

NOTES :

- * BOUNDARIES HAVE NOT BEEN DEFINED BY SURVEY AND ARE DIAGRAMMATIC ONLY.
- * LAND DIMENSIONS AND AREAS HAVE BEEN COMPILED FROM PLANS OBTAINED FROM LPM.
- * BEARINGS RELATE TO ISG (TRUE) NORTH ORIGINATING FROM PM 46916 RL 28.577
- * LEVEL DATUM IS AHD ORIGINATING FROM PM 46916 RL 28.577
- * VISIBLE, ACCESSIBLE SERVICES ONLY HAVE BEEN LOCATED.
- * THE EXISTENCE OF UNDERGROUND SERVICES HAS NOT BEEN INVESTIGATED. IF THESE ARE CRITICAL, IT IS ESSENTIAL THE APPROPRIATE AUTHORITIES BE NOTIFIED AND THE SERVICES LOCATED BY UNDERGROUND DETECTION METHODS OR POT-HOLING AND THEN SURVEYED.
- * NEIGHBOURING HOUSES, WINDOWS AND ROOF POSITIONS ARE APPROXIMATE ONLY.
- * FLOOR LEVELS GENERALLY SURVEYED AT DOOR THRESHOLDS, INTERNAL ROOMS NOT SURVEYED.
- * CONTOURS SHOWN ARE INDICATIVE OF LAND FORM, SPOT LEVELS SHOULD TAKE PRECEDENCE.
- * THIS TITLER BLOCK IS AN INTEGRAL PART OF THIS DRAWING AND SHOULD NOT BE REMOVED.

LEGEND

- ELP - ELECTRIC LIGHT POLE
- HYD - HYDRANT
- INV - INVERT KERB
- TK - TOP KERB
- PP - POWER POLE
- SMH - SEWER MANHOLE
- SP - SIGN POST
- SV - STOP VALVE
- TEL - TELSTRA PIT
- PC - PRAM CROSSING
- VC - VEHICLE CROSSING
- WM - WATER METER

Liability limited by a
Scheme approved under
Professional Standards
Legislation

www.1100.com.au

© PROJECT SURVEYORS 2019 REPRODUCTION WITHOUT WRITTEN APPROVAL IS STRICTLY PROHIBITED		
REV	E	FOOTPATH AND KERB LEVELS ADDED
AMENDMENTS		DATE
		17/12/20

CLIENT: PLATINUM PROPERTY ADVISORS	
PLAN OF: CLEVELAND STREET	REDEVELOPMENT
BEING: MULTIPLE LOTS	
SHOWING: GENERAL DETAIL AND SITE LEVELS	
PURPOSE: ARCHITECTURAL DESIGN COUNCIL SUBMISSION	

SCALE 1:300

SURVEYOR : HEIDI B

DATUM : AUSTRALIAN HEIGHT DATUM

ORIGIN : PM 55148 RL89 894

JOB REF : B01753

DRAWING No : B01753-DETAILED

CHECKED : NATHAN M

DATE OF SURVEY : 18 JULY 2019

REDUCTION RATIO : 1:300

BELLA VISTA

PO Box 7419
BAULKHAM HILLS NSW 2153

SUITE 405, LEVEL 4
14 LEXINGTON DRIVE
BELLA VISTA NSW 2153

PHONE : 9056 1900

email: office@projectsurveyors.com.au
web: www.projectsurveyors.com.au
ABN 20 068 433 974

PROJECT SURVEYORS

Professional Innovative... Results.

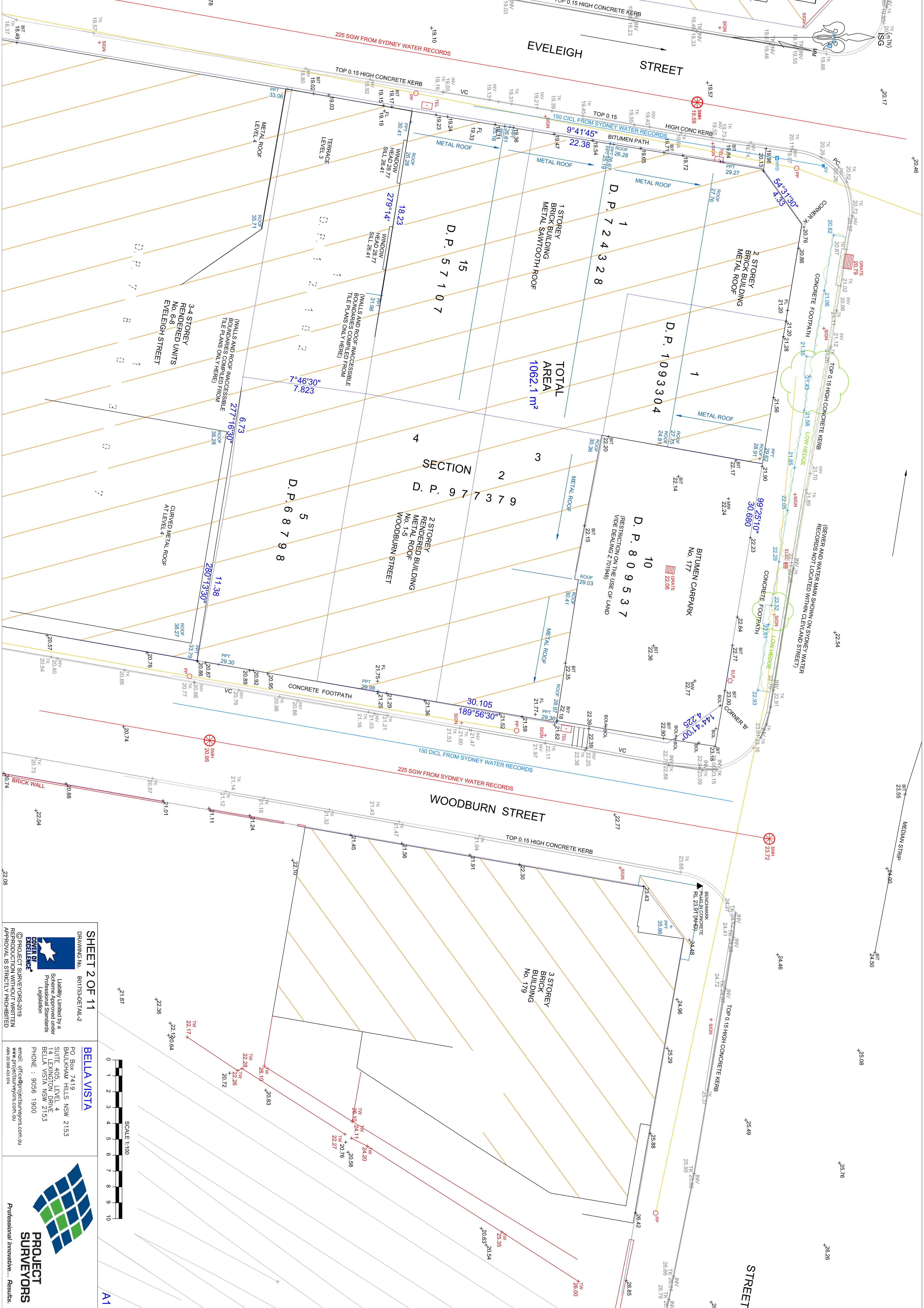
MGA 94 COORDINATES:

CORNER A:
E 333 572.195
N 6 246 700.365

CORNER B:
E 333 602.553
N 6 246 695.935

NOTE: SURVEY ON ISG ORIENTATION
AND LOCAL COORDINATE SYSTEM





POWER OF EXCELLENCE

© PROJECT SURVEYORS 2019

REPRODUCTION WITHOUT WRITTEN APPROVAL IS STRICTLY PROHIBITED

Liability Limited by a Scheme Approved under Professional Standards Legislation

PO Box 7419
BAULKHAM HILLS NSW 2153
SUITE 405, LEVEL 4
14 LEXINGTON DRIVE
BELLA VISTA NSW 2153
PHONE : 9056 1900
email: office@projectsurveyors.com.au
www.projectsurveyors.com.au
ABN 20 068 433 974

PROJECT SURVEYORS

Professional Innovative... Results.

SHEET 2 OF 11

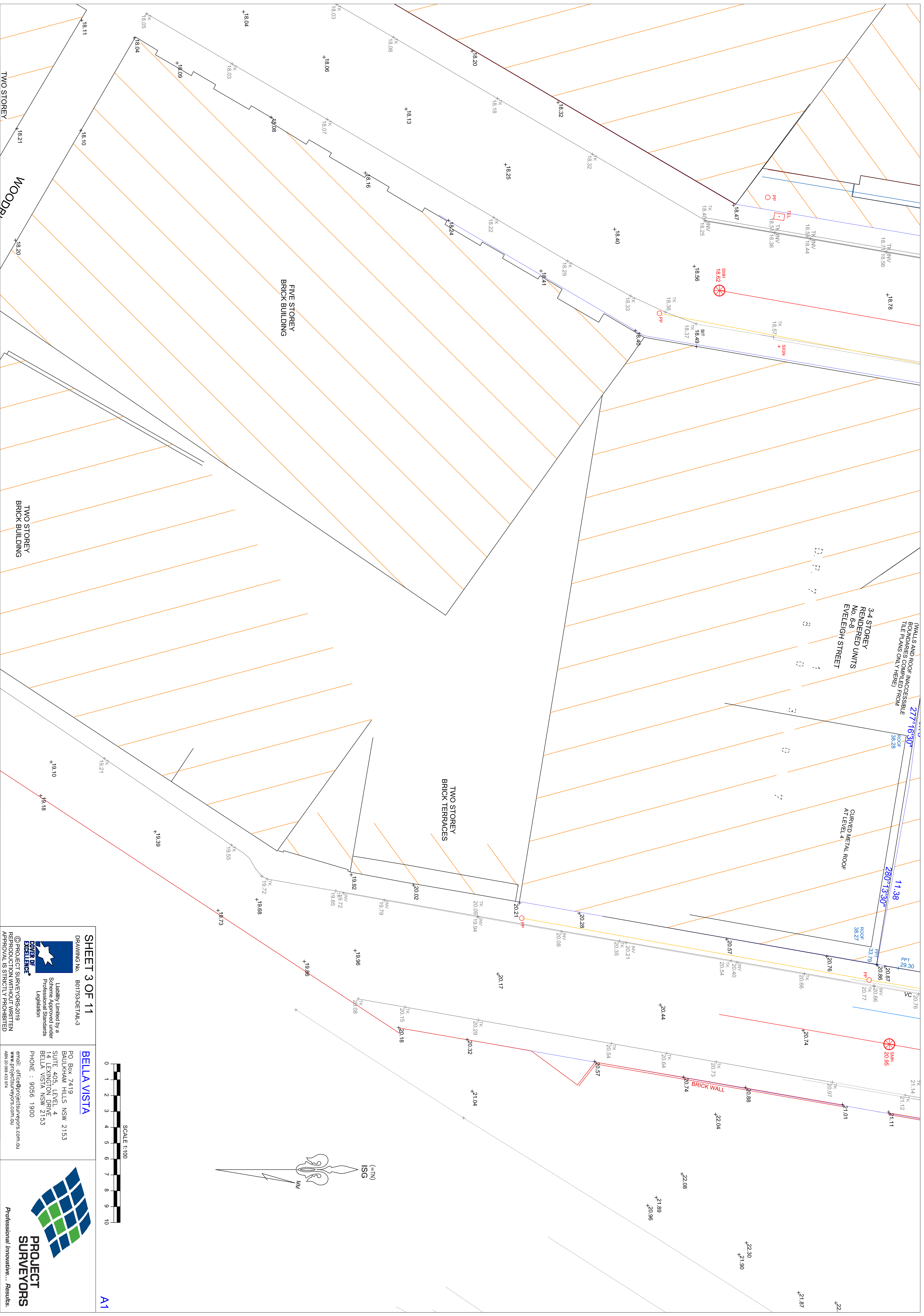
DRAWING No. B01753-DETAIL-2

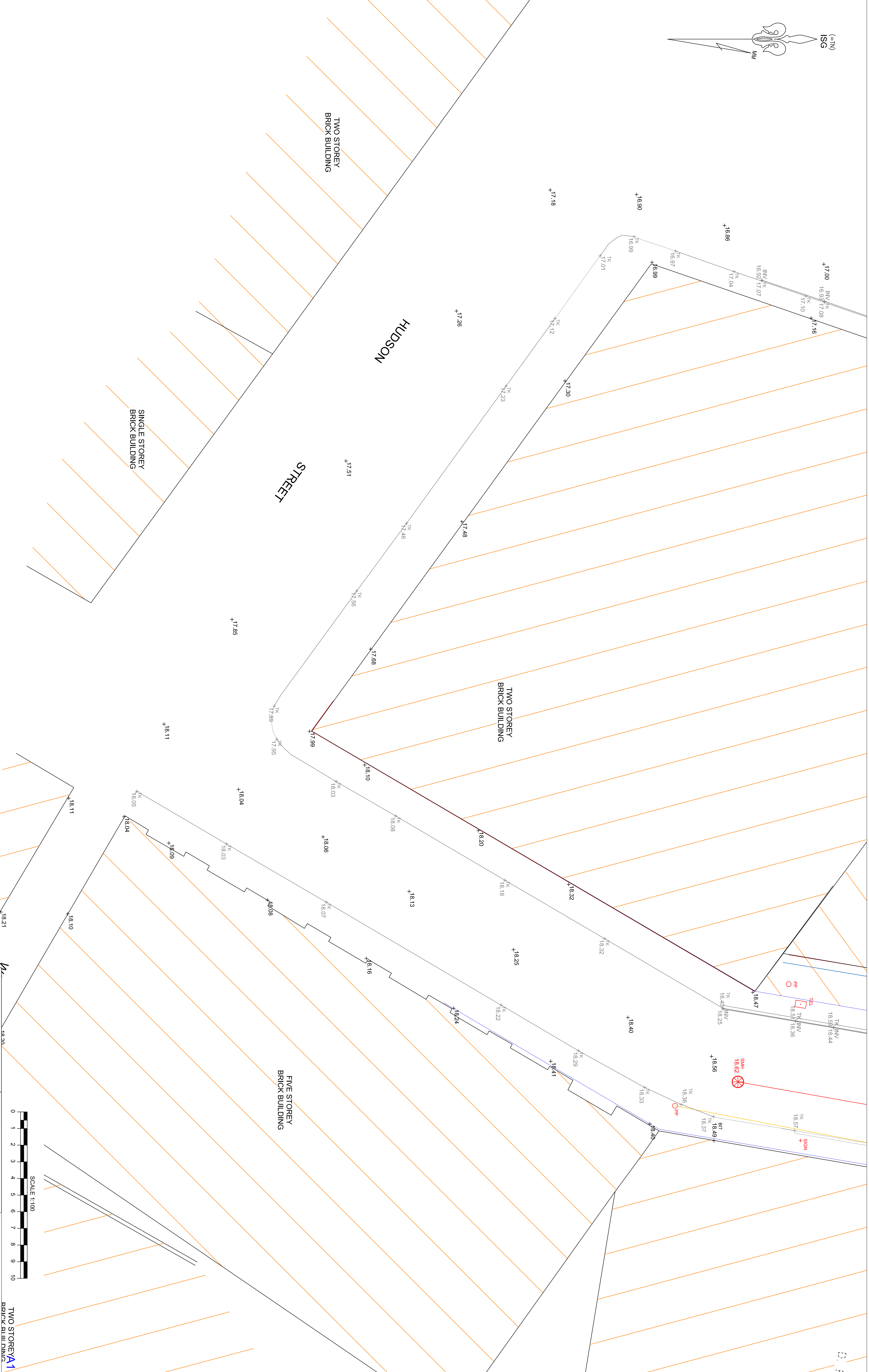
BELLA VISTA

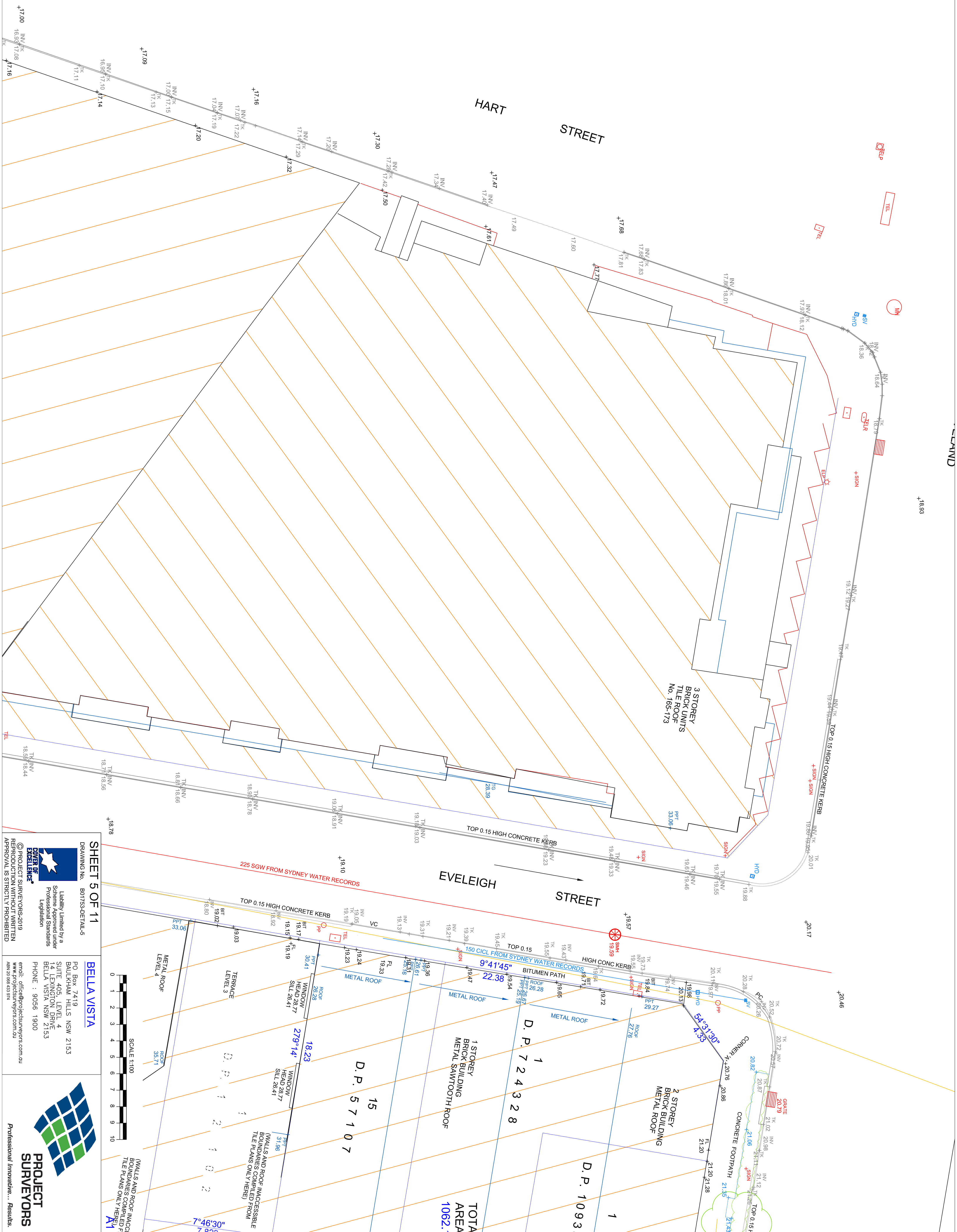
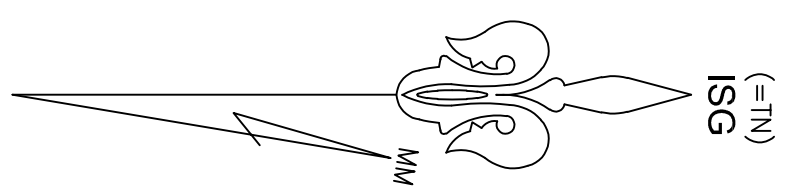
PO Box 7419
BAULKHAM HILLS NSW 2153
SUITE 405, LEVEL 4
14 LEXINGTON DRIVE
BELLA VISTA NSW 2153
PHONE : 9056 1900
email: office@projectsurveyors.com.au
www.projectsurveyors.com.au
ABN 20 068 433 974

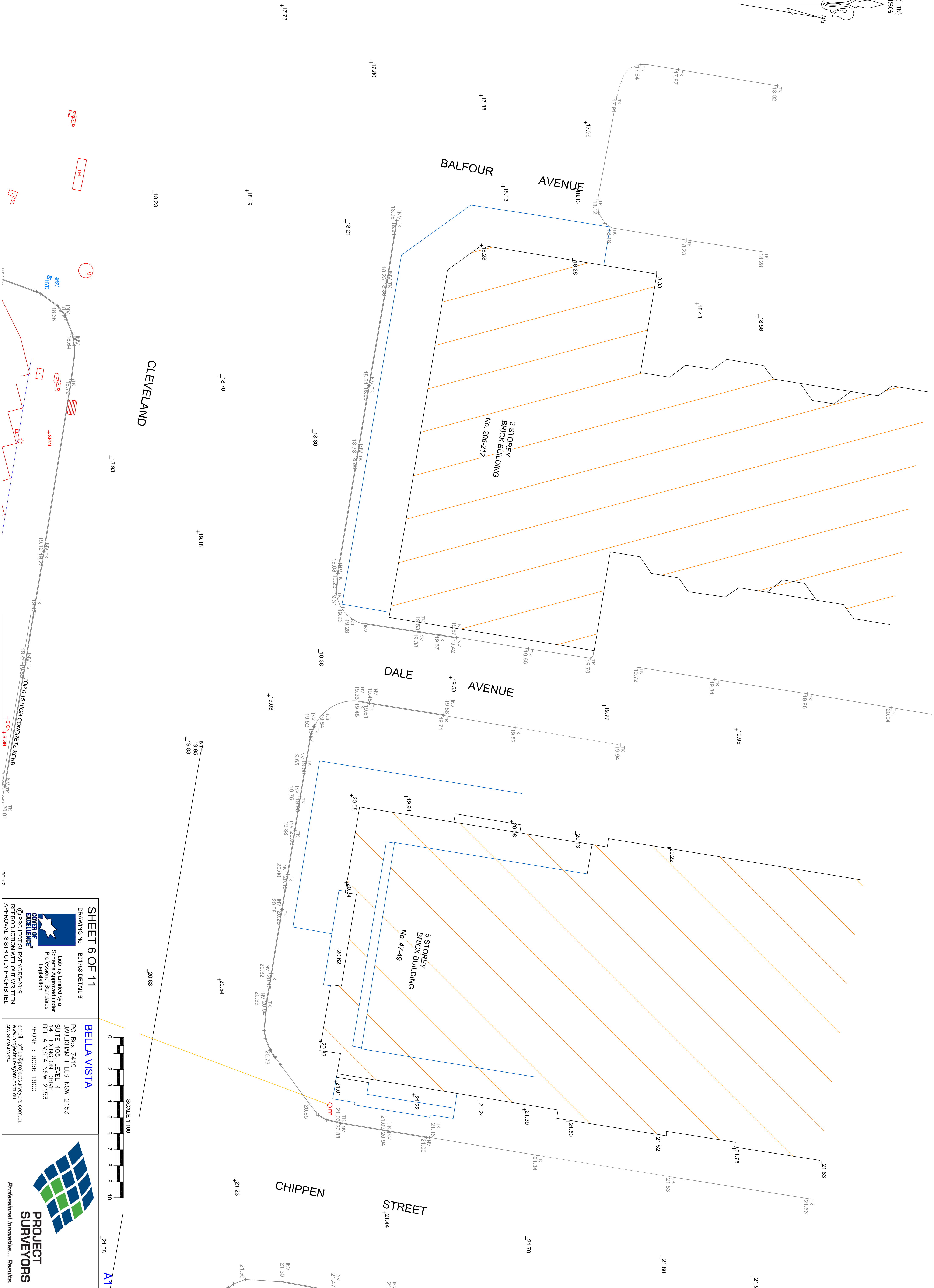
PROJECT SURVEYORS

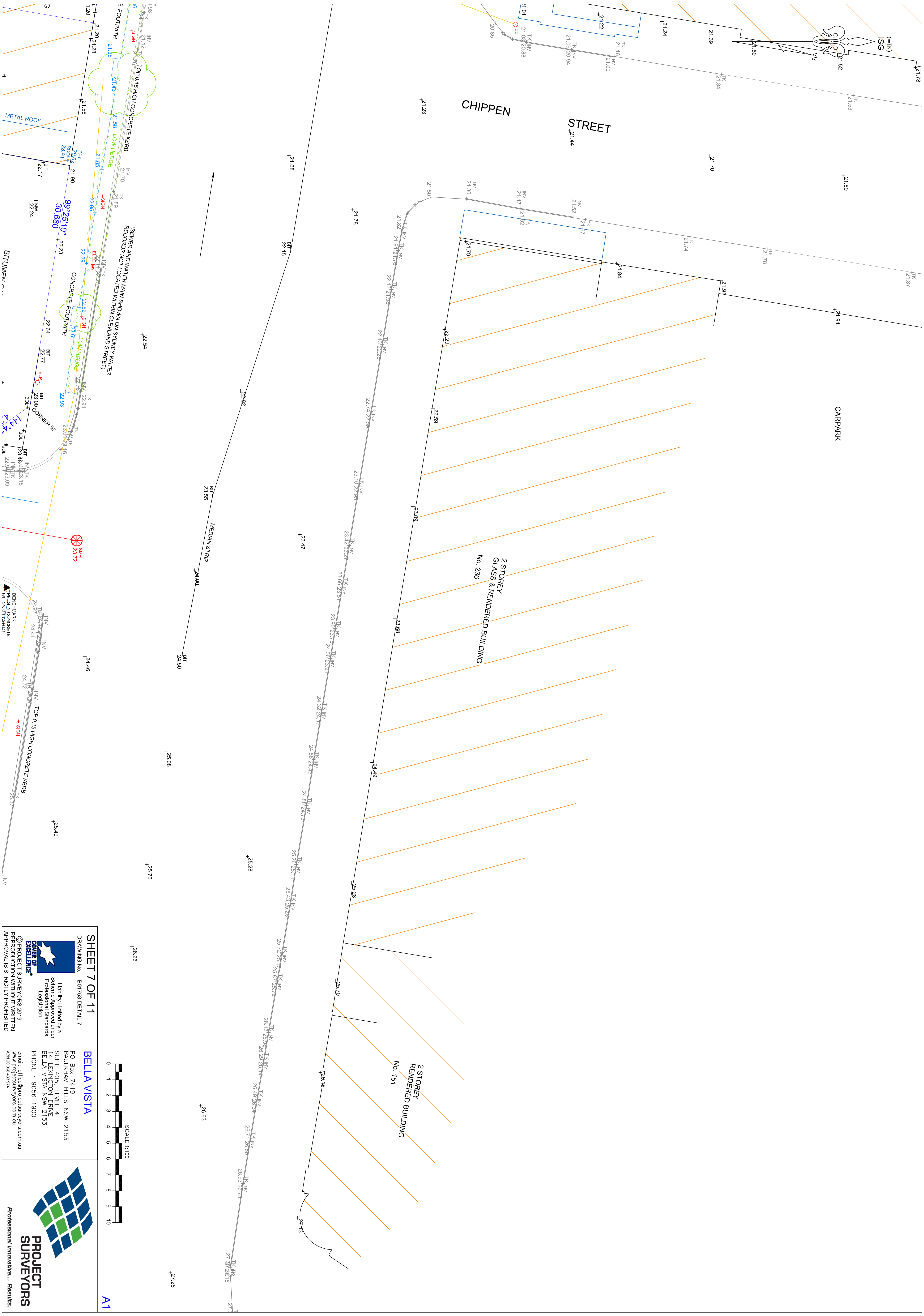
Professional Innovative... Results.

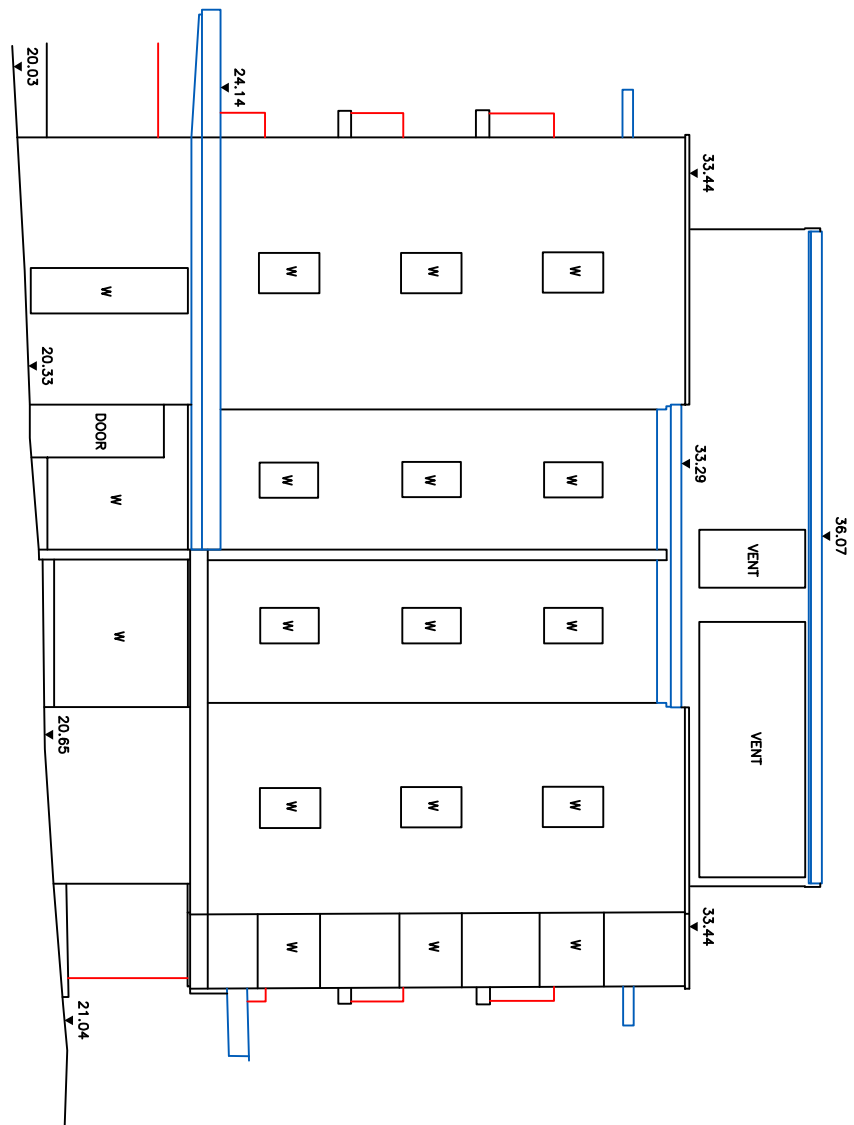






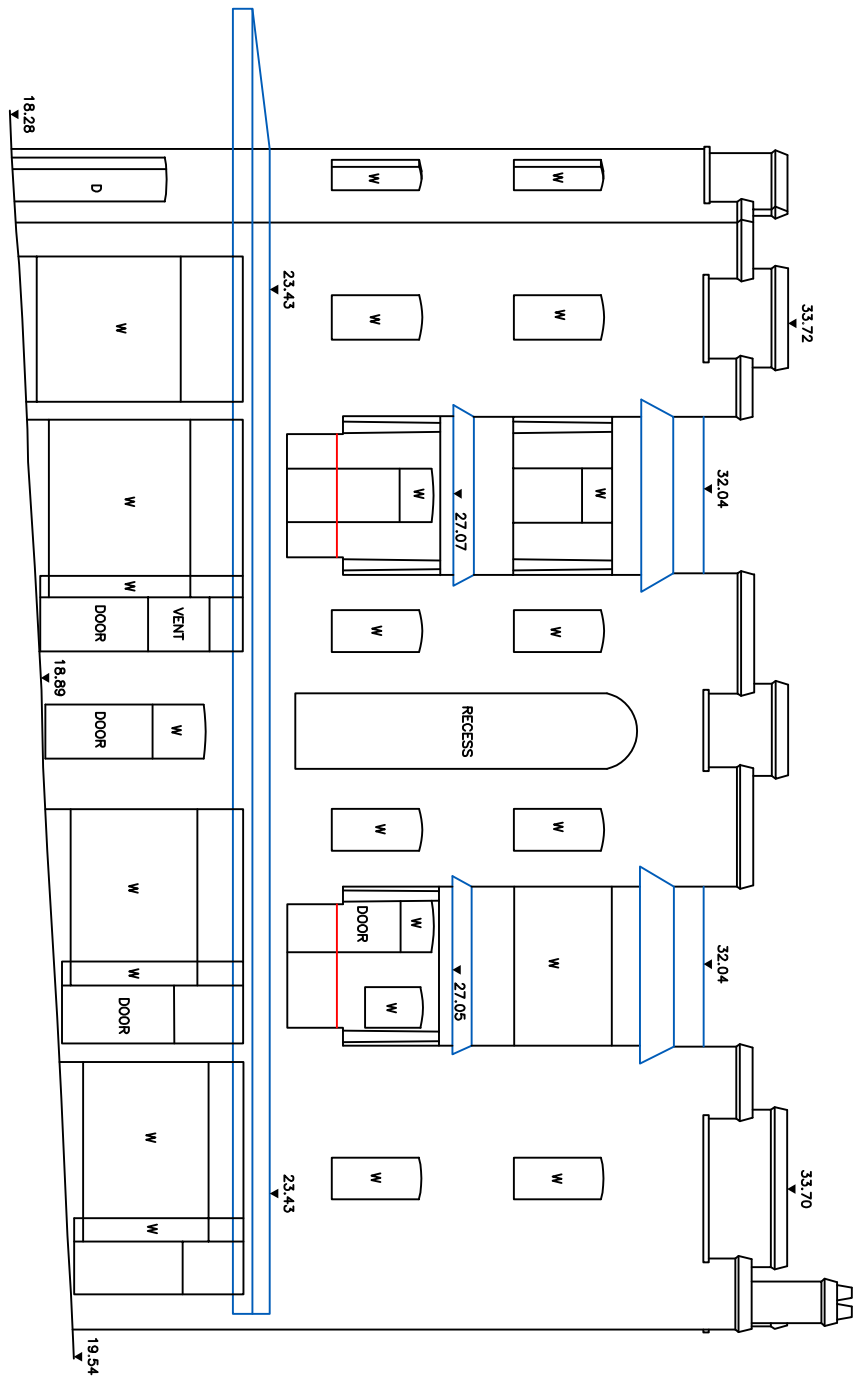






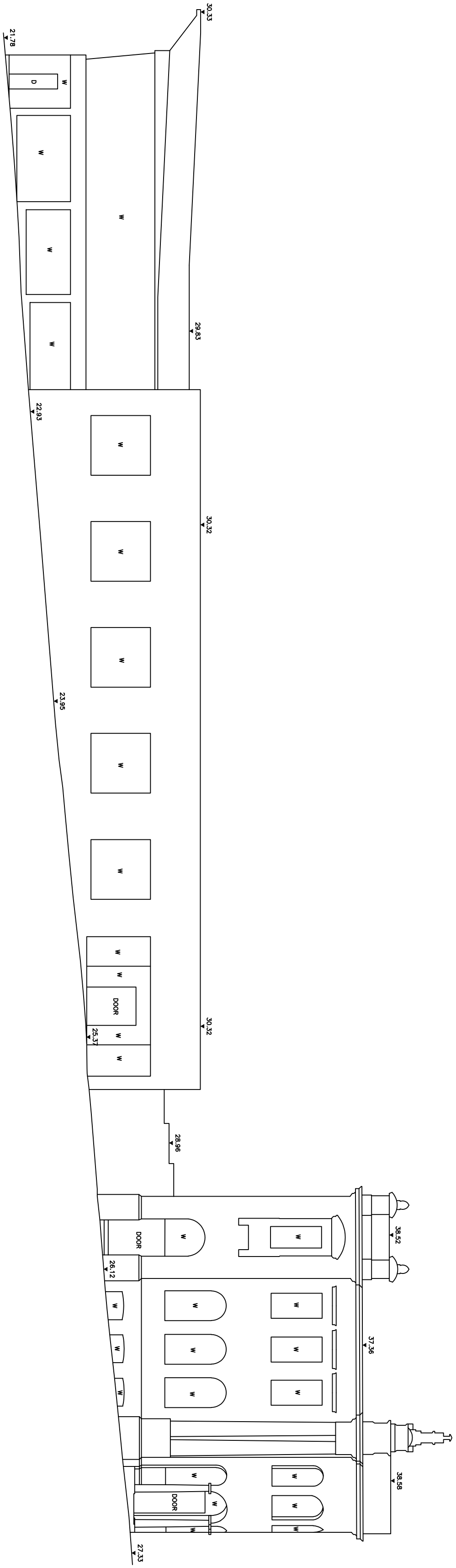
DATUM LINE RL: 5.0

SOUTH – 49 CHIPPEN STREET



DATUM LINE RL: 5.0

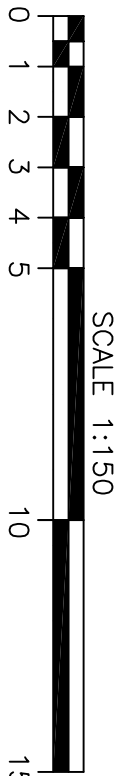
SOUTH – 212 CLEVELAND STREET



DATUM LINE RL: 5.0

SOUTH – 232 CLEVELAND STREET

SCALE 1:150



A1

LEGEND
D - DOOR
W - WINDOW

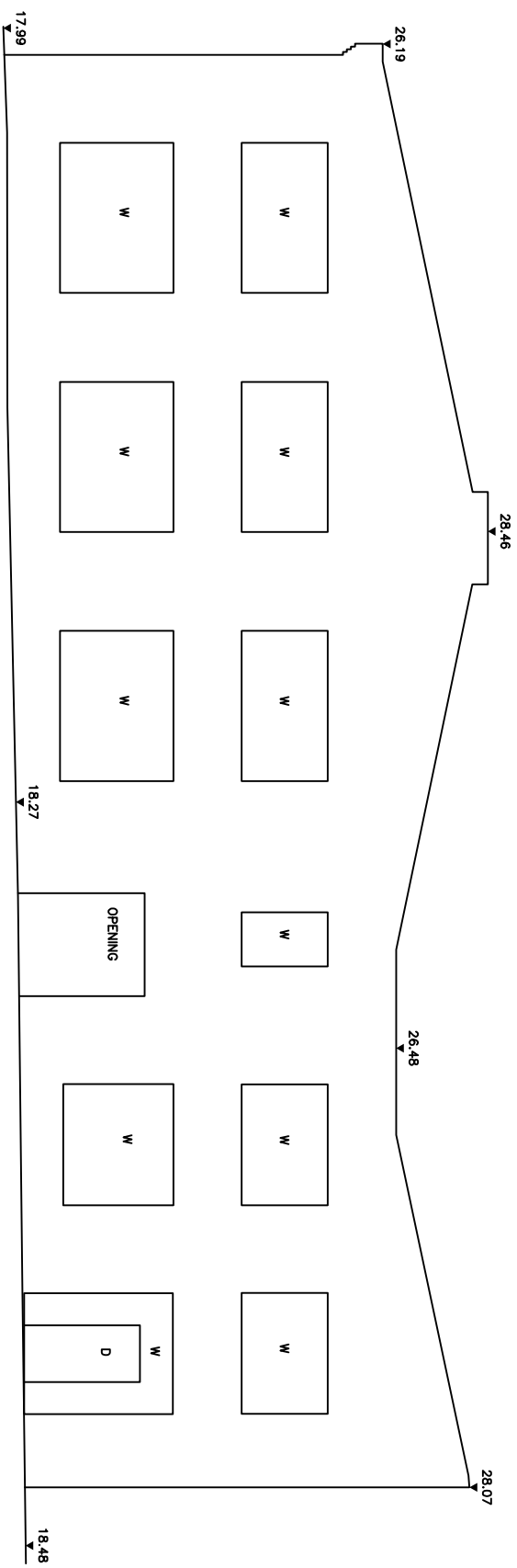
SHEET 8 OF 11
DRAWING No. B01753-DETAIL-8

BELLA VISTA

© PROJECT SURVEYORS 2019
REPRODUCTION WITHOUT WRITTEN
APPROVAL IS STRICTLY PROHIBITED

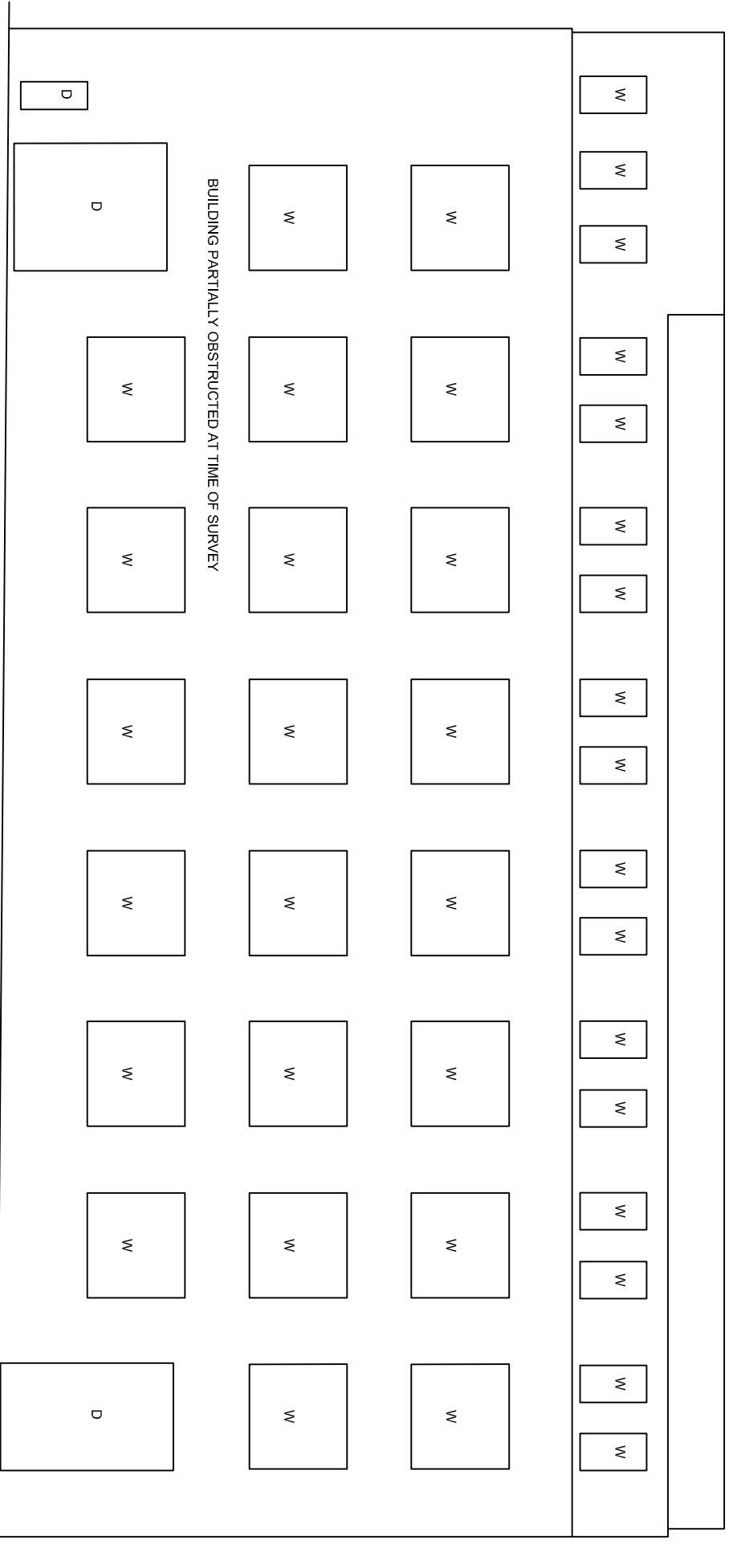
PO Box 7419
BAULKHAM HILLS NSW 2153
SUITE 405, LEVEL 4
14 LEXINGTON DRIVE
BELLA VISTA NSW 2153
PHONE : 9056 1900
email: office@projectsurveyors.com.au
info@projectsurveyors.com.au
ABN 29 526 533 574





DATUM LINE RL: 5.0

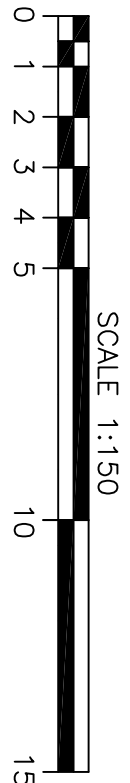
EAST – 16 EVELEIGH STREET



DATUM LINE RL: 5.0

WEST – 13 EVELEIGH STREET

LEGEND
D - DOOR
W - WINDOW



A1

SHEET 10 OF 11

DRAWING No. B01753-DETAIL-10

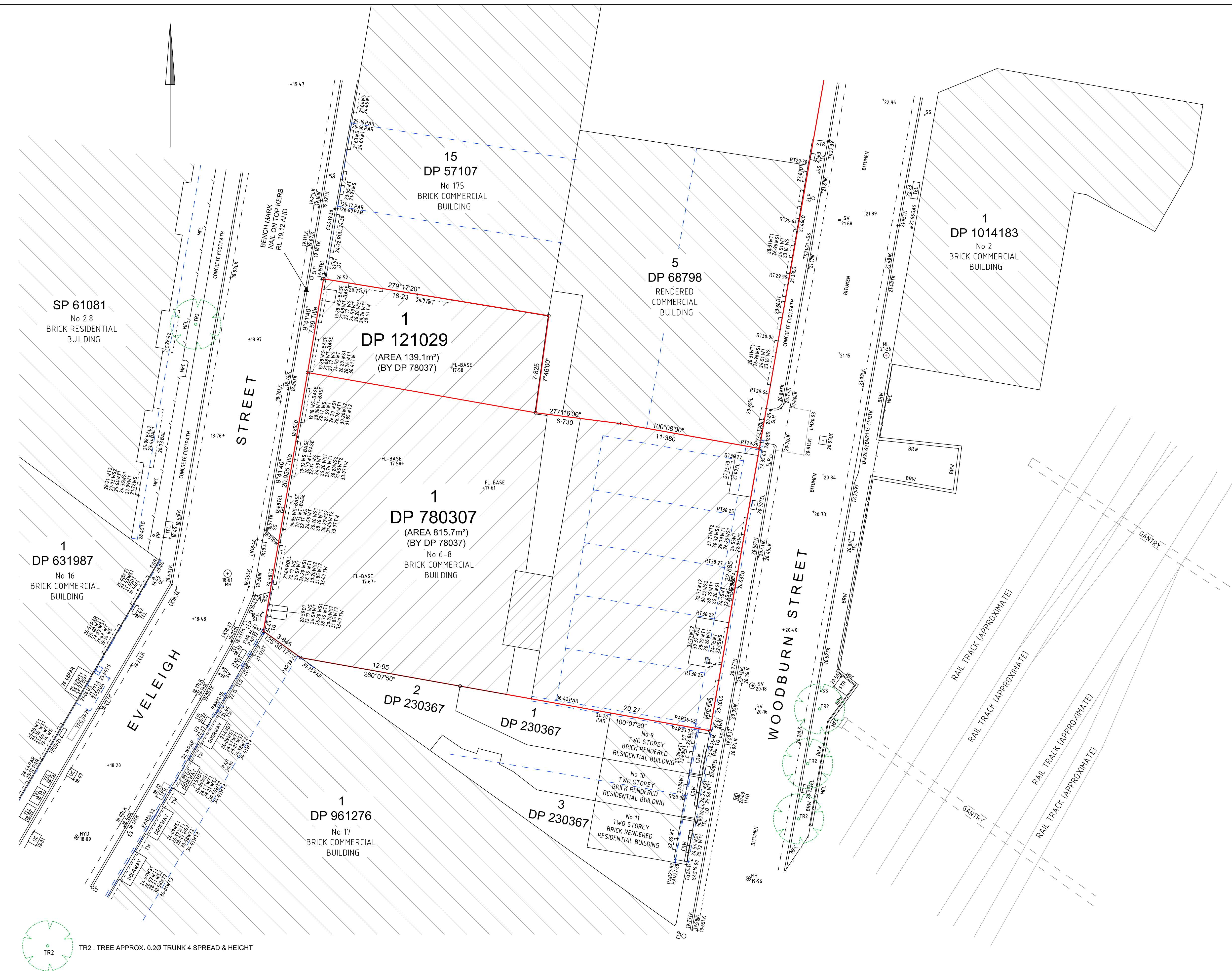
[BELLA VISTA](#)

© PROJECT SURVEYORS 2019
REPRODUCTION WITHOUT WRITTEN
APPROVAL IS STRICTLY PROHIBITED

PO Box 7419
BAULKHAM HILLS NSW 2153
SUITE 405, LEVEL 4
14 LEXINGTON DRIVE
BELLA VISTA NSW 2153
PHONE : 9056 1900
email: office@projectsurveyors.com.au
<http://projectsurveyors.com.au>
ABN 20 95 833 974



PROJECT
SURVEYORS
Professional | Innovative... Results.



GENERAL / SPECIFIC NOTES

THESE NOTES ARE AN INTEGRAL PART OF THIS PLAN. THE INFORMATION SHOWN ON THIS PLAN OR IN THE ASSOCIATED CAD FILE IS SUPPLIED ON THE CONDITION THAT THESE GENERAL NOTES ARE ALWAYS SHOWN/KEPT ON ANY COPY OR EXTRACT OF THE HARD COPY/DATA FILE.

INFORMATION SHOWN ON THE SUPPLIED HARD COPIES TAKES PRECEDENCE OVER ANY DIGITAL OR ELECTRONIC DATA.

THIS PLAN HAS BEEN PREPARED FOR FEATURE & LEVEL PURPOSES ONLY OVER THE SUBJECT SURVEY AREA.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) THE ORIGIN OF WHICH IS PM 46916 RL 28.577 AHD (SOURCE: SCIMS 06-07-2021).

THE BOUNDARIES HAVE NOT BEEN FULLY SURVEYED. SURVEY WORKS HAVE BEEN UNDERTAKEN IN A MANNER SUFFICIENT TO COMPILE LOCATION OF BOUNDARIES & DIMENSIONS FROM:

- SURVEY MEASUREMENTS TO MARKS & MONUMENTS RECORDED ON EXISTING REGISTERED SURVEY PLANS OF THE SUBJECT & ADJOINING LANDS.
- PLANS & RECORDS OBTAINED FROM NSW LRS.

BOUNDARIES ARE SUBJECT TO FINAL SURVEY.

THE BOUNDARIES SHOULD BE FULLY SURVEYED, MARKED &/OR SURVEY SETOUT MARKS PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK, PARTICULARLY IF BOUNDARY SETBACKS ARE CRITICAL.

NO EASEMENTS, RESTRICTIONS OR COVENANTS BENEFITING OR BURDENING THE SUBJECT LAND ARE NOTED ON THE SUBJECT CERTIFICATE OF TITLE AS AT 26-05-2021

REFER TO THE SUBJECT CERTIFICATES OF TITLE AND DEPOSITED PLANS FOR THE LOCATION & NATURE OF ANY EASEMENTS, RESTRICTIONS OR COVENANTS.

THE LOCATION OF ADJOINING BUILDING FEATURES HAVE BEEN OBTAINED WHERE VISIBLE FROM THE SUBJECT PROPERTY. ANY ADDITIONAL INFORMATION REQUIRED IS SUBJECT TO ADDITIONAL SURVEY & ACCESS BEING GRANTED TO ADJOINING PROPERTIES.

THE LOCATION & LEVELS OF BUILDING RIDGES AND ROOF FEATURES HAVE BEEN DETERMINED BY INDIRECT METHODS (WHERE VISIBLE) & ACCURATE TO APPROXIMATELY +/- 0.025m.

THE RECORDS OF THE SERVICE AUTHORITIES HAVE NOT BEEN INVESTIGATED. ONLY THOSE SERVICES VISIBLE / APPARENT AT THE TIME OF SURVEY HAVE BEEN SHOWN.

SCHEDULE OF ABBREVIATIONS

- APPROX. - APPROXIMATE
AWN - AWNING
BAL - BALCONY
BASE - BASEMENT
BIT - BITUMEN
BRW - BRICK RETAINING WALL
CO - CONCRETE
CRW - CONCRETE RETAINING WALL
DT - DOOR TOP
DW - DRIVEWAY
ELP - POWER POLE/LIGHT
FHR - FIRE HOSE REEL
FL - FLOOR LEVEL
GAS - GAS LID
GB - GUTTER BOX
HYD - HYDRANT
IK - INVERT KERB
INV - INVERT PIT
LK - LIP KERB
LM - LINE MARKING (APPROX SPACING)
MFC - METAL FENCE
MH - MANHOLE (SERVICE)
PAR - PARAPET
PP - POWER POLE
RI - ROOF RIDGE (APPROX)
RT - ROOF TOP (APPROX.)
SS - SIGNAGE
STR - STAIR
SV - STOP VALVE
TA - TOP AWNING
TEL - TELSTRA/COMMS LID-PIT
TG - TOP GUTTER (APPROX HEIGHT)
TK - TOP KERB (GENERALLY 0.15 HIGH)
TW - TOP WALL
UA - UNDERSIDE AWNING
UC - UNCLASSIFIED SERVICES
US - UNDERSIDE STRUCTURE
WS - WINDOW SILL
WT - WINDOW TOP
1- FIRST FLOOR
2- SECOND FLOOR



Australia New Zealand		Building Measurement Specialist Consulting Land Surveyors 3D Laser Scanning		DATE	REV	COMMENTS	PLAN PREPARED FOR: EG FUNDS MANAGEMENT	DATUM : A.H.D	SCALE : 1:150 @ A1	DATE : 07-07-2021	DESCRIPTION: PLAN SHOWING SELECT FEATURE & LEVELS OVER LOT 1 IN DP 780307 & LOT 1 DP 121029 BEING No. 6-8 WOODBURN STREET, REDFERN, NSW
REALSERVE Start confident.		ph. 02 9629 9377 www.realserve.com.au						ORIGIN OF LEVELS : PM 46916	LOCALITY : REDFERN	SURVEY : JP	
								CONTOUR INTERVAL : N/A	L.G.A. : SYDNEY	DRAWN : JP	
								SHEET No. 1 OF 1	REF: 79177JP	CHECKED : DM	

