

Proposed S4.55 (1A) Modification to SSD-35370706 Uniting Charlestown Development DA Mod 2

*Architectural Comparison –
Stamped Approved Plan & DA MOD 2 Plans*

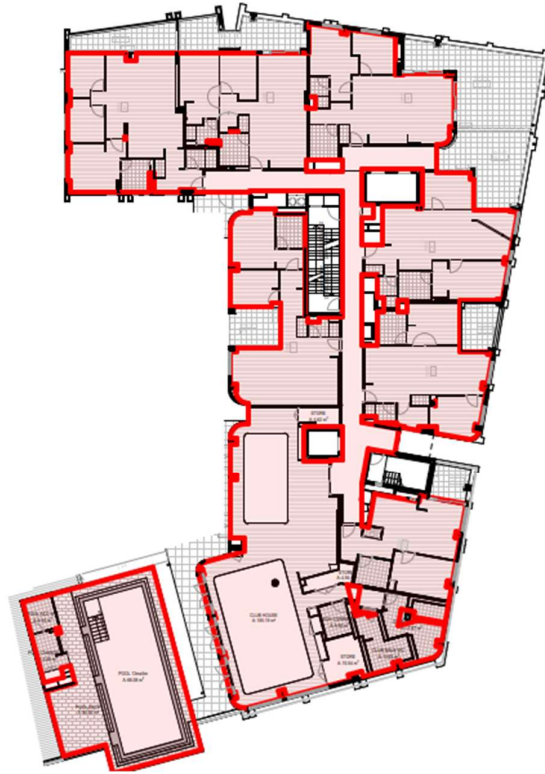
LEVEL 1

BLDG: B	BLDG: B
GFA	GFA
A: 243.46 m ²	A: 715.59 m ²



LEVEL 1

POOL PAVILION	BLDG: B
GFA	GFA
A: 159.52 m ²	A: 1,019.36 m ²



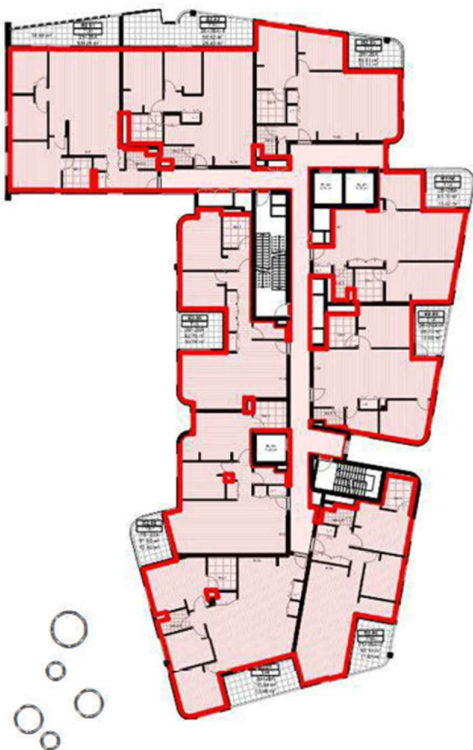
B - L1

- * Internal layout adjusted to reflect ongoing stakeholder consultation and provide better amenity for occupants.
- * Change in façade layout and finishes.
- * Change in swimming pool enclosure layout.
- * Change in roof materiality and layout.
- * Change in RL from 97,750 to RL+98,040
- * Straightening of 2nd lift and external wall follows - gain area 2nd Lift area has reduced

Figure 1: Approved and Proposed Level- 1 of Building B (1 of 11)

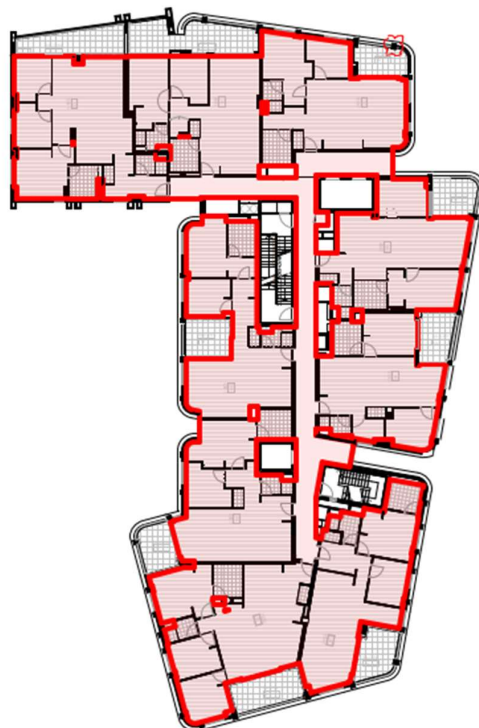
LEVEL 2

BLDG: B
GFA
A: 962.14 m²



LEVEL 2

BLDG: B
GFA
A: 973.51 m²



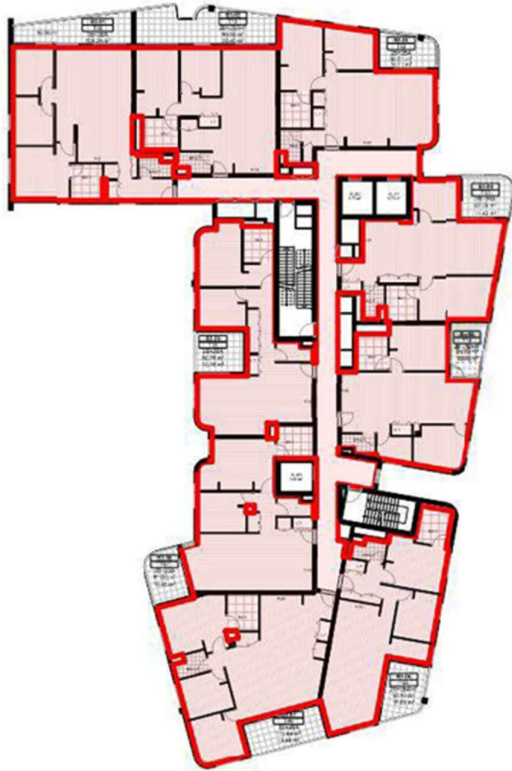
B - L2

- * Internal layout adjusted to reflect ongoing stakeholder consultation and provide better amenity for occupants.
- * Change in façade layout and finishes.
- * Change in RL from RL101,000 to RL101,240
- * Straightening of 2nd lift and external wall follows - gain area 2nd Lift area has reduced

Figure 2: Approved and Proposed Level- 2 of **Building B** (2 of 11)

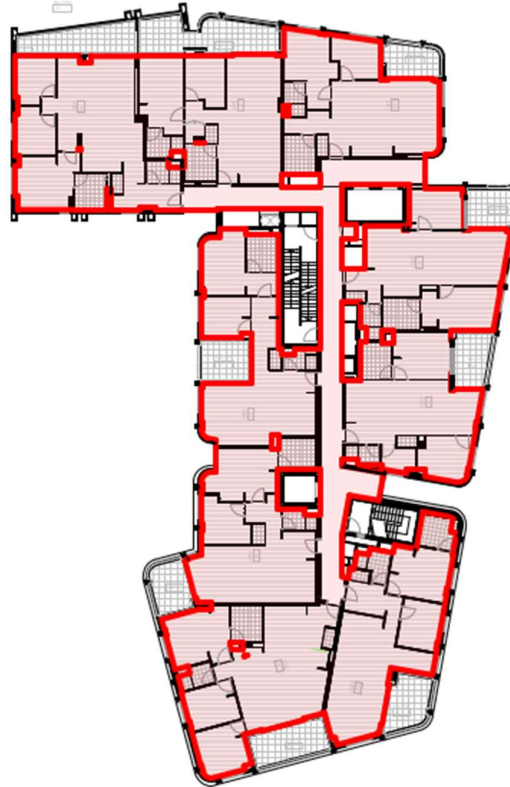
LEVEL 3

BLDG: B
GFA
A: 962.14 m²



LEVEL 3

BLDG: B
GFA
A: 973.48 m²



B - L3

- * Internal layout adjusted to reflect ongoing stakeholder consultation and provide better amenity for occupants.
- * Change in façade layout and finishes.
- * Change in RL from RL 104,100 to RL104,440
- * Straightening of 2nd lift and external wall follows - gain area 2nd Lift area has reduced

Figure 3: Approved and Proposed Level- 3 of **Building B** (3 of 11)

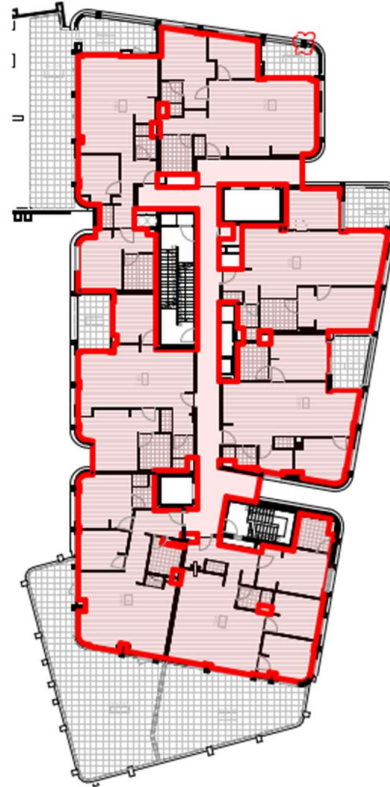
LEVEL 4

BLDG: B
GFA
A: 715.60 m²



LEVEL 4

BLDG: C
GFA
A: 723.82 m²



B - L4

- * 2 Northern units gain area. 2Bed connects behind the Fire egress - gain area
- * Western 2 units combine - gained balcony area
- * Straightening of 2nd lift and external wall follows - gain area
- * 2nd Lift area has reduced
- * balcony extended to align with L3 roof.
- * Internal layout adjusted to reflect ongoing stakeholder consultation and provide better amenity for occupants.

Figure 4: Approved and Proposed Level- 4 of **Building B** (4 of 11)

LEVEL 5

BLDG: B
GFA
A: 693.12 m²



LEVEL 5

BLDG: B
GFA
A: 700.40 m²



B - L5

- * 2 Northern units gain area. 2Bed connects behind the Fire egress - gain area
- * Western 2 units combine - gained balcony area
- * Straightening of 2nd lift and external wall follows - gain area
- * 2nd Lift area has reduced
- * Unit 5.06 balcony ex.wall run parallel to reduce GFA
- * Change in internal layout.
- * Change in façade layout and finishes.
- * Change in RL from RL 110,800 to RL110,990

Figure 5: Approved and Proposed Level- 5 of Building B (5 of 11)

LEVEL 6 BLDG: B
GFA
A: 693.12 m²



LEVEL 6 BLDG: B
GFA
A: 700.40 m²



B - L6

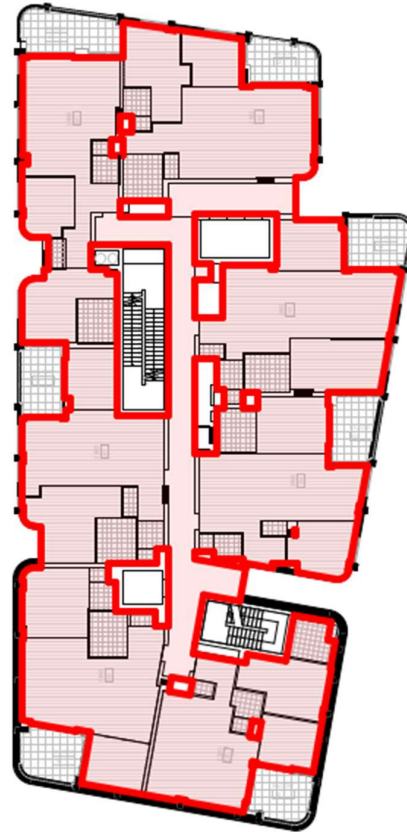
- * Internal layout adjusted to reflect ongoing stakeholder consultation and provide better amenity for occupants.
- * Change in façade layout and finishes.
- * Change in RL from RL113,900 to RL114,190
- * Straightening of 2nd lift and external wall follows - gain area 2nd Lift area has reduced

Figure 6: Approved and Proposed Level- 6 of **Building B** (6 of 11)

LEVEL 7 BLDG: B
GFA
A: 693.12 m²



LEVEL 7 BLDG: B
GFA
A: 700.40 m²



B - L7

- * Internal layout adjusted to reflect ongoing stakeholder consultation and provide better amenity for occupants.
- * Change in façade layout and finishes.
- * Change in RL from RL117,000 to RL117,400
- * Straightening of 2nd lift and external wall follows - gain area 2nd
- Lift area has reduced
- * Roof converted to private residential terrace to increase residential amenity

Figure 7: Approved and Proposed Level- 7 of Building B (7 of 11)

LEVEL 8 BLDG: B
GFA
A: 693.12 m²



LEVEL 8 BLDG: B
GFA
A: 700.40 m²



B - L8

- * Internal layout adjusted to reflect ongoing stakeholder consultation and provide better amenity for occupants.
- * Change in façade layout and finishes.
- * Change in RL from 120,100 to RL120,590
- * Straightening of 2nd lift and external wall follows - gain area 2nd Lift area has reduced

Figure 8: Approved and Proposed Level- 8 of Building B (8 of 11)

LEVEL 9

BLDG: B
GFA
A: 609.81 m²



LEVEL 9

BLDG: B
GFA
A: 618.07 m²



B - L9

- * 2 Northern units have gain area. B9.01 connects behind the Fire egress - gain area
- * Western unit deleted - gained balcony area
- * 2nd Lift area has reduced gain area
- * Main 2 lifts shift where the gain is greater than the loss
- * Internal layout adjusted to reflect ongoing stakeholder consultation and provide better amenity for occupants.
- * Change in extent of terrace and awning roof materiality.
- * Change in façade layout and finishes
- * Change in RL from RL123,650 to RL123,940
- * Roof converted to private residential terrace to increase residential amenity

Figure 9: Approved and Proposed Level-9 of **Building B** (9 of 11)

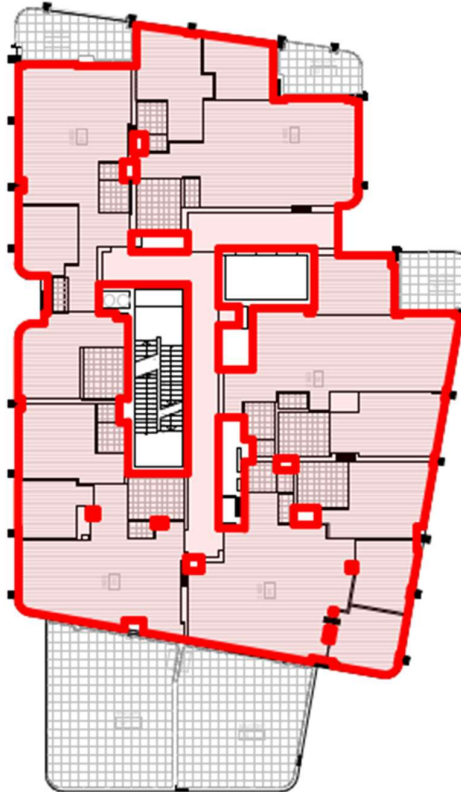
LEVEL 10

BLDG: B
GFA
A: 519.60 m²



LEVEL 10

BLDG: B
GFA
A: 522.43 m²



B - L10

- * Main 2 lifts shift where the gain is greater than the loss
- * Internal layout adjusted to reflect ongoing stakeholder consultation and provide better amenity for occupants.
- * Change in extent of terrace and awning roof materiality.
- * Change in façade layout and finishes Change in RL from RL127,150 to RL127,290
- * Roof converted to private residential terrace to increase residential amenity

Figure 10: Approved and Proposed Level- 10 of Building B (10 of 11)

LEVEL 11

BLDG: B
GFA
A: 489.21 m²



LEVEL 11

BLDG: B
GFA
A: 493.86 m²



B - L11

- * Internal layout adjusted to reflect ongoing stakeholder consultation and provide better amenity for occupants.
- * Change in façade layout and finishes.
- * Change in RL from 130,500 to RL130,490

Figure 11: Approved and Proposed Level- 11 of Building B (11 of 11)

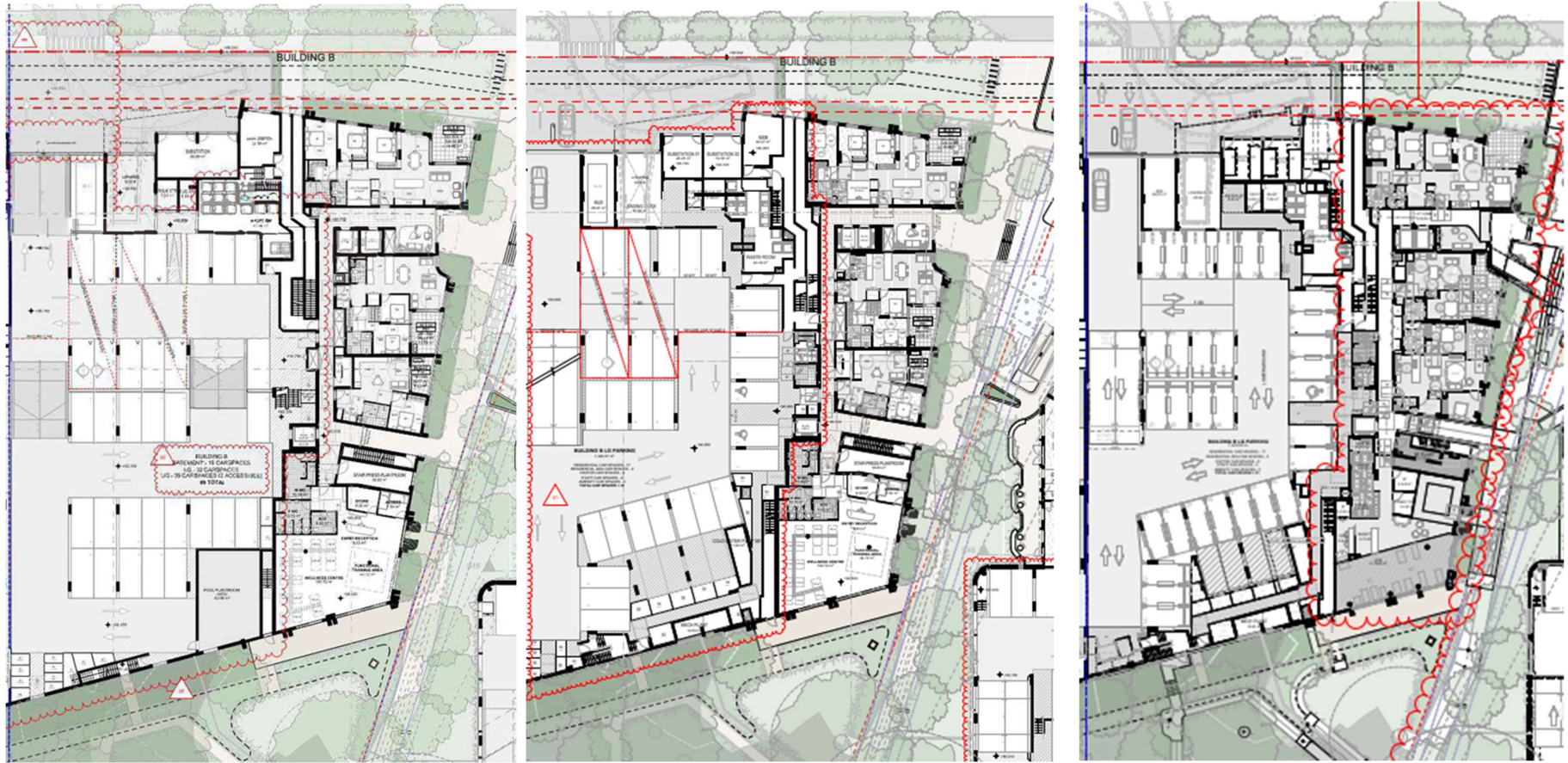


Figure 12: Originally Approved, DA MOD 1 and Proposed Lower Ground (LG) of Building B (1 of 2)

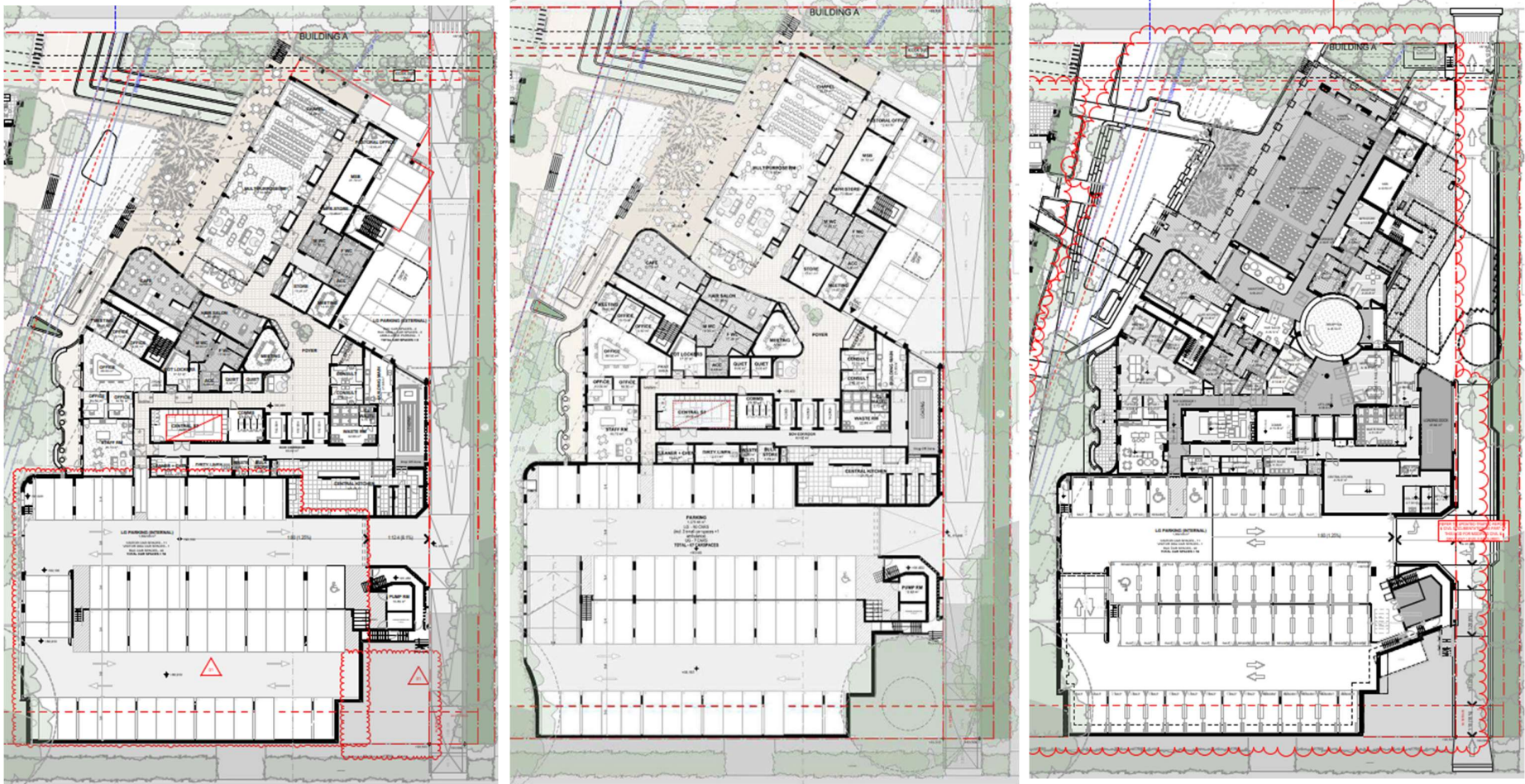


Figure 13: Originally Approved, DA MOD 1 and Proposed Lower Ground (LG) of Building A (2 of 2)



Figure 14: Originally Approved, DA MOD 1 and Proposed Upper Ground (UG) of Building C (1 of 3)

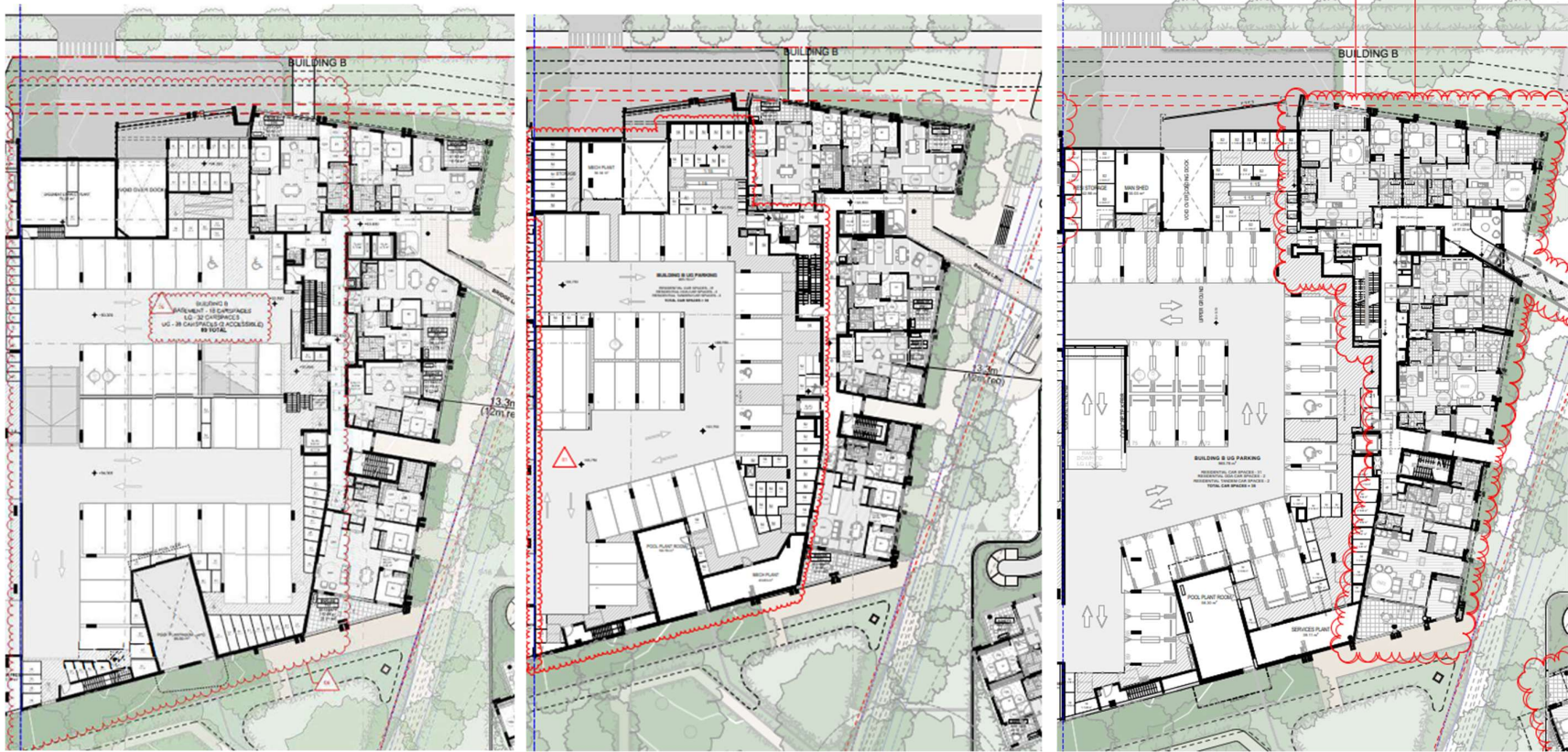


Figure 15: Originally Approved, DA MOD 1 and Proposed Upper Ground (UG) of Building B (2 of 3)

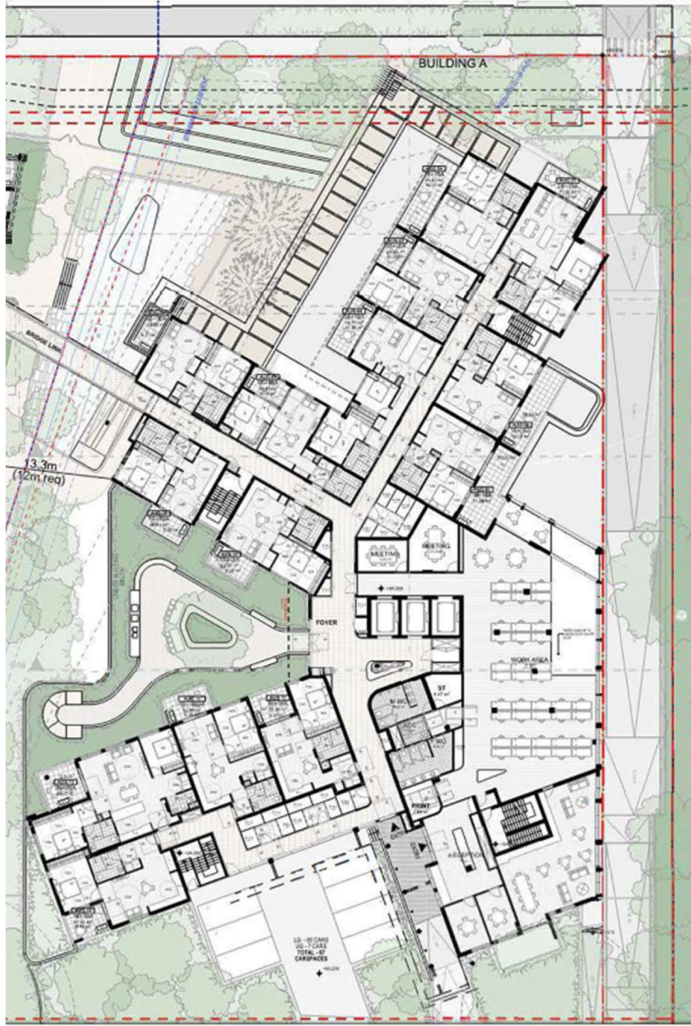


Figure 16: Approved and Proposed Upper Ground (UG) of Building A (3 of 3)



Figure 17: Approved and Proposed Level 01 of Building C and D (1 of 2)

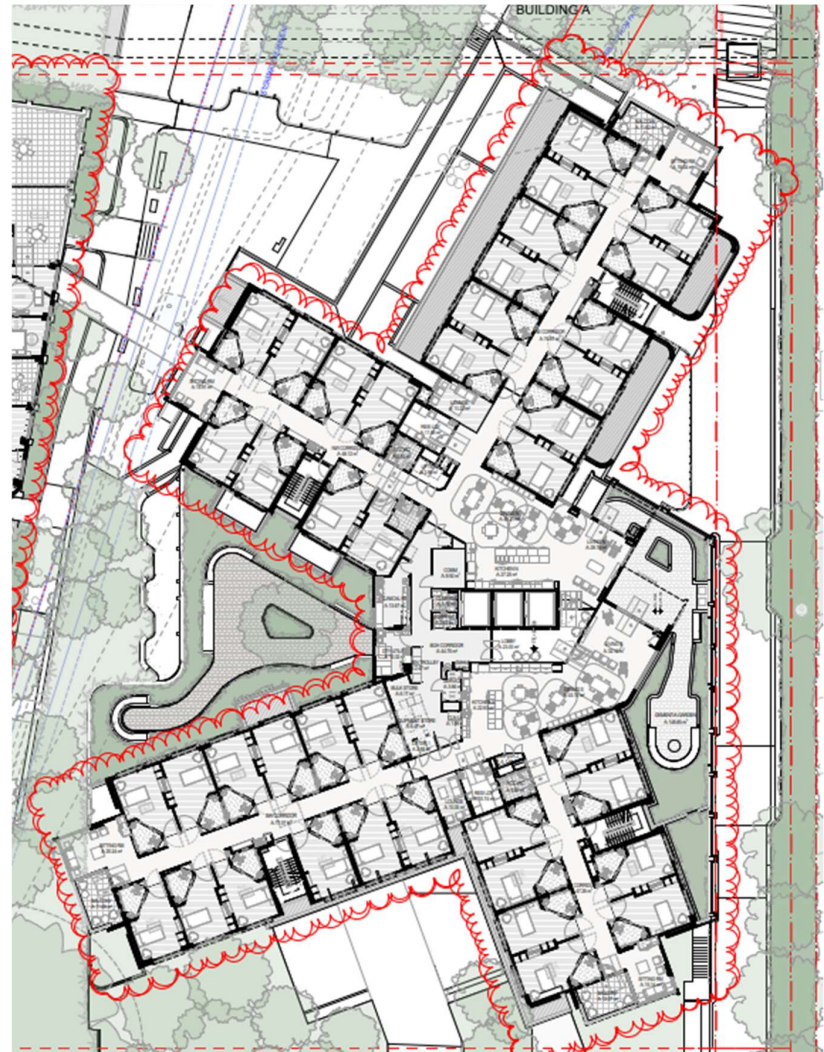
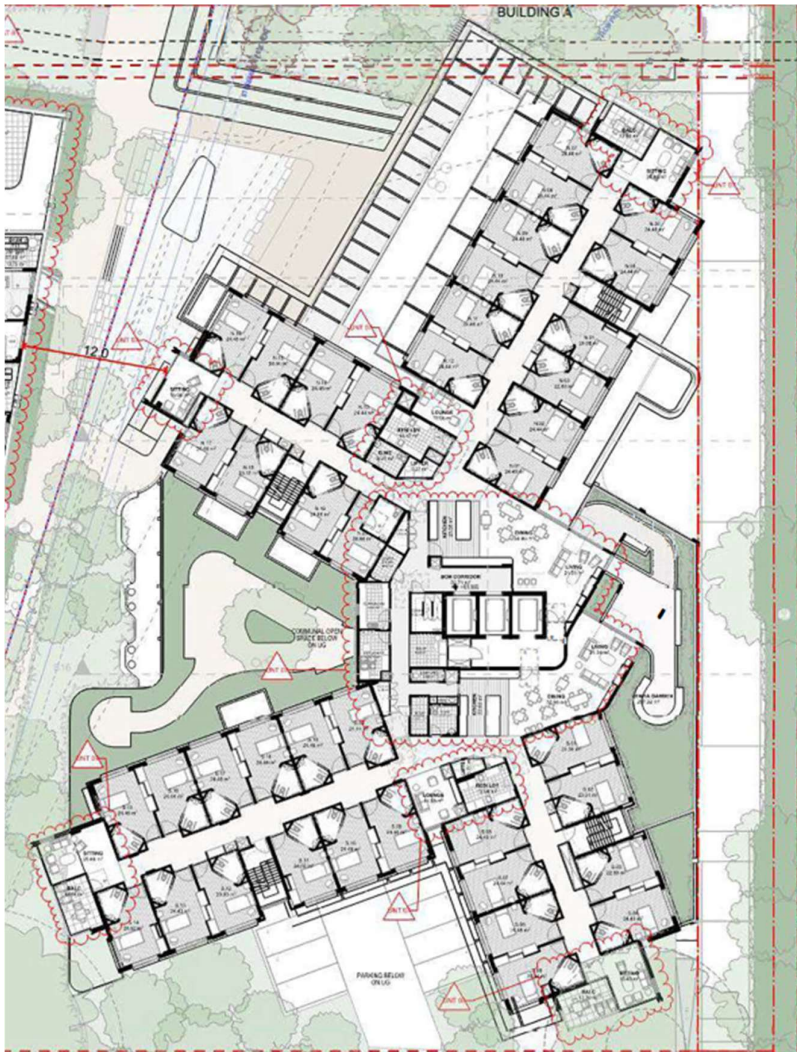


Figure 18: Approved and Proposed Level 01 of **Building A** (2 of 2)



Figure 19: Approved and Proposed Level 02- 03 of Building B (1 of 2)



Figure 20: Approved and Proposed Level 02- 03 of **Building A** (2 of 2)



Figure 21: Approved and Proposed Level 04 of Building B (1 of 2)

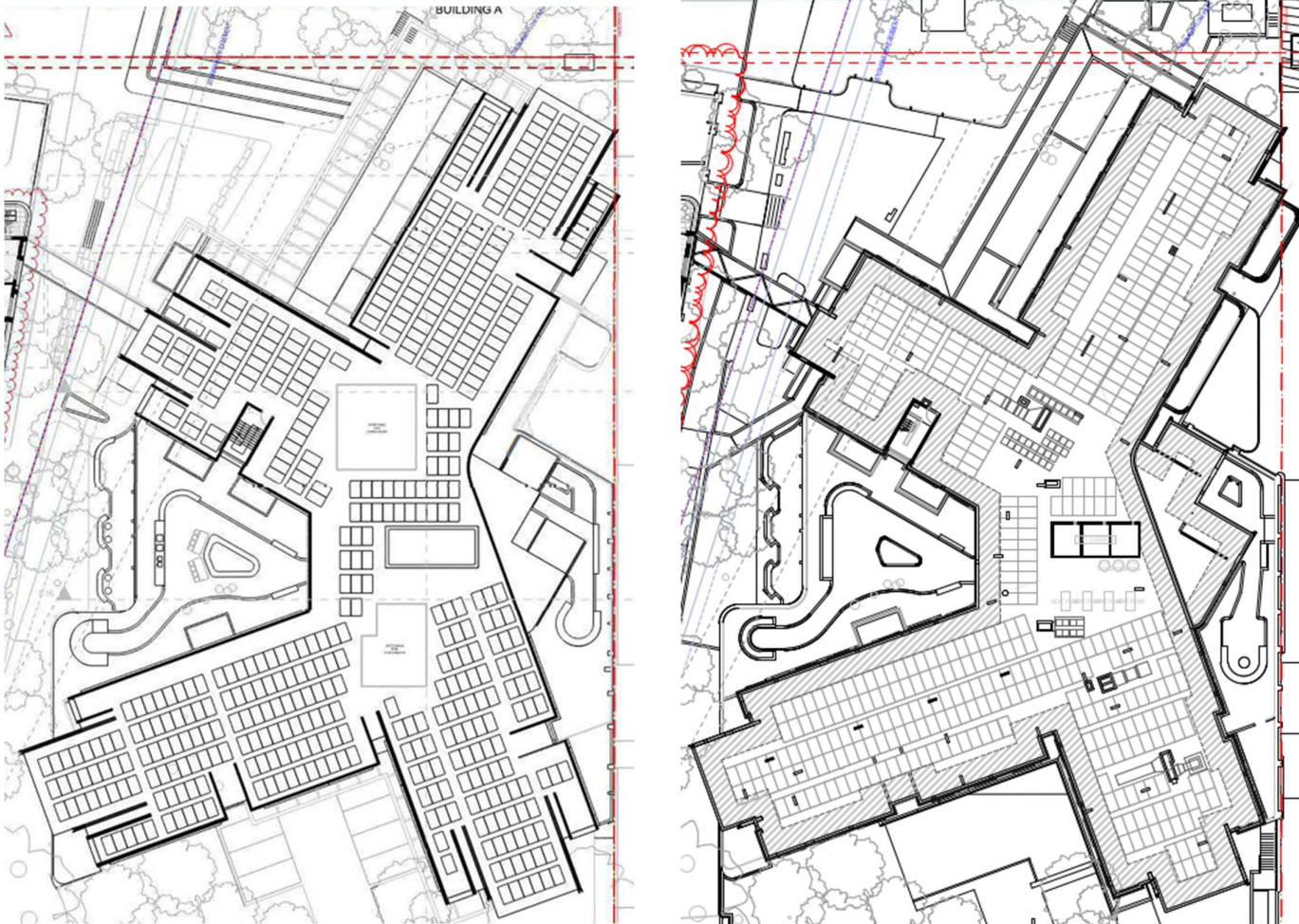


Figure 22: Approved and Proposed Level 04 of Building A (2 of 2)



Figure 23: Approved and Proposed Level 05-06 of Building B (1 of 1)



Figure 24: Approved and Proposed Level 07 of **Building B** (1 of 1)



Figure 25: Approved and Proposed Level 08 of Building B (1 of 1)



Figure 26: Approved and Proposed Level 09 of **Building 6** (1 of 1)



Figure 27: Approved and Proposed Level 10 of Building D (1 of 3)



Figure 28: Approved and Proposed Level 10 of Building C (2 of 3)



Figure 29: Approved and Proposed Level 10 of Building B (3 of 3)

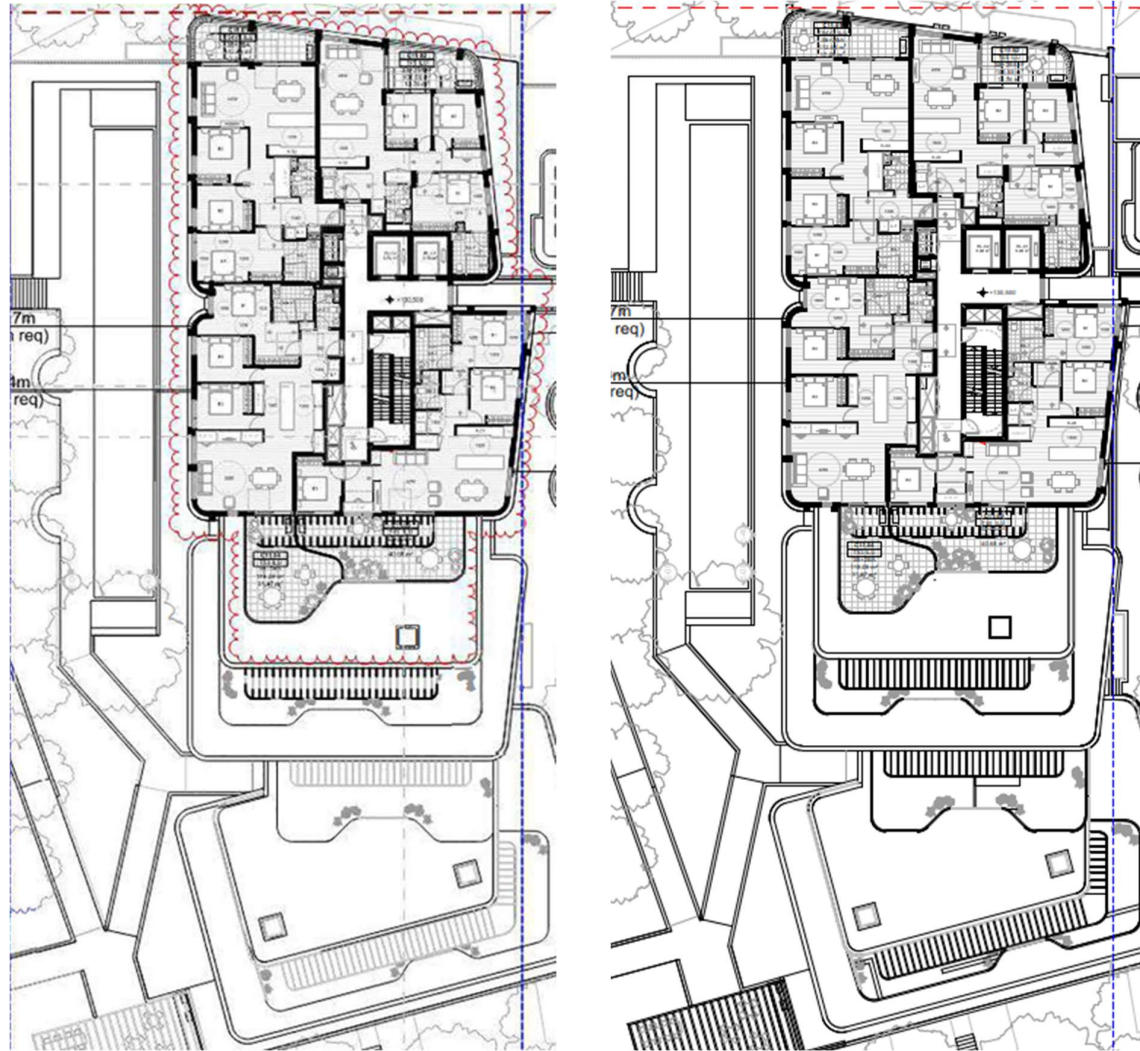


Figure 30: Approved and Proposed Level 11 of Building C (1 of 2)

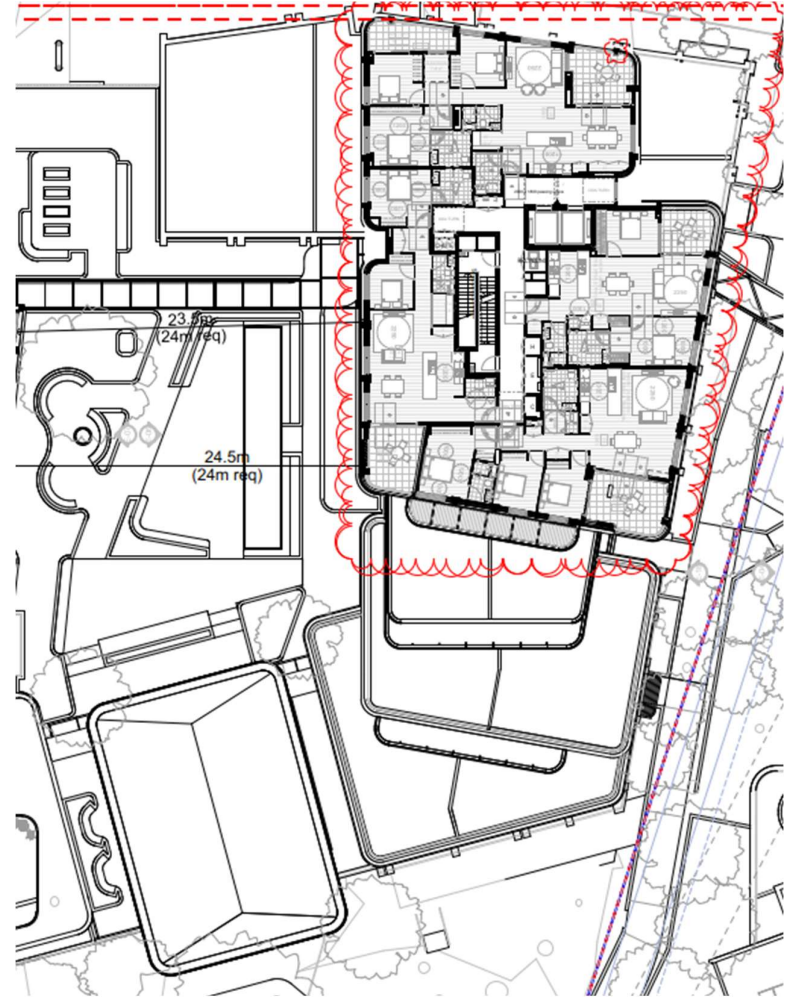


Figure 31: Approved and Proposed Level 11 of Building B (2 of 2)



Figure 32: Approved and Proposed Level 12 of Building B (2 of 2)

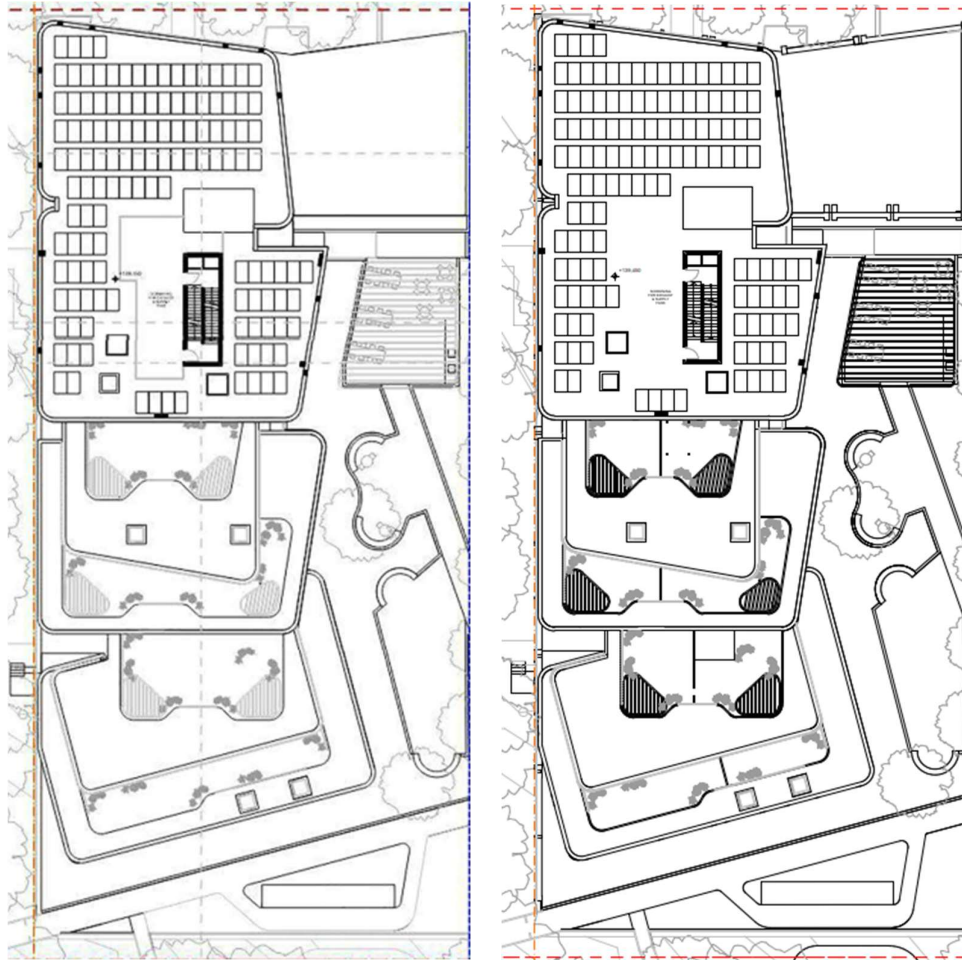


Figure 33: Approved and Proposed Roof Level of Building D (1 of 2)

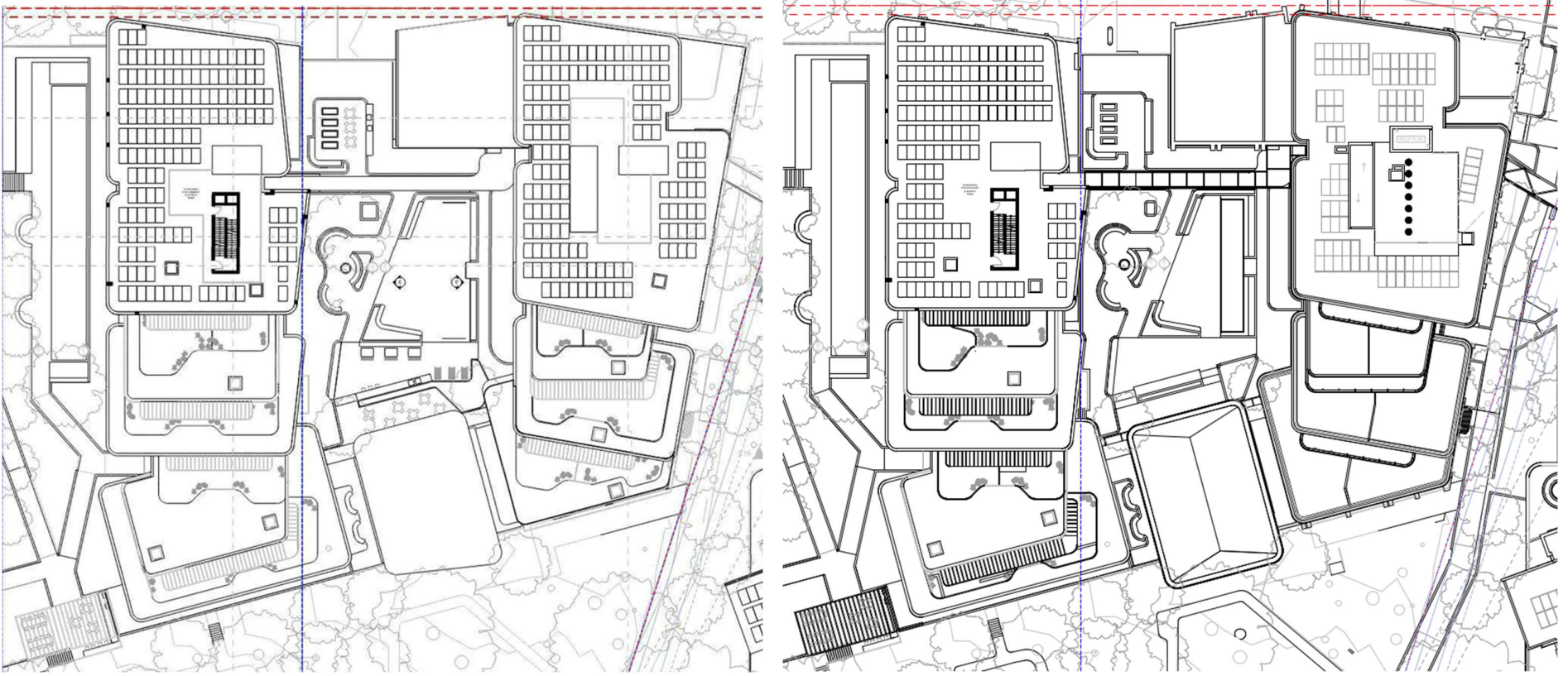


Figure 34: Approved and Proposed Roof Level of Building B and C (2 of 2)



Figure 35: Approved and Proposed **Building-A** North Elevation James Street (1 of 4)



Figure 36: Approved and Proposed Building-B North Elevation James Street (2 of 4)



Figure 37: Approved and Proposed Building-C North Elevation James Street (3 of 4)

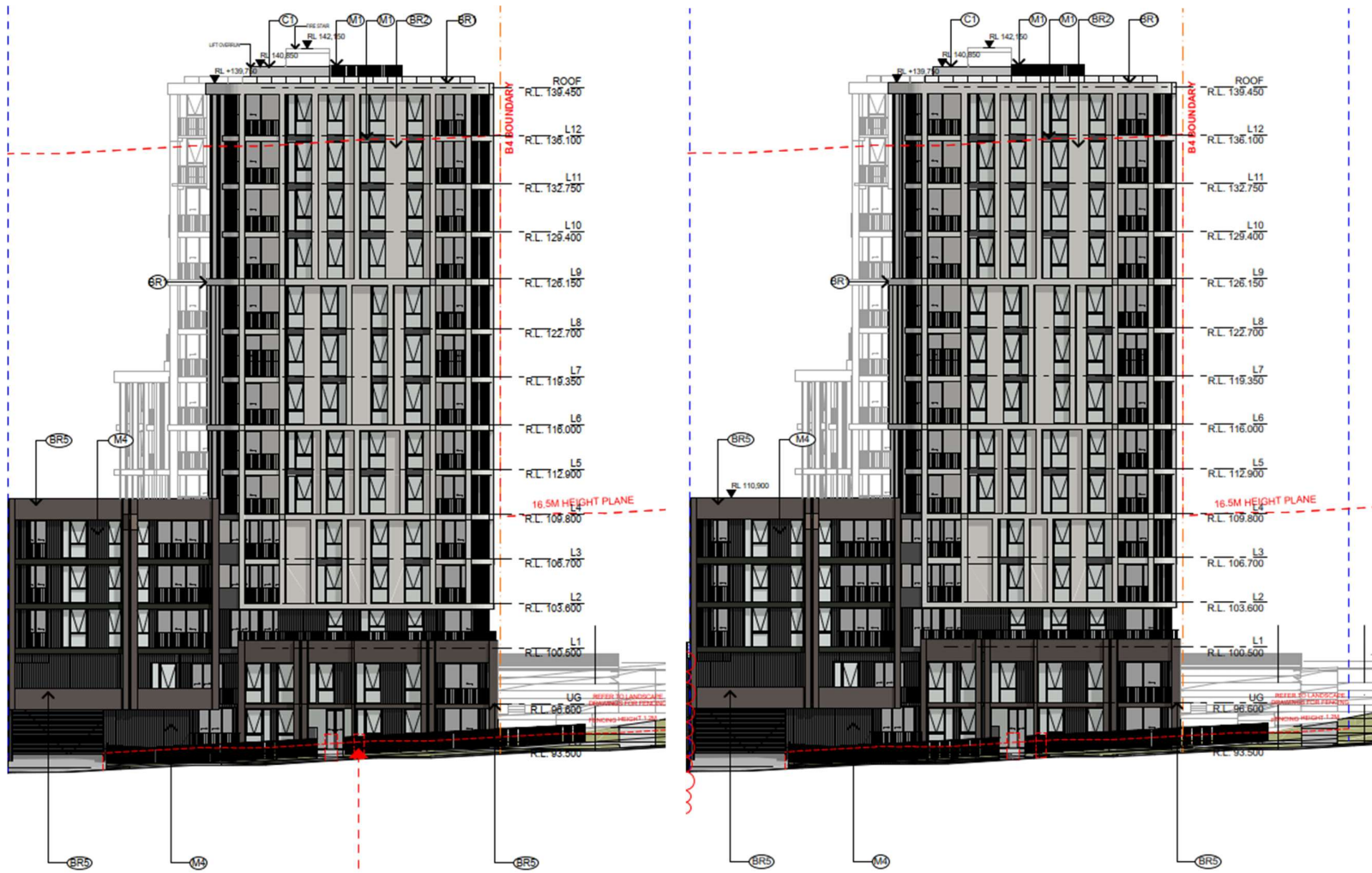


Figure 38: Approved and Proposed Building-D North Elevation James Street (4 of 4)

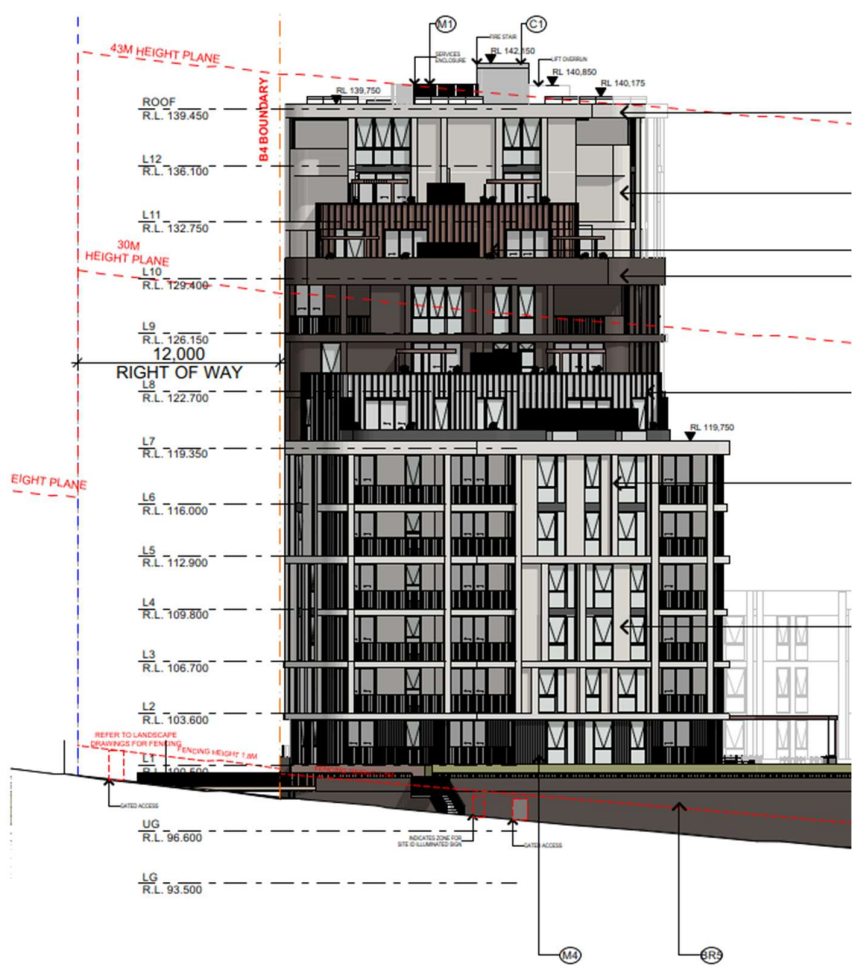
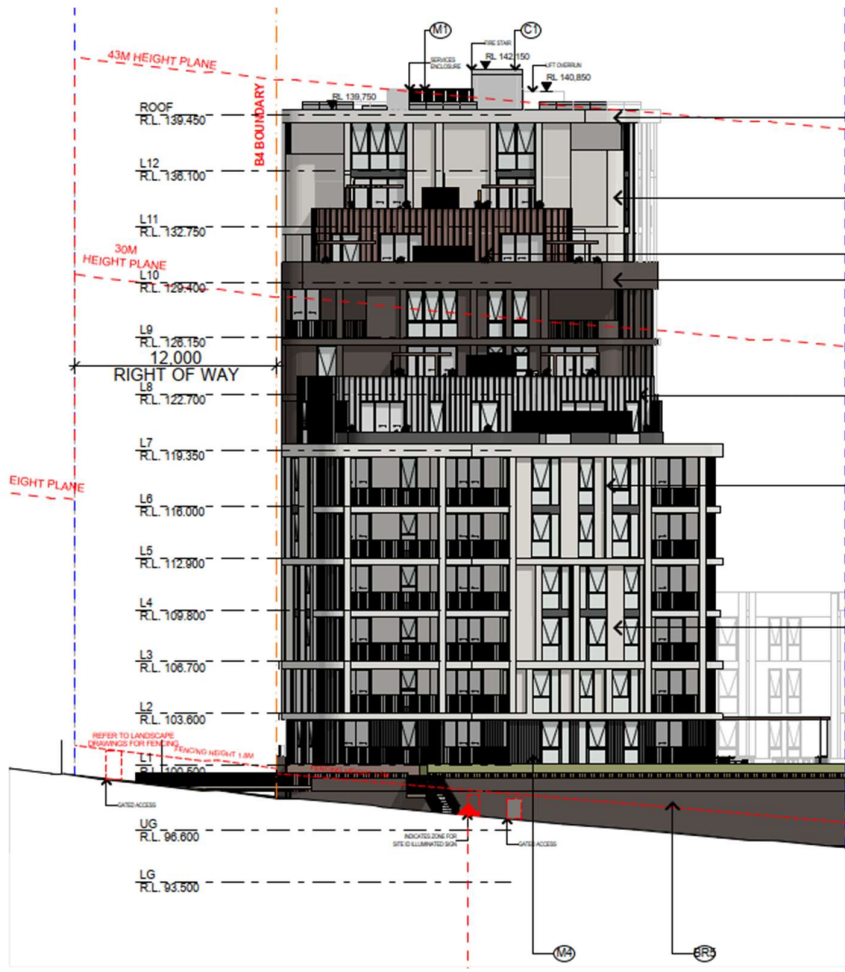


Figure 39: Approved and Proposed Building-D South Elevation James Street (4 of 4)

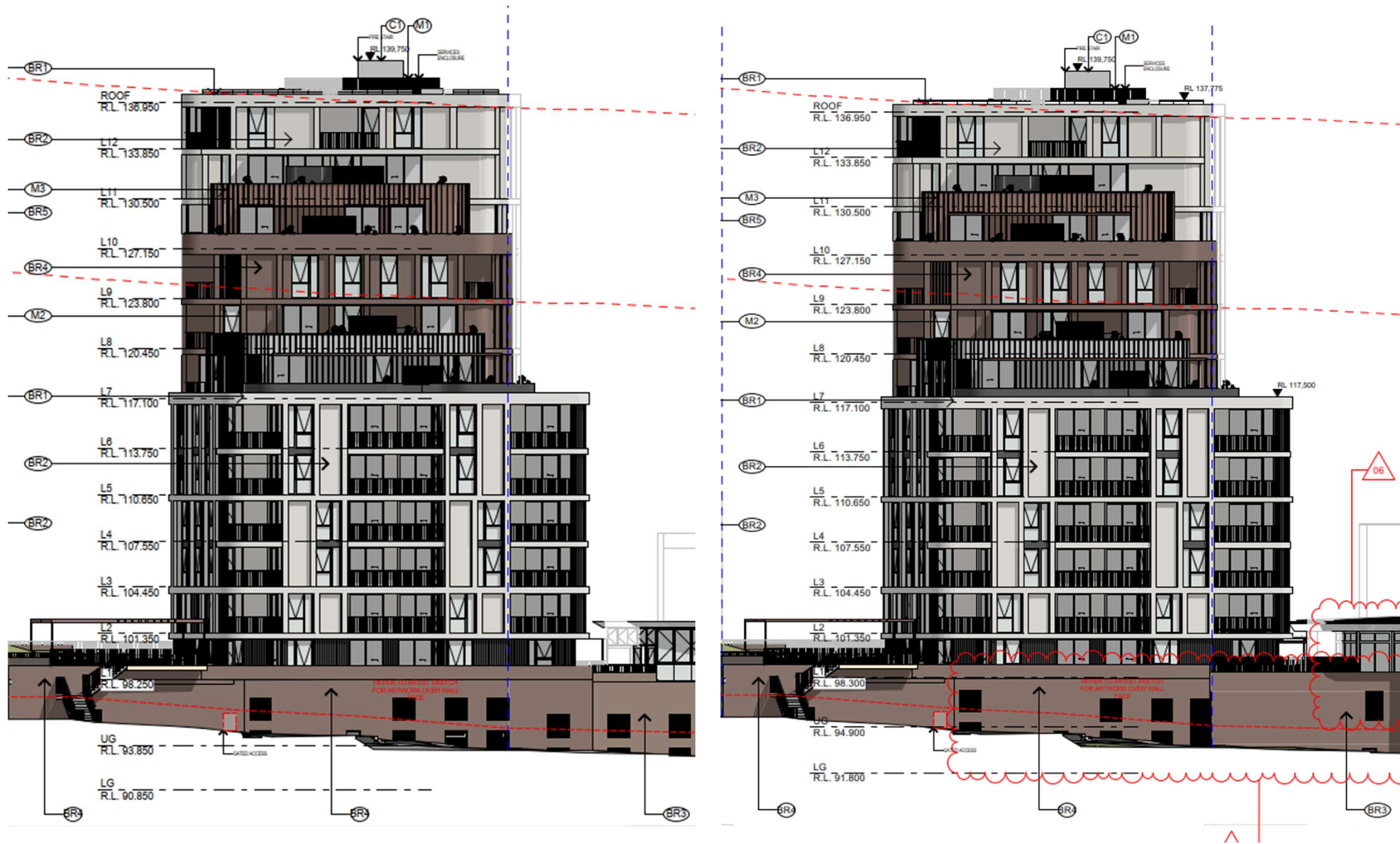


Figure 40: Approved and Proposed Building-C South Elevation Tiral Street (2 of 4)



Figure 41: Approved and Proposed **Building-B** South Elevation Tiral Street (3 of 4)



Figure 42: Approved and Proposed **Building A** -South Elevation Tiral Street (4 of 4)

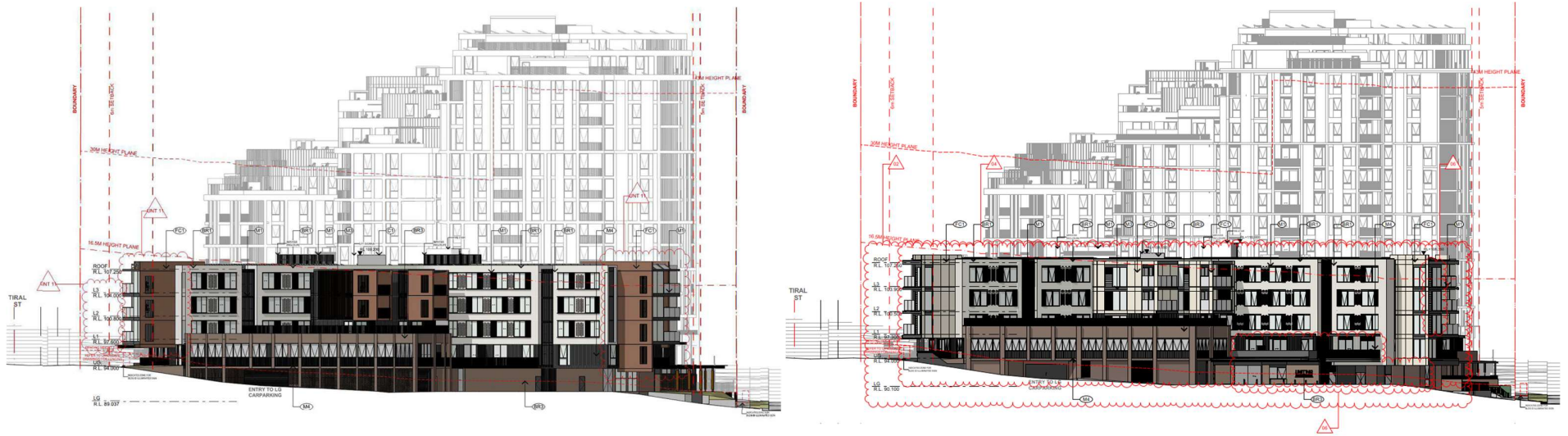


Figure 43: Approved and Proposed East Elevation of Building A (1 of 2)

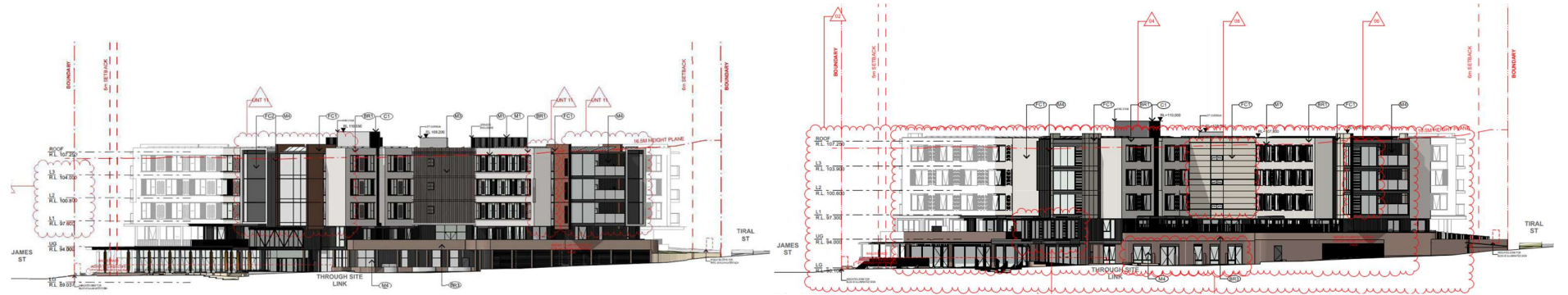


Figure 44: Approved and Proposed West Elevation of Building A (2 of 2)

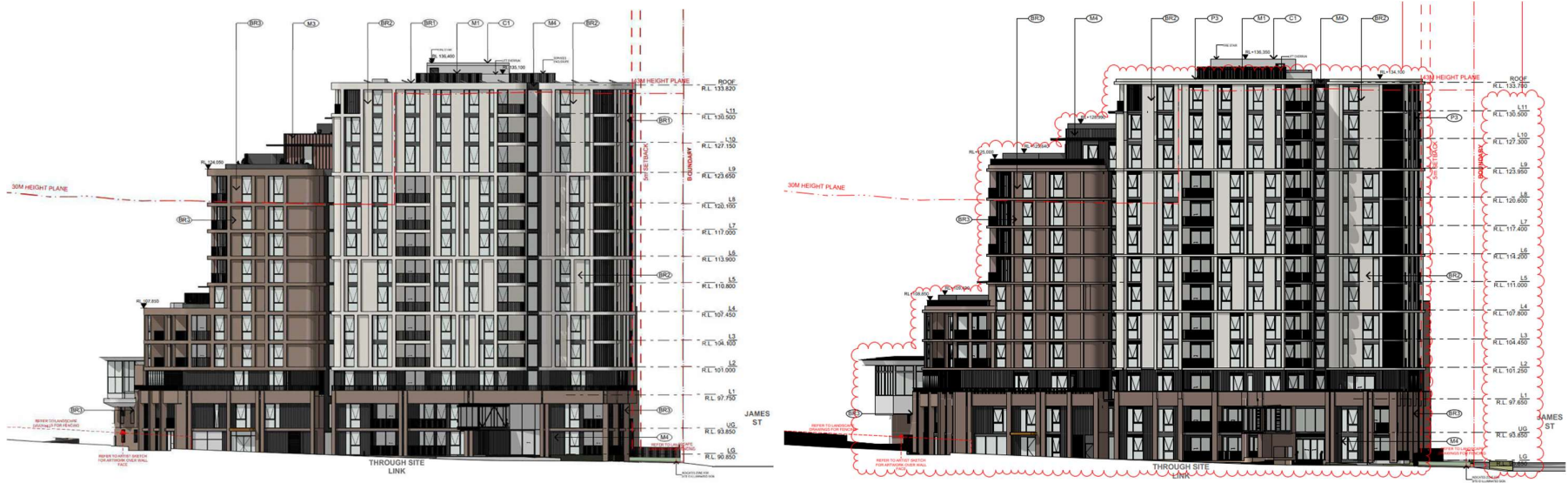


Figure 45: Approved and Proposed East Elevation of Building B (1 of 2)



Figure 46: Approved and Proposed West Elevation of Building B (2 of 2)



Figure 47: Approved and Proposed East Elevation of Building C (1 of 2)

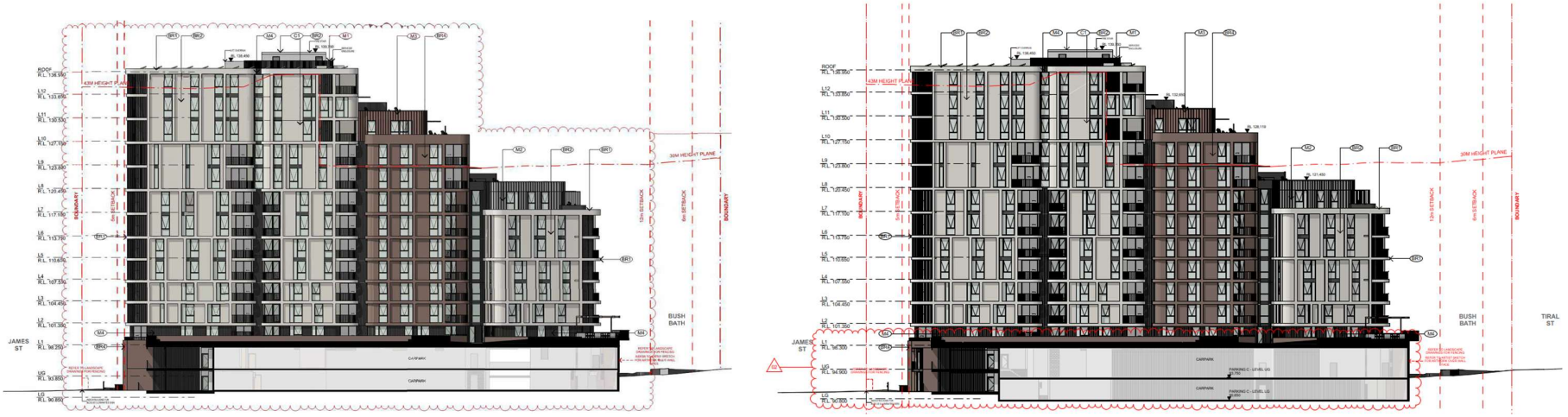


Figure 48: Approved and Proposed West Elevation of Building C (2 of 2)

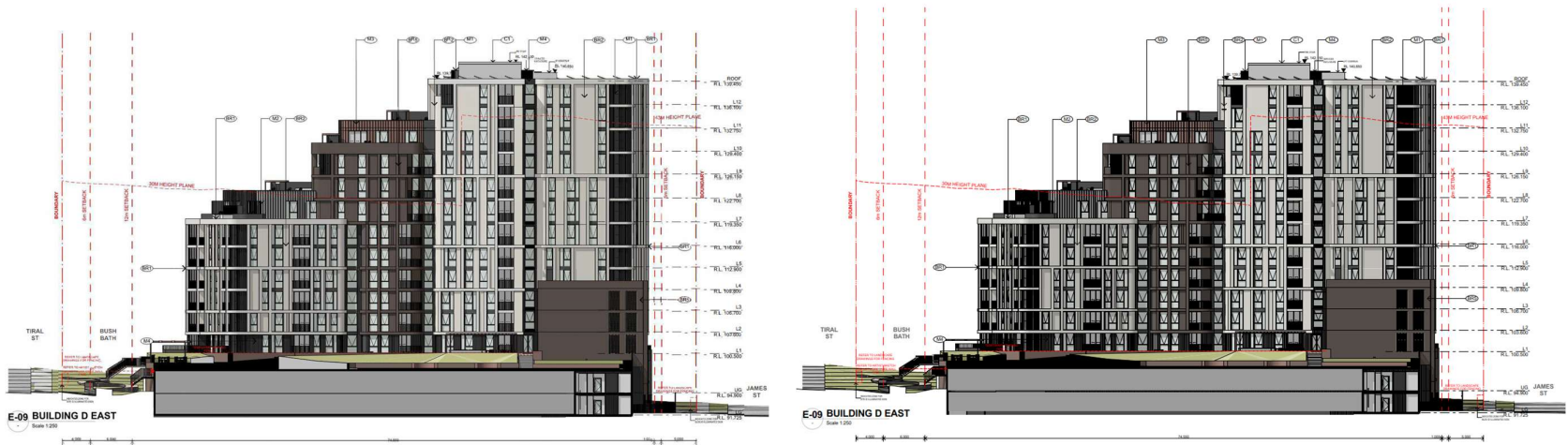


Figure 49: Approved and Proposed East Elevation of Building D (1 of 2)

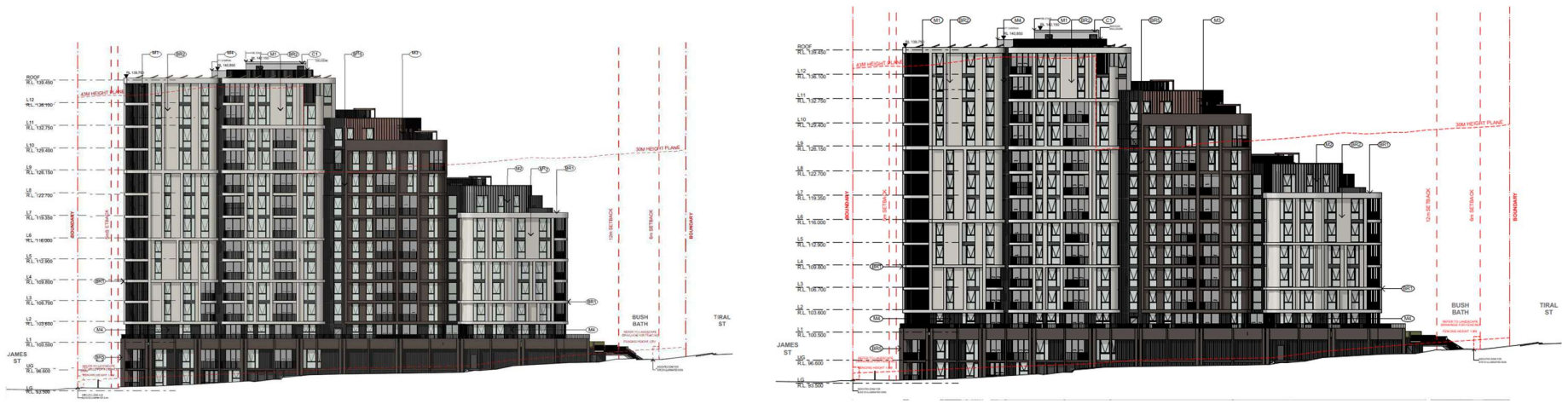


Figure 50: Approved and Proposed West Elevation of Building D (2 of 2)

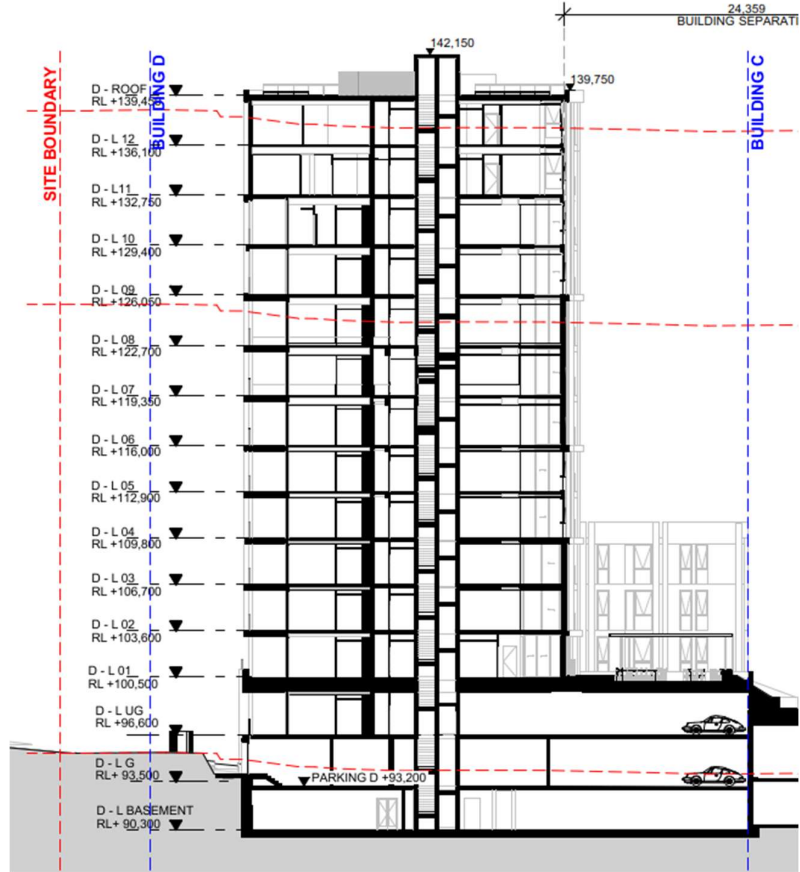
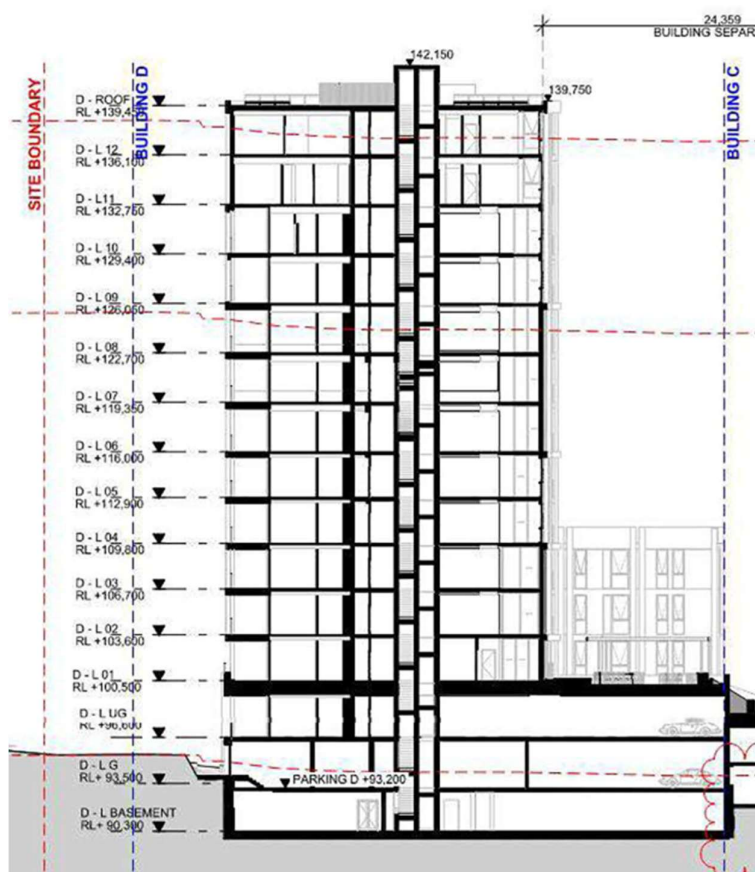


Figure 51: Approved and Proposed E-W Section of Building D (1 of 5)

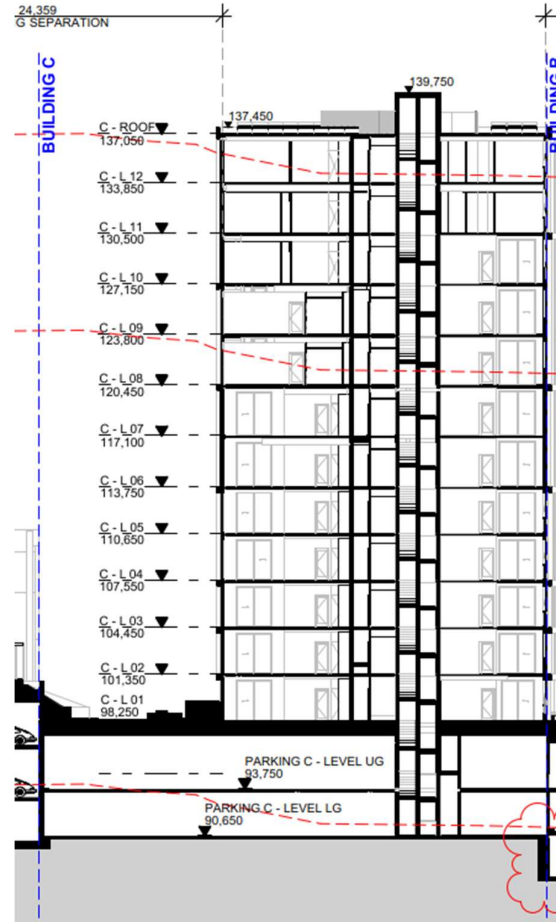
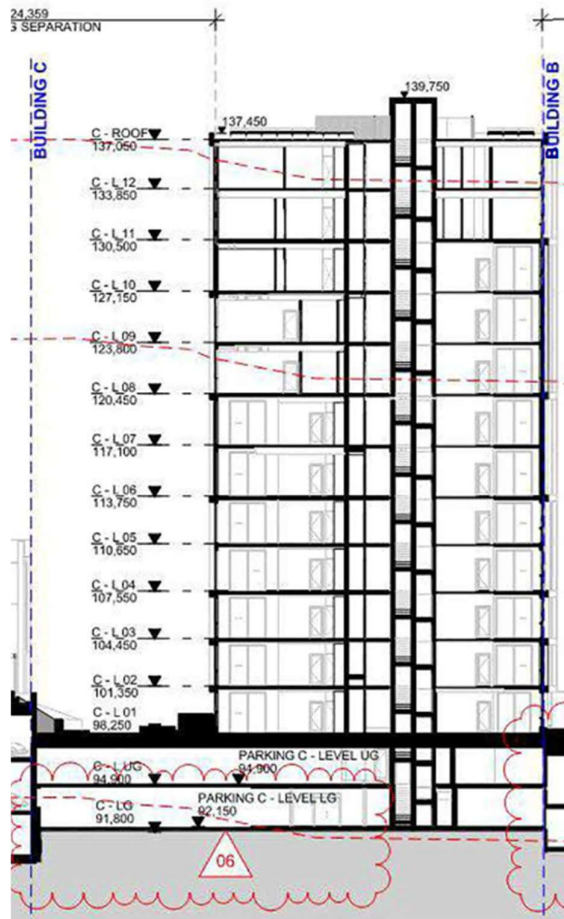


Figure 52: Approved and Proposed E-W Section of Building C (2 of 5)

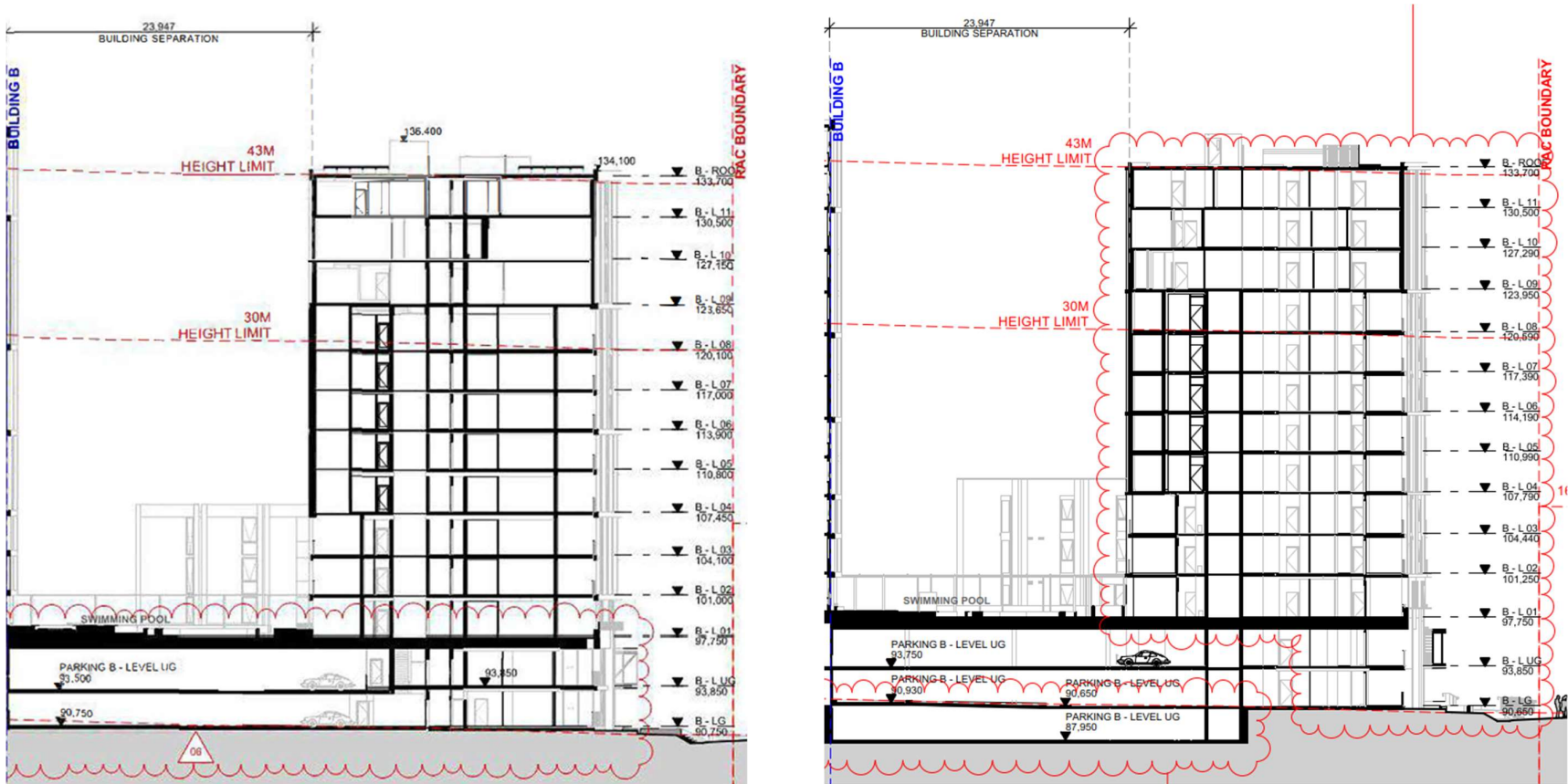


Figure 53: Approved and Proposed E-W Section of Building B (3 of 5)

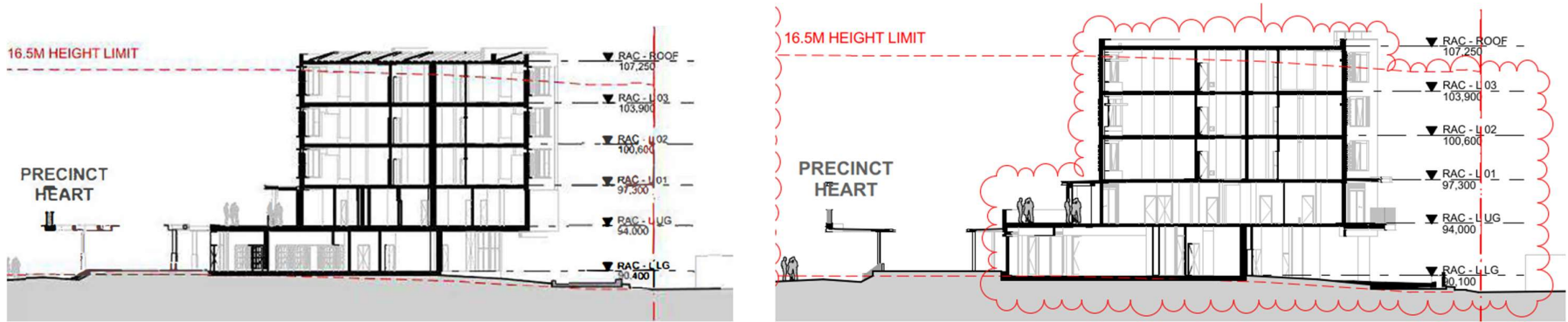


Figure 54: Approved and Proposed E-W Section of **Building A** (4 of 5)

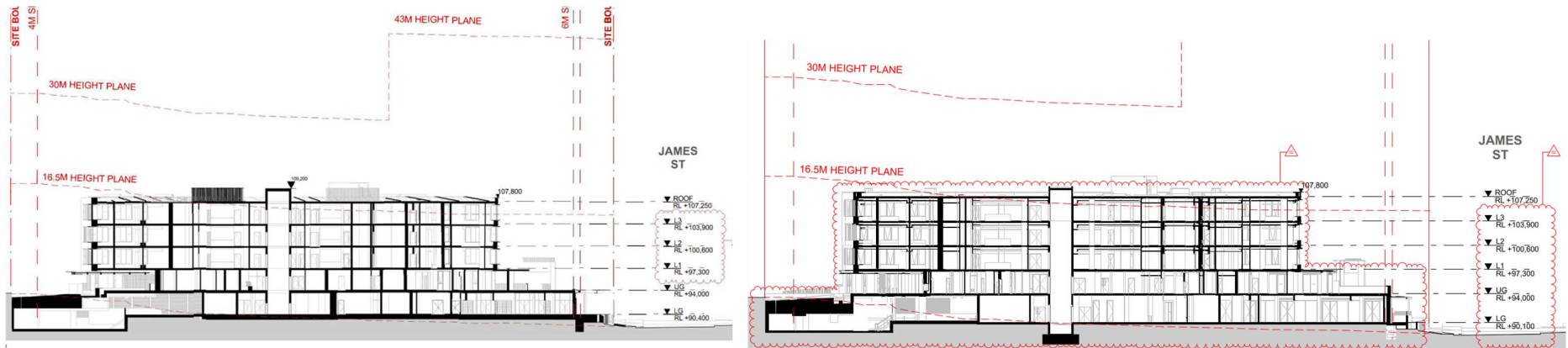


Figure 55: Approved and Proposed N-S Section of **Building RAC/A** (1 of 5)



Figure 56: Approved and Proposed E-W Section of Building RAC/A (2 of 2)

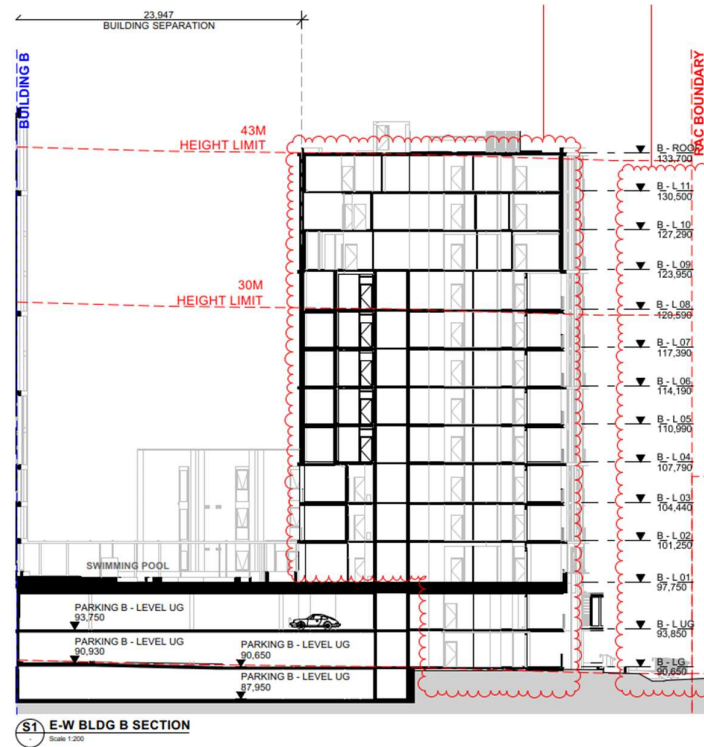
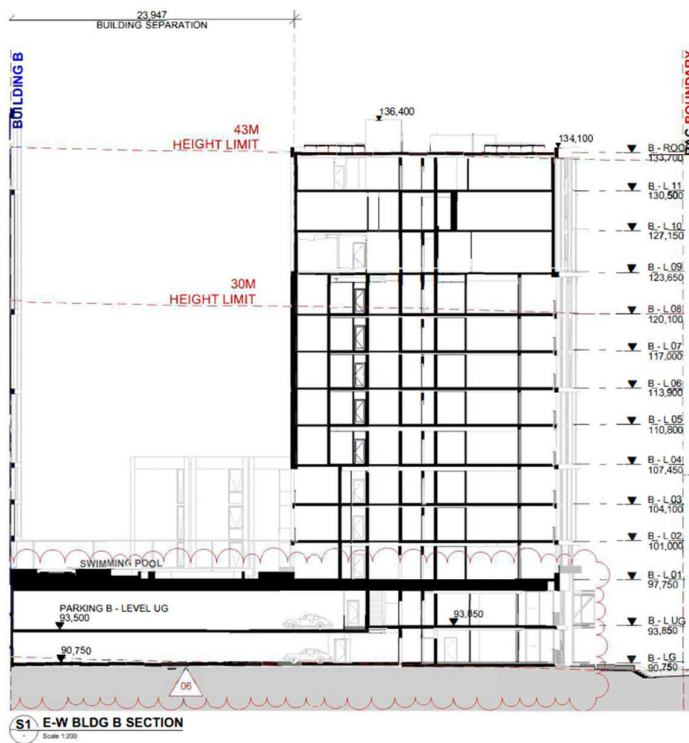


Figure 57: Approved and Proposed E-W Section of Building B (1 of 2)

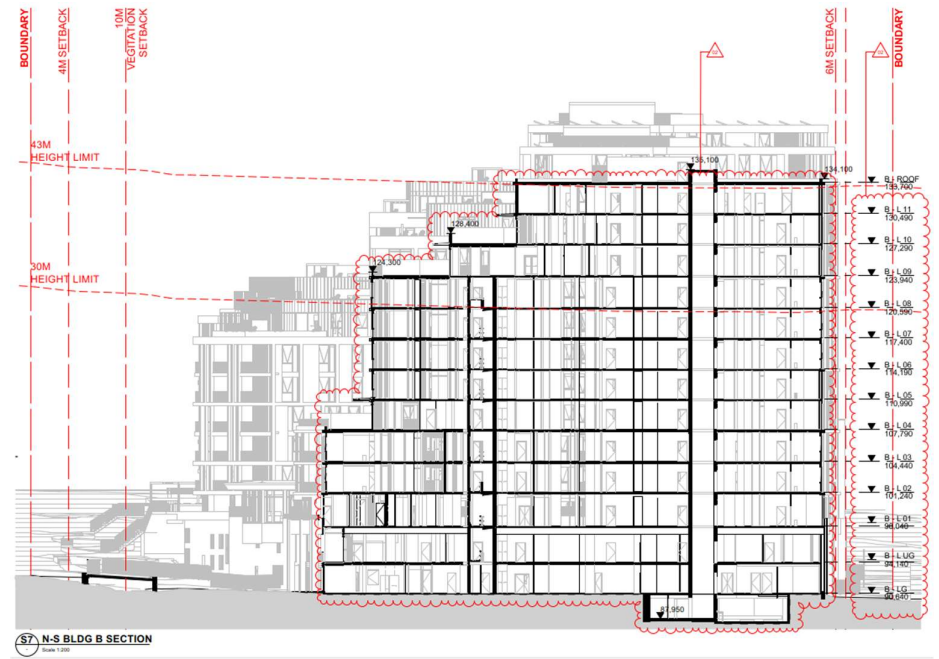
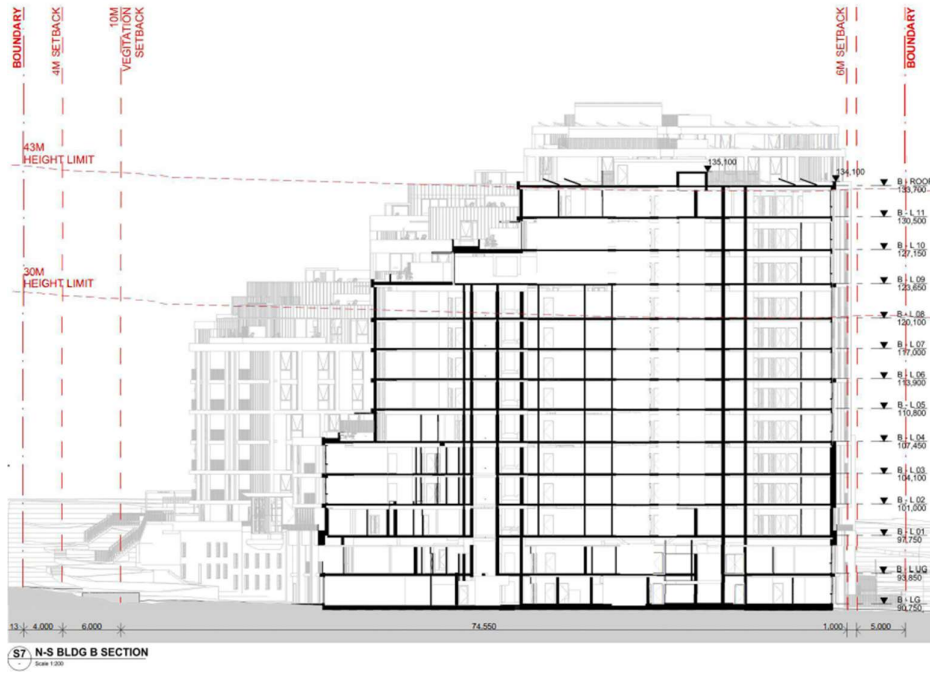


Figure 58: Approved and Proposed N-S Section of **Building B** (2 of 2)

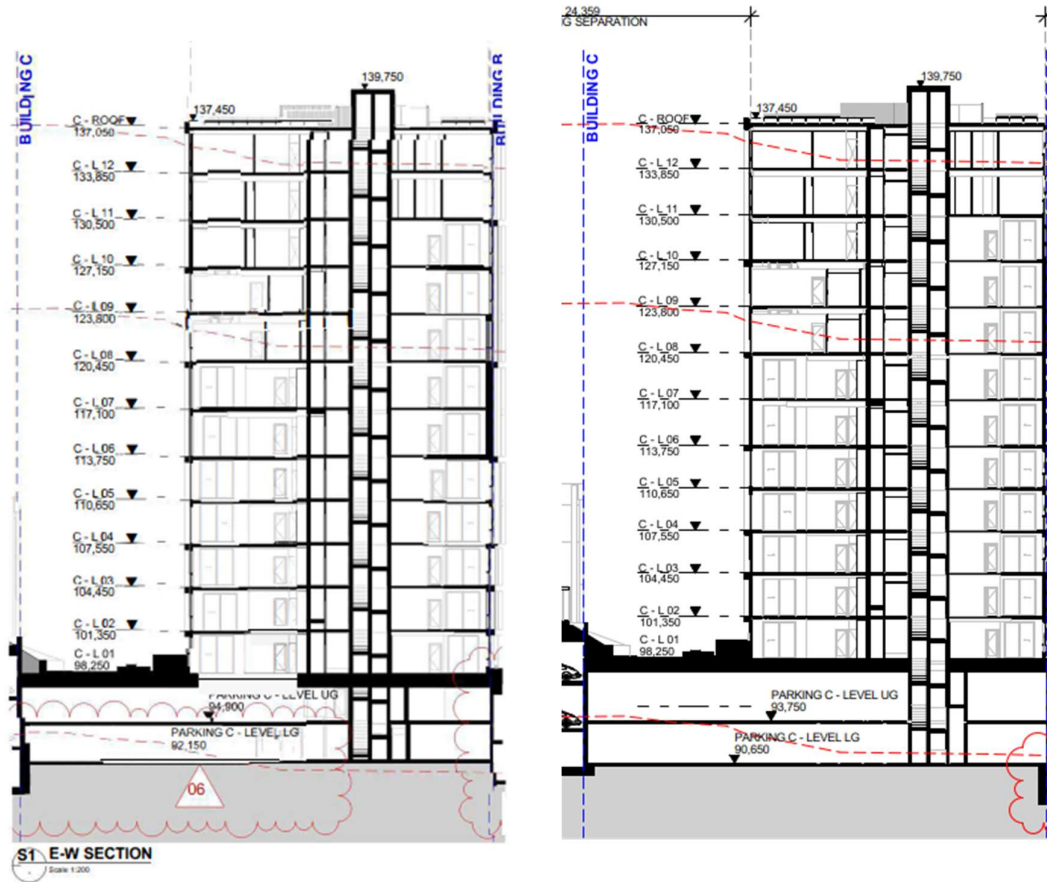


Figure 59: Approved and Proposed E-W Section of Building C (1 of 2)

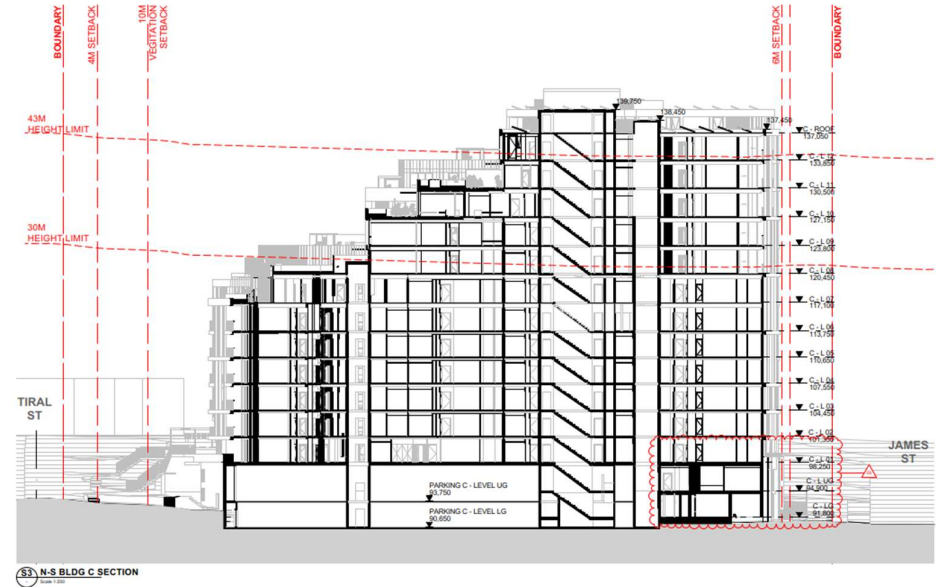
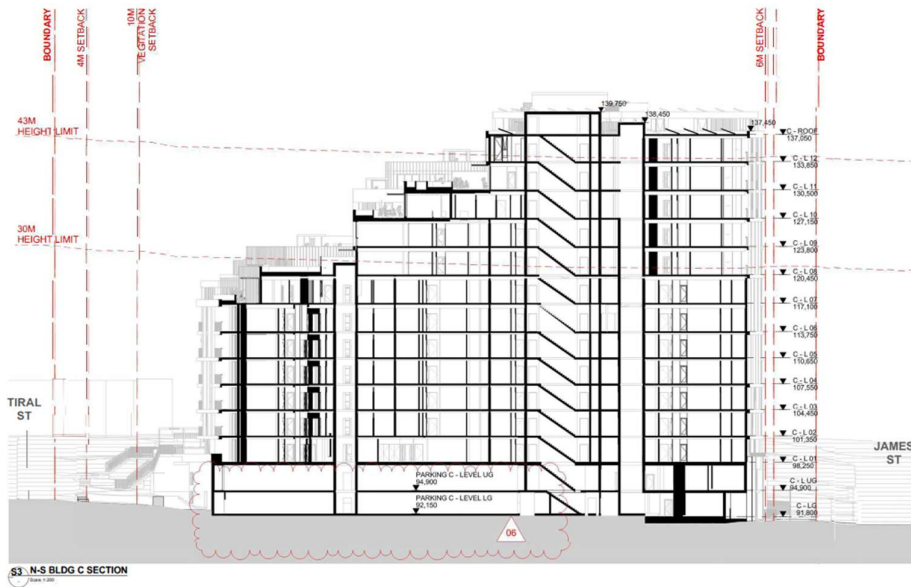


Figure 60: Approved and Proposed N-S Section of Building C (2 of 2)

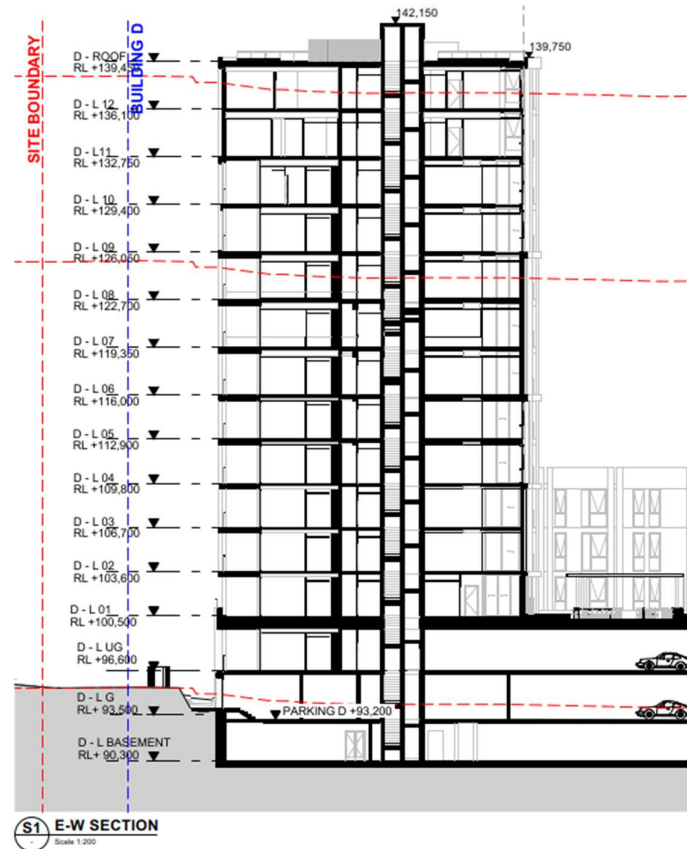


Figure 61: Approved and Proposed E-W Section of Building D (1 of 2)

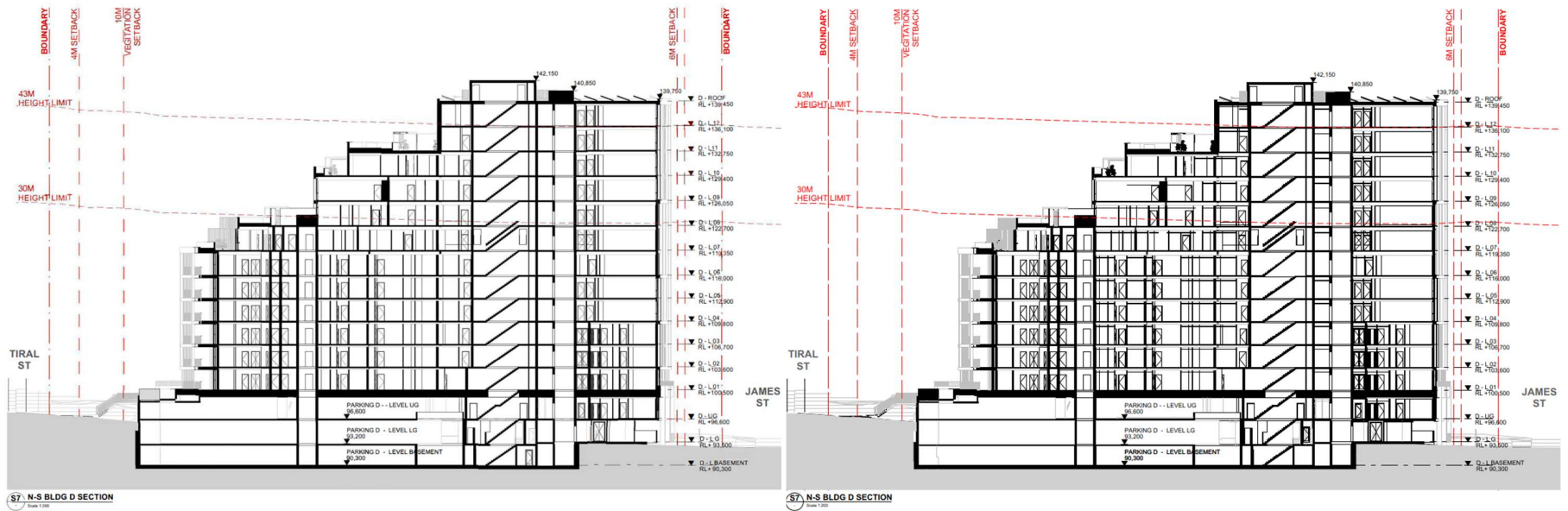


Figure 62: Approved and Proposed N-S Section of Building D (1 of 2)



Figure 63: Approved and Proposed Ground Level (1 of 2)

LEVEL UG

BLDG: D
GFA
A: 362.18 m²

BLDG: C
GFA
A: 262.84 m²

BLDG: B
GFA
A: 574.60 m²



LEVEL UG

BLDG: D
GFA
A: 362.18 m²

BLDG: C
GFA
A: 262.84 m²

BLDG: B
GFA
A: 579.65 m²



Figure 64: Approved and Proposed Ground Level (2 of 2)

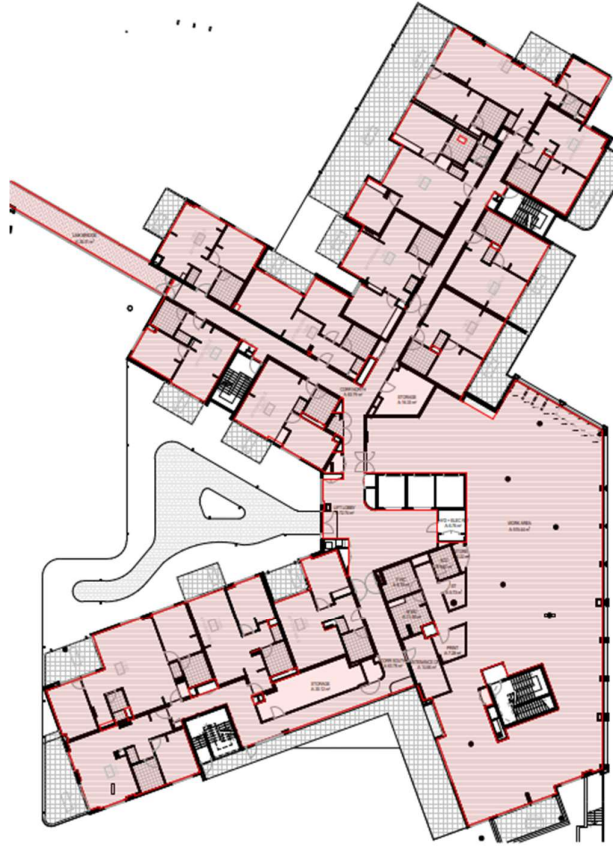
LEVEL UG
BRIDGE
GFA
A: 33.68 m²

BLDG: A
GFA
A: 1,156.51 m²

BLDG: A
GFA
A: 556.50 m²

LEVEL UG
BRIDGE
GFA
A: 33.68 m²

BLDG: A
GFA
A: 1,809.28 m²



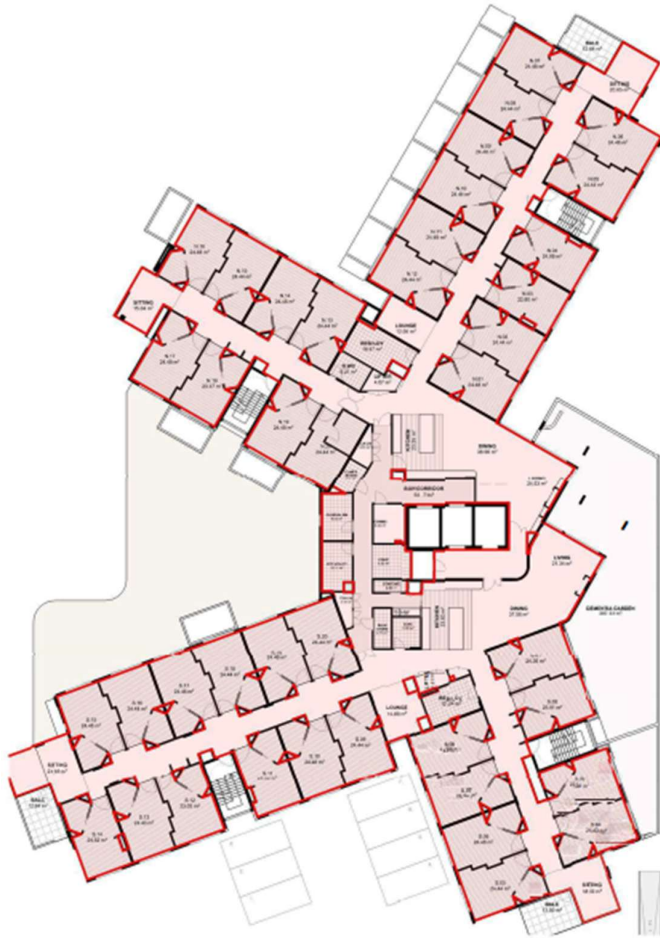
A - UG

- * Bridge amended during design development, no longer enclosed but remains weather protected
- * Internal layouts adjusted to improve circulation and resident amenity
- * Internal layout adjusted to reflect ongoing stakeholder consultation and provide better amenity for occupants.
- * Terraces to ILUs in North wing have been maximised to increase the amenity of residents

Figure 65: Approved and Proposed Under Ground Level of Building A (1 of 2)

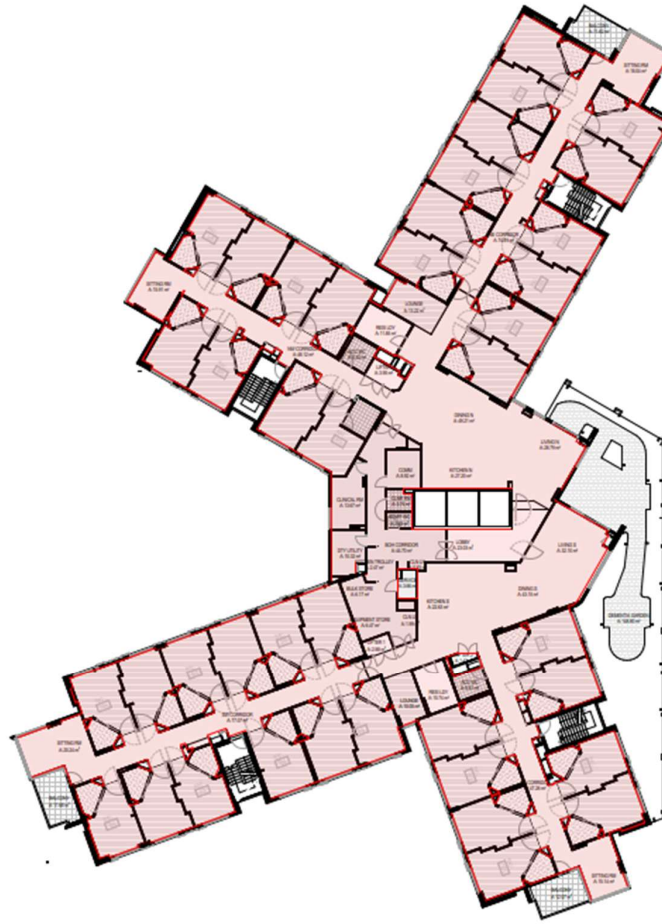
LEVEL 01-03

BLDG: A
GFA
A: 1,702.98 m²



LEVEL 01-03

BLDG: A
GFA
A: 1,736.61 m²



A - L1

* Internal layout adjusted to reflect ongoing stakeholder consultation and provide better amenity for occupants.

Figure 66: Approved and Proposed 1-3 Level of Building A (2 of 2)



Figure 67: Approved and Proposed Lower Ground Level of Building A (1 of 1)



Figure 68: Approved and Proposed Lower Ground Level Stage 01 of Building B (1 of 2)

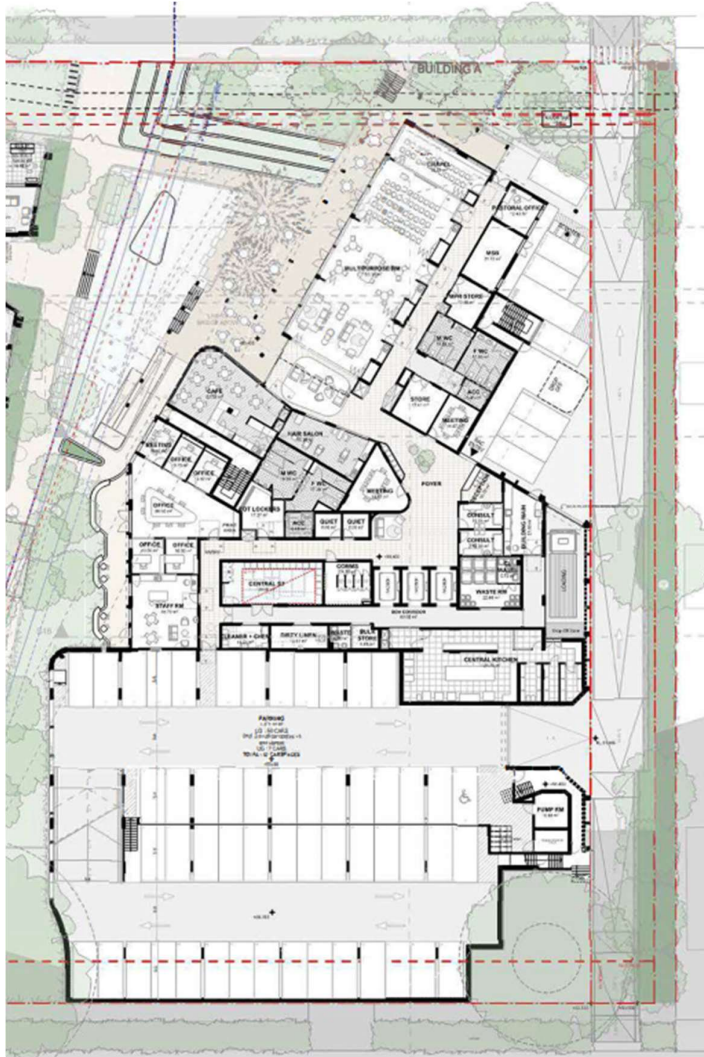


Figure 69: Approved and Proposed Lower Ground Level Stage 01 of **Building A** (2 of 2)

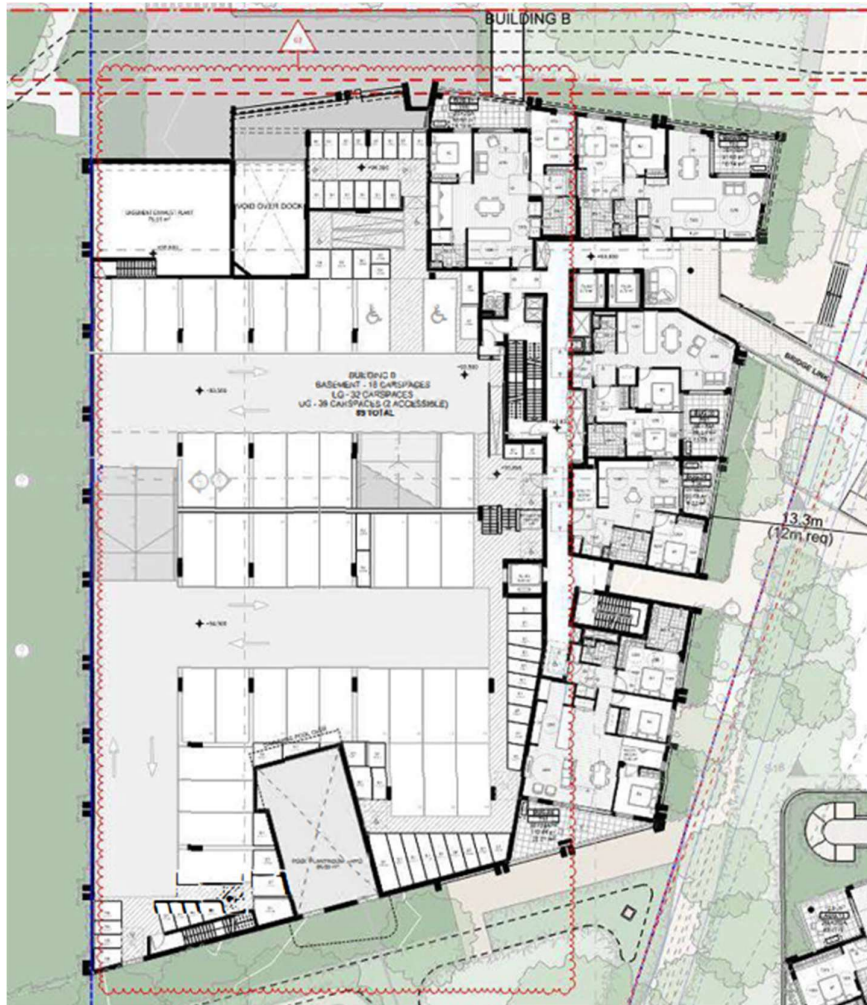


Figure 70: Approved and Proposed Upper Ground Level Stage 01 of Building B (1 of 2)

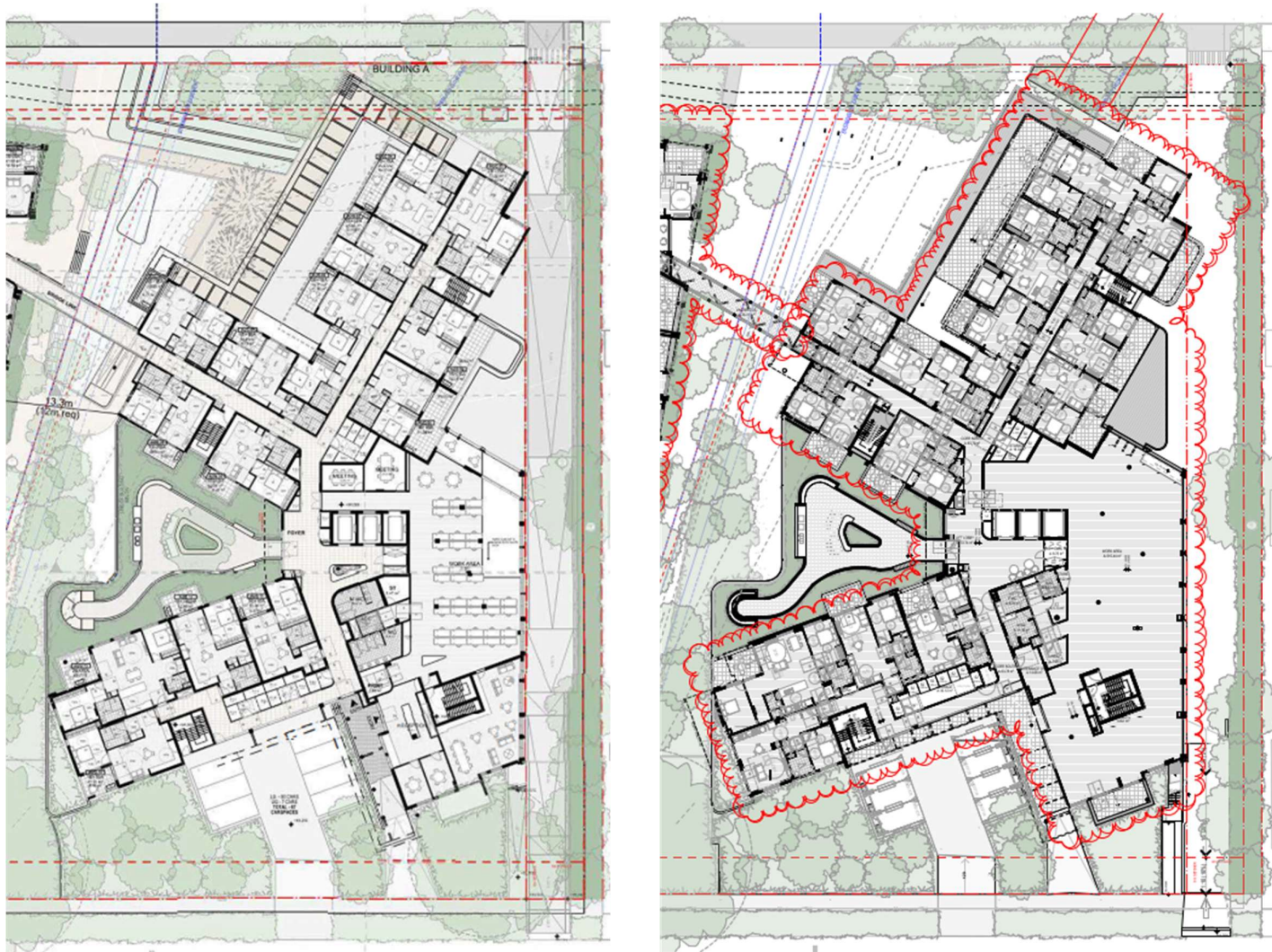


Figure 71: Approved and Proposed Upper Ground Level Stage 01 of Building A (2 of 2)

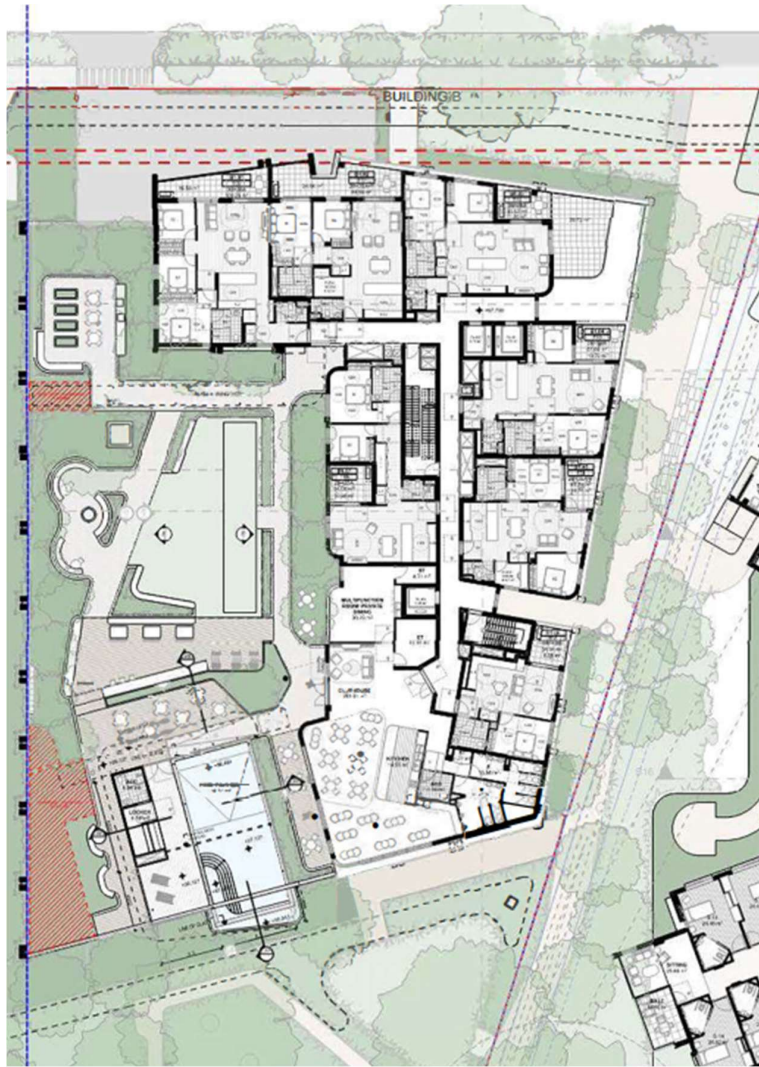


Figure 72: Approved and Proposed Level 01 Stage 01 of Building B (1 of 2)

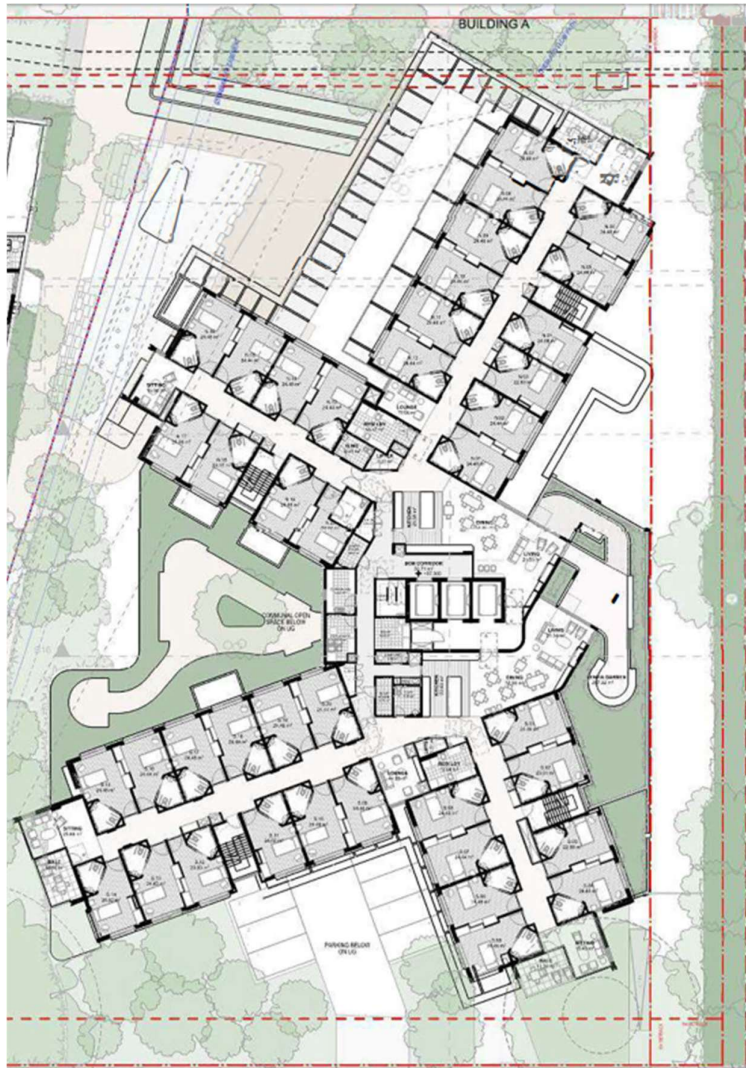


Figure 73: Approved and Proposed Level 01 Stage 01 of Building E (2 of 2)



Figure 74: Originally Approved, DA MOD 1 and Proposed Lower Ground Level, Stage-02 of **Building B** and **C** (1 of 2)

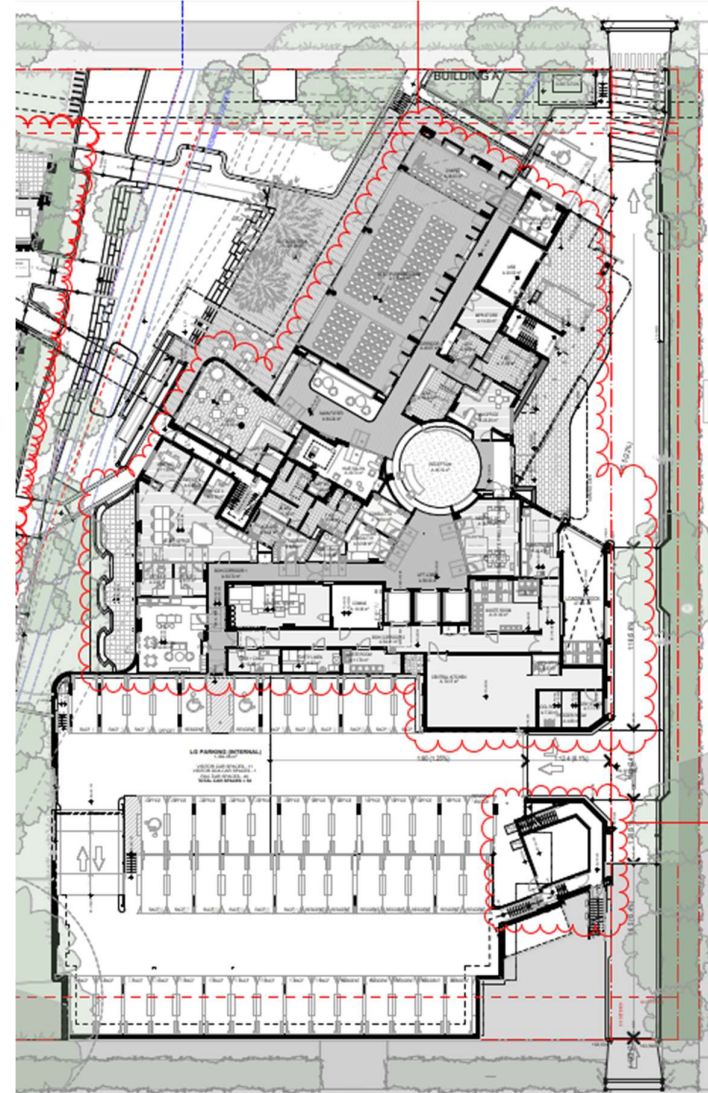
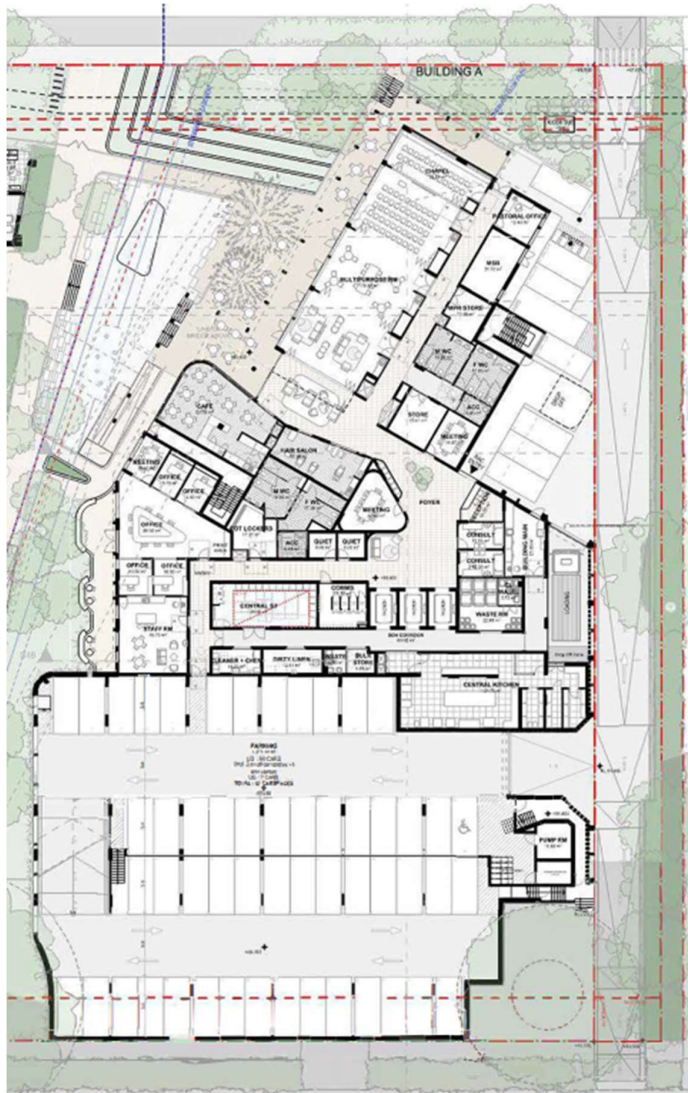


Figure 75: Approved and Proposed Lower Ground Level Stage - 02 of Building A (2 of 2)

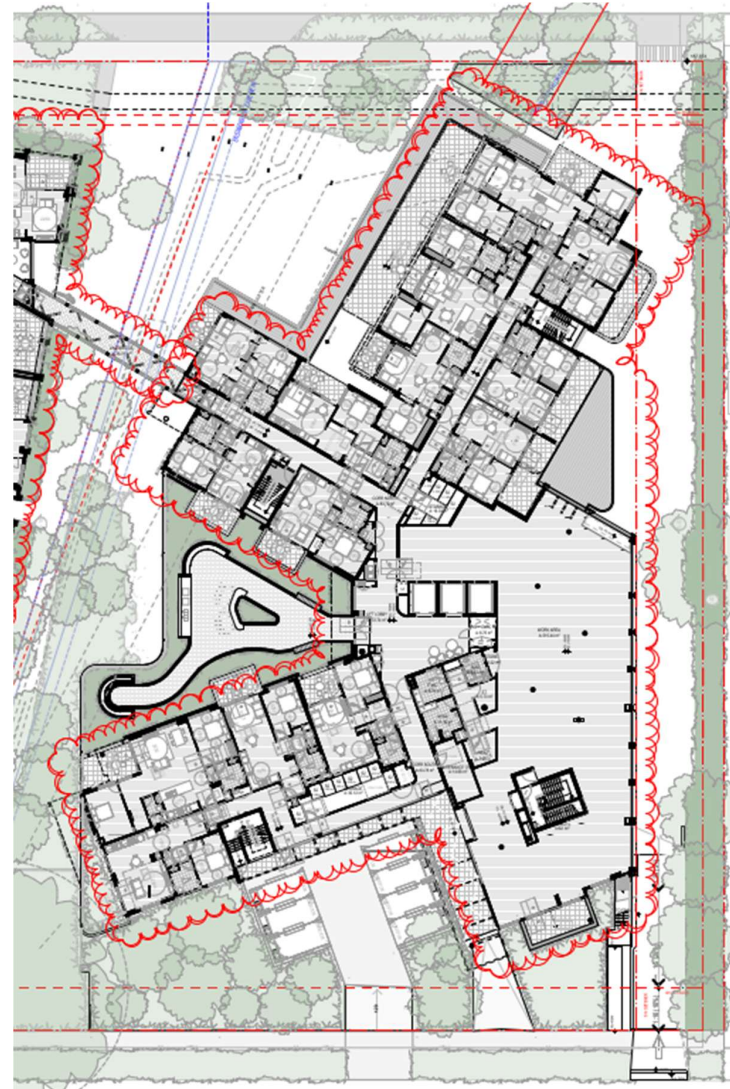
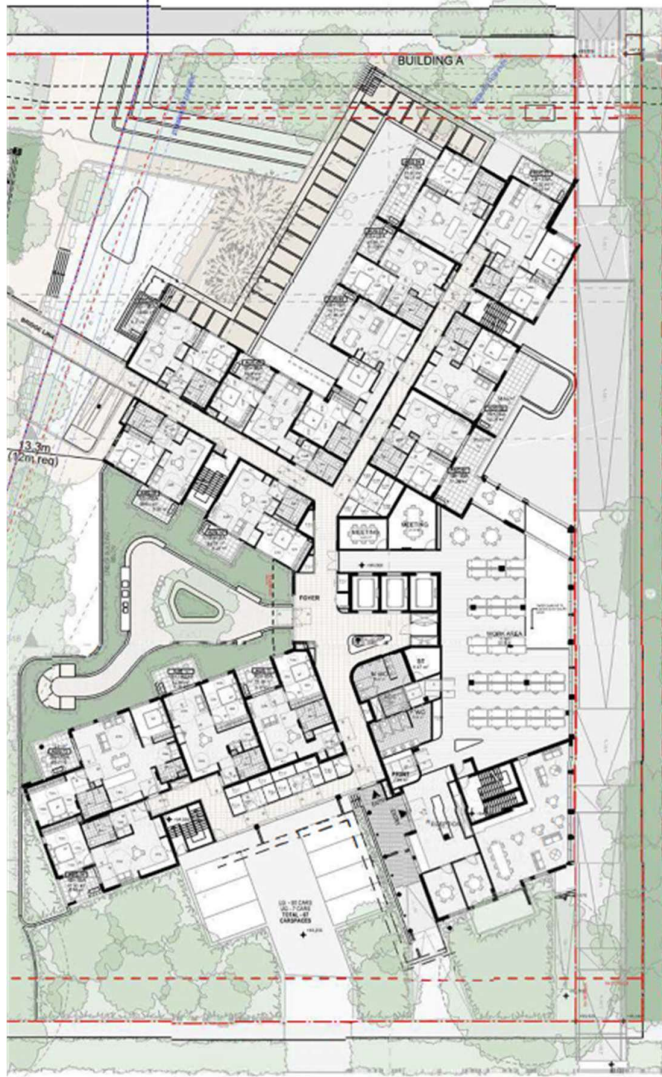


Figure 77: Approved and Proposed Upper Ground Stage- 02 of **Building A** (2 of 2)

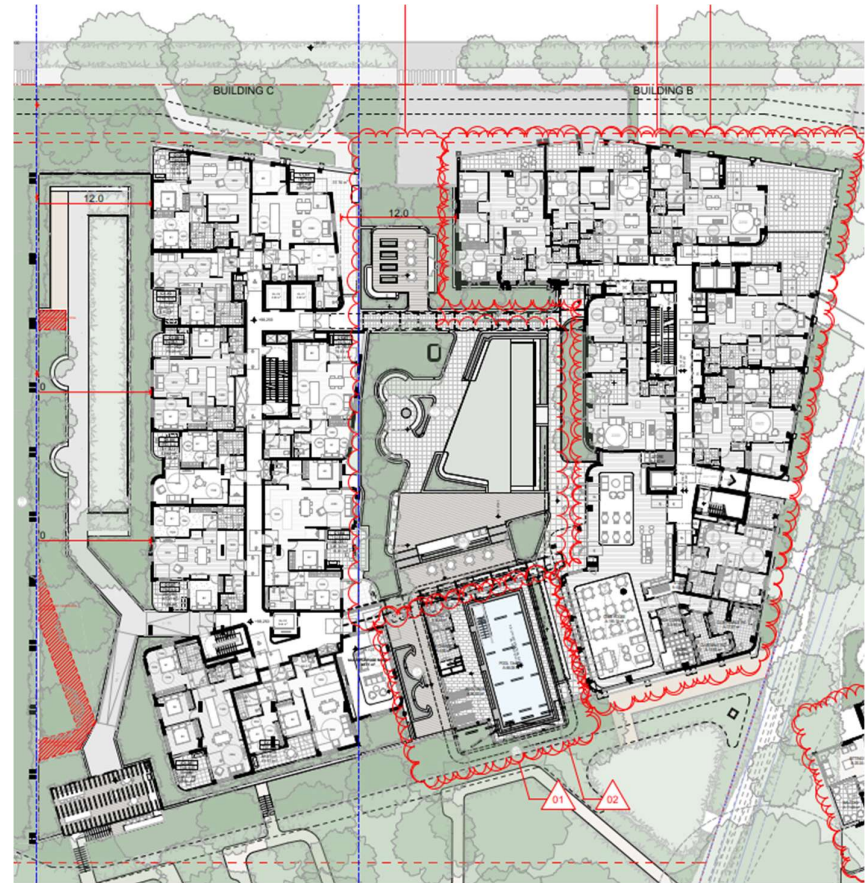
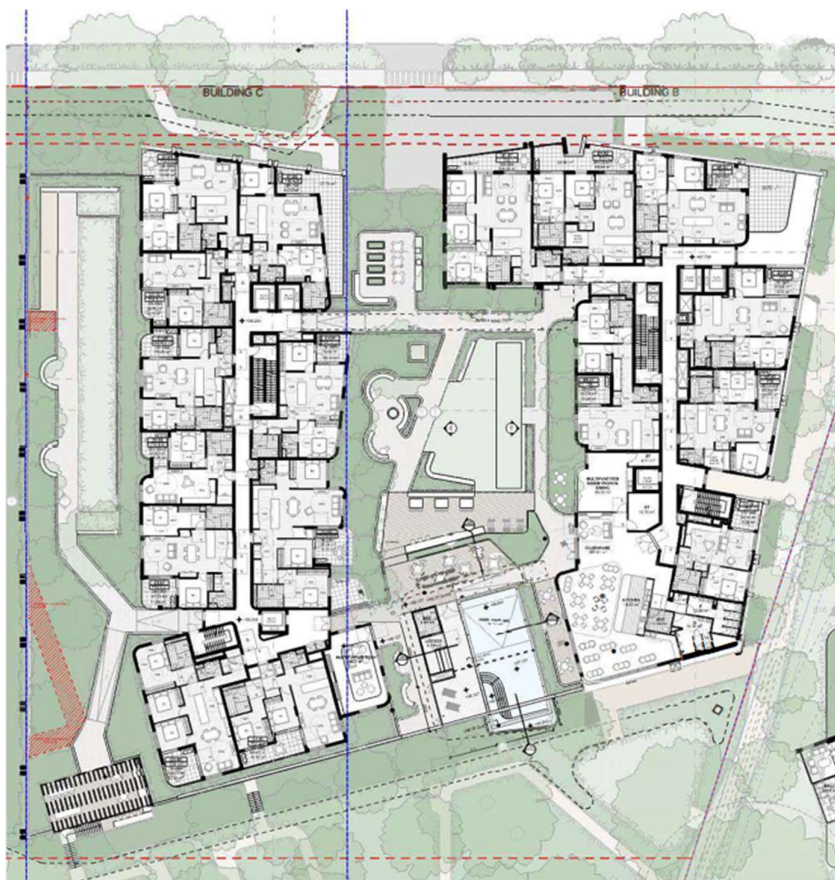


Figure 78: Approved and Proposed Level-01 Stage-02 of **Building B** and **C** (1 of 2)

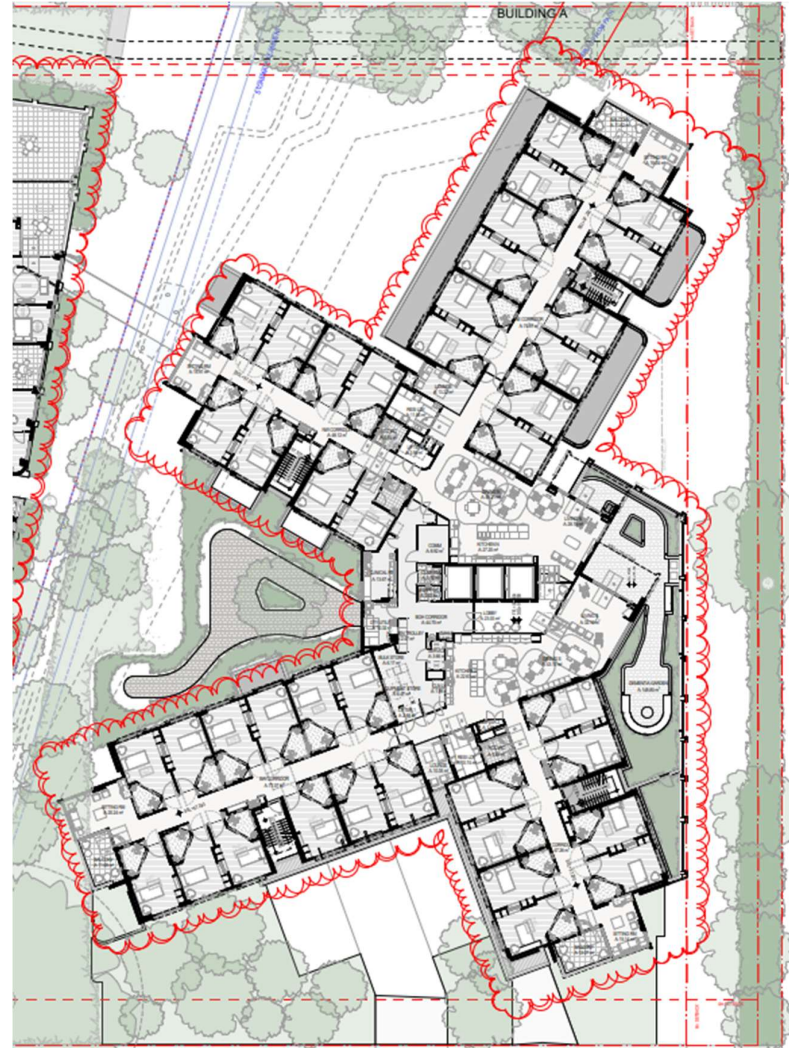
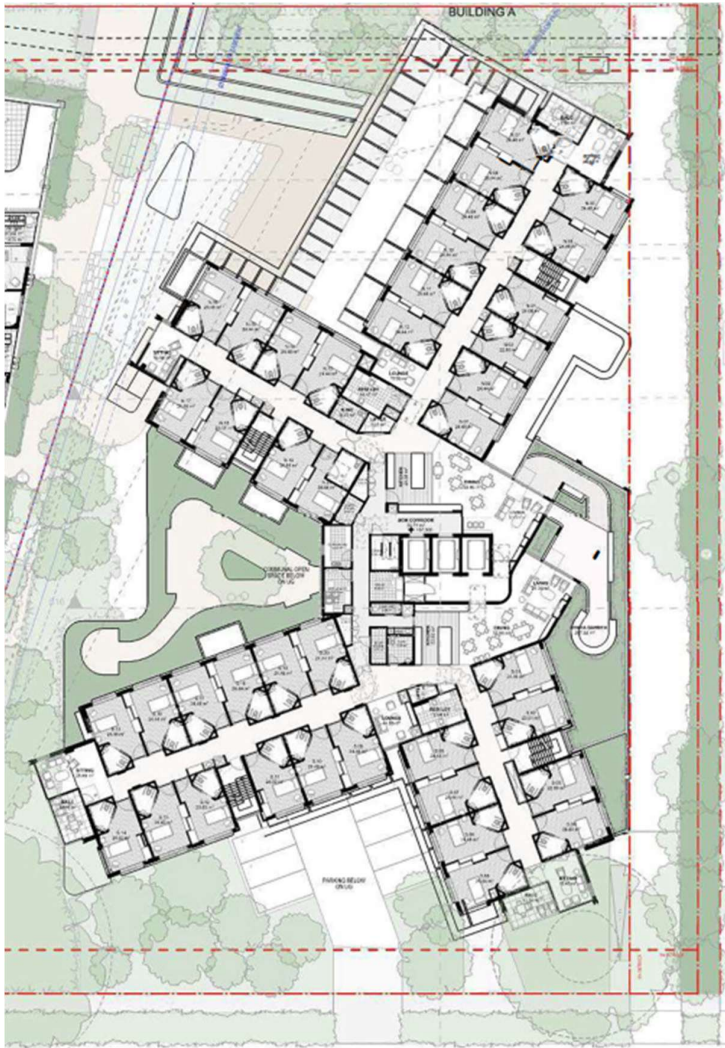


Figure 79: Approved and Proposed Level- 01 Stage- 02 of **Building A** (2 of 2)

EXTERNAL FINISHES

- BR1** Brick - Off White
- BR2** Brick - Light Beige
- BR3** Brick - Light Brown
- BR4** Brick - Brown
- BR5** Brick - Dark Brown
- C1** Concrete - Natural Finish
- FC1** Panelling - Brown
- FC2** Panelling - Graphite
- P1** Paint Finish - Dark Charcoal
- P2** Paint Finish - Grey
- P3** Paint Finish - Off-White
(To Match BR1)
- P4** Paint Finish -Brown
(To Match FC1)
- M1** Metal Finish - Black Powdercoat
- M2** Metal Cladding - Grey
- M3** Metal Cladding - Brown
- M4** Metal Cladding - Dark Charcoal



EXTERNAL FINISHES

- BR1** Brick - Off White
- BR2** Brick - Light Beige
- BR3** Brick - Light Brown
- BR4** Brick - Brown
- BR5** Brick - Dark Brown
- C1** Concrete - Natural Finish
- FC1** Panelling - Light Tan
- FC2** Panelling - Graphite
- P1** Paint Finish - Dark Charcoal
- P2** Paint Finish - Grey
- P3** Paint Finish - Off-White
(To Match BR1)
- P4** Paint Finish -Light Tan
(To Match FC1)
- M1** Metal Finish - Black Powdercoat
- M2** Metal Cladding - Grey
- M4** Metal Cladding - Dark Charcoal

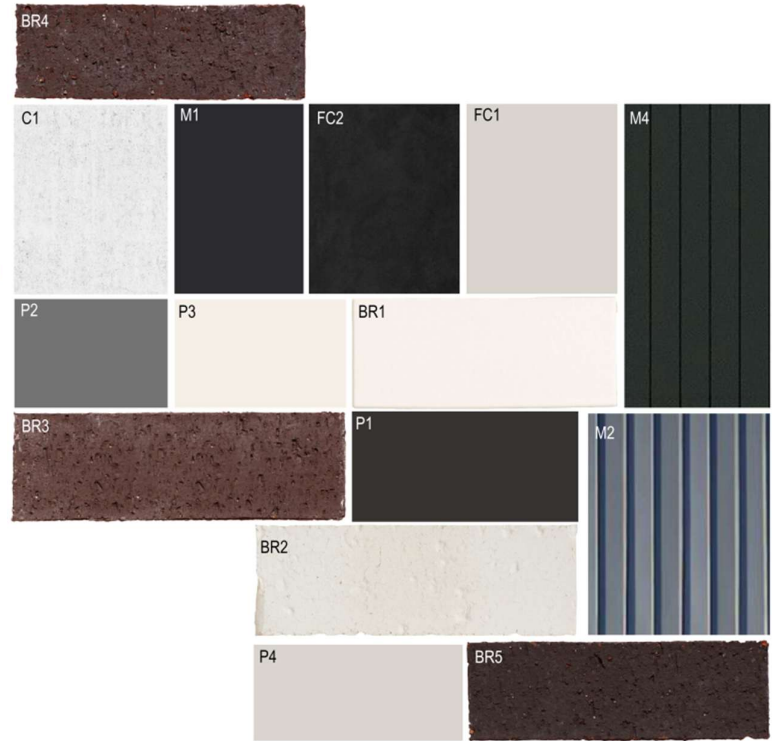


Figure 80: Approved and Proposed External Finishes (2 of 2)