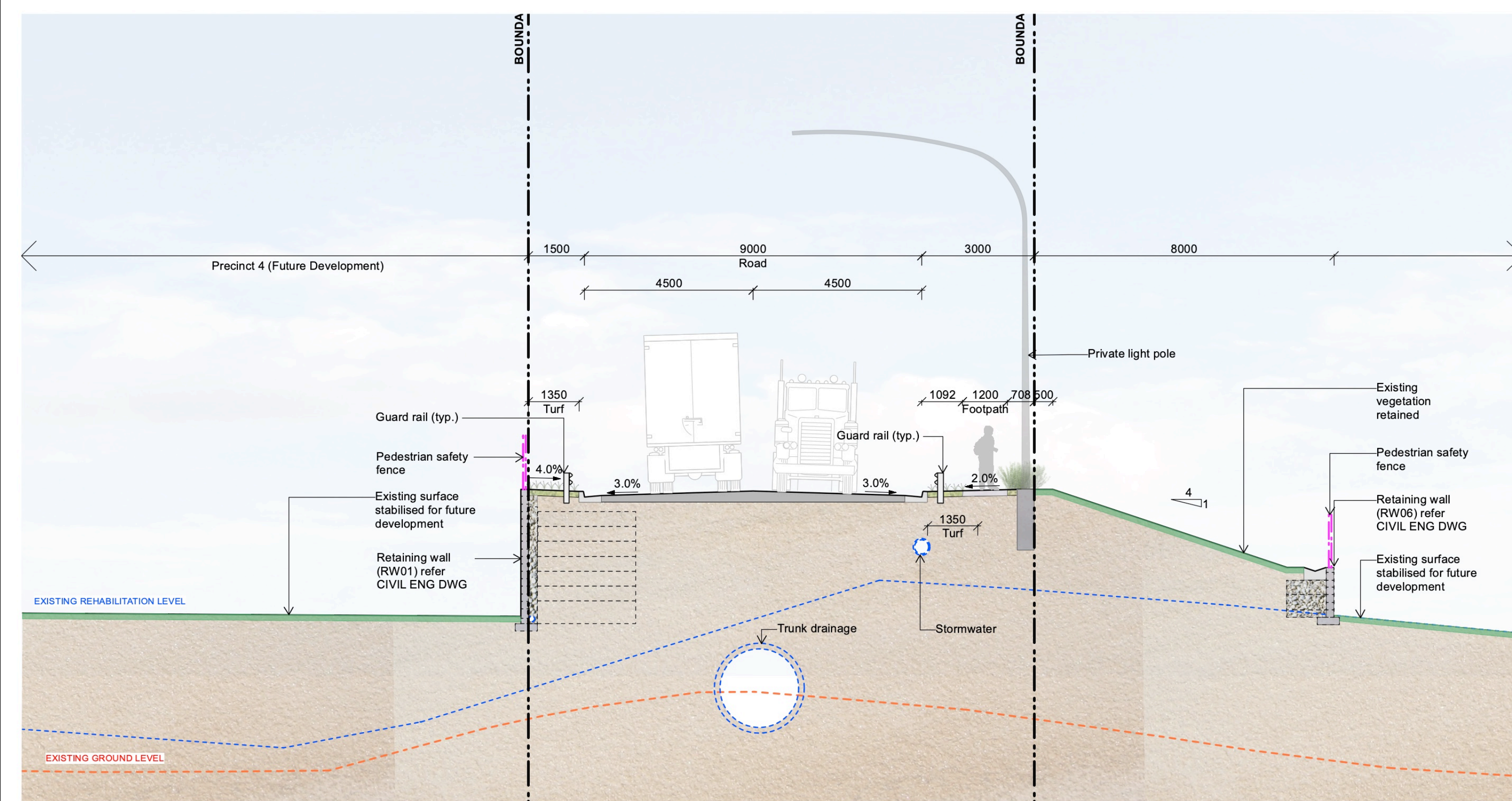
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L.SK.200		Sections - Sheet 1		B		Oakdale East Estate - Masterplan Horsely Park, NSW				<div><div>Architect</div><div>SBA ARCHITECTS</div></div> <div><div>Civil Engineer</div><div>at&l</div></div>		<div><div>Reproduction of this document requires the written consent of Scape Design Pty. Ltd. Do not scale from this drawing. Refer to 'Dial Before You Dig' documents, design drawings and survey for locations of all services. Verify services locations prior to commencement. Verify all dimensions on site prior to construction. © copyright Scape Design Pty. Ltd. ABN 79 568 162 276</div></div>		Suite 5 / 15 The Corso Manly NSW 2095 www.scapedesign.com.au	
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SD-222-22	7/3/22	NA		SSDA		Goodman Propoerty Services (AUST) PTY LTD	CHECKED BY	CH							

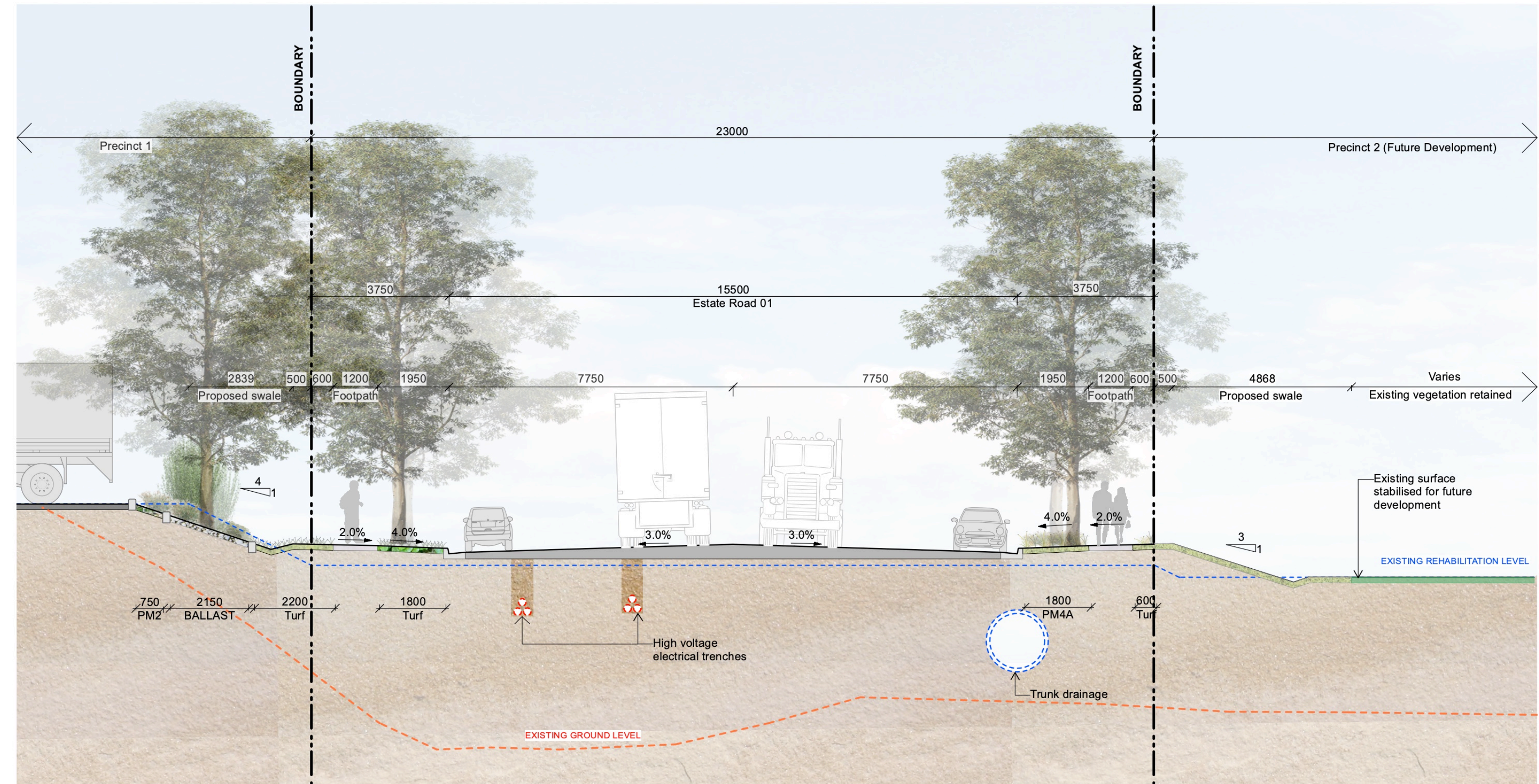


03 PRECINCT 1A
SECTION - SCALE: 1:100@A1

04 PRECINCT 1A
SECTION - SCALE: 1:100@A1



05 PRECINCT 4
SECTION - SCALE: 1:100@A1



06 PRECINCT 4
SECTION - SCALE: 1:100@A1

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L.SK.201		Sections - Sheet 2		B		Oakdale East Estate - Masterplan Horsely Park, NSW		Architect SBA Civil Engineer at&l		scape DESIGN	
PROJECT NUMBER SD-222-22		DRAWING DATE 7/3/22		SCALE NA		STATUS SSDA		Suite 702 / 83 Mount St, North Sydney NSW 2060 Ph: +61 2 9929 9988		Level 7, 153 Walker Street, North Sydney, NSW 2060 Ph: 02 9439 1777	
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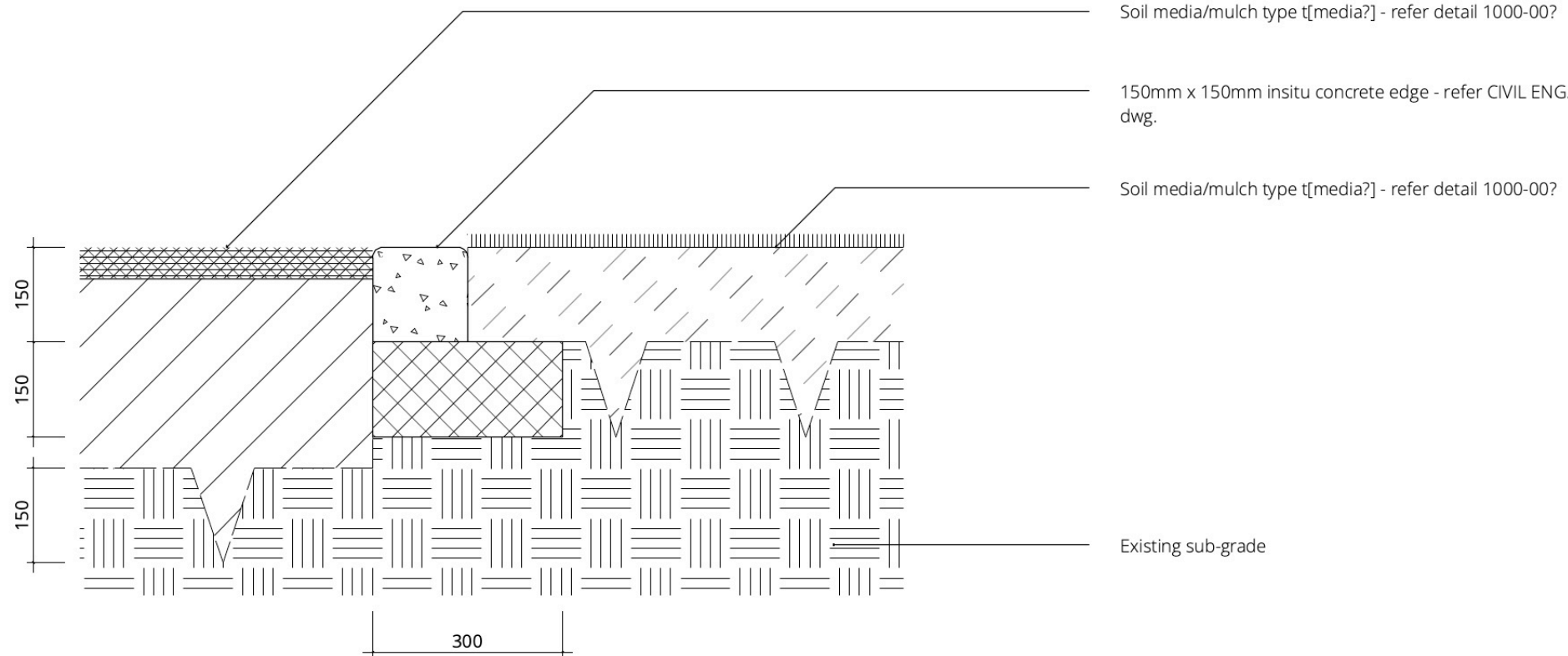
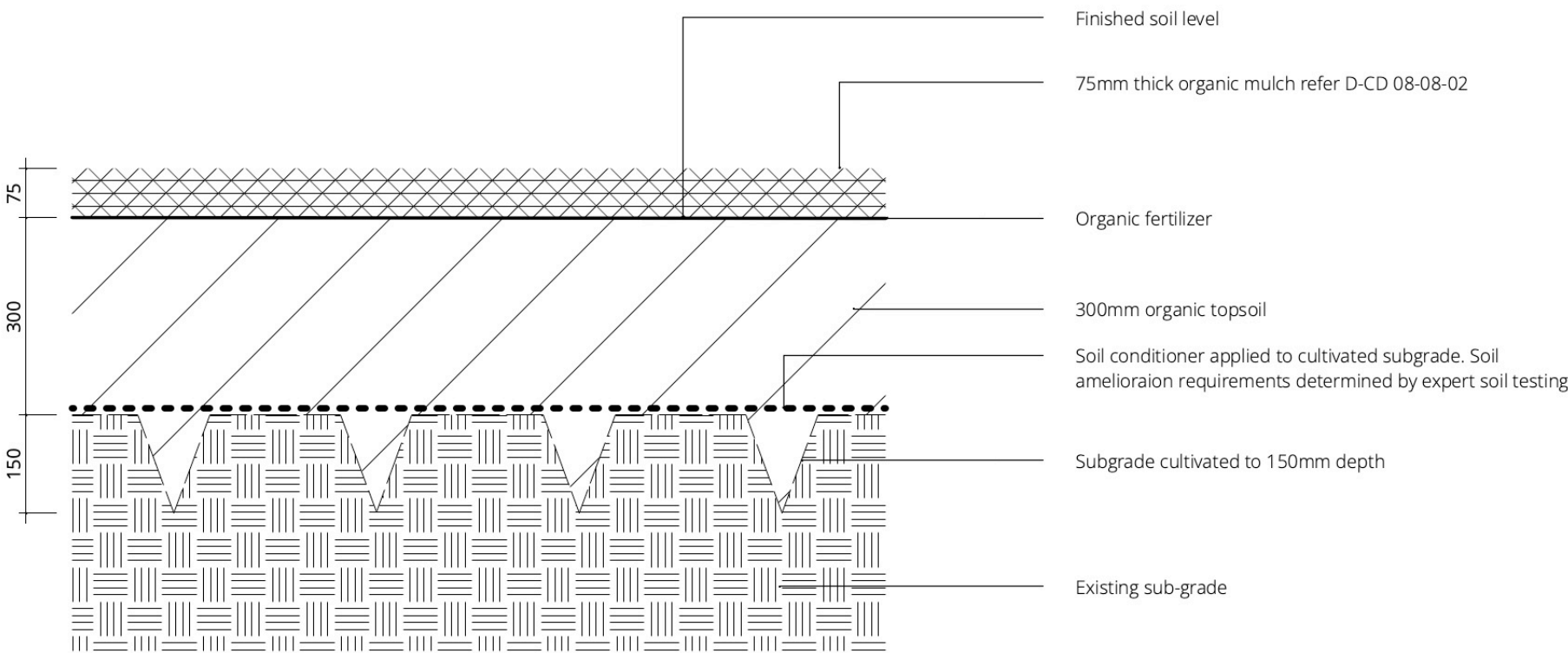
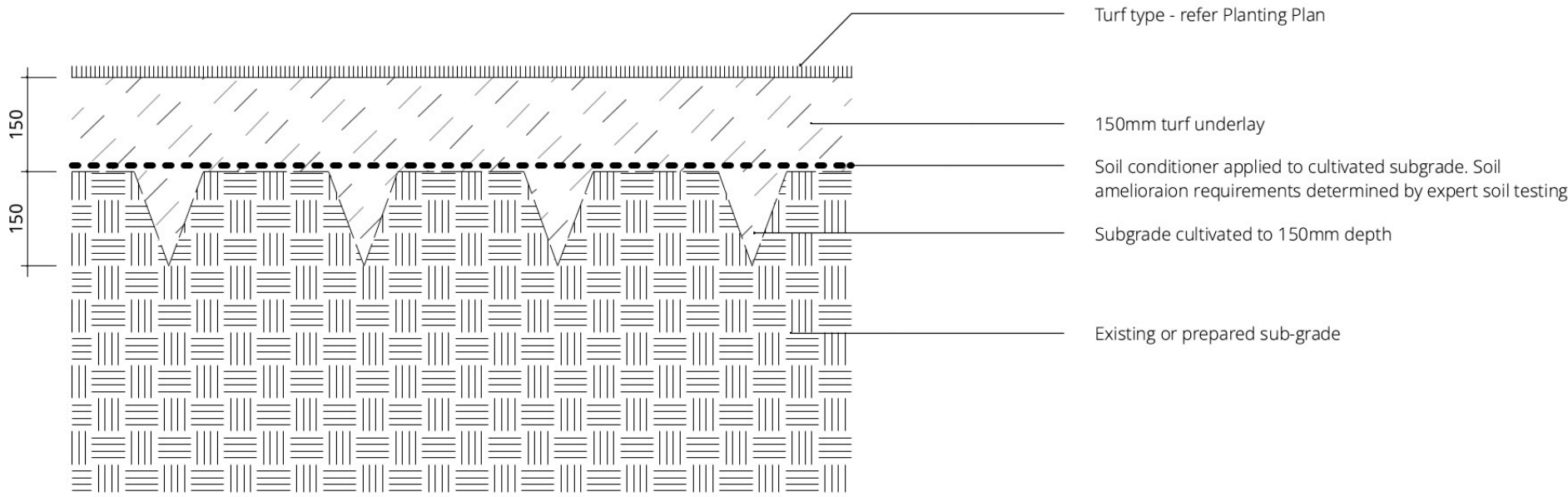


Benedict turf rootzone for turf & topdress
Good drainage and compaction resistance, loamy sand texture that maintains an acceptable level of water holding capacity for the Turf.

Notes:
1. Supplier: Australian Native Landscapes. Ph: 131 458
<https://anlscape.com.au/Products/garden-soil-mixes>
2. Refer specification for selections



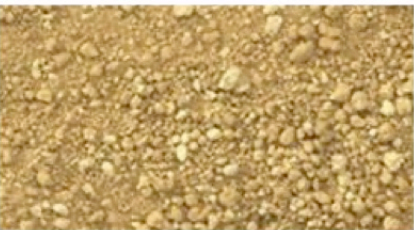
Organic Native Planting Mix (SmartMix® 6)
A native garden mix, offering excellent drainage, acidic pH and low phosphorous levels, specifically designed for use in the A Horizon (top 300mm) for native planting applications.



D-CD	SOIL TYPE - LAWN AT GRADE
01-05-01	Section - Scale 1:10 @ A1

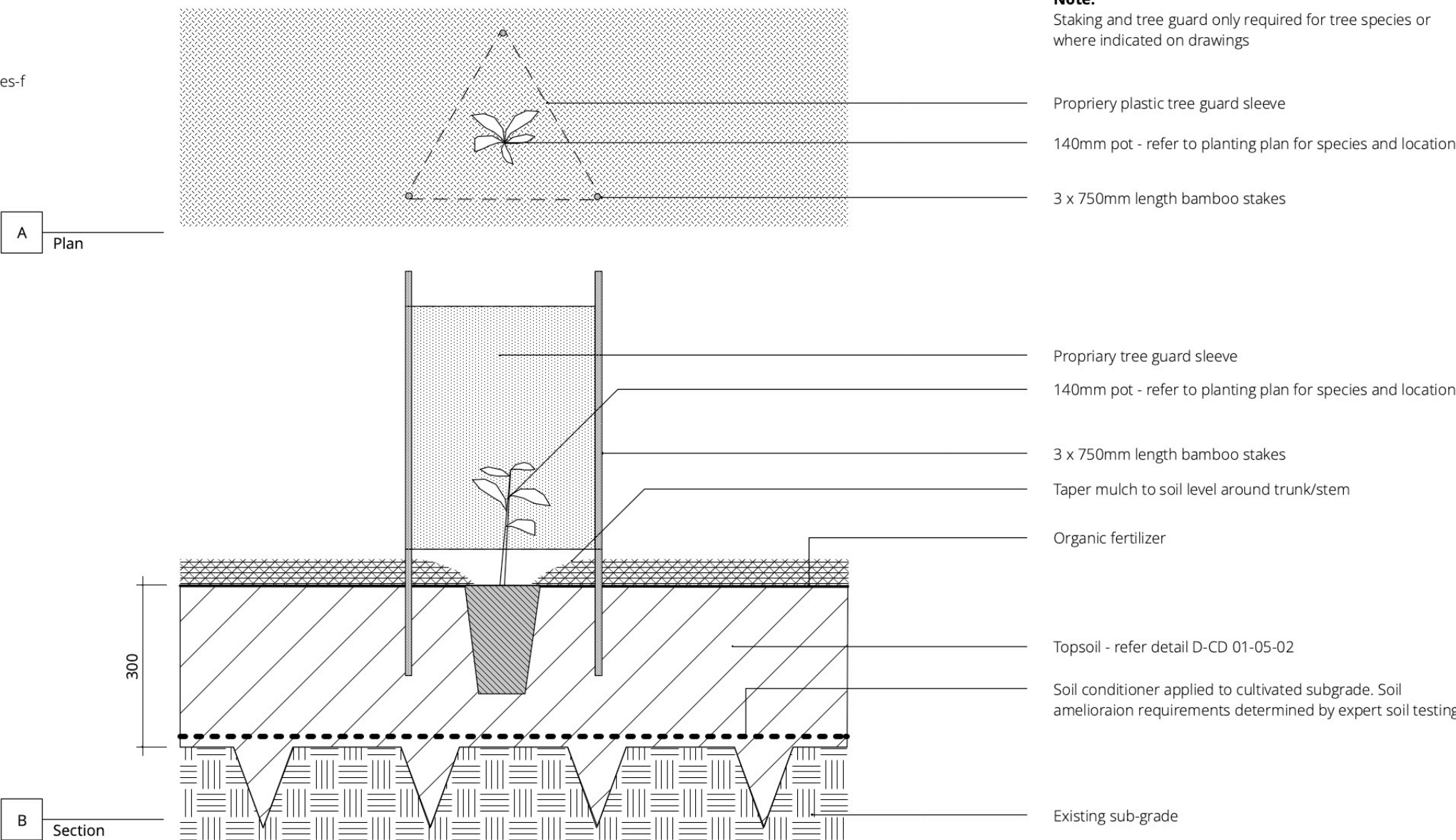
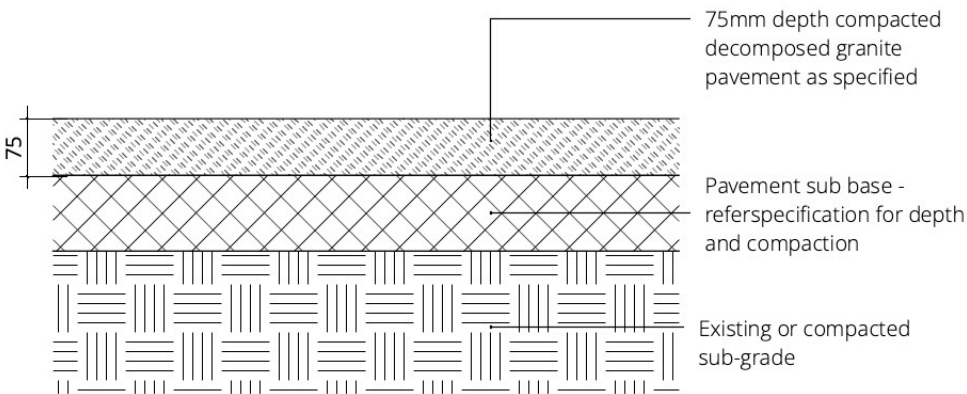
D-CD	SOIL TYPE - GARDEN AT GRADE
01-05-02	Section - Scale 1:10 @ A1

D-CD	EDGE TYPE - CONCRETE FLUSH TO GARDEN & LAWN
02-03-04	Section - Scale 1:10 @ A1



Material: decomposed granite
Colour: "Deco Gold"

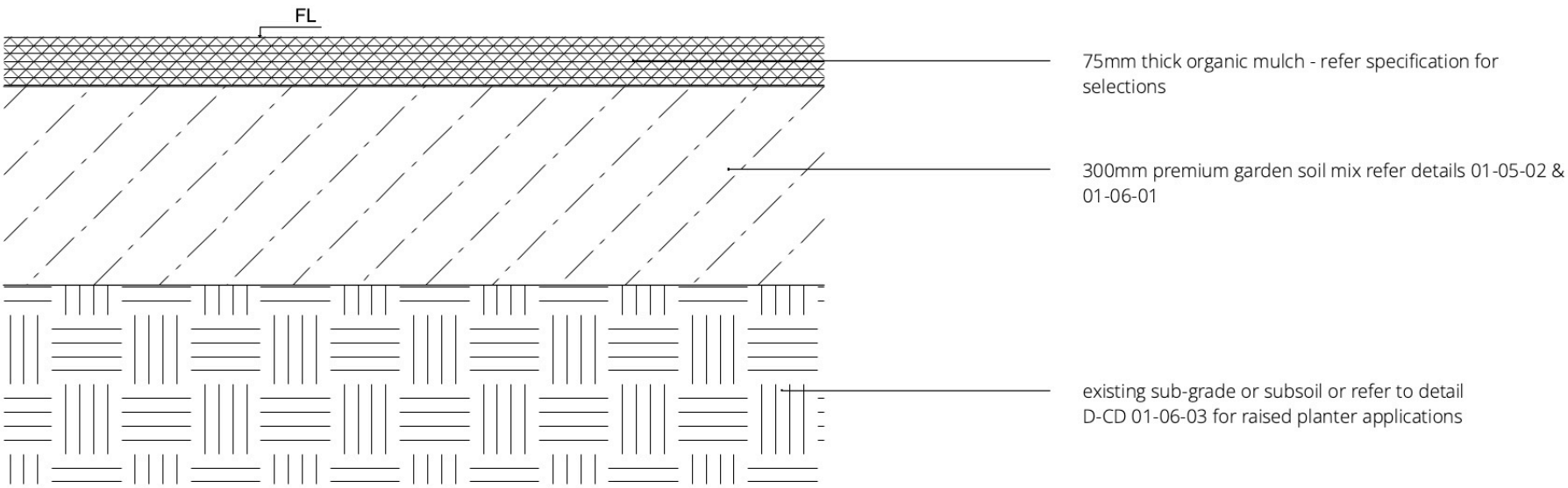
Notes:
1. Supplier: Australian Native Landscapes. Ph: 131 458
<https://anlscape.com.au/landscaping/gravels-and-pebbles-f-or-pathways-and-driveways/deco-gold-gravel>



'Eucalyptus Mulch'
Colour - organic light tan coloured mulch
Size - fine 15mm minus mulch particles
General Use - long lasting and easy to spread, for native gardens and general landscaping.

'Forest Blend'
Colour - 100% recycled wood and waste gold coloured chips
Size - coarse 20-40mm mulch particles
General Use - long lasting and easy to spread, use in any garden area

Notes:
1. Supplier: Australian Native Landscapes. Ph: 131 458
<http://anlscape.com.au/Products/garden-mulch/>
2. Refer specification for selections



D-CD	PAVEMENT TYPE - FINE AGGREGATE/DECOMPOSED GRANITE AT GRADE
03-01-42	Section - Scale 1:10 @ A1

D-CD	PLANTING 140MM POT - GARDEN BED
08-02-01	Plan Section - Scale 1:10 @ A1

D-CD	MULCH TYPE - ORGANIC MULCH
08-08-02	Typical section - Scale 1:10 @ A1

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Product range

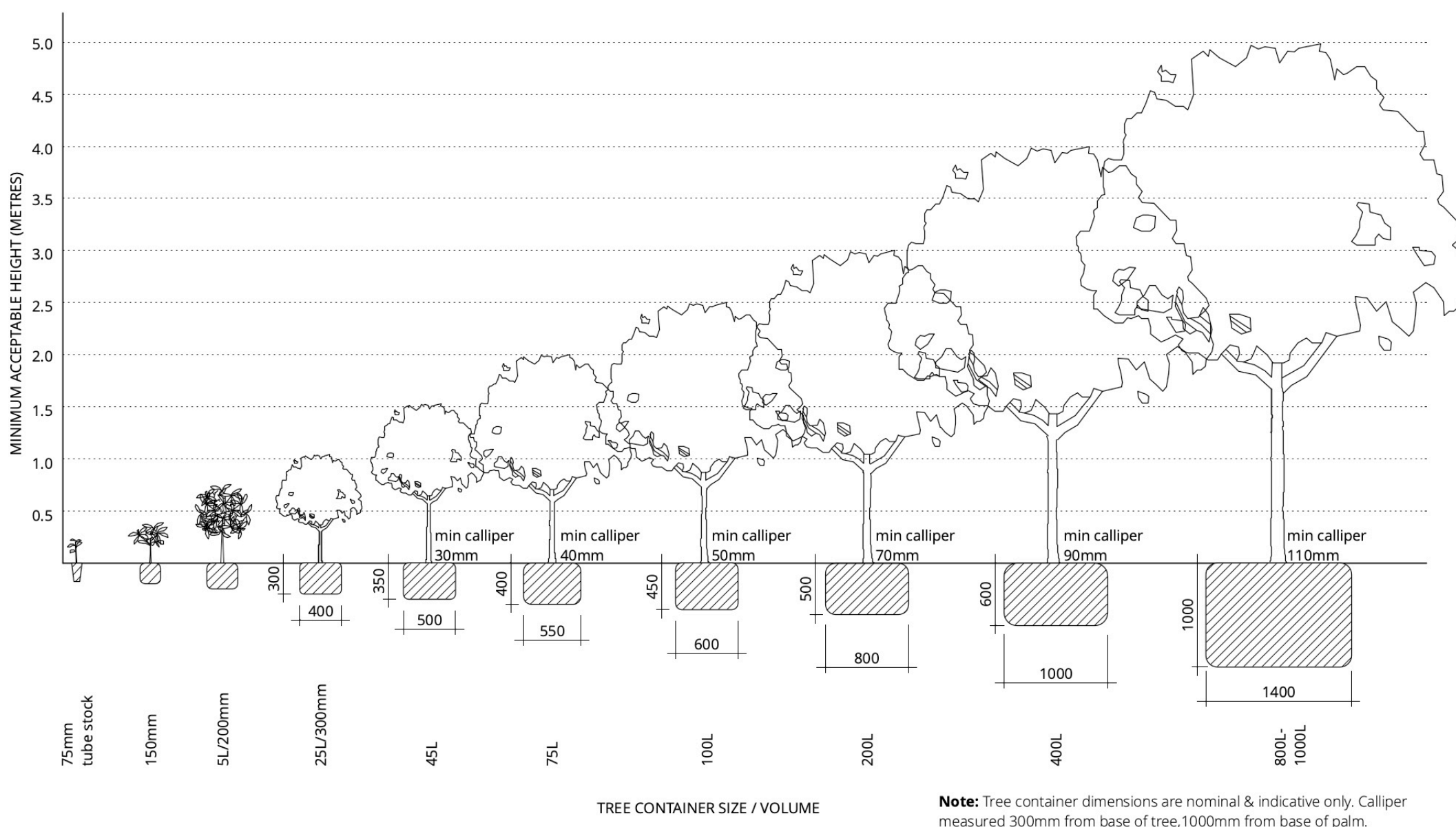
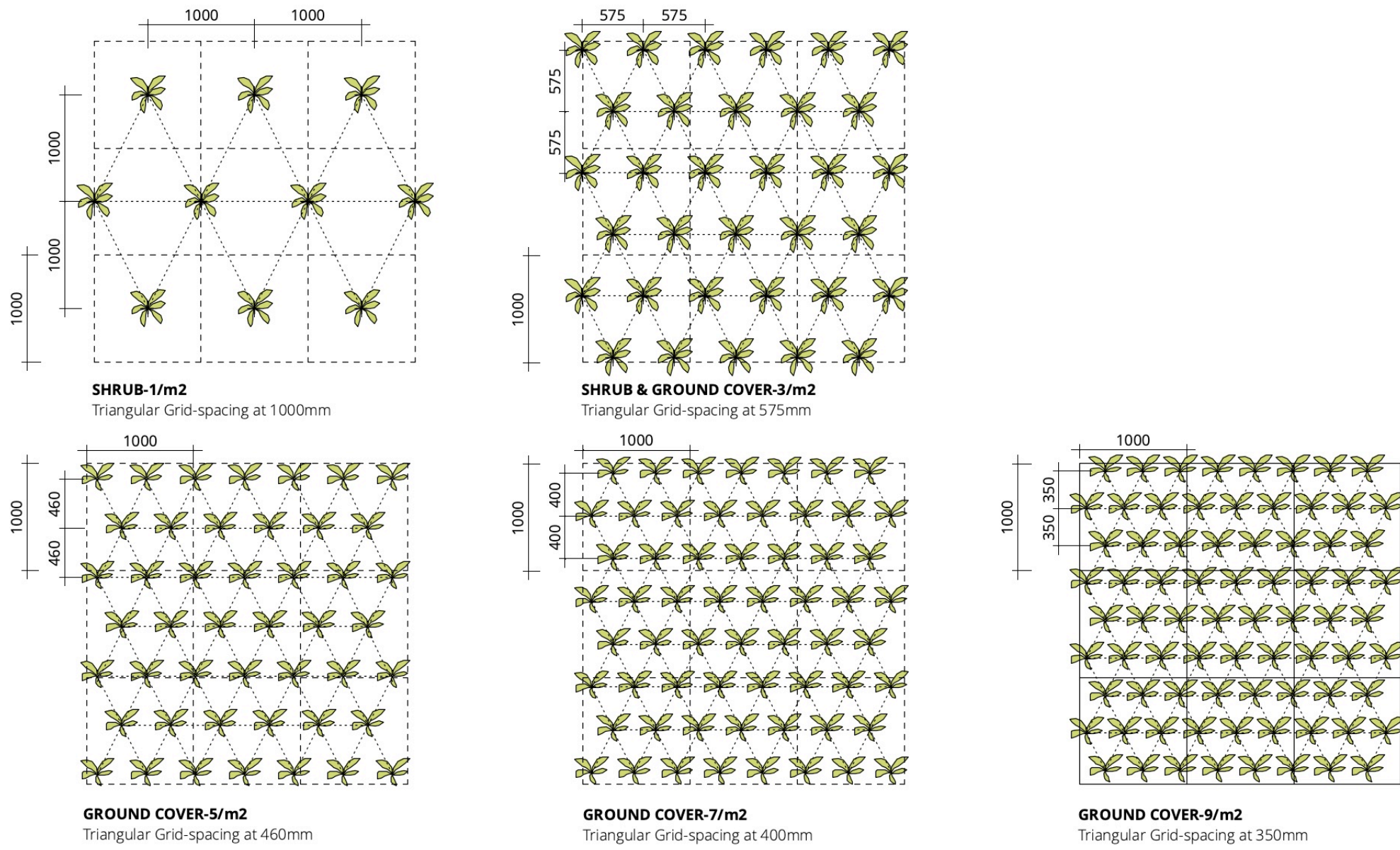
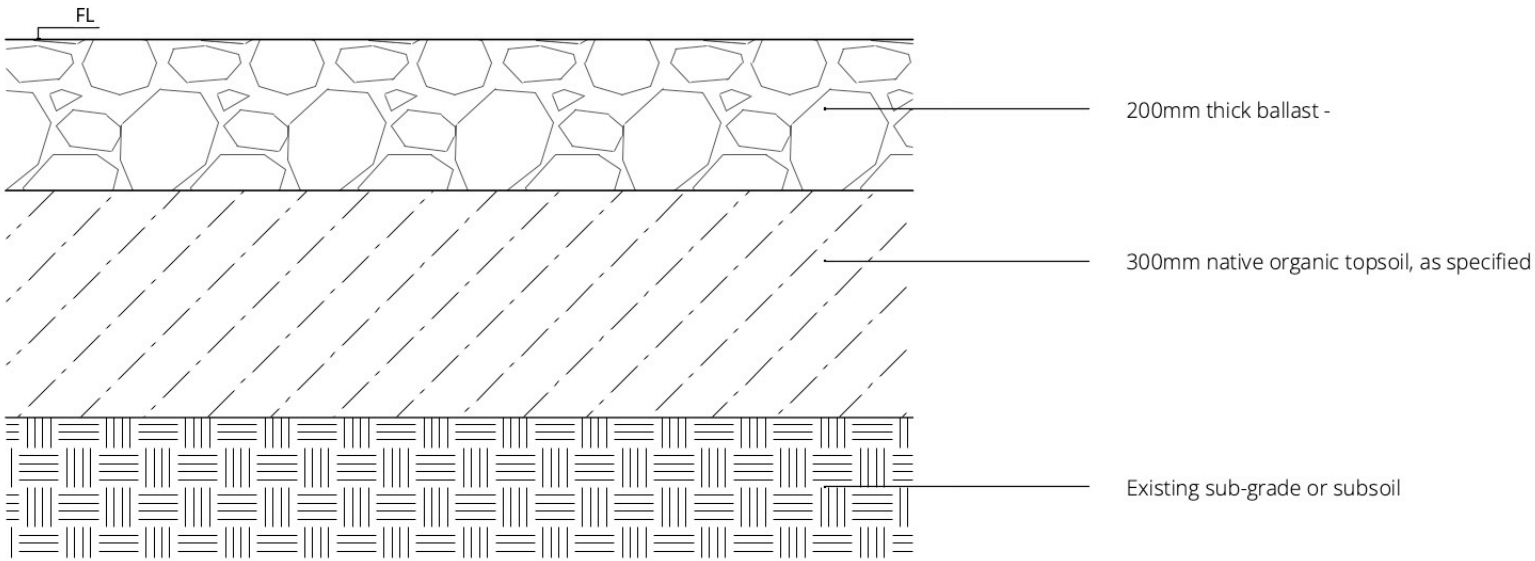


Bassalt spalls 75-150mm

Sandstone spalls 75-150mm

Notes:

1. Supplier: Benedict Ph: (02) 9986 3500
https://www.benedict.com.au/products/rocks-spalls/spalls

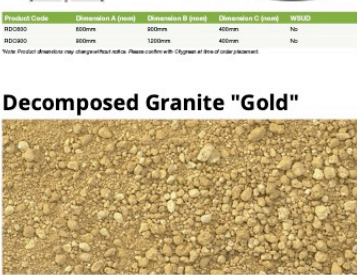



D-CD	MULCH TYPE - DECORATIVE BALLAST
08-08-04	Section - Scale 1:10 @ A1

D-CD	PLANTING - PATTERNS & SPACINGS
08-09-02	Plan - Scale 1:50 @ A1

D-CD	PLANTING - MINIMUM SIZES
08-09-03	Section - Scale 1:50 @ A1

Root Director



Decomposed Granite "Gold"

Notes:

1. Supplier (Root Director): City Green.
Ph: +61 1300 066 949
https://citygreen.com/products/rootdirector-c-series/
Supplier (Decomposed Granite "Pink"): ANL.
Ph: 02 9450 1444
https://anlscap.com.au/landscaping/gravel-and-pebbles-for-pathways-and-driveways/deco-granite-pink-gravel
2. Refer specification for selections

200L TREE WITH ROOT DIRECTOR

Detail Section - Scale 1:25

3no. 40x40 hardwood stakes with hessian ties

100L tree as specified. Refer to planting plan L.SK.02 and 03 for species and location

Coarse sand backfill where required above tree roots

Root Director RDC600

Raised kerb (TYP)
Cement stabilised decomposed granite surface, 75mm thick, "Deco-Pink" by ANL or similar

Backfill with topsoil (CoS Type A) and bring to 125mm below finished levels

Structural soil (Benedicts or similar) or proprietry root vault system (Citygreen strata cell or similar)

Ag line drainage, connect to SW

Excavate hole and backfill with topsoil (CoS Type B) as specified provide structural soil where excavating under pavements or kerbs

Aeration and watering manifold: 50 dia perforated pipe with geotextile sock to circumference of tree pit. Bring to surface inside root director ring

Level base to tree pit, lightly compact to reduce settlement

Ag line drainage, connect to SW

Root Director RDC600

Backfill root director ring with loose recycled aggregate

Aeration and watering manifold: 50 dia perforated pipe with geotextile sock to circumference of tree pit. Bring to surface inside root director ring

3no. tree stakes with hessian ties

Raised kerb (TYP)

D-CD	TREE PLANTING - 100L TREE WITH ROOT DIRECTOR
08-02-21	Section Plan - Scale 1:25 @ A1

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DRAWING NUMBER	DRAWING NAME	REVISION	PROJECT NAME AND ADDRESS	CONSULTANTS	DRAWINGS BY
L.SK.301	Details - Sheet 2	B	Oakdale East Estate - Masterplan Horsely Park, NSW	Architect SBA ARCHITECTS Suite 702 / 83 Mount St, North Sydney NSW 2060 Ph: +61 2 9929 9988	Civil Engineer at&L Level 7, 153 Walker Street, North Sydney, NSW 2060 Ph: 02 9439 1777
PROJECT NUMBER SD-222-22	DRAWING DATE 7/3/22	SCALE NA	SCALE BAR	CLIENT NAME Goodman Propoerty Services (AUST) PTY LTD	DRAWN BY TS CHECKED BY CH
STATUS SSDA	NP				