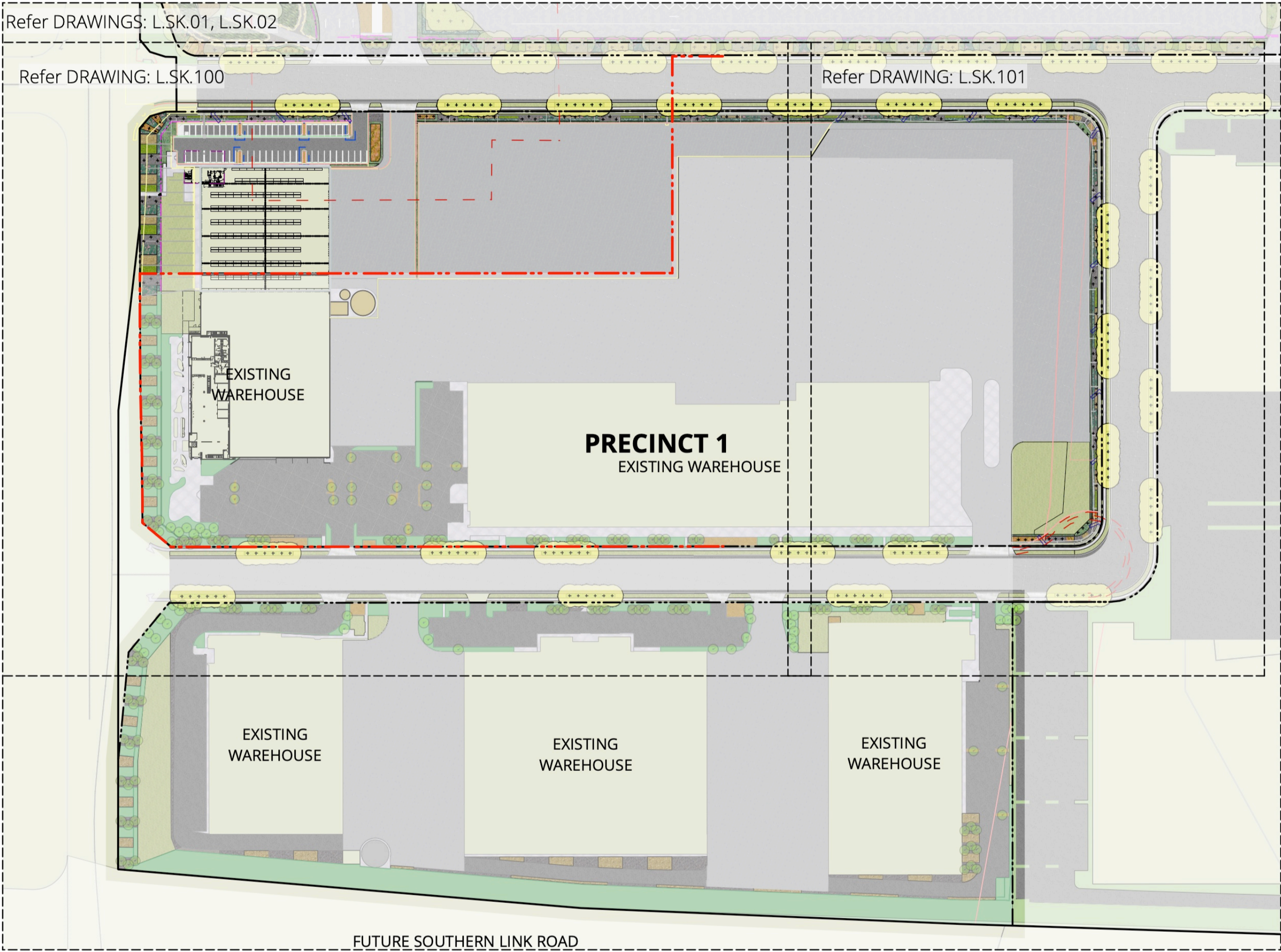


KEY MAP



DRAWINGS BY



LANDSCAPE ARCHITECTURE

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Manly NSW 2095
Phone 02 9976 0756
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Web www.scapedesign.com.au

PROJECT

Oakdale East Estate - Precinct 1
Horsely Park, NSW

DRAWING NAME

Cover Sheet

CLIENT

Goodman Propoerty Services (AUST) PTY LTD

PHASE

Development Application
Landscape Drawing Set

DRAWING REGISTER

DRAWING NUMBER	DRAWING NAME	REVISION	DATE
L.SK.00	Coversheet		
L.SK.01	Landscape Sketch Plan	B	21/4/22
L.SK.02	Planting Plan	B	21/4/22
L.SK.03	Planting Schedule	B	21/4/22
L.SK.04	Materials & Character	B	21/4/22
L.SK.05	Canopy Cover Analysis	B	21/4/22
L.SK.100	Landscape Plan Sheet 1	B	21/4/22
L.SK.101	Landscape Plan Sheet 2	B	21/4/22
L.SK.200	Sections	B	21/4/22

DRAFT

CLIENT



The Hayesbery, 1-11 Hayes Rd
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Ph: +61 2 9230 7400

CONSULTANTS

Architect



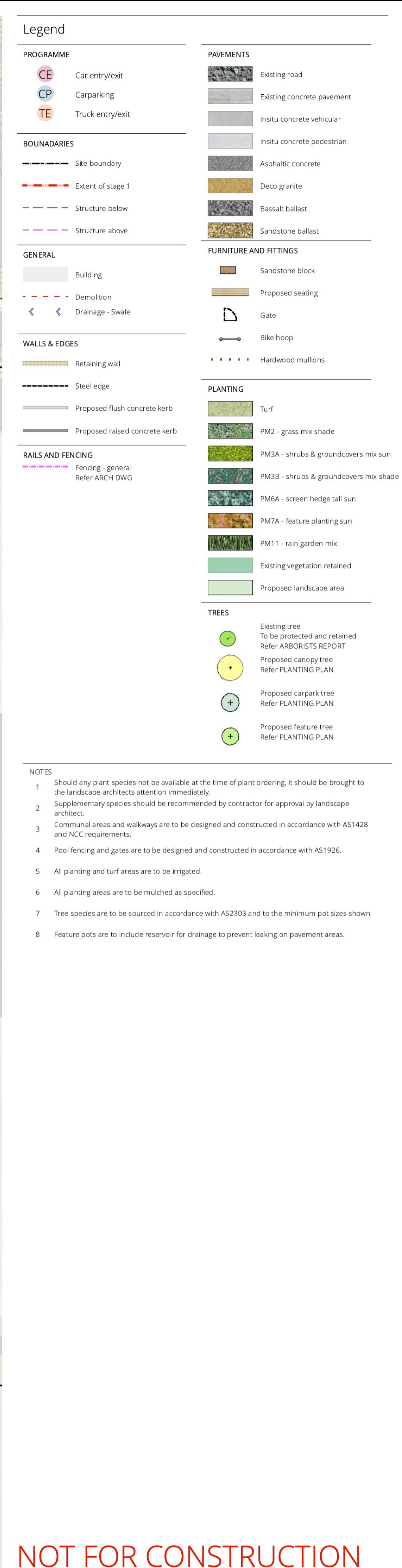
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Civil Engineer



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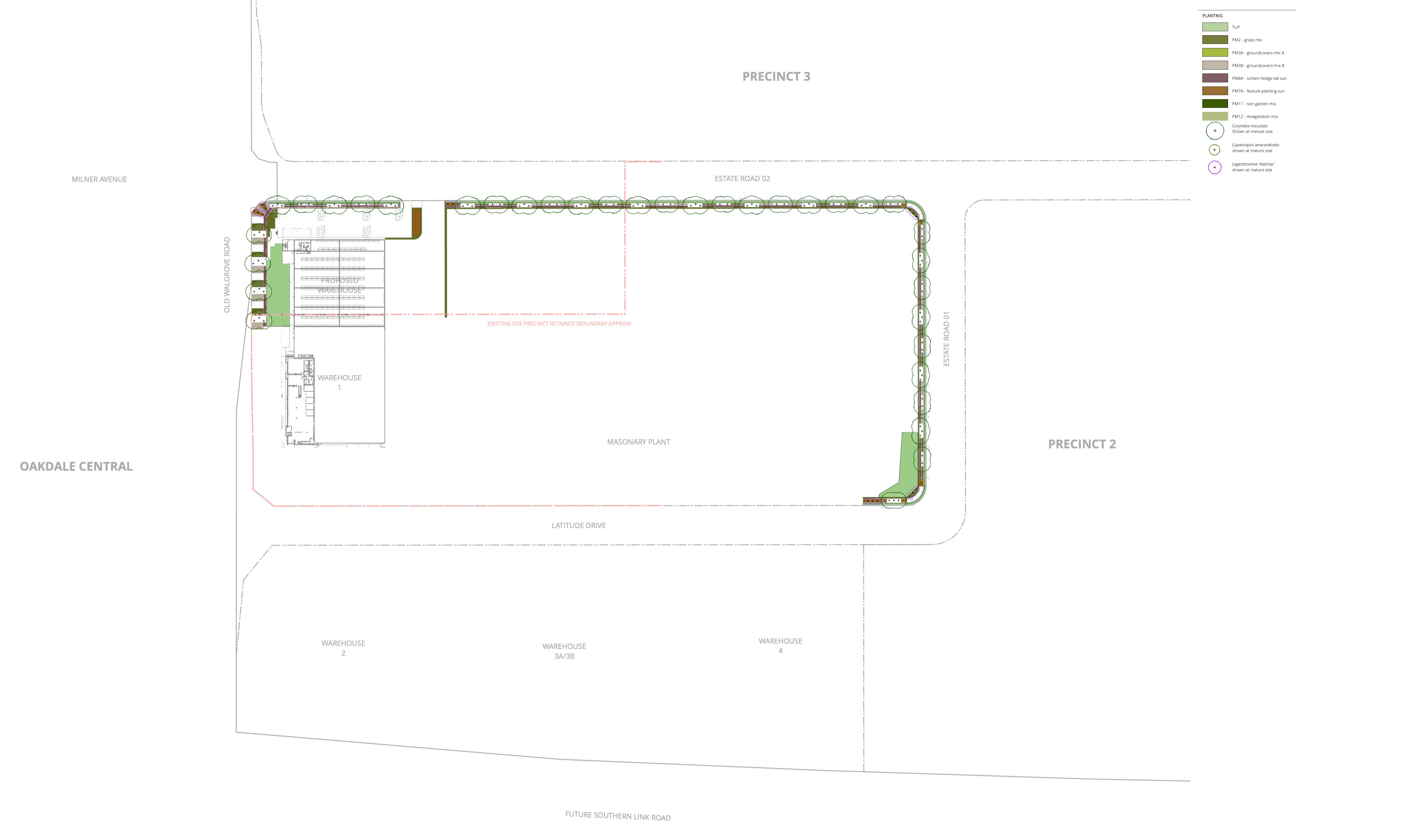
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DRAWING NUMBER

L.SK.02

PROJECT NUMBER

SD-222-22

DRAWING DATE

7/3/22

DRAWING NAME

Tree & Planting Plan

SCALE

1:1000

SCALE BAR

0

10

20

30

40

50 M

STATUS

DRAFT

REVISION

B

PROJECT NAME AND ADDRESS

Oakdale East Estate - Precinct 1
Horsely Park, NSW

CLIENT NAME

Goodman Propoerty Services (AUST) PTY LTD

DRAWN BY

TS

CHECKED BY

CH

CONSULTANTS

Architect

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PLANT SCHEDULE						
BOTANICAL NAME	COMMON NAME	HEIGHT (m)	SPREAD (m)	POT SIZE	RATE (per m2)	QUANTITY
Proposed trees						
<i>Corymbia maculata</i>	Spotted Gum	30	10	75L	As Shown	90
<i>Cupaniopsis anacardioides</i>	Tuckeroo	30	4	25L	As Shown	12
<i>Lagerstroemia 'Natchez'</i>	Crepe myrtle	6	4	5L	As Shown	17
PM2 - grass mix						
<i>Pennisetum alopecuroides 'Nafray'</i>	Pennisetum Nafray	0.5	0.5	140mm	5	0
PM3A - groundcovers mix A						
<i>Carpobrotus glaucescens</i>	Pig Face	0.1	0.6	140mm	5	0
PM3B - groundcovers mix B						
<i>Trachelospermum jasminoides</i>	Star Jasmine	1.2	1	140mm	5	0
PM6A - screen & hedge mix tall sun						
<i>Viburnum odoratissimum</i>	Sweet Viburnum	4	4	140mm	5	0
PM7A - feature planting sun						
<i>Loropetalum chinense 'China Pink'</i>	Loropetalum China Pink	1	1.2	140mm	5	0
<i>Nandina domestica 'Gulf Stream'</i>	Dwarf Sacred Bamboo	0.75	0.75	140mm	5	0
<i>Rhaphiolepis indica 'Oriental Pearl'</i>	Oriental Pearl Indian Hawtho	1	1	140mm	5	0
PM11 - rain garden mix						
<i>Carex appressa</i>	Tall Sedge	0.7	0.5	75mm	5	0
<i>Ficinia nodosa</i>	Knobby club-rush	1	0.4	75mm	5	0
<i>Juncus usitatus</i>	Common Rush	1	0.7	75mm	5	0
Turf						
					Area =	0 sq.m

Proposed Trees



Corymbia maculata



Cupaniopsis anacardioides



Lagerstroemia Natchez

Proposed Specimen Plants



Loropetalum China Pink



Nandina Gulf Stream

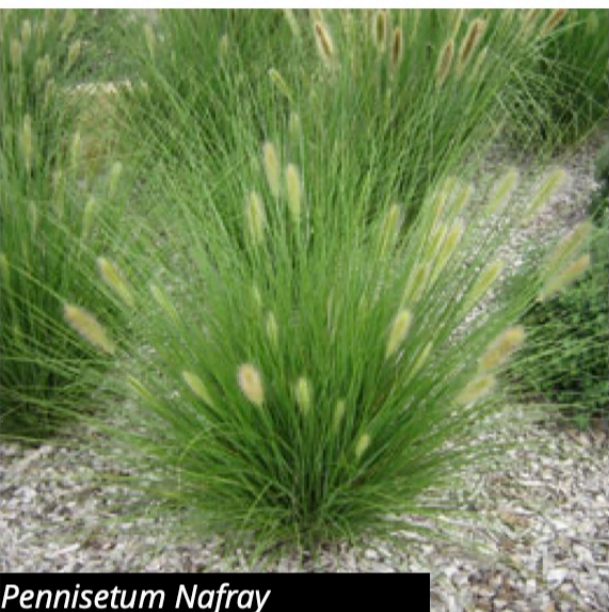


Rhaphiolepis Oriental Pearl



Viburnum Odoratissimum

Proposed Grasses & Groundcovers



Pennisetum Nafray



Carpobrotus glaucescens



Trachelospermum jasminoides

PM2

PM3A

PM3B

DRAWING NUMBER		DRAWING NAME		REVISION	
L.SK.03		Planting schedule		B	
PROJECT NUMBER	DRAWING DATE	SCALE	SCALE BAR	STATUS	NP
SD-222-22	7/3/22	1:100	0 1 2 3 4 5 M	DRAFT	

PROJECT NAME AND ADDRESS	
Oakdale East Estate - Precinct 1 Horsely Park, NSW	
CLIENT NAME	
Goodman Propoerty Services (AUST) PTY LTD	
DRAWN BY	TS
CHECKED BY	CH

CONSULTANTS		DRAWINGS BY	
Architect	Civil Engineer	LANDSCAPE ARCHITECTURE	
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Suite 702 / 83 Mount St, North Sydney NSW 2060 Ph: +61 2 9929 9988	Level 7, 153 Walker Street, North Sydney, NSW 2060 Ph: 02 9439 1777	Reproduction of this document requires the written consent of Scape Design Pty. Ltd. Do not scale from this drawing. Refer to 'Dial Before You Dig' documents, design drawings and survey for locations of all services. Verify services locations prior to commencement. Verify all dimensions on site prior to construction. © copyright. Scape Design Pty. Ltd. ABN 79 568 162 276	

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Existing Estate Character



Materials & Finishes



Sandstone ballast



Bassalt ballast



Decomposed granite



Concrete Kerbs



Recycled hardwood mullions



Keystone concrete retaining wall blocks



Sandstone blocks

Landscape Design Statement

Landscape Design Statement - Precinct 1, Oakdale East, Horsley Park – SCAPE Design

The landscape masterplan prepared for Oakdale East Estate, Precinct 1 aims to provide an aesthetic landscape treatment, conforming with the existing design language established in the constructed portions of Precinct 1, while addressing the key objectives as outlined in the NSW Planning *Greener Places* and *Urban Tree Canopy* guidelines, and relevant Fairfield City Council guidelines. Primarily these documents aim to maximise opportunities for dense tree canopy cover to mitigate the urban heat island effect caused by large paved surface areas and provide screening for the large built form.

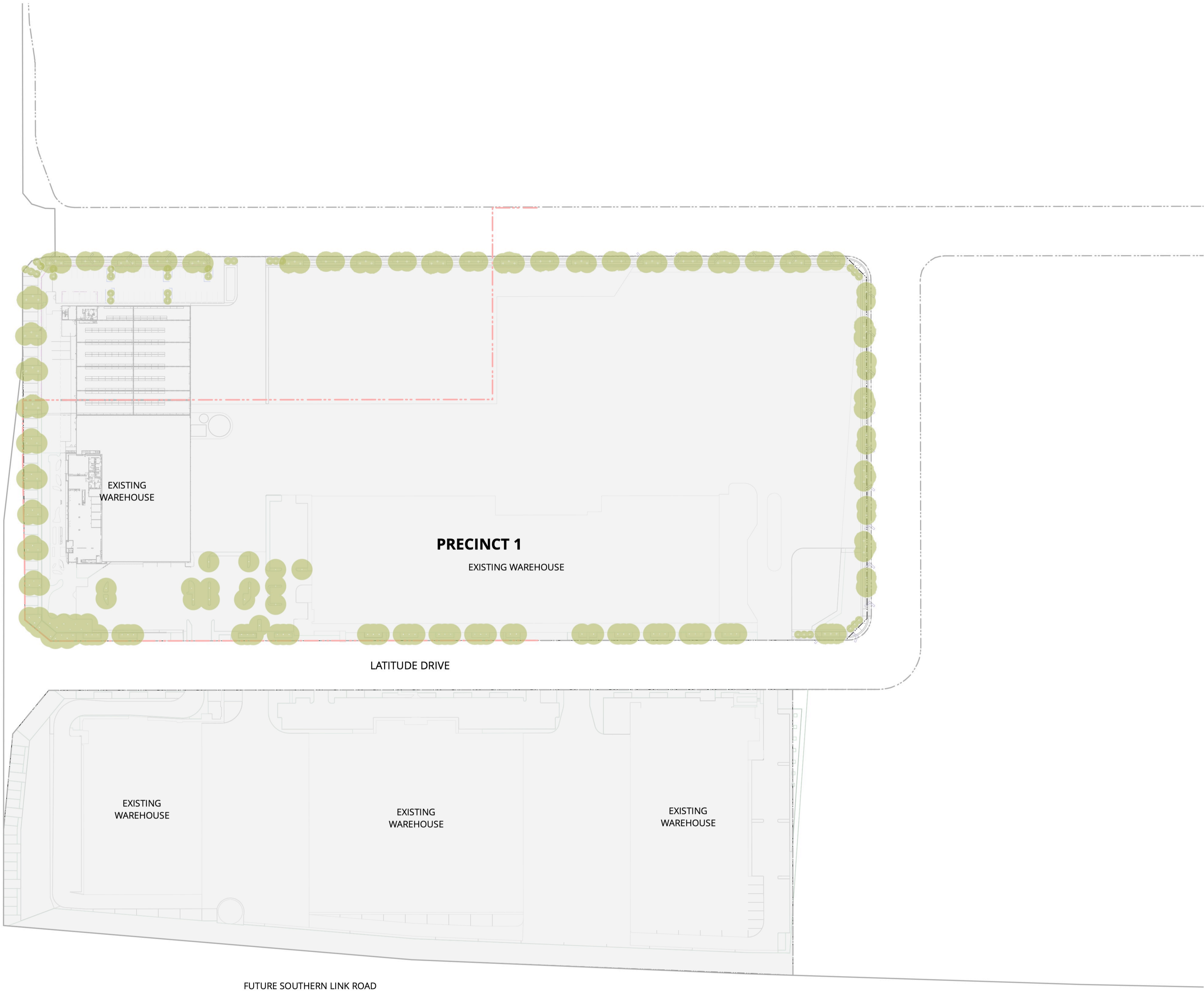
Strategies to combat varying climatic conditions have been implemented through the inclusion of permeable surfaces such as turf, deco granite and large planting areas with a variety of planting typologies to reduce stormwater run-off. Planting species are chosen to be low maintenance, drought tolerant to perform well in the south western Sydney climate.

Dense tree planting creates a visual screening between the precinct and neighbouring blocks, as well as users of common paths and internal roads. It is recognised that vegetative screening has limitations for developments of this scale, so we have employed a massed/clustering approach to increase tree densities and to focus attention on more robust areas of planting. This also has the potential to increase small bird habitat as opposed to standalone trees. There are opportunities of wayfinding proposed with feature planting of low hedges and mass planting. Feature trees with bright, long lasting floral displays are located within the precinct to create entry and exit points for pedestrians and vehicles, assisting in wayfinding.

Oakdale East Estate intends to align with the planting palette proposed by council environmental and planning requirements to ensure a high-quality landscape character similarly reflected in other Oakdale precincts and more broadly western Sydney projects. Goodman will be responsible for the landscape implementation of healthy and functional planting in the establishment period and on-going maintenance of high quality and robust landscape outcome.

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DRAWING NUMBER		DRAWING NAME		REVISION		PROJECT NAME AND ADDRESS		CONSULTANTS		DRAWINGS BY	
L.SK.04		Materials & Character		B		Oakdale East Estate - Precinct 1 Horsley Park, NSW		Architect SBA ARCHITECTS Suite 702 / 83 Mount St, North Sydney NSW 2060 Ph: +61 2 9929 9988		Civil Engineer at&l Level 7, 153 Walker Street, North Sydney, NSW 2060 Ph: 02 9439 1777	
PROJECT NUMBER SD-222-22		DRAWING DATE 7/3/22		SCALE 1:100		SCALE BAR 0 1 2 3 4 5 M		STATUS DRAFT		NP	
CLIENT NAME Goodman Propoerty Services (AUST) PTY LTD		DRAWN BY TS		CHECKED BY CH		LANDSCAPE ARCHITECTURE Suite 5 / 15 The Corso Manly NSW 2095 www.scapedesign.com.au		Reproduction of this document requires the written consent of Scape Design Pty. Ltd. Do not scale from this drawing. Refer to 'Dial Before You Dig' documents, design drawings and survey for locations of all services. Verify services locations prior to commencement. Verify all dimensions on site prior to construction. © copyright. Scape Design Pty. Ltd. ABN 79 568 162 276			

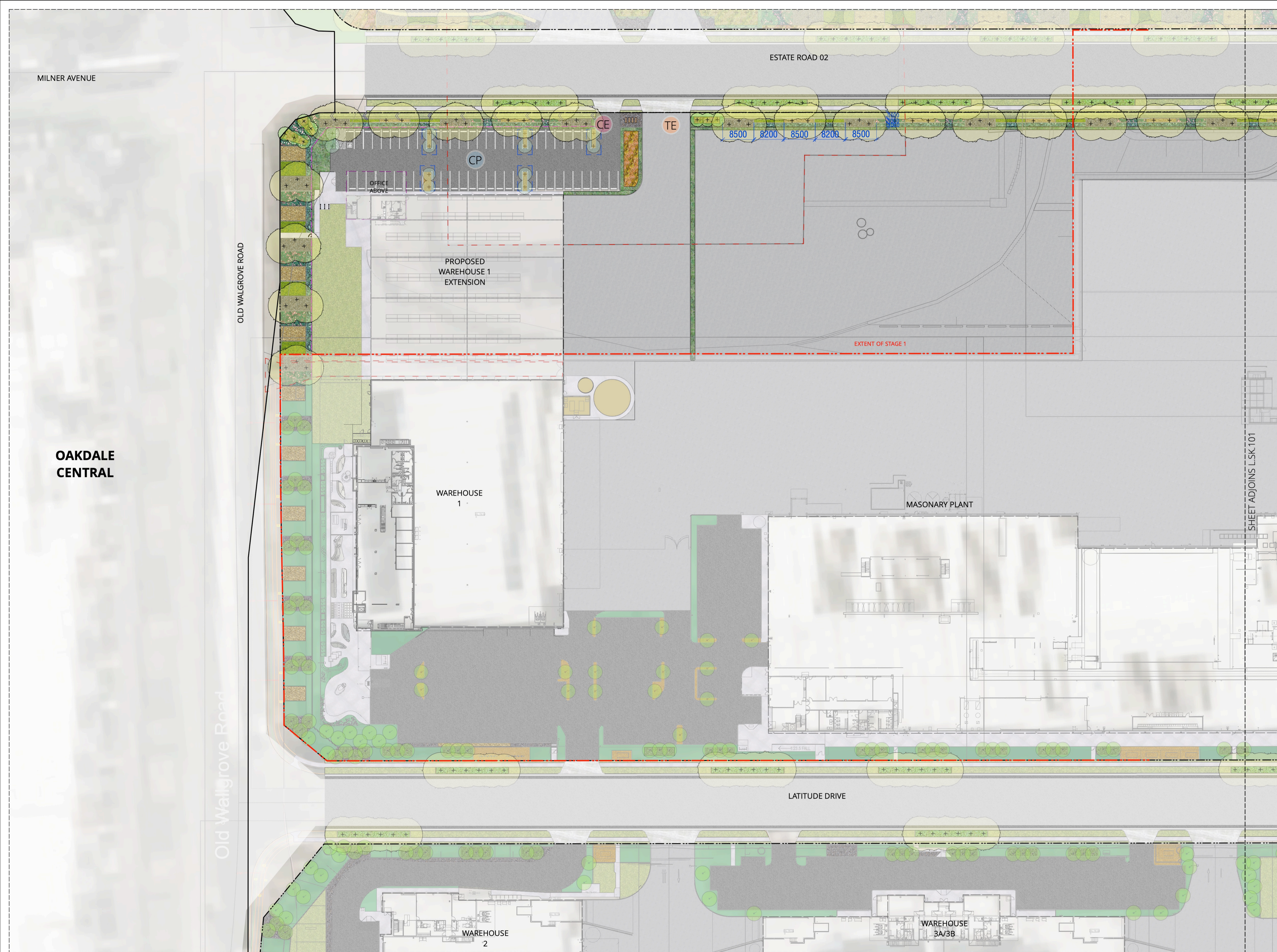


CANOPY COVER	
Area	Size
Site boundary	115,522 sq m
Proposed mature canopy	4,498 sq m
Existing mature cover	3,940 sq m
Percentage cover	
7.30%	

Methodology

1. Calculate the area (sq m) within the site boundary
2. Calculate the area of this site covered by the expected mature canopy.
3. Divide the mature canopy area by the site boundary area and convert to a percentage.

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Legend

PROGRAMME

CE

Car entry/exit

CP

Carparking

TE

Truck entry/exit

BOUNDARIES

Site boundary

Extent of stage 1

Structure below

Structure above

GENERAL

Building

Demolition

Drainage - Swale

WALLS & EDGES

Retaining wall

Steel edge

Proposed flush concrete kerb

Proposed raised concrete kerb

RAILS AND FENCING

Fencing - general

Refer ARCH DWG

PAVEMENTS

Existing road

Existing concrete pavement

Insitu concrete vehicular

Insitu concrete pedestrian

Asphaltic concrete

Deco granite

Basalt ballast

Sandstone ballast

FURNITURE AND FITTINGS

Sandstone block

Proposed seating

Gate

Bike hoop

Hardwood mullions

PLANTING

Turf

PM2 - grass mix shade

PM3A - shrubs & groundcovers mix sun

PM3B - shrubs & groundcovers mix shade

PM6A - screen hedge tall sun

PM7A - feature planting sun

PM11 - rain garden mix

Existing vegetation retained

Proposed landscape area

TREES

Existing tree

To be protected and retained

Refer ARBORISTS REPORT

Proposed canopy tree

Refer PLANTING PLAN

Proposed carpark tree

Refer PLANTING PLAN

Proposed feature tree

Refer PLANTING PLAN

NOTES

1

Should any plant species not be available at the time of plant ordering, it should be brought to the landscape architects attention immediately.

2

Supplementary species should be recommended by contractor for approval by landscape architect.

3

Communal areas and walkways are to be designed and constructed in accordance with AS1428 and NCC requirements.

4

Pool fencing and gates are to be designed and constructed in accordance with AS1926.

5

All planting and turf areas are to be irrigated.

6

All planting areas are to be mulched as specified.

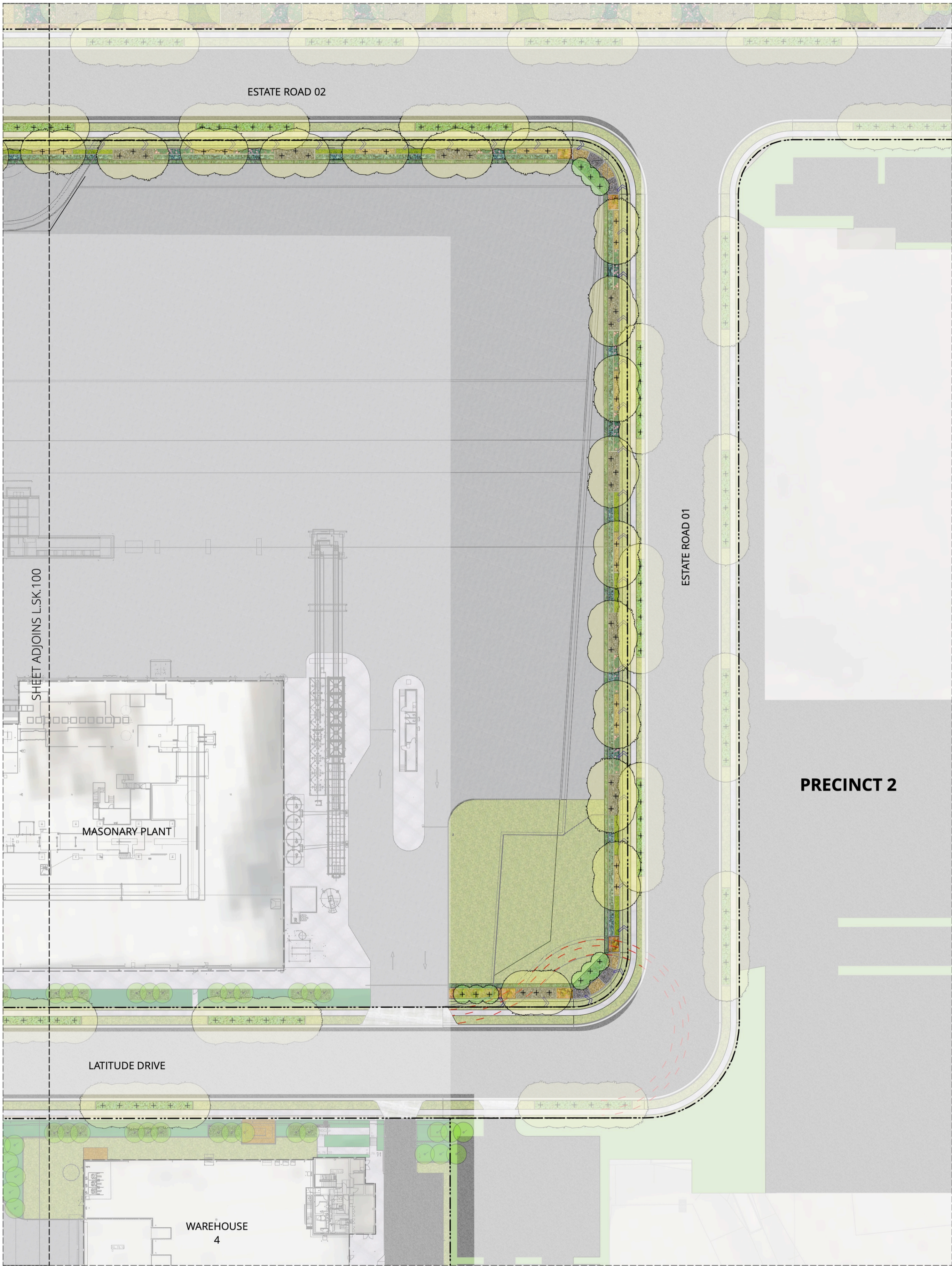
7

Tree species are to be sourced in accordance with AS2303 and to the minimum pot sizes shown.

8

Feature pots are to include reservoir for drainage to prevent leaking on pavement areas.

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Legend	
PROGRAMME	PAVEMENTS
CE Car entry/exit	Existing road
CP Carparking	Existing concrete pavement
TE Truck entry/exit	Insitu concrete vehicular
	Insitu concrete pedestrian
BOUNDARIES	Asphaltic concrete
Site boundary	Deco granite
Extent of stage 1	Bassalt ballast
Structure below	Sandstone ballast
Structure above	
GENERAL	FURNITURE AND FITTINGS
Building	Sandstone block
Demolition	Proposed seating
Drainage - Swale	Gate
	Bike hoop
WALLS & EDGES	Hardwood mullions
Retaining wall	
Steel edge	PLANTING
Proposed flush concrete kerb	Turf
Proposed raised concrete kerb	PM2 - grass mix shade
RAILS AND FENCING	PM3A - shrubs & groundcovers mix sun
Fencing - general	PM3B - shrubs & groundcovers mix shade
Refer ARCH DWG	PM6A - screen hedge tall sun
	PM7A - feature planting sun
	PM11 - rain garden mix
	Existing vegetation retained
	Proposed landscape area
	TREES
	Existing tree
	To be protected and retained
	Refer ARBORISTS REPORT
	Proposed canopy tree
	Refer PLANTING PLAN
	Proposed carpark tree
	Refer PLANTING PLAN
	Proposed feature tree
	Refer PLANTING PLAN

- NOTES
- Should any plant species not be available at the time of plant ordering, it should be brought to the landscape architects attention immediately.
 - Supplementary species should be recommended by contractor for approval by landscape architect.
 - Communal areas and walkways are to be designed and constructed in accordance with AS1428 and NCC requirements.
 - Pool fencing and gates are to be designed and constructed in accordance with AS1926.
 - All planting and turf areas are to be irrigated.
 - All planting areas are to be mulched as specified.
 - Tree species are to be sourced in accordance with AS2303 and to the minimum pot sizes shown.
 - Feature pots are to include reservoir for drainage to prevent leaking on pavement areas.

DRAWING NUMBER

L.SK.101

DRAWING NAME

Landscape Plan Sheet 2

REVISION

B

PROJECT NAME AND ADDRESS

Oakdale East Estate - Precinct 1
Horsely Park, NSW

CLIENT NAME

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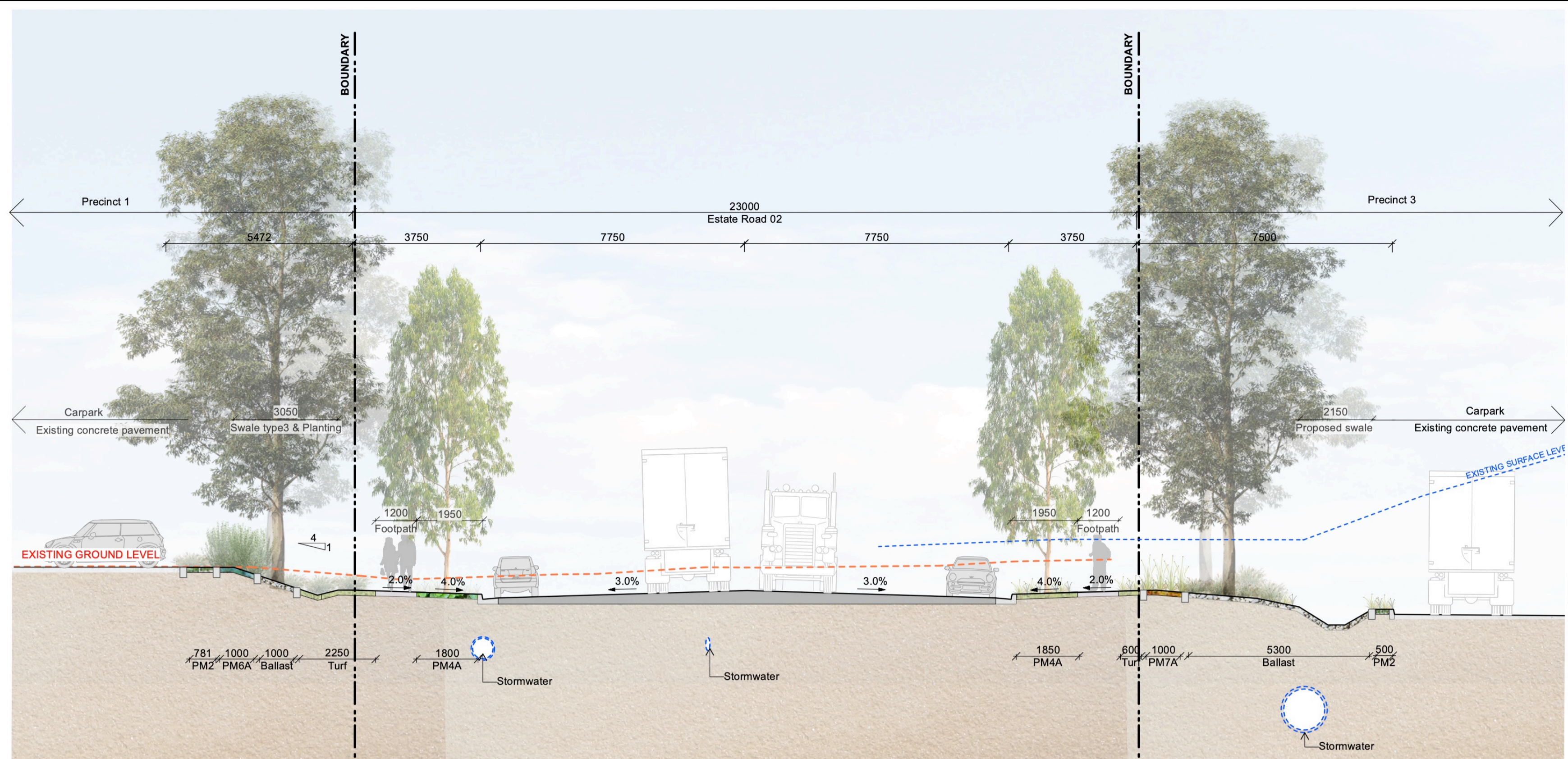
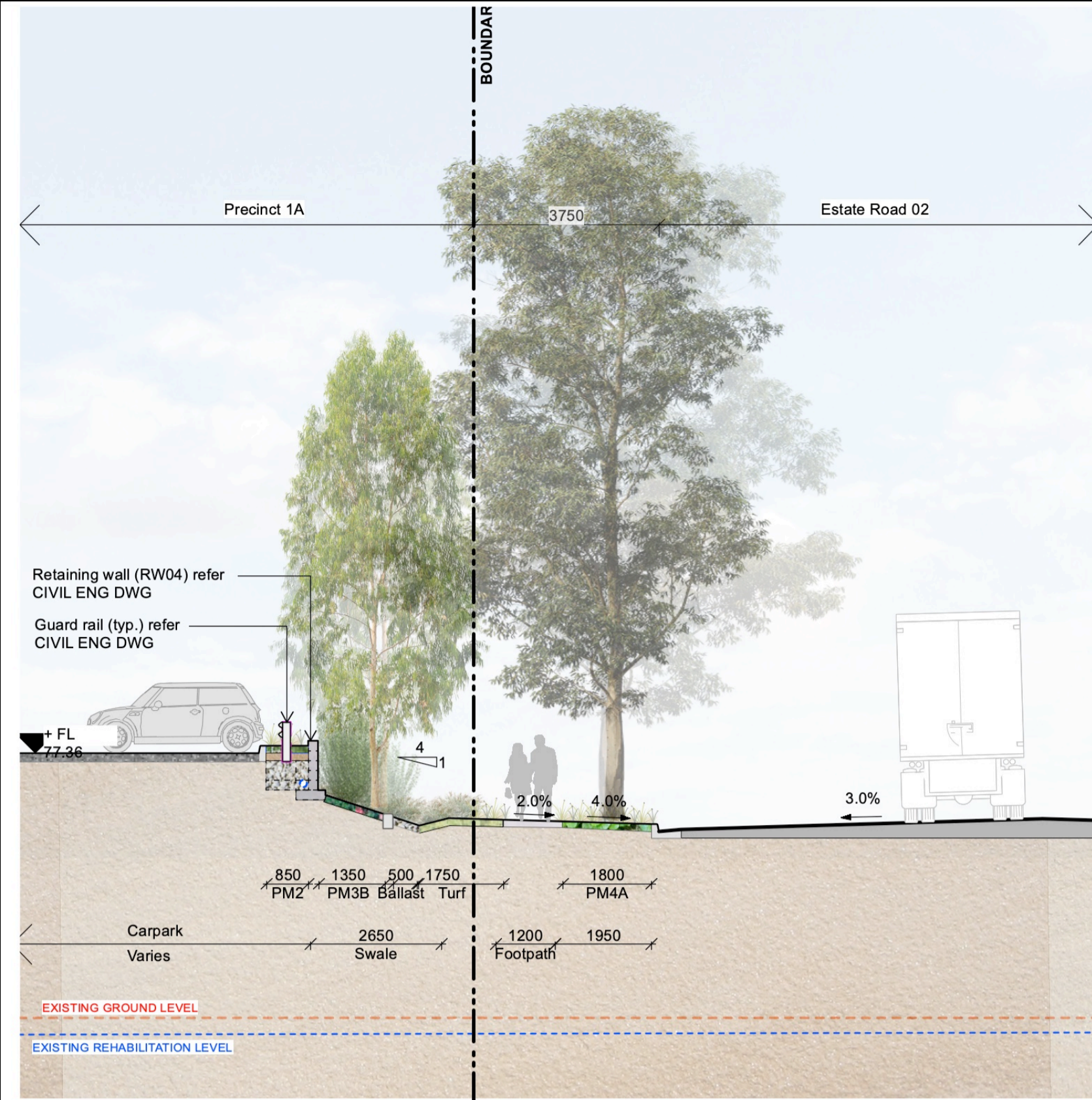
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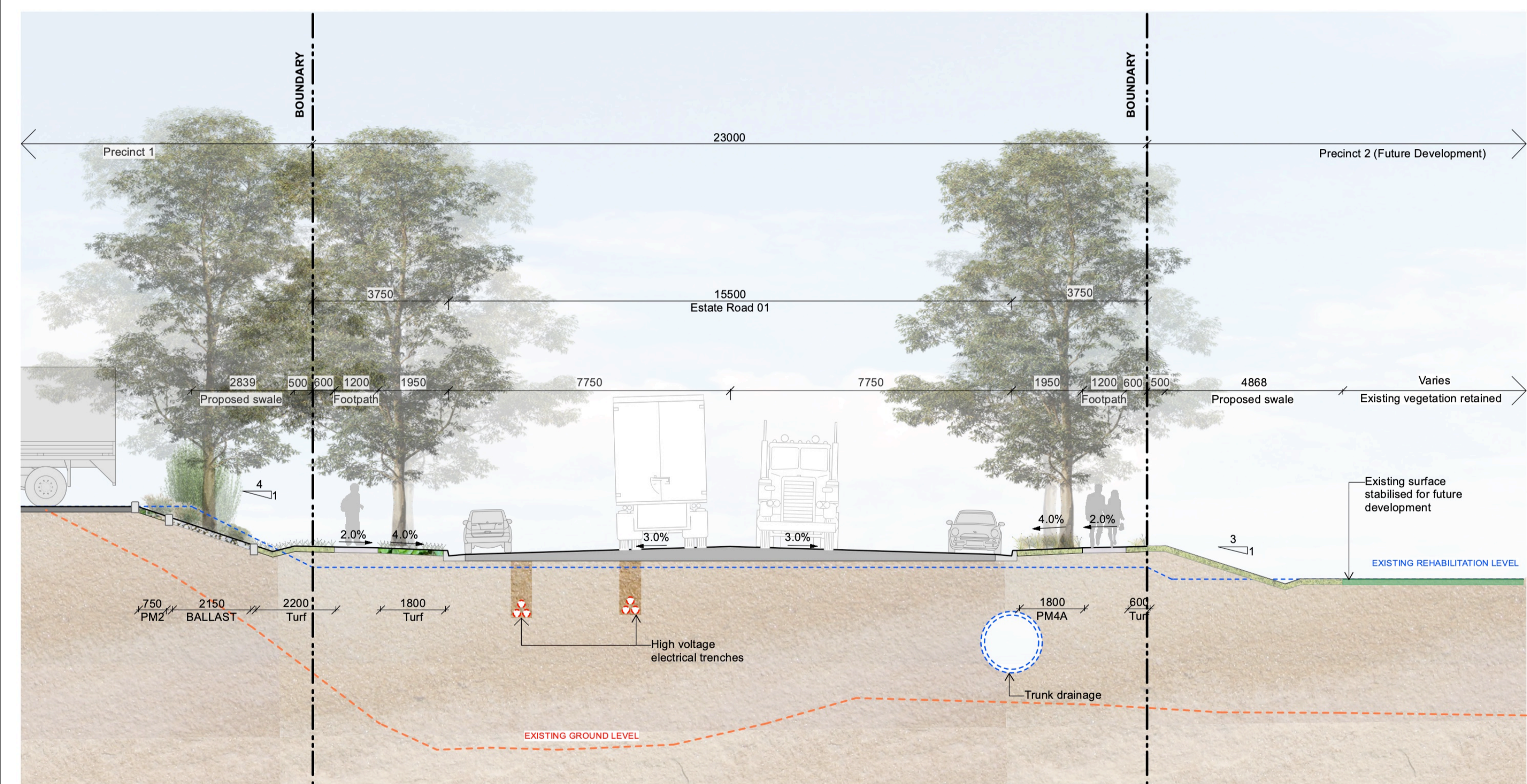
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03 PRECINCT 1
SECTION - SCALE: 1:100@A1

04 PRECINCT 1
SECTION - SCALE: 1:100@A1



06 PRECINCT 1
SECTION - SCALE: 1:100@A1

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L.SK.200		Sections		B		Oakdale East Estate - Precinct 1 Horsely Park, NSW		Architect SBA ARCHITECTS Civil Engineer at&I		LANDSCAPE ARCHITECTURE Suite 5 / 15 The Corso Manly NSW 2095 www.sapedesign.com.au	
PROJECT NUMBER SD-222-22		DRAWING DATE 7/3/22		SCALE 1:100		CLIENT NAME Goodman Propoerty Services (AUST) PTY LTD		Suite 702 / 83 Mount St, North Sydney NSW 2060 Ph: +61 2 9929 9988		Level 7, 153 Walker Street, North Sydney, NSW 2060 Ph: 02 9439 1777	
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